

Case File / Name: ASR-0079-2020
WESTERN BOULEVARD AUTO SALES/ SERVICE FACILITY

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

**LOCATION:** This site is located on the west side of Pineland Circle, north of Western Blvd at

5108 Western Boulevard.

**REQUEST:** Development of a 2.39 acre tract zoned IX-3 and SRPOD. Site currently has an

existing car sales building (1,205 sf) use or structure on site and this ASR is proposing a new 12,739 gross sf expansion car sales building. No change of use

is being proposed.

**DESIGN** 

ADJUSTMENT(S)/

ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of

approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 11, 2021 by NICK

INAYA.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

### General

- 1. Close the western driveway on Western Boulevard, and remove and restore any pavement according to NCDOT standards.
- 2. Show and label the top/bottom of retaining wall grades with detailed elevations in the Site Permit Review plan set, demonstrating compliance with UDO Sec.7.2.8 if applicable.
- 3. Show and label the "Proposed Right-of-Way" and "Existing Right-of-Way" on all plans sheets.
- 4. Revise the display parking vehicular surface design and landscaping areas to comply with UDO Sec.7.1.7.B.2 and Sec.7.1.7.D.1.
- 5. The average building height dimension, shown on sheet A1, is revised and measured from the post-development average grade #, per TC-4-20, for both sections of the proposed structure.

### **Engineering**

6. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

### Stormwater



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7. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

☑ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

Ø	Utility Placement Easement Required	Ø	Cross Access Agreements Required
Ø	Slope Easement Required		

☑ <u>RECORDED MAP(S)</u> - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

### General

1. Show the temporary construction easement on the development subject property PIN: 0784515652 at the cross access stub to property PIN: 0784516418.

### **Engineering**

- 2. A cross access agreement among the lots identified as PINs 0784515652 and 0784516418 and between PINs 0784515652 and 0784513537 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
- 3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
- 4. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
- 5. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.



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☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

### General

1. A Certificate of Compliance for the backflow device, signed and approved by Cross Connection staff, must be submitted with building submittal for the issuance of utility connection permits. Please contact Cross.Connection@raleighnc.gov for more info.

### **Engineering**

- A public infrastructure surety shall be provided to the City of Raleigh Development Services Development Engineering (UDO 8.1.3).
- 3. A fee-in-lieu for 158 linear feet of 6 ft sidewalk and curb and gutter along Western Boulevard shall be paid to the City of Raleigh (UDO 8.1.10).
- 4. A public infrastructure surety for 4 street trees shall be provided to the City of Raleigh Development Services Development Engineering (UDO 8.1.3).

### **Public Utilities**

5. A plat must be recorded at the Wake County Register of Deeds office for CORWLA easement dedication that is needed for the water meter that is inside of the right of way.

### **Urban Forestry**

6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 7 street trees along Pineland Circle.

The following are required prior to issuance of building occupancy permit:

### General

1. Final inspection of all right of way street trees by Urban Forestry Staff.

### **Stormwater**

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review



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approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: January 13, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

### 4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alusia Bailey Taylor. Date: 09/16/2021

Development Services Dir/Designee

Staff Coordinator: Jermont Purifoy



VICINITY MAP

### Site Information

Project Name: Auto Sales / Service Facility Location: 5108 Western Blvd. Raleigh, NC Pin Number: 0784515652 Deed Book/Page: 017040 / 02176 Zoning: IX-3 SPROD Current Use: Car Sales Proposed Use: Business (Vehicle Sales) Gross Lot Area= 2.39 acres (103.908 SF) Right of Way Dedication = 79.4 SF Net Lot Area= 2.38 acres (103,828.6 SF) Existing Impervious Surface: 90,462 SF Proposed Impervious Surface: 80,916 SE Project is not located within 100 yr. Floodplain. Amenity Area Reqd: 10% x 103,908 sf = 10,390 sf Amenity Area Provided: 11 415 sf Building Set Back - General Building Primary Street = 3' Side Street = 3'

### Upper Story Reg'd (min) = 9' Impervious Surface Calculations

**Building Floor Heights** Ground Story Req'd (min) = 11" Ground Story Provided (min) = 12'

Side Let Line = 0' or 6' Rear Let Line = 0' or 6'

Ground Story (min) = 20% Upper Story (min) = 20% Blank Wall Area (min) = 50'

