



# Administrative Approval Action

Case File / Name: ASR-0079-2020  
WESTERN BOULEVARD AUTO SALES/ SERVICE FACILITY

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the west side of Pineland Circle, north of Western Blvd at 5108 Western Boulevard.

**REQUEST:** Development of a 2.39 acre tract zoned IX-3 and SRPOD. Site currently has an existing car sales building (1,205 sf) use or structure on site and this ASR is proposing a new 12,739 gross sf expansion car sales building. No change of use is being proposed.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 11, 2021 by NICK INAYA.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Close the western driveway on Western Boulevard, and remove and restore any pavement according to NCDOT standards.
2. Show and label the top/bottom of retaining wall grades with detailed elevations in the Site Permit Review plan set, demonstrating compliance with UDO Sec.7.2.8 if applicable.
3. Show and label the "Proposed Right-of-Way" and "Existing Right-of-Way" on all plans sheets.
4. Revise the display parking vehicular surface design and landscaping areas to comply with UDO Sec.7.1.7.B.2 and Sec.7.1.7.D.1.
5. The average building height dimension, shown on sheet A1, is revised and measured from the post-development average grade #, per TC-4-20, for both sections of the proposed structure.

### **Engineering**

6. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

### **Stormwater**



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7. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Easement Required
<input checked="" type="checkbox"/>	Slope Easement Required

<input checked="" type="checkbox"/>	Cross Access Agreements Required
-------------------------------------	----------------------------------

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## General

1. Show the temporary construction easement on the development subject property PIN: 0784515652 at the cross access stub to property PIN: 0784516418.

## Engineering

2. A cross access agreement among the lots identified as PINs 0784515652 and 0784516418 and between PINs 0784515652 and 0784513537 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
4. A Slope easement deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
5. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.



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☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

*The following items must be approved prior to the issuance of building permits:*

## General

1. A Certificate of Compliance for the backflow device, signed and approved by Cross Connection staff, must be submitted with building submittal for the issuance of utility connection permits. Please contact Cross.Connection@raleighnc.gov for more info.

## Engineering

2. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
3. A fee-in-lieu for 158 linear feet of 6 ft sidewalk and curb and gutter along Western Boulevard shall be paid to the City of Raleigh (UDO 8.1.10).
4. A public infrastructure surety for 4 street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

## Public Utilities

5. A plat must be recorded at the Wake County Register of Deeds office for CORWLA easement dedication that is needed for the water meter that is inside of the right of way.

## Urban Forestry

6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 7 street trees along Pineland Circle.

*The following are required prior to issuance of building occupancy permit:*

## General

1. Final inspection of all right of way street trees by Urban Forestry Staff.

## Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review



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approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** January 13, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

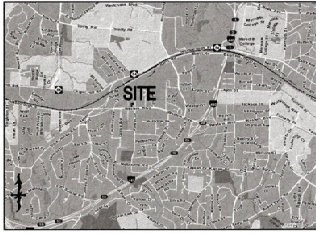
**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Alysia Bailey Taylor* Date: 09/16/2021  
Development Services Dir/Designee  
Staff Coordinator: **Jermont Purifoy**





