

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Building Type		Site Transaction History
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: <u>SCOPE-0042-2020</u>
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____
		Zoning Case #: _____
		Administrative Alternate #: _____
GENERAL INFORMATION		
Development name: <u>Western Blvd Auto Sales / Service Facility</u>		
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
Property address(es): <u>5108 Western Blvd, Raleigh NC</u>		
Site P.I.N.(s): <u>0784515652</u>		
Please describe the scope of work. Include any additions, expansions, and change of use. <u>Develop rear portion of the project with the expansion of the vehicle sales and the construction of new building facility.</u>		
Current Property Owner/Developer Contact Name: <b>NOTE: please attach purchase agreement when submitting this form.</b>		
Company: <u>North Star Investments, LLC</u>		Title: <u>Member Manager</u>
Address: <u>1424 Lorimer, Rd, Raleigh NC 27606</u>		
Phone #: <u>919-413-8183</u>		Email: <u>Atlascarriers1@gmail.com</u>
Applicant Name: <u>Nick Inaya</u>		
Company: <u>North Star Investments</u>		Address: <u>1424 Lorimer Rd., Raleigh NC 27606</u>
Phone #: <u>919-413-8183</u>		Email: <u>Atlascarriers1@gmail.com</u>

**DEVELOPMENT TYPE + SITE DATE TABLE**

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):  IX3	Existing gross floor area (not to be demolished): 1520 SF
	Existing gross floor area to be demolished: 0
Gross site acreage: 2.39 acres	New gross floor area: 14,233 SF
# of parking spaces required: 32	Total sf gross (to remain and new): 15,753 SF
# of parking spaces proposed: 40	Proposed # of buildings: 1
Overlay District (if applicable): Residential Parking	Proposed # of stories for each: 2
Existing use (UDO 6.1.4): Vehicle Sales	
Proposed use (UDO 6.1.4): Vehicle Sales	

**STORMWATER INFORMATION**

Existing Impervious Surface: Acres: 2.01 Square Feet: 87,846		Proposed Impervious Surface: Acres: 1.84 Square Feet: 80,185	
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
If yes, please provide: _____			
Alluvial soils: N/A			
Flood study: N/A			
FEMA Map Panel #: _____			
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

**RESIDENTIAL DEVELOPMENTS**

Total # of dwelling units: 0	Total # of hotel units: 0
# of bedroom units: 1br <input type="checkbox"/> 2br <input type="checkbox"/> 3br <input type="checkbox"/> 4br or more <input type="checkbox"/>	
# of lots: _____	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**SIGNATURE BLOCK**

I hereby designate Keith P. Gettle, PE to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

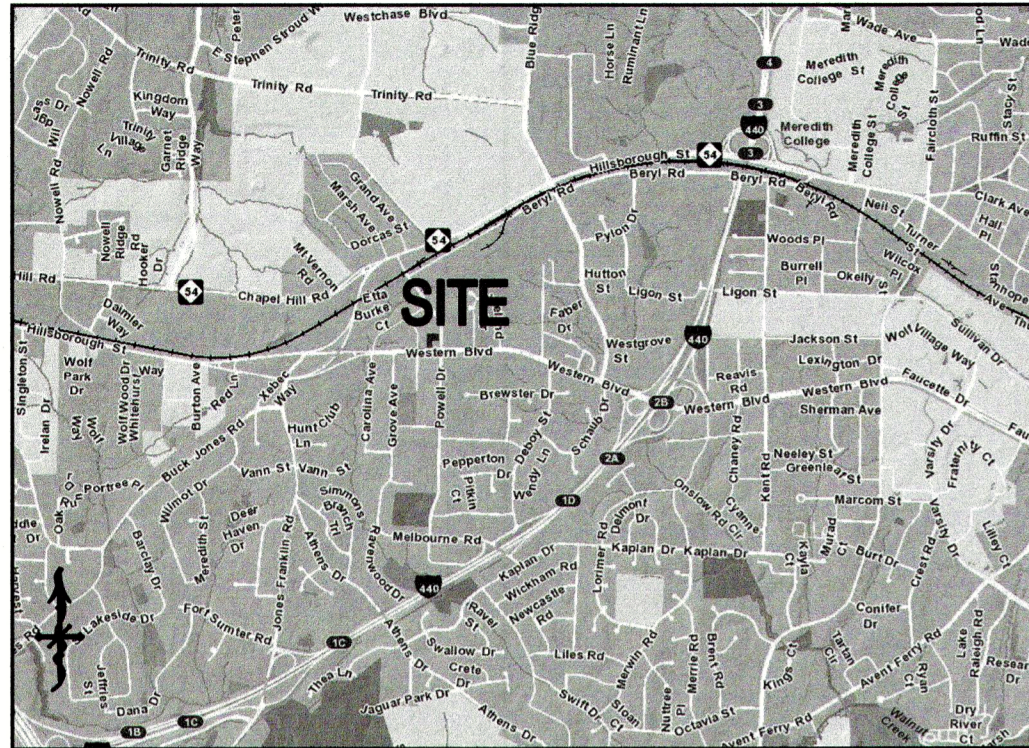
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after six consecutive months of inactivity.