90.462 SF Existing Impervious: Proposed Impervious After Improvem Project Sits = 78,442 sf Pineland Circle ROW = 2474 sf Impervious Surface Summary: Net Impervious Surface Change: 90,462 - 80,916 = -9546 sf

Gross floor area: 1205 sf (exist building) 12,739 sf (proposed General building) Gross floor area: 13,944 sf (Total) Vehicle Display Area = 45,554 sf

### Parking Requirements:

Vohicle Sales - 1 space / 1000 of Grees Floor Area or Vehicle Display Area = 1 space / 4500 sf Display Area

## Sales Area

Vehicle Sales Area = 45,554 sf / 4500 sf = 10 spaces or Gross Floor Area = 13,944 sf / 1000 sf = 14 spaces

### Total Parking Required: 14 spaces Total Parking Provided: 20 Spaces

Handicap Parking Required - Total Required: 2 Spaces Handicap Parking Provided: 3 Spaces

Parking Surface Ratio = 20 Spaces / 14 Spaces = 143% Display Parking Spaces = Total 189 Spaces

Parking Set Back (Required) - General Building IX Primary Street = 10'

Side Lot Line = 0' or 3' Rear Lot Line = 0' or 3

# Preliminary Site Plan ASR-0079-2020 **Auto Sales / Service Facility** 5108 Western Blvd

City of Raleigh Wake County, North Carolina

OHELL	DESCRIPTION
	Cover Sheet
	Existing Conditions Survey
C1	Exist Conditions / Demolition Plan
C2	Site Plan
C3	Grading Plan
C4	Utility Plan
C5	Landscape and Tree Conservation Plan
SL1	Site Lighting Plan
SL2	Site Lighting Fixture Specifications
D1	Site Details
D2	Site and Roadway Details
D3	Utility Details
A1	Architectural 1st Floor Plan and Elevations
A2	Architectural Upper Floor Plan and Elevation

DESCRIPTION

### PROJECT INFORMATION:

PHONE:

FMAIL:

PHONE:

SURVEYOR:

SHEET

PROJECT: AUTO SALES / SERVICE FACILITY PRELIMINARY SITE PLAN OWNER/DEVELOPER: NORTH STAR INVESTMENTS OF RALEIGH, LLC 5108 WESTERN BLVD RALEIGH, NC 27806 PHONE: (914) 413-8183 CONTACT: ATLASCARRIERS1@GMAIL.COM ENGINEER

> 4932 B WINDY HILL DRIVE RALEIGH, NC 27609 (919) 210-3934

TURNING POINT SURVEYING 4113 JOHN S. RABOTEAU WYND

KEITH GETTLE, PE CBAENGINEERS, INC.

KGETTLE@CAAENGINEERS.COM

RALEIGH, NC 27612

# Administrative Site Review Application This form is required when extending site plans as referenced in Unified Development Ordinance (UDC) Sector 10.2.8. Please check the appropriate building types and induce the part check is document when submitting. | Subdivision case #: Scoping/sketch plan case #: Scoping Detached

Attached Apartmen Townhouse GENERAL INFORMATION Development name: Western Blvd Auto Sales / Service Facilit Inside Citylimits? Yes No Property address(es): 5108 Western Blvd, Raleigh NC Devalop rear portion of the project with the expansion of the vehicle sales and the construction of nev building facility. NOTE: please attach purchase agreement when submitting this form Company: North Star Investments, LLC reco: 142+ Lorimor, Rd, Raleigh NO 27000 Phone #: 919-413-8183 Applicant Name: Nick Ingus Company: North Star Investments Address: 1424 Lorimer Rd., Raleigh NC 27606

### GENERAL NOTES

1. BOUNDARY AND TOPO INFORMATION TAKEN FROM TURNING POINT SURVEYING, TITLED "NORTH STAR INVESTMENTS OF RALEIGH, LLC", DATED NOVEMBER 28, 2017.

2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES & SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM HIS ACTIVITIES, CALL UTILITY LOCATOR SERVICE AT LEAST 48 HOURS PRIOR TO DIGGING.