VICINITY MAP  
Not to Scale

## Site Information

Project Name: Auto Sales / Service Facility  
Location: 5108 Western Blvd.  
Raleigh, NC  
Pin Number: 0784515682  
Deed Book/Page: 017040 / 02176  
Zoning: U-3 SPROOD  
Current Use: Car Sales  
Proposed Use: Business (Vehicle Sales)  
Gross Lot Area= 2.39 acres (103,908 SF)  
Right of Way Dedication = 73.4 SF  
Net Lot Area= 2.38 acres (103,528.6 SF)  
Existing Impervious Surface: 80,462 SF  
Proposed Impervious Surface: 80,916 SF  
Project is not located within 100-yr. Floodplain.  
Amenity Area Req'd: 10% x 103,908 sf = 10,390 sf  
Amenity Area Provided: 11,415 sf  
Building Set Back - General Building  
Primary Street = 3'  
Side Street = 3'  
Side Lot Line = 0' or 5'  
Rear Lot Line = 0' or 6'  
Building Transparency  
Ground Story (min) = 20%  
Upper Story (min) = 20%  
Blank Wall Area (min) = 50'  
Building Floor Heights  
Ground Story Height (min) = 11'  
Ground Story Height (max) = 12'  
Upper Story Height (min) = 9'  
Upper Story Height (max) = 10'  
Impervious Surface Calculations  
Existing Impervious: 80,462 SF  
Proposed Impervious after Improvements: 80,916 SF  
Project Site = 78,442 sf  
Pine/land Circle ROW = 2474 sf  
Impervious Surface Summary:  
Net Impervious Surface Change: 90,462 - 80,916 = -9546 sf

### Parking Calculations

Gross floor area: 1205 sf (exist building)  
12,759 sf (proposed General building)  
Gross floor area: 13,944 sf (Total)  
Vehicle Display Area = 45,554 sf

### Parking Requirements:

Vehicle Sales = 1 space / 1000 of Gross Floor Area or  
Vehicle Display Area = 1 space / 4500 sf Display Area  
Whichever is Greater  
Sales Area  
Vehicle Sales Area = 45,554 sf / 4500 sf = 10 spaces or  
Gross Floor Area = 13,944 sf / 1000 sf = 14 spaces  
Total Parking Required: 14 spaces  
Total Parking Provided: 20 Spaces  
Handicap Parking Required - Total Required: 2 Spaces  
Handicap Parking Provided: 3 Spaces  
Parking Surface Ratio = 20 Spaces / 14 Spaces = 143%  
Display Parking Spaces = Total 189 Spaces

Parking Set Back (Required) - General Building IX  
Primary Street = 10'  
Side Street = 10'  
Side Lot Line = 0' or 3'  
Rear Lot Line = 0' or 3'

# Preliminary Site Plan ASR-0079-2020

## Auto Sales / Service Facility

### 5108 Western Blvd

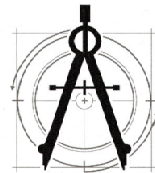
#### City of Raleigh

#### Wake County, North Carolina

SHEET	DESCRIPTION
C1	Cover Sheet
C2	Existing Conditions Survey
C3	Exist Conditions / Demolition Plan
C4	Site Plan
C5	Grading Plan
SL1	Utility Plan
SL2	Landscape and Tree Conservation Plan
D1	Site Lighting Plan
D2	Site Lighting Fixture Specifications
D3	Site Details
A1	Site and Roadway Details
A2	Utility Details
	Architectural 1st Floor Plan and Elevations
	Architectural Upper Floor Plan and Elevations

### PROJECT INFORMATION:

PROJECT: AUTO SALES / SERVICE FACILITY  
PRELIMINARY SITE PLAN  
OWNER/DEVELOPER: NORTH STAR INVESTMENTS OF RALEIGH, LLC  
5108 WESTERN BLVD  
RALEIGH, NC 27606  
(919) 413-8183  
CONTACT: NASEEM INAYA  
EMAIL: ATLASCARRIERS1@GMAIL.COM  
ENGINEER: KEITH GETTLE, PE  
caaENGINEERS, INC.  
4932 B WINDY HILL DRIVE  
RALEIGH, NC 27609  
(919) 210-5834  
PHONE: KGETTLE@CAENGINEERS.COM  
SURVEYOR: TURNING POINT SURVEYING  
4115 JOHN S. RASOTEAU WYND  
RALEIGH, NC 27612  
PHONE: (919) 781-0234



caaENGINEERS, Inc.  
McIntyre, Gettle, Crowley  
PROFESSIONAL ENGINEERS

1233 Heritage Links Drive, Wake Forest, North Carolina 27587  
4932B Windy Hill Drive, Raleigh, North Carolina 27609  
(919) 625-6755

C-2151 © caaENGINEERS, Inc. All Rights Reserved

### Administrative Site Review Application

Planning and Development Customer Service Center - One Exchange Plaza, Suite 101 Raleigh, NC 27601 919-996-5200

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and indicate the year checked at document when submitting.