Signature: \_\_\_\_\_

Date: 9/28/2020

Printed Name: \_\_\_\_\_

NICK INAYA



VICINITY MAP  
Not to Scale

## Site Information

Project Name: Auto Sales / Service Facility  
Location: 5108 Western Blvd.  
Raleigh, NC  
Pin Number: 0784515652  
Deed Book/Page: 017040 / 02176  
Zoning: IX-3 SPROD  
Current Use: Car Sales  
Proposed Use: Business (Vehicle Sales)  
Gross Lot Area= 2.39 acres (103,908 SF)  
Right of Way Dedication = 79.4 SF  
Net Lot Area= 2.38 acres (103,828.6 SF)  
Existing Impervious Surface: 90,462 SF  
Proposed Impervious Surface: 80,916 SF  
Project is not located within 100 yr. Floodplain.  
Amenity Area Req'd: 10% x 103,908 sf = 10,390 sf  
Amenity Area Provided: 11,415 sf  
Building Set Back - General Building  
Primary Street = 3'  
Side Street = 3'  
Side Lot Line = 0' or 6'  
Rear Lot Line = 0' or 6'  
Building Transparency  
Ground Story (min) = 20%  
Upper Story (min) = 20%  
Blank Wall Area (min) = 50'  
Building Floor Heights  
Ground Story Req'd (min) = 11'  
Ground Story Provided (min) = 12'  
Upper Story Req'd (min) = 9'  
Upper Story Provided (min) = 10'

**Impervious Surface Calculations**

Existing Impervious:	90,462 SF
Proposed Impervious After Improvements:	80,916 SF
Project Site = 78,442 sf	
Pineland Circle ROW = 2474 sf	

**Impervious Surface Summary:**  
Net Impervious Surface Change: 90,462 - 80,916 = -9546 sf

**Parking Calculations**

Gross floor area: 1205 sf (exist building)  
12,739 sf (proposed General building)

Gross floor area: 13,944 sf (Total)  
Vehicle Display Area = 45,554 sf

**Parking Requirements:**  
Vehicle Sales = 1 space / 1000 sf Gross Floor Area or  
Vehicle Display Area = 1 space / 4500 sf Display Area  
Whichever is Greater

Sales Area  
Vehicle Sales Area = 45,554 sf / 4500 sf = 10 spaces or  
Gross Floor Area = 13,944 sf / 1000 sf = 14 spaces

Total Parking Required: 14 spaces  
Total Parking Provided: 20 Spaces

Handicap Parking Required - Total Required: 2 Spaces  
Handicap Parking Provided: 3 Spaces

Parking Surface Ratio = 20 Spaces / 14 Spaces = 143%  
Display Parking Spaces = Total 189 Spaces

**Parking Set Back (Required) - General Building IX**  
Primary Street = 10'  
Side Street = 10'  
Side Lot Line = 0' or 3'  
Rear Lot Line = 0' or 3'

# Preliminary Site Plan ASR-0079-2020

## Auto Sales / Service Facility

### 5108 Western Blvd

City of Raleigh  
Wake County, North Carolina

SHEET	DESCRIPTION
	Cover Sheet
	Existing Conditions Survey
	Exist Conditions / Demolition Plan
C1	Site Plan
C2	Grading Plan
C3	Utility Plan
C4	Landscape and Tree Conservation Plan
C5	Site Lighting Plan
SL1	Site Lighting Fixture Specifications
SL2	Site Details
D1	Site and Roadway Details
D2	Utility Details
D3	Architectural 1st Floor Plan and Elevations
A1	Architectural Upper Floor Plan and Elevations
A2	

## PROJECT INFORMATION:

**PROJECT:** AUTO SALES / SERVICE FACILITY  
PRELIMINARY SITE PLAN

**OWNER/DEVELOPER:** NORTH STAR INVESTMENTS OF RALEIGH, LLC  
5108 WESTERN BLVD  
RALEIGH, NC 27606  
(914) 413-8183  
NASEEM INAYA  
ATLASCARRIERS1@GMAIL.COM

**PHONE:** KEITH GETTLE, PE  
**CONTACT:** caaENGINEERS, INC.  
**EMAIL:** 4932 B WINDY HILL DRIVE  
RALEIGH, NC 27609  
(919) 210-3934  
KGETTLE@CAAENGINEERS.COM

**ENGINEER:** TURNING POINT SURVEYING  
4113 JOHN S. RABOTEAU WYND  
RALEIGH, NC 27612  
(914) 781-0234

**PHONE:**

**EMAIL:**

**SURVEYOR:**

**PHONE:**

## Administrative Site Review Application

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		Zoning Case #:	
		Administrative Alternate #:	
<b>GENERAL INFORMATION</b>			
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Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
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Applicant Name: Nick Inaya			
Company: North Star Investments		Address: 1424 Lorimer Rd., Raleigh NC 27606	
Phone #: 919-413-8183		Email: Atlascarrriers1@gmail.com	