3. ALL CONSTRUCTION WILL BE IN STRICT CONFORMANCE TO THE CITY OF RALEIGH AND NODOT STANDARDS AND SPECIFICATIONS.

4. NO CHANGES MAY BE MADE TO THE APPROVED DRAW WITHOUT WRITTEN PERMISSION FROM THE ISSUING

5. PER TC-6A-18 THE PRIMARY STREET DETERMINATION IS

SOLID WASTE COMPLIANCE STATEMENT:

DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)				
SITEDATA	BUILDING DATA			
Zoning district (if more than one, please provide the acreage of each):	Existing gross fleor area (not to be demolished): 1205 SF			
DC3	Existing gross floor area to be demolished:			
Gross sta screege: 2.39 acres	New gross floor area: 12,739 SF			
# of parking spaces required: 14	Total afgross (to remain and new): 13,944SF			
# of parking spaces procesed: 21	Preposed # of buildings: 1			
Overlay District (if applicable): Residential Parking	Proposed # of stories for each: 2			
Existing use (UDO 6.1.4): Vehicle Sales				
Proposed use (UDO 6.1.4): Vehicle Sales	7			

ST	ORMWATER	INFORMATION		
Existing Impervious Surface: Acres: 2.97 Square Feet: 9	462	Proposed Imp Acres: 185	ervious Surface Squar	: n Feet_ 80,916
Is the a flood hazard area? Yes If yes, please provide: Alluvial soits: NA FEMA Map Panel #:	Ø No			
Neuse River Buffer Yes N	c	Wetlands	☐ Yes	₩ No
RES	IDENTIAL D	EVELOPMENTS	DE CITAL DE	
Total # of dwelling units 0		Total ≠ of hote	l units:	0
# of bedroom units: 1br 2br	3br	4br or mo	е	

A SOURCE STREET, SECURITION OF STREET, SECUR	Bronognities.	-	EVELOPMENTS
Total # of dwelling units	0		Total ≠ of hotel units: 0
# of bedroom units: 1br	2br	3br	4br or more
# of lots:			is your project a cottage coun? Yes No

ed, acknowledge, and effirm that this project is contorwing to all application requirements thin proposed development use. I acknowledge that this application is subject to the filling

Acres Ora Date: 9 28/2020 NICK INAYA

Right-of-Way Obstruction Notes:

Email: Atlascarriers1@gmail.com

. Street, Lane, and Sidewalk closures or detours: Prior to any work that impacts the right-of-way or closing of any street, lane, or sidewalk, the contractor must apply for a permit with Right-of-Way Services.

• A permit request with a traffic control and/or pedestrian plan shall be

submitted to rightofwayeervices@raleighnc.gov at www.raleighnc.gov

· Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspections Coordinator to review the specific components of the approved plan, and ensure all permits are

 The City of Raleigh requires an approved Right-of-Wey Obstruction Permit for work on any public street or sidewalk and NCDOT road within

 All Traffic Control Signage and practices shall adhere to the Manual on Uniform Traffic Control, and the latest edition of the NCDOT "Standard Specification for Roadway Structures, NCDOT "Foodway Standard Drawing Manual", and the NCDOT supplement to the NUTCD.

• All public sidewalks must be accessible to pedestrians who are visually

impaired and/or people with mobility concerns. Existing and alternative podestrian ruses during constructors shall be required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the AAO Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (NUTCD).

All permits must be available and visible on site during the operation.

Sketch Plan Review (Scope-0042-2020)





SWS Will Serve Letter



caaENGINEERS, Inc.