Office Use Only: Case # _____		Owner print: _____	
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse		<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Open lot <input type="checkbox"/> Other	
Subdivision case # _____ Subdivision plan case # _____ Certificate of Appropriateness # _____ Board of Adjustment # _____ Zoning Case # _____ Interim Use Permit # _____		Building Type: _____ Site Transaction History: _____	
GENERAL INFORMATION			
Development name: Western Blvd Auto Sales / Service Facility			
Is this a historic site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
Property address(es): 5108 Western Blvd, Raleigh NC			
Site # (N/E/S/W): 0764515682			
Please describe the scope of work, including any additions, renovations, and change of use.			
Develop rear portion of the project with the expansion of the vehicle sales and the construction of new building facility.			
Current Property Owner/Developer Contact Name: _____			
NOTE: please attach purchase agreement when submitting if it is form.			
Company: North Star Investments, LLC		Title: Manager	
Address: 1424 Lottin Rd., Raleigh, NC 27606		Phone: 919-413-8183	
Email: nstarinvestments@gmail.com		Fax: 919-413-8183	
Agent Name: Nick Inaya		Address: 1424 Lottin Rd., Raleigh, NC 27606	
Company: North Star Investments		Phone: 919-413-8183	
Email: nstarinvestments@gmail.com		Fax: 919-413-8183	

### Right-of-Way Obstruction Notice:

- Street, Lane, and Sidewalk closures or detours: Prior to any work that impacts the right-of-way or closing of any street, lane, or sidewalk, the contractor must apply for a permit with Right-of-Way Services.
- A permit request with a traffic control and/or pedestrian plan shall be submitted to [rightofwayservices@raleighnc.gov](mailto:rightofwayservices@raleighnc.gov) at [www.raleighnc.gov](http://www.raleighnc.gov) Keyword: "Right-of-Way Services."
- Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspections Coordinator to review the specific components of the approved plan, and ensure all permits are issued.
- The City of Raleigh requires an approved Right-of-Way Obstruction Permit for work on any public street or sidewalk and NCDOT road within Raleigh's Jurisdiction.
- All Traffic Control Signage and practices shall adhere to the Manual on Uniform Traffic Control, and the latest edition of the NCDOT "Standard Specification for Roadway Structures", NCDOT "Roadway Standard Drawing Manual", and the NCDOT supplement to the MUTCD.
- All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing and alternative pedestrian routes during construction shall be required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (MUTCD).
- All permits must be available and visible on site during the operation.

Sketch Plan Review (Scope-0042-2020)

### GENERAL NOTES

1. BOUNDARY AND TOPO INFORMATION TAKEN FROM TURNING POINT SURVEYING, TITLED "NORTH STAR INVESTMENTS OF RALEIGH, LLC", DATED NOVEMBER 26, 2017.
  2. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM HIS ACTIVITIES. CALL UTILITY LOCATOR SERVICE AT LEAST 48 HOURS PRIOR TO DIGGING.
  3. ALL CONSTRUCTION SHALL BE IN STRICT CONFORMANCE TO THE CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
  4. NO CHANGES WILL BE MADE TO THE APPROVED DRAWINGS WITHOUT WRITTEN PERMISSION FROM THE ISSUING AUTHORITY.
  5. PER TO-64-18 THE PRIMARY STREET DETERMINATION IS WESTERN BLVD.
- SOLID WASTE COMPLIANCE STATEMENT:**
- DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