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): IX-3	Existing gross floor area (not to be demolished): 1205 SF
	Existing gross floor area to be demolished: 0
Gross site acreage: 2.39 acres	New gross floor area: 12,739 SF
# of parking spaces required: 14	Total sf gross (to remain and new): 13,944 SF
# of parking spaces proposed: 21	Proposed # of buildings: 1
Overlay District (if applicable): Residential Parking	Proposed # of stories for each: 2
Existing use (UDO 6.1.4): Vehicle Sales	
Proposed use (UDO 6.1.4): Vehicle Sales	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 2.07 Square Feet: 90,462	Proposed Impervious Surface: Acres: 1.86 Square Feet: 80,916
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide:	
Alluvial soils: NA	
Flood study: NA	
FEMA Map Panel #:	
Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 0	Total # of hotel units: 0
# of bedroom units: 1br <input type="checkbox"/> 2br <input type="checkbox"/> 3br <input type="checkbox"/> 4br or more <input type="checkbox"/>	
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

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Signature: <i>Naseem Inaya</i>	Date: 9/28/2020
Printed Name: NICK INAYA	

Page 2 of 2

REVISION 07.07.20

raleighnc.gov



4.9.2021

RE: ATLAS AUTO SALES (North Star Investments Auto Sales)

Dear NICK

This letter is to confirm that Republic Services operates both recycle and trash routes with the capacity to service the property located at: 5108 WESTERN BLVD RALEIGH NC

We have routes that would be able to handle both the construction of the building(s) as well as houses that would cover permanent services after construction has been completed. Pricing for our services can be put together whenever you are ready to move forward. Please feel free to contact our directly 919-519-9479 or email [land@republicservices.com](mailto:land@republicservices.com)

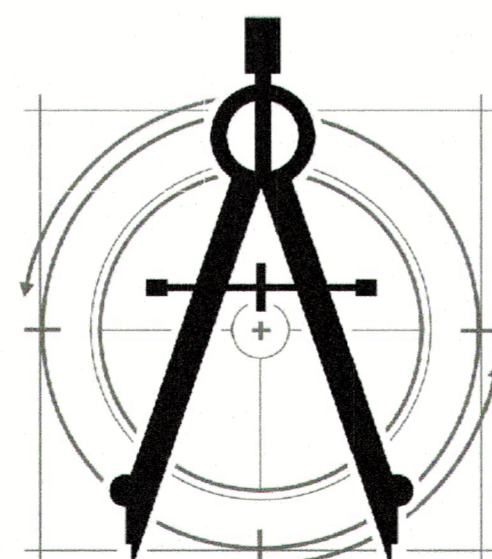
Hon. Regard,

Timothy M Volk  
Republic Services

## Right-of-Way Obstruction Notes:

- Street, Lane, and Sidewalk closures or detours: Prior to any work that impacts the right-of-way or closing of any street, lane, or sidewalk, the contractor must apply for a permit with Right-of-Way Services.
- A permit request with a traffic control and/or pedestrian plan shall be submitted to [rightofwayservices@raleighnc.gov](mailto:rightofwayservices@raleighnc.gov) at [www.raleighnc.gov](http://www.raleighnc.gov) Keyword "Right-of-Way Services."
- Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspections Coordinator to review the specific components of the approved plan, and ensure all permits are issued.
- The City of Raleigh requires an approved Right-of-Way Obstruction Permit for work on any public street or sidewalk and NCDOT road within Raleigh's Jurisdiction.
- All Traffic Control Signage and practices shall adhere to the Manual on Uniform Traffic Control, and the latest edition of the NCDOT "Standard Specification for Roadway Structures", NCDOT "Roadway Standard Drawing Manual", and the NCDOT supplement to the MUTCD.
- All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing and alternative pedestrian routes during construction shall be required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (MUTCD).
- All permits must be available and visible on site during the operation.

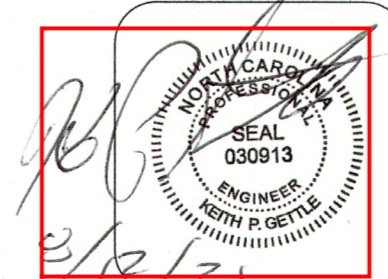
Sketch Plan Review (Scope-0042-2020)



caaENGINEERS, Inc.  
McIntyre, Gettle, Crowley  
PROFESSIONAL ENGINEERS

1233 Heritage Links Drive, Wake Forest, North Carolina 27587  
4932B Windy Hill Drive, Raleigh, North Carolina 27609  
(919)625-6755