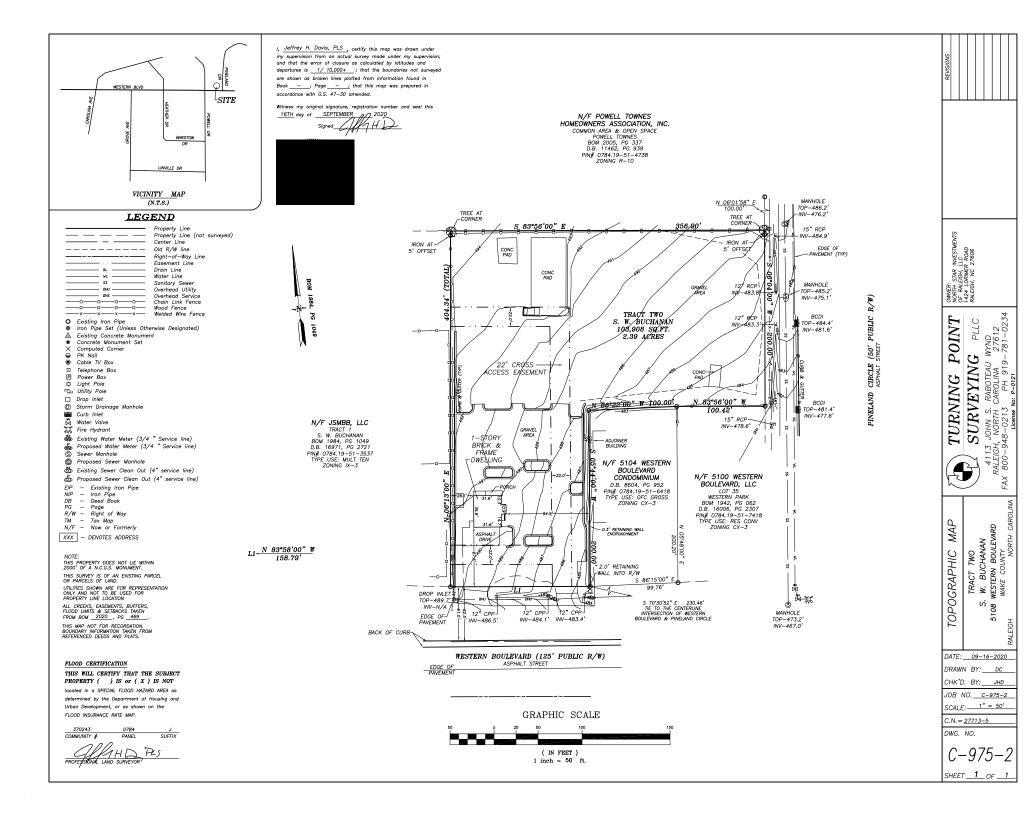
McIntyre, Gettle, Crowley PROFESSIONAL ENGINEERS

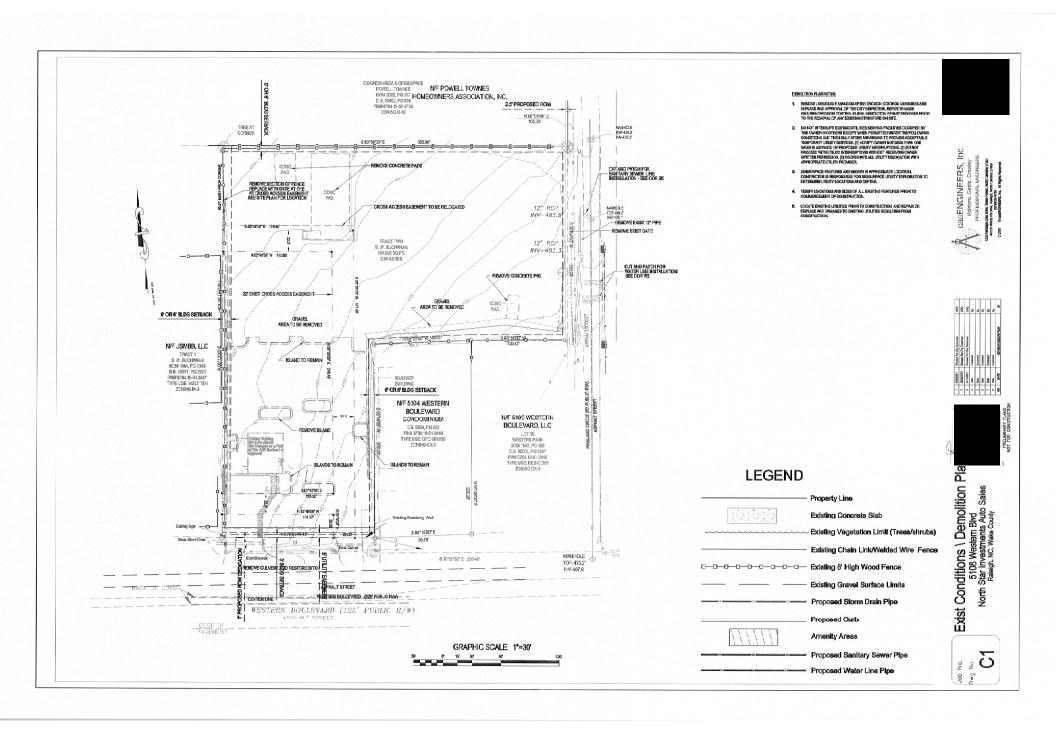
1233 Heritage Links Drive, Wake Forest, North Carolina 27587 4932B Windy Hill Drive, Raleigh, North Carolina 27609 (919)625-6755

