

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached	General	Subdivision case #: _____
Attached	Mixed use	Scoping/sketch plan case #: _____
Townhouse	Civic	Certificate of Appropriateness #: _____
Apartment	Cottage Court	Board of Adjustment #: _____
Tiny house	Frequent Transit	Zoning Case #: _____
Open lot	Development Option	Design Alternate #: _____
GENERAL INFORMATION		
Development name:		
Inside City limits?	Yes	No
Property address(es):		
Site P.I.N.(s):		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).		
<b>Current Property Owner(s):</b>		
Company:		Title:
Address:		
Phone #:		Email:
<b>Applicant Name (If different from owner. See "who can apply" in