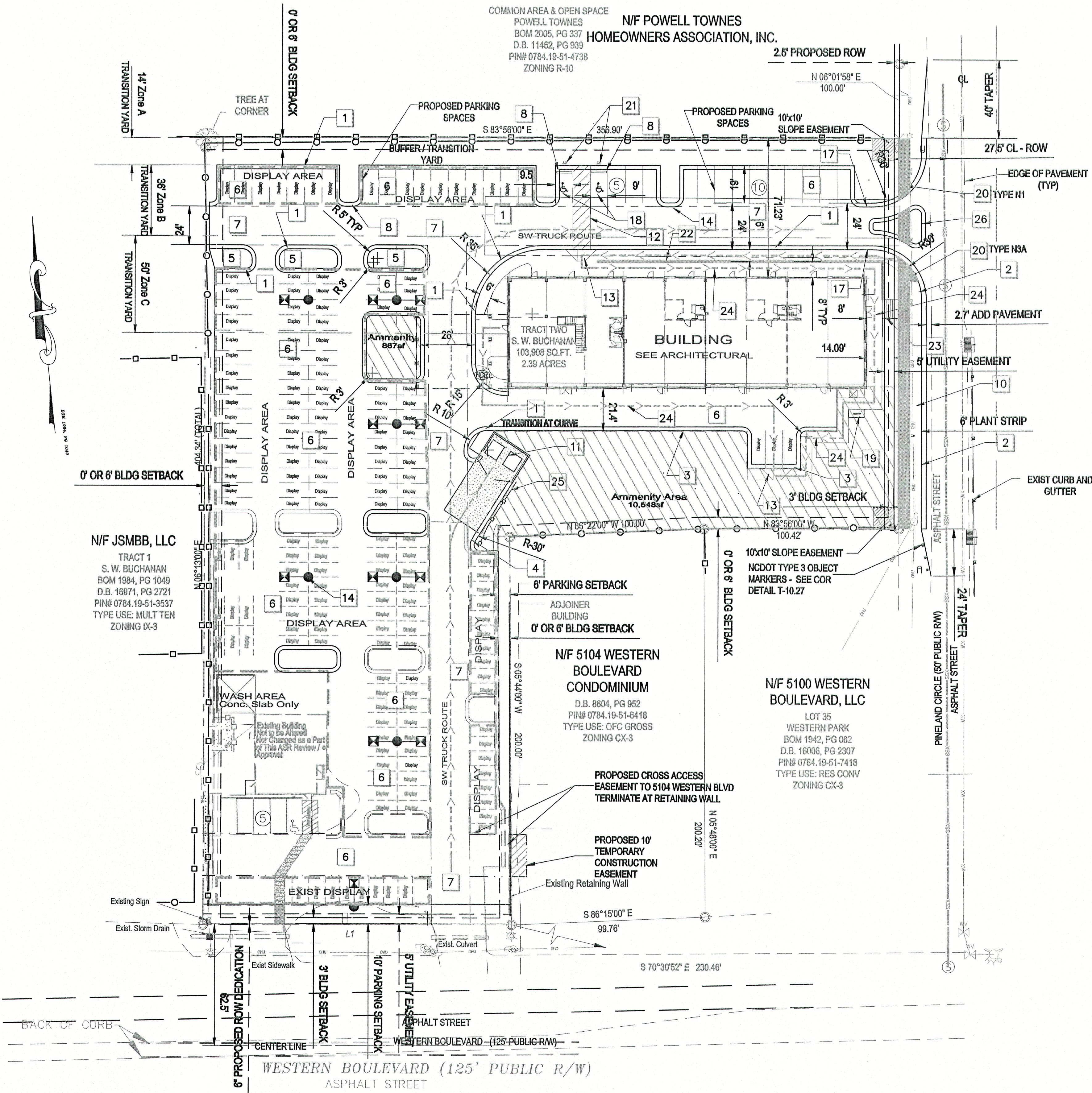
C-2151 © caaENGINEERS, Inc. All Rights Reserved



Know what's below.  
Call before you dig.  
(Or call: 1-800-632-4040)