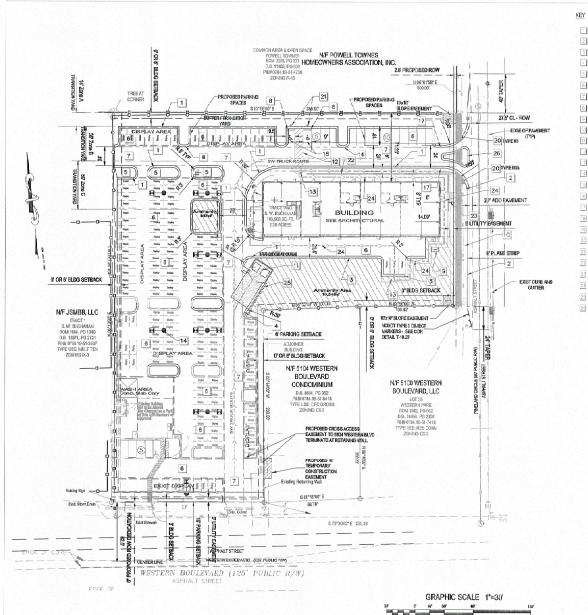
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PRELIMINARY DO NOT USE FOR CONSTRUCTION







KEYED NOTES - SITE PLAN

24" STANDARD CONCRETE CURB AND GUTTER 2 30" STANDARD CONCRETE CURB AND GUTTER IN STREET - SEE RALEIGH DETAIL

3 24" ROLL TYPE" CURE AND GUTTER - SEE DETAIL

TIE INTO THE EXISTING CURB

LANDSCAPE ISLAND - SEE SHEET LS1 (LANDSCAPE FLAN)

STANDARD-DUTY BITUMINOUS PAVING - PRIMAR LY IN PARRING AREAS
 HEAVY-DUTY BITUM NOUS PAVING - PRIMARILY IN DRIVE ARILES - SEE CETAIL.

ANSLES - SIE: DETAIL

WHEEL STOP - SET 24" CLEAR FROM EDGE OF SPACE AT
HANDICAP PARKING.

8" x 18" PAINTED PARKING SPACE STRIPING LISING 4"
WIDE WHITE STRIPES.

"THK. STANDARD CONCRETE WALK, 6" WIDE UNLESS
OTHERWISE NOTED.

11 B' MASONRY DUMPSTER ENCLOSURE & PAD - SEE DETAIL

B' PAINTED CROSSWALK USING 8" WIDE WHITE STRIPES

3 HANDICAP RAMP, SEE DETAIL.

LIGHT FOLE AND FIXTURE BY DUKE POWER SEE LIGHTING PLAN 20' STREET SCAPE AREA - SEE LANDSCAPE PLAN

TRANSITION FROM 50" CLIRB & GUTTER TO 24" CURB & GUTTER AT CURB TURNOUT.

PAINTED INVERSAL HANDICAPPED SYMBOL AND HANDICAPPED ACCESS ANSLE STRIPING.

19 BICYCLE PARKING (4'x8') CONC. PAD AND RACK - SEE DETAIL CITY OF RALEIGH HANDICAP RAMP - SEE COR DETAILS T-20.01.2 AND T-20.01.3