DEVELOPMENT TYPE = SITE DATA TABLE	
(Applicable to all developments)	
<b>SITE DATA</b>	<b>BUILDING DATA</b>
Zoning district of more than one, please provide the acreage of each:	
U-3	Existing gross floor area (not to be demolished): 000 SF
	Existing gross floor area to be demolished: 0 SF
Gross site acreage: 2.39 acres	New gross floor area: 12,239 SF
# of parking spaces proposed: 14	Total of gross floor area and new: 13,244 SF
# of parking spaces proposed: 21	Proposed # of buildings: 1
Overlay District (if applicable): Residential Parking	Proposed # of stories for each: 2
Existing use (UD-0.1.4): Vehicle Sales	
Proposed use (UD-0.1.4): Vehicle Sales	
<b>STORMWATER INFORMATION</b>	
Existing Impervious Surface: Acres: 1.01	Proposed Impervious Surface: Acres: 1.01
Square Feet: 39,456	Square Feet: 39,456
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
7 year peak flow rate: _____	
10 year peak flow rate: _____	
Flood study: _____	
FEMA Map Panel #: _____	
House Floor 1st Floor: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	House Floor 2nd Floor: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>RESIDENTIAL DEVELOPMENTS</b>	
Total # of dwelling units: 0	Total # of total units: 0
# of detached units: 0	# of attached units: 0
# of lots: 0	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>SIGNATURES/STAMP</b>	
I hereby designate: Keith P. Gettle, PE, as my agent for this project. I agree to serve as my agent for this project, to receive and respond to all correspondence, to represent me in any public meeting regarding this application.	
I have read, understood, and agree that this project is conforming to all applicable requirements applicable with the proposed development plan. I acknowledge that this application is subject to the following conditions and that the applicant shall be responsible for ensuring that all conditions are met.	
Signature: <i>Nick Inaya</i>	Date: 9/25/2020
Printed Name: NICK INAYA	

Page 2 of 2

www.raleighnc.gov



4/1/2013

RECEIVED AT 4101 S. 14th St. (North Star Investments Area)

DATE: 9/25/2020

This notice is to inform the public that the City of Raleigh is currently reviewing the application for a Right-of-Way Obstruction Permit for the proposed development at 5108 Western Blvd. The City of Raleigh is currently reviewing the application for a Right-of-Way Obstruction Permit for the proposed development at 5108 Western Blvd. The City of Raleigh is currently reviewing the application for a Right-of-Way Obstruction Permit for the proposed development at 5108 Western Blvd.

Re: Right of Way

Tuesday, March 10, 2020

Republic Services



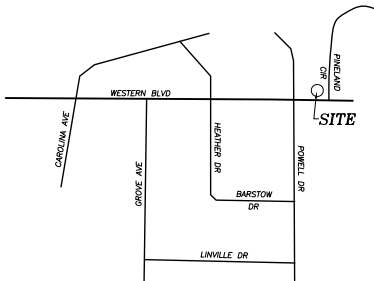
Republic Services, Inc. 10000 Republic Blvd. Suite 1000 Raleigh, NC 27603

SWS Will Serve Letter



Know what's below.  
Call before you dig.  
(Or call 1-800-432-4040)

PRELIMINARY  
DO NOT USE FOR  
CONSTRUCTION



VICINITY MAP  
(N.T.S.)