PRELIMINARY  
DO NOT USE FOR  
CONSTRUCTION

SWS Will Serve Letter



## KEY

## KEYED NOTES - SITE PLAN

- 24" STANDARD CONCRETE CURB AND GUTTER
- 30" STANDARD CONCRETE CURB AND GUTTER IN STREET - SEE RALEIGH DETAIL
- 24" ROLL TYPE CURB AND GUTTER - SEE DETAIL
- TIE INTO THE EXISTING CURB
- LANDSCAPE ISLAND - SEE SHEET LS1 (LANDSCAPE PLAN)
- STANDARD-DUTY BITUMINOUS PAVING - PRIMARILY IN PARKING AREAS
- HEAVY-DUTY BITUMINOUS PAVING - PRIMARILY IN DRIVE AISLES - SEE DETAIL
- WHEEL STOP - SET 24" CLEAR FROM EDGE OF SPACE AT HANDICAP PARKING
- 9" x 18" PAINTED PARKING SPACE STRIPING USING 4" WIDE WHITE STRIPES
- 4" THK. STANDARD CONCRETE WALK, 6" WIDE UNLESS OTHERWISE NOTED
- 8" MASONRY DUMPSTER ENCLOSURE & PAD - SEE DETAIL
- 6" PAINTED CROSSWALK USING 8" WIDE WHITE STRIPES
- HANDICAP RAMP, SEE DETAIL
- LIGHT POLE AND FIXTURE BY DUKE POWER SEE LIGHTING PLAN
- 20' STREET SCAPE AREA - SEE LANDSCAPE PLAN
- CROSS ACCESS EASEMENT
- TRANSITION FROM 30" CURB & GUTTER TO 24" CURB & GUTTER AT CURB TURNOUT
- PAINTED UNIVERSAL HANDICAPPED SYMBOL AND HANDICAPPED ACCESS AISLE STRIPING
- BICYCLE PARKING (4'x8') CONC. PAD AND RACK - SEE DETAIL
- CITY OF RALEIGH HANDICAP RAMP - SEE COR DETAILS T-20.01.2 AND T-20.01.3
- HANDICAP PARKING SIGNAGE - SEE DETAIL
- RETAINING WALL - MAX HEIGHT 4'
- BUILDING STEPS - SEE ARCHITECTURAL
- HANDICAP ACCESSIBLE ROUTE
- 8' OPAQUE SCREEN FENCE
- MONOLITHIC TRAFFIC ISLAND- WITH HANDICAP RAMP SIMILAR TO COR DETAIL T20.02

## Site Information

Project Name: Auto Sales / Service Facility  
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 Deed Book/Page: 017040 / 02176  
 Zoning: IX-3 SPROD  
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 Impervious Surface Summary:  
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## Parking Calculations

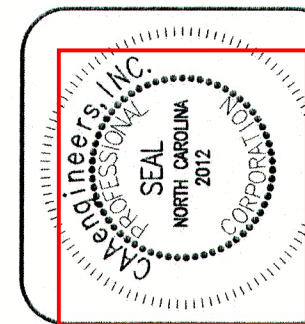
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 Gross floor area: 13,944 sf (Total)  
 Vehicle Display Area = 45,554 sf

## Parking Requirements:

Vehicle Sales = 1 space / 1000 sf Gross Floor Area or  
 Vehicle Display Area = 1 space / 4500 sf Display Area  
 Whichever is Greater  
 Sales Area  
 Vehicle Sales Area = 45,554 sf / 4500 sf = 10 spaces or  
 Gross Floor Area = 13,944 sf / 1000 sf = 14 spaces  
 Total Parking Required: 14 spaces  
 Total Parking Provided: 20 Spaces  
 Handicap Parking Required - Total Required: 2 Spaces  
 Handicap Parking Provided: 3 Spaces  
 Parking Surface Ratio = 20 Spaces / 14 Spaces = 143%  
 Display Parking Spaces = Total 189 Spaces  
 Parking Set Back (Required) - General Building IX  
 Primary Street = 10'  
 Side Street = 10'  
 Side Lot Line = 0' or 3'  
 Rear Lot Line = 0' or 3'