21 HANDICAP PARKING SIGNAGE - SEE DETAIL

22 RETAINING WALL - MAX HEIGHT 4"

2.5 BUILDING STEPS - SEE ARCHITECTURAL

24 HANDICAP ACCESSIBILE ROUTE

26 MONOLITHIC TRAFFIC ISLAND- WITH HANDICAP RAMP SIMILAR TO COR DETAIL T20.02

#### SITE NOTES

- ALL CUPE DIMENSIONS ARE MEASURED TO BACK OF CUPB, AND ALL CUPB PACKLARE S
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- ALL BASEAND PAVING WORK SHALL COMPLY WITH CITY OF PALENCH STANDARDS
- ALL HANDSCAPPED PARKING SPACES, ARKER RALES, BIGHASE, PAVELENT CROSSWALKS, AND ACCESSIBLE ROUTES SHALL MEET APPLICABLE SITS OF THE NORTH CAROLINA ACCESSIBILITY CODE.
- ATT HUMBLEP ACCESSIONE PARKING SPACES SHALLHAVE AURO-S AND ROSE SIG
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- TISMS TO EXSTM3 PAVEMENT, CURBS, WALKS, ETC. SHALL BE LIACE WITH NEAT EDGES AND SUCCOTIL, ORDIDUL TRANSFICKS THAT ARE SAFE FUNCTIONAL, DURABLE, AND VISUALLY ACCEPTABLE TO THE OWNER AND REVIEW AUTHORITIES.
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- ANY UNUSED EGSTING UTILITY SERVICES SHALL SEARANDONED AT THE TAP (JUAIN) AND REMOVED FROM ROW OR EASEMENT PER PUBLIC UTILITIES HANDBOOK.
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- 17. PER TOSA-16 THE FRAMANY STREET DETERMINATION IS WESTERN BLVO

Site Information

Project Name: Auto Salas / Service Facilit Location 5168 Western Blvd. Faleign, NO Pin Number: 0784515652 Deed Book/Page: 017049 / 02176 Zoning: DK-3 SFROD Current Use: Car Sales Proposed Use: Business (Vehicle Sales Gross Lot Area\* 2:39 acres (103,938 SF) Fight of Way Decication = 79.4 SF Lot Area - 200 eeros (105,023 0 0 Existing Impervious Surface: 90,462 SF Proposed Impervious Surface: 80.915 SE Project is not located within 100 yr. Floodela Amenity Area Regit 10% x 103,908 sf = 10,390 s Amenity Area Provided: 11,415 sf Building Set Back - General Building

Impervious Surface Calculations

Existing Impervious:
Proposed Impervious After Improvements:
Project Site = 78,442 sf
Pineland Circle ROW = 2474 sf

mpervicus Surface Summary: Net Impervicus Surface Change: 90,462 - 80,918 = -6548 sf Parking Calculations

Gicss floor area: 1205 of (exist building) 12,739 of (proposed General Gicss floor area: 13,944 of (fotal) Vehicle Display Area = 45,554 of

Parking Requirements: Veltide Sales = 1 space / 1000 st Gross Floor Area or Veltide Display Area = 1 space / 4500 st Display Area Whitnever is Greater

Sales Area Vehicle Sales Area = 45,554 st / 4500 st = 10 spaces or Gross Roor Area = 13,944 st / 1000 st = 14 spaces Total Parking Required: 14 spaces Total Parking Provided: 20 Spaces

Handicap Paiking Required - Total Required: 2 Spaces Handicap Paiking Provided: 3 Spaces Farting Surface Ratio = 20 Spaces # 14 Spaces = 143% Elisplay Parking Spaces = Total 189 Spaces

Parking Se: Back (Required) - General Building IX Primary Street = 10° Side Street = 10° Side Lot Line = 0° or 3°

caaENGINEERS,





Sales Site Plan 5108 Western Blvd n Star Investments Auto S Raleigh, NC, Wake Courty Set

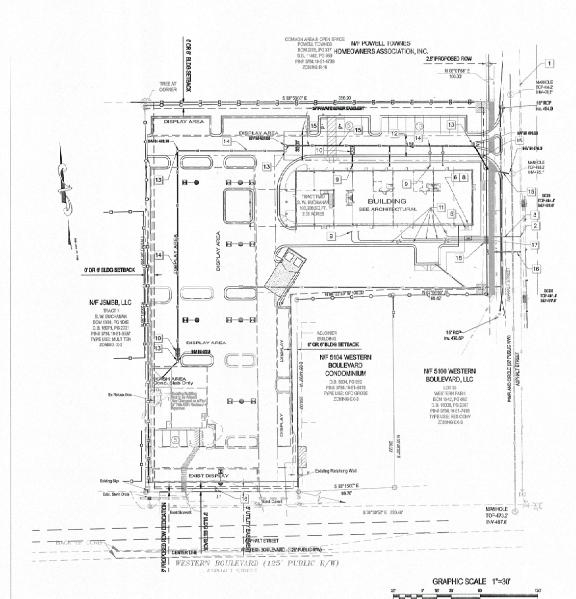
Job

PRELIMINARY

DO NOT USE FOR

CONSTRUCTION

o o O



KEYED NOTES UTILITY PLAN

3 18" COPPURSURMOE LINE

4 | 6' x 6' HYDRAUT THE 6"GATE VALVE WITH BOX, AND FIVE BYDRAUT ASSESSELY.