### LEGEND

---	Property Line
---	Property Line (not surveyed)
---	Center Line
---	Old R/W Line
---	Right-of-Way Line
---	Easement Line
---	Drain Line
---	Water Line
---	Sanitary Sewer
---	Overhead Utility
---	Overhead Service
---	Chain Link Fence
---	Wood Fence
---	Welded Wire Fence
○	Existing Iron Pipe
●	Iron Pipe Set (Unless Otherwise Designated)
△	Existing Concrete Monument
■	Concrete Monument Set
×	Computed Corner
●	PK Nail
●	Cable TV Box
□	Telephone Box
□	Power Box
×	Light Pole
○	Utility Pole
□	Drop Inlet
○	Storm Drainage Manhole
□	Curb Inlet
×	Water Valve
×	Fire Hydrant
○	Existing Water Meter (3/4" Service line)
○	Proposed Water Meter (3/4" Service line)
○	Sewer Manhole
○	Proposed Sewer Manhole
○	Existing Sewer Clean Out (4" service line)
○	Proposed Sewer Clean Out (4" service line)
EIP	Existing Iron Pipe
NIP	Iron Pipe
DB	Deed Book
PG	Page
R/W	Right of Way
TM	Tax Map
N/F	Now or Formerly
XXX	DENOTES ADDRESS

NOTE:  
THIS PROPERTY DOES NOT LIE WITHIN  
2000' OF A N.C.G.S. MONUMENT.  
THIS SURVEY IS OF AN EXISTING PARCEL  
OR PARCELS OF LAND.  
UTILITIES SHOWN ARE FOR REPRESENTATION  
ONLY AND NOT TO BE USED FOR  
PROPERTY LINE LOCATION  
ALL CREEKS, EASEMENTS, BUFFERS,  
FLOOD LIMITS & SETBACKS TAKEN  
FROM BOM 2020, PG 469.  
THIS MAP NOT FOR RECORDATION.  
BOUNDARY INFORMATION TAKEN FROM  
REFERENCED DEEDS AND PLATS.

### FLOOD CERTIFICATION

THIS WILL CERTIFY THAT THE SUBJECT  
PROPERTY ( ) IS or ( X ) IS NOT

located in a SPECIAL FLOOD HAZARD AREA as  
determined by the Department of Housing and  
Urban Development, or as shown on the  
FLOOD INSURANCE RATE MAP.

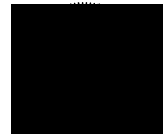
370243 0784 J  
COMMUNITY # PANEL SUFFIX

PROFESSIONAL LAND SURVEYOR

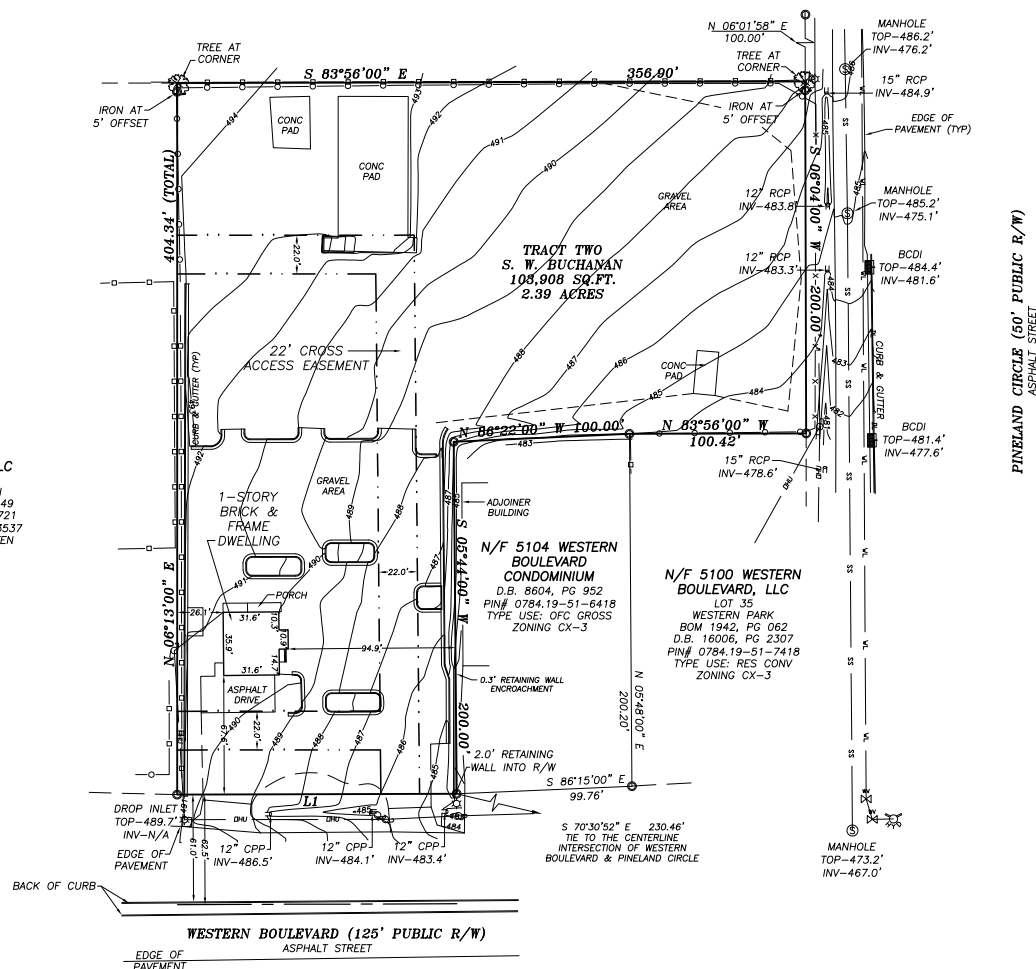
I, Jeffrey H. Davis, PLS, certify this map was drawn under  
my supervision from an actual survey made under my supervision;  
and that the error of closure as calculated by latitudes and  
departures is  $1/10,000+$ ; that the boundaries not surveyed  
are shown as broken lines plotted from information found in  
Book \_\_\_\_\_; Page \_\_\_\_\_; that this map was prepared in  
accordance with G.S. 47-30 amended.