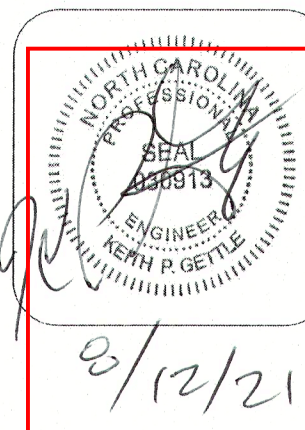
## SITE NOTES

- WHERE NEW CURB AND GUTTER IS INSTALLED IN A PUBLIC STREET RIGHT-OF-WAY, USE 30" CURB AND GUTTER. IN OTHER LOCATIONS, USE 24" CURB AND GUTTER.
- ALL CURB DIMENSIONS ARE MEASURED TO BACK OF CURB, AND ALL CURB RADI ARE 3 FEET, UNLESS INDICATED OTHERWISE.
- USE REVERSE PITCH CURB AND GUTTER WHERE ADJACENT PAVEMENT SLOPES AWAY FROM CURB, AND STANDARD-PITCH CURB AND GUTTER ELSEWHERE, UNLESS OTHERWISE NOTED. PROVIDE POSITIVE DRAINAGE ALONG AND FROM ALL GUTTERS.
- ALL SITE CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS OTHERWISE INDICATED.
- ALL BASE AND PAVING WORK SHALL COMPLY WITH CITY OF RALEIGH STANDARDS. INDICATED PAVEMENT THICKNESSES REFER TO COMPACTED THICKNESS.
- INSTALL ALL PAVEMENT WITH POSITIVE SURFACE DRAINAGE.
- ALL HANDICAPPED PARKING SPACES, AISLES, RAMPS, SIGNAGE, PAVEMENT MARKINGS, CROSSWALKS, AND ACCESSIBLE ROUTES SHALL MEET APPLICABLE REQUIREMENTS OF THE NORTH CAROLINA ACCESSIBILITY CODE.
- ALL HANDICAP ACCESSIBLE PARKING SPACES SHALL HAVE AN R7-8 AND R7-8D SIGN. ALL SIGNS FOR VAN ACCESSIBLE SPACES SHALL ALSO INCLUDE A "VAN ACCESSIBLE" SIGN.
- CONTRACTOR SHALL PROVIDE ADEQUATE TRAFFIC CONTROL MEASURES DURING THE COURSE OF PROJECT WORK IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS, THE N.C. SUPPLEMENT TO THE MUTCD, ANY REGULATORY AGENCY REQUIREMENTS, AND PROJECT-SPECIFIC SAFETY CONSIDERATIONS.
- TRANSITIONS TO EXISTING PAVEMENT, CURBS, WALKS, ETC. SHALL BE MADE WITH NEAT EDGES AND SMOOTH, GRADUAL TRANSITIONS THAT ARE SAFE, FUNCTIONAL, DURABLE, AND VISUALLY ACCEPTABLE TO THE OWNER AND REVIEW AUTHORITIES.
- BUILDING SIZE, CONFIGURATION, ARCHITECTURAL ELEMENTS, UTILITY STUBS, AND OTHER BUILDING FEATURES SHOWN ON THESE DRAWINGS ARE TAKEN FROM INFORMATION PROVIDED BY OTHERS. BUILDING LINES SHOWN GENERALLY REPRESENT THE EXTERIOR FACE OF THE BUILDING, BUT SHOULD NOT BE USED FOR BUILDING STAGING OR CONSTRUCTION. REFER TO BUILDING PLANS FOR ACTUAL BUILDING DIMENSIONS, DOOR LOCATIONS, COLUMN AND FOOTING LOCATIONS, WALL THICKNESSES, OVERHANGS, ROOF LINES, AND OTHER FEATURES. CONTRACTOR SHALL COORDINATE UTILITY AND DRAINAGE LOCATIONS, ELEVATIONS, MATERIALS, AND SIZES WITH INFORMATION SHOWN ON THE BUILDING DRAWINGS, AND SHALL VERIFY THAT BUILDING ELEMENTS WILL NOT ENCRUCH INTO REQUIRED SETBACKS.
- SIGHT TRIANGLE DESIGN BASED ON CITY OF RALEIGH GUIDELINES. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, SIGN, PARKED VEHICLE OR OTHER OBJECT BETWEEN THE HEIGHTS OF TWO (2) FEET AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION SHALL BE PLACED WITHIN A SIGHT TRIANGLE. OBJECTS THAT MAY BE LOCATED IN THE SIGHT TRIANGLE ARE ITEMS SUCH AS: HYDRANTS, UTILITY POLES, UTILITY JUNCTION BOXES AND TRAFFIC CONTROL DEVICES PROVIDED THESE OBJECTS ARE LOCATED TO MINIMIZE VISUAL OBSTRUCTION.
- FENCES, WALLS AND OTHER STRUCTURES ARE PROHIBITED IN DRAINAGE AND UTILITY EASEMENTS BOTH PUBLIC AND PRIVATE. DETERMINATION OF COMPLIANCE WILL BE MADE UPON ISSUANCE OF RESIDENTIAL BUILDING PERMITS. (SECTION 7.2.8 UDO)
- ANY UNUSED EXISTING UTILITY SERVICES SHALL BE ABANDONED AT THE TAP (MAIN) AND REMOVED FROM ROW OR EASEMENT PER PUBLIC UTILITIES HANDBOOK.
- ANY SIGNAGE LOCATED ON THE SITE SHALL BE APPROVED BY THE CITY OF RALEIGH AND SHALL BE LOCATED OUTSIDE OF ANY SIGHT TRIANGLES.
- THE MINIMUM CORNER CLEARANCE FOR A DRIVEWAY FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20' FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE.
- PER TO-5A-18 THE PRIMARY STREET DETERMINATION IS WESTERN BLVD.



**caaENGINEERS, Inc.**  
 McIntyre, Gattie, Crowley  
 PROFESSIONAL ENGINEERS  
 1233 Heritage Lane Drive, Wake Forest, North Carolina 27687  
 40222 Wendy Hill Lane, Raleigh, North Carolina 27608  
 (919) 555-0755  
 C4561 © caaENGINEERS, Inc. All Rights Reserved

NO.	REVISION / DESCRIPTION	DATE
1	2/20/2021 Revised Per City Comment	2/20/2021
2	10/26/2021 Revised Per City Comment	10/26/2021
3	11/1/2021 Revised Per City Comment	11/1/2021
4	11/1/2021 Comment	11/1/2021
5	11/1/2021 Comment	11/1/2021
6	11/1/2021 Comment	11/1/2021
7	11/1/2021 Comment	11/1/2021
8	11/1/2021 Comment	11/1/2021
9	11/1/2021 Comment	11/1/2021
10	11/1/2021 Comment	11/1/2021



**Site Plan**  
 5108 Western Blvd  
 North Star Investments Auto Sales  
 Raleigh, NC, Wake County

**PRELIMINARY  
 DO NOT USE FOR  
 CONSTRUCTION**

Job No.