5 LECEPGROUND ELECTRIC SERVICELINE AND PAD MOUNTED TRANSFORMER SHOWS BCT BLATECALLY, CONTRACTOR SHALL INVERSE FLOXIBLE FOR BESCHIC SERVICE,

6 H. ECHRIC METER LOCATION ON BUILDING (SHOWN SCHEMATICALLY), VERBY EXACT LOCATION WITH AND SET MODERNICE PROVIDER.

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UTILITY SPECIFICATIONS

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HI AND OR NODOT IN ACCOMPANCE WITH THEIR RECOMMENDATISFICOR TO

ENGINEER AND TESTING SERVICE AT LEAST TWO BUSINESS DAYS PRIOR

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FRE PROTECTION

WATER BURNS SHALL RESISTALISE AND BURN OPERATORIAL ASSOCIATION OF THE PROTECTION OF THE PROPERTY OF THE PROPER ACTIVE FINE INTO ANT SERVICE DURING BUILDING CONSTRUCTION.

COORDINATE TYPE AND LOCATION OF INFORMINE, FRE DEPARTMENT CONNECTIONS, AND OTHER CITY OF RALEIGHUTLITY NOTES:

LALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE COR PUBLIANCEGOK, CURRENT EDITION)

REPRESENCE COR PROMINEDONO, CURRENT ENTITLY

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3) A DESTALCE OF 100 BILLIE BEMBRANDED BETWEENBALLATIANY SERVER

4) PROVINCE DESTALLOR CONTROL BETWEEN SERVER

ADECLATE AND PROVINCE DESTALLOR SERVER

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O, PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES

EXCEEDING 50 PSE BACKWATER VALVES ARE REQUIRED ON ALL SAUTARY SEWER

SERVICES HAWING BUILDING DRAINS LOWER THAN 1.0" ABOVE THE NEXT LIPSTREAM

EXCESSION GIVEN EXCANATIVATIVATES ARE RECLIERS CHAFFE SAFETY FREE SERVICES INAUDICAL RESIDENCES AND EXCESSION CONTROL LIGHER EXPONENTIAL TO THE PRODUCT MANY THE CONTROL RESIDENCE AND EXCESSION CONTROL RESIDENCE AND EXC



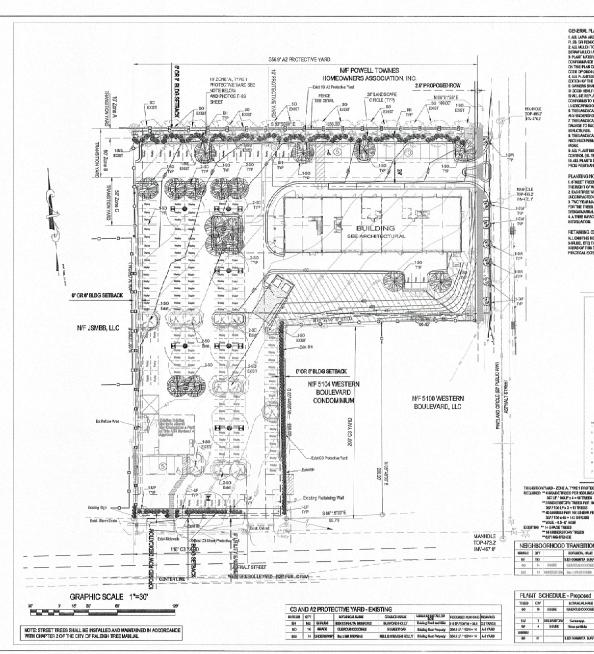
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CAAENGINEERS, I
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PROFESSIONAL ENGINEERS

Sales Utility Plan 5108 Western Blvd Star Investments Auto S Raleigh, NC, Wake County



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GENERAL PLANTING NOTES

GENERAL FLAMING NOTES

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WORK

9. ALL PLANTEEDS SHALL BE TREATED WITH PRE-EMERGENT WEED

CONTROL (I.E. TREPLAN). CONTROL (JE. TREFLAN).