Witness my original signature, registration number and seal this  
16TH day of SEPTEMBER, 2020

Signed JHD



N/F POWELL TOWNES  
HOMEOWNERS ASSOCIATION, INC.  
COMMON AREA & OPEN SPACE  
POWELL TOWNES  
BOM 2005, PG 337  
D.B. 11462, PG 939  
PIN# 0784-19-51-4738  
ZONING R-10

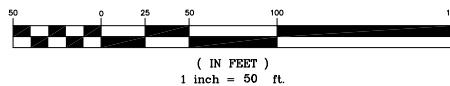


N/F JSMBB, LLC  
TRACT 1  
S. W. BUCHANAN  
BOM 1984, PG 1049  
D.B. 16971, PG 2721  
PIN# 0784-19-51-3537  
TYPE USE: MULT TEN  
ZONING IX-3

N/F 5104 WESTERN  
BOULEVARD  
CONDOMINIUM  
D.B. 8604, PG 952  
PIN# 0784-19-51-6418  
TYPE USE: OFC GROSS  
ZONING CX-3

N/F 5100 WESTERN  
BOULEVARD, LLC  
LOT 35  
WESTERN PARK  
BOM 1942, PG 062  
D.B. 16006, PG 2307  
PIN# 0784-19-51-7418  
TYPE USE: RES CONV  
ZONING CX-3

### GRAPHIC SCALE



PINELAND CIRCLE (50' PUBLIC R/W)  
ASPHALT STREET

TURNING POINT  
SURVEYING PLLC  
4113 JOHN S. RABOTEAU WYND  
RALEIGH, NORTH CAROLINA 27612  
FAX 800-948-0213 PH 919-781-0234  
License No. P-0121

TOPOGRAPHIC MAP

TRACT TWO  
S. W. BUCHANAN  
5108 WESTERN BOULEVARD  
WAKE COUNTY  
RALEIGH

DATE: 09-16-2020

DRAWN BY: DC

CHK'D. BY: JHD

JOB NO. C-975-2

SCALE: 1" = 50'

C.N. = 27713-5

DWG. NO.