Dwg No.

**C2**

PRELIMINARY PLANS  
 NOT FOR CONSTRUCTION

TRANSPARENCY TABLE - WESTERN BOULEVARD

FLOOR LEVEL	SQUARE FEET OF WALL	TRANSPARENCY REQUIRED (20%)	TRANSPARENCY PROVIDED	3'-0" TO 8'-0" TRANSPARENCY REQ'D.	3'-0" TO 8'-0" TRANSPARENCY PROVIDED
GROUND FLR.	12' x 184' = 2,208 SF*	2,208 x .20 = 441.6 SF	459 SF	220.8 SF (50% OF REQ'D 20%)	303 SF (HATCHED AREA)
2ND FLOOR	10' x 61'-4" = 613 SF*	613 x .20 = 122.7 SF	192 SF	N/A	N/A

\* MEASURED AS PER CITY OF RALEIGH U.D.O. SECTION 1.5.9.B

TRANSPARENCY - UDO - Section 1.5.9.B

## B. General Requirements

1. The minimum percentage of windows and doors that must cover a ground story facade is measured between 0' and 12' above the adjacent sidewalk. More than 50% of the required transparency must be located between 3' and 8' of the building facade.

TRANSPARENCY TABLE - PINELAND CIRCLE

FLOOR LEVEL	SQUARE FEET OF WALL	TRANSPARENCY REQUIRED (20%)	TRANSPARENCY PROVIDED	3'-0" TO 8'-0" TRANSPARENCY REQ'D.	3'-0" TO 8'-0" TRANSPARENCY PROVIDED
GROUND FLR.	12' x 58' = 696 SF*	696 x .20 = 139.2 SF	233.8 SF (33.6%)	69.6 SF (50% OF REQ'D 20%)	171.3 SF (HATCHED AREA)
2ND FLOOR	N/A	N/A	N/A	N/A	N/A