10. ALL PLANTS SHALLEE VIGOROUS, HEALTHY MATERIAL FREE FROM PESTS AND DISEASE.

PLANTING NOTES

PLANTING HOTES 
IN STREET THESE WILL BE RECURRED AT 44" ON CENTER WITHIN THE RIGHT OF WAY MIN A FOOT TREE LUAN. 
EACH TIESE WILL BELINEBOO CALOUP FEET OF IMPROVED / 
UNCOMPACTED SOL BETWEEN THE CARRAINS BIRDWALK. 
AN WOT VERANIMATION CAN DO WINNEY WILL BE RECURRED FOR THE TREES AMOUNT BEFORD THE RULESH STREET 
DESIGNATURING BETORISES (15.1 NO. 15.1 NO.

RETAINING EXISTING VESETATION
ALL BASTING HEALTHY VESETATION (NASTVETREES, SPELIS, ETC) HAVE ESSITS OUTSIDE THE PROPOSED DISTURBED ASPINS OF THIS DEVELOPMENT IS TO BE RETAINED TO THE MOST PRACTICAL EXCENTROSSES.

#### UDC Article 9.1 Tree Conservation

Project Name 5108 Western Blvc

	Gross Site Acres:	2.39
Right of way to be dedicated	with this project:	0
	Net Ste Acres	2.39

	Number of Acres		Percent of	
UDO 9.1.4 A Primary Tree Conservation Areas				
1. Primary Tree Conservation Area - SHOD 1	NA.	ac	0	56
1. Primary Tree Conservation Area - SHOD 2	NA	20	0	%
2. Primary Tree Conservation Area - Parkway Frontage	NA.	80	0	%
3. Primary Tree Conservation Area - CM	NA	90	0	56
4. Primary Tree Conservation Area - MPCIC	NA	90	0	56
5. Primary Tree Conservation Area - Champion Tree XX* don species	NA	a:	0	%
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	.NA	80	0	%
7. Primary Tree Conservation Area - 45% Slopes	NA	90	0	56
8. Primery Tree Conservation Area - Thoroughiere	NA.	60	0	%
Subtotal of Primary Conservation Areas:	3	BC	0	%
UDO 9.1.4.0.2 Tree Conservation Area - Greenway	NA	30	0	%
UDO 9.1.8.1.a.& b. Secondary Free Conservation Areas				
(include perimeter buffers and their alternate compliance areas)	0	80	0	%
UDO 91.4 B.1.c & d. Individual Tree Secondary Tree Conservation Areas				
(Include incividual trees and their alternate compliance preas)	0	ac	)	%
Subtotal of Secondary Conservation Areas:	0	ac	0	%
TOTAL ALL TREE CONSERVATION AREA PROVIDED	0	80		%



TRAINTIDATYARD - ZONE A, TYPE I PROTECTINE YARD REQUIRED. \*\*4 SHADE TREES PER 100 LINEAR FREET 357 LP / 104 Fr x = 41 TREES \*\*\* SHADE GROTEN TREES PER 100 LINEAR FREET SEY/100 LP x 3 = 11 TREES \*\*\* AND SHADE GROTEN FOR LINEAR FREET SEY/100 LP x 3 = 11 TREES FREET SEY/100 LP x 3 = 11 TR

"14 UNDERSTORY TREES "6.5" HIGH FENCE

BERNA	QIY	14-11-5	BOYANICAL WALKE	CCSTATON INTER	MHINTH PRINTED	"YHANE!"	REMAKS
661	183		ILEX CORNUTA BURFORDI	BURLECED HOLLY	& HARRED	14"	
10	14	SHAME	CHERCUS COCCINES	SCARLET GAK	S"DAL	10"	(EXCET) LIATRICE (§ 60
203	14	UNDERSTORE	Bac x MRETEVENS	NELLIE STEVENS HOLLY	Z SPREAD		(EXSE) BLATLINE @ 307

SCAR FLOAK

C-WASSE B.M





VIEW OF EXISTING WOOD FENCE AND ZONE A NEIGHBORHOOD TRANSITION YARD

Landscape \ Tree Conservation 5108 Western Bird North Star Investments Auto Sales Raleigh, NC, Wake County

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caaENGINEERS,