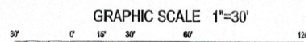
C-975-2

SHEET 1 OF 1

















# PROPOSED/IMPROVED GRADES

## BASED ON TC-4-BD

### SOUTH ELEVATION

HIGHEST = 490.02 (IMPROVED GRADE)  
LOWEST = 486.02 (IMPROVED GRADE)  
AVERAGE POST DEVELOPMENT GRADE = 490.57

# TRANSPARENCY TABLE - WESTERN BOULEVARD

FLOOR LEVEL	SQUARE FEET OF WALL	TRANSPARENCY REQUIRED (20%)	TRANSPARENCY PROVIDED	3'-0" TO 8'-0" TRANSPARENCY REQ'D.	3'-0" TO 8'-0" TRANSPARENCY PROVIDED
GROUND FLR.	12' x 194' = 2,328 SF*	2,208 x .20 = 441.6 SF	458 SF	220.8 SF (50% OF REQ'D 20%)	303 SF (PATCHED AREA)
2ND FLOOR	10' x 81'-4" = 813 SF*	613 x .20 = 122.7 SF	102 SF	N/A	N/A

\* MEASURED AS PER CITY OF RALEIGH U.D.D. SECTION 1.5.9.B

# TRANSPARENCY - UDO - Section 1.5.9.B

## B. General Requirements

1. The minimum percentage of windows and doors that must cover a ground story facade is measured between 0' and 12' above the adjacent sidewalk. More than 50% of the required transparency must be located between 7' and 8' of the building facade.

# TRANSPARENCY TABLE - PINELAND CIRCLE

FLOOR LEVEL	SQUARE FEET OF WALL	TRANSPARENCY REQUIRED (20%)	TRANSPARENCY PROVIDED	3'-0" TO 8'-0" TRANSPARENCY REQ'D.	3'-0" TO 8'-0" TRANSPARENCY PROVIDED
GROUND FLR.	12' x 58' = 696 SF*	696 x .20 = 139.2 SF	233.8 SF (33.6%)	89.8 SF (50% OF REQ'D 20%)	171.3 SF (PATCHED AREA)
2ND FLOOR	N/A	N/A	N/A	N/A	N/A

\* MEASURED AS PER CITY OF RALEIGH U.D.D. SECTION 1.5.9.B

Total Heated SF = 10,667 SF

# 02 East Elevation - Pineland Circle Side

Scale: 1/8" = 1'-0"

Area Data	
TYPE FLOOR	5,072
GROUND FLOOR	10,667
TOTAL GROUND	15,739
CANOPY	1,638

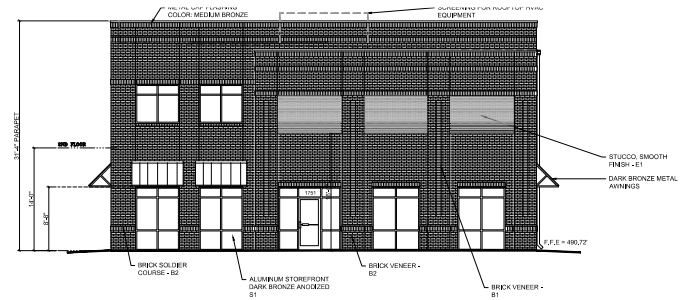
# 01 First Floor Plan

Scale: 1/8" = 1'-0"