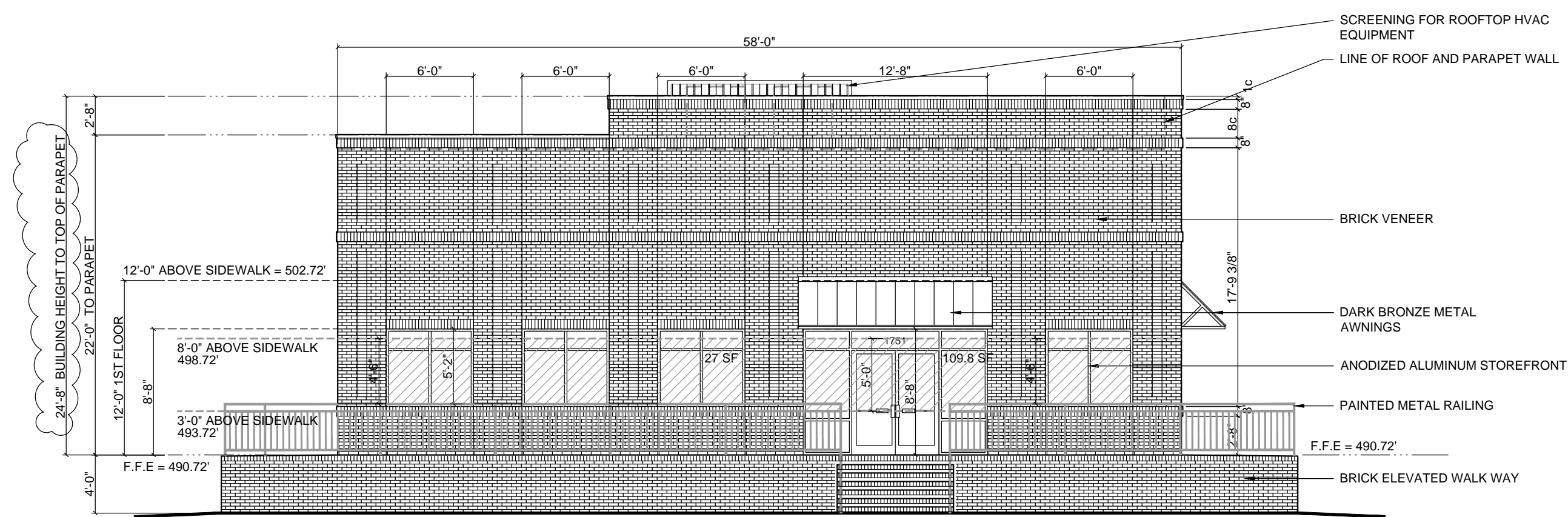
\* MEASURED AS PER CITY OF RALEIGH U.D.O. SECTION 1.5.9.B

## PROPOSED/IMPROVED GRADES

BASED ON TC-4-20

## SOUTH ELEVATION

HIGHEST = 490.62 (IMPROVED GRADE)  
LOWEST = 490.52 (IMPROVED GRADE)  
AVERAGE POST DEVELOPMENT GRADE = 490.57



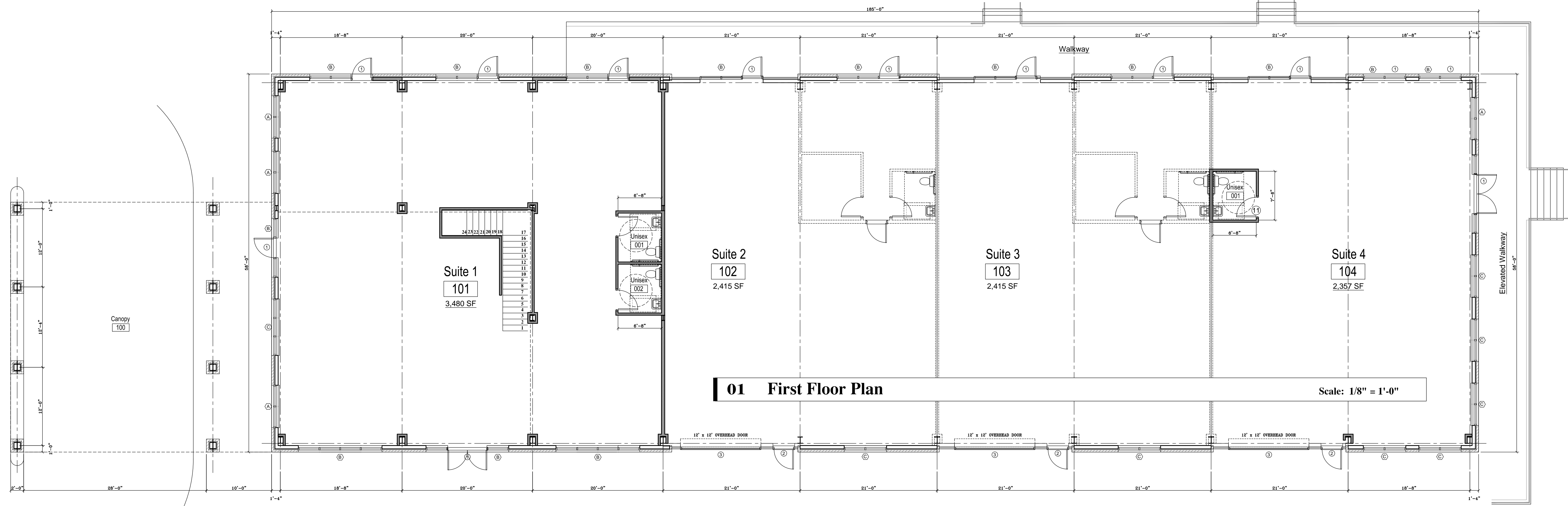
02 East Elevation - Pineland Circle Side

Scale: 1/8" = 1'-0"

## Area Data

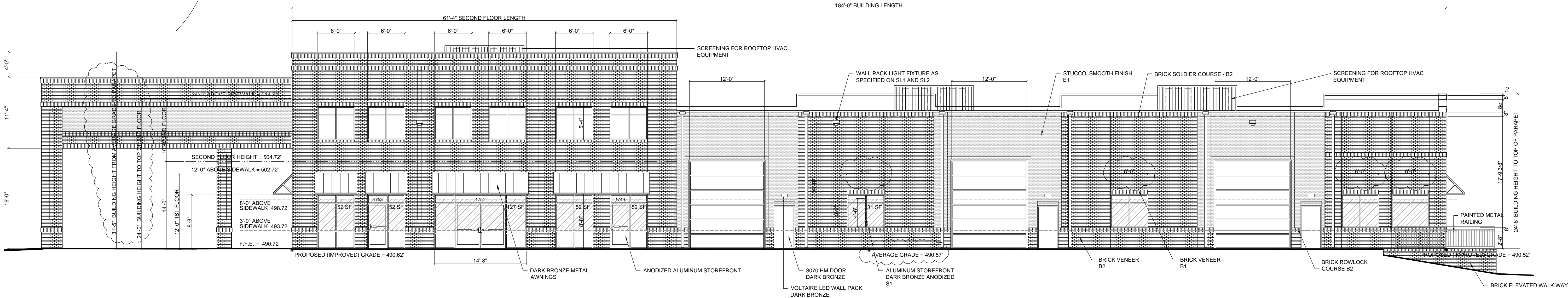
UPPER FLOOR	2,072
GROUND FLOOR	10,667
TOTAL GROSS	12,739
CANOPY	1,533

Total Heated SF = 10,667 SF



01 First Floor Plan

Scale: 1/8" = 1'-0"



03 South Elevation - Western Boulevard (Primary)

Scale: 1/8" = 1'-0"