# 03 South Elevation - Western Boulevard (Primary)

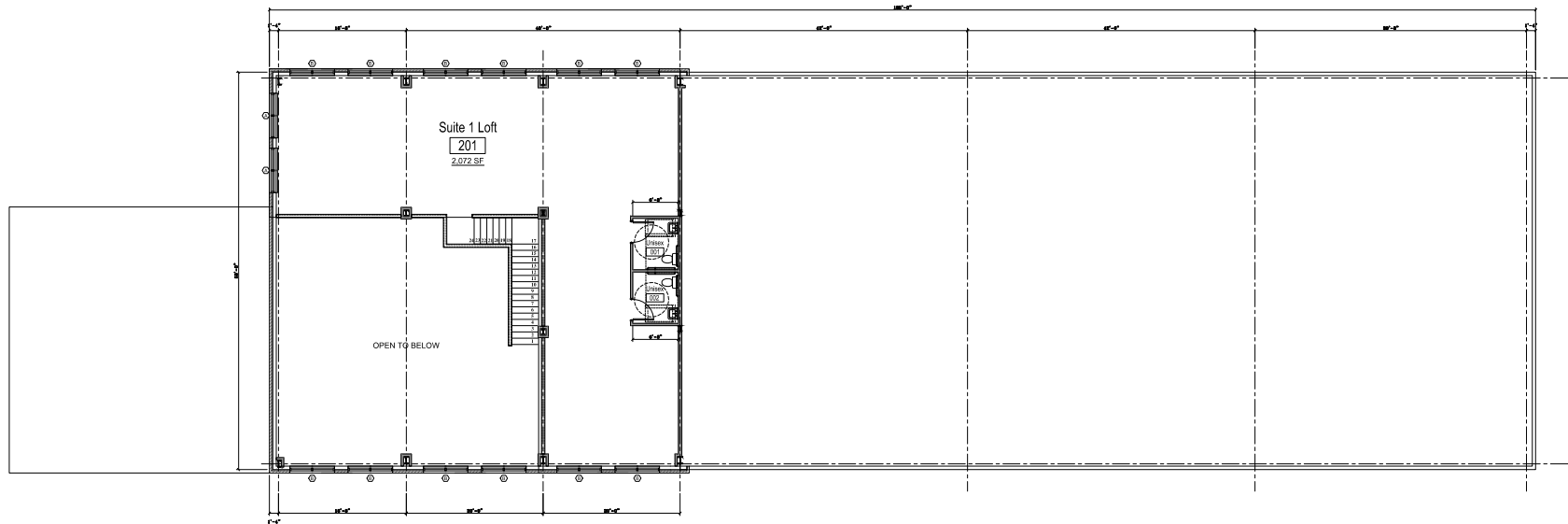
Scale: 1/8" = 1'-0"





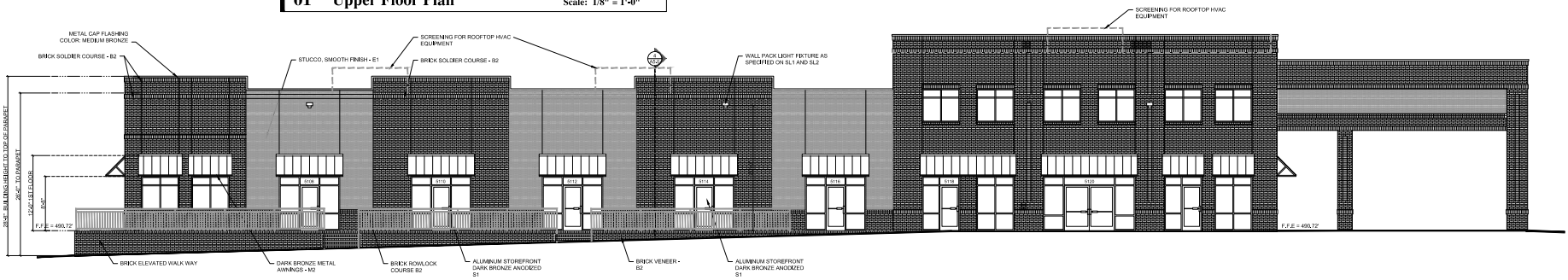
02 West Elevation

Scale: 1/8" = 1'-0"



01 Upper Floor Plan

Scale: 1/8" = 1'-0"



03 North Elevation

Scale: 1/8" = 1'-0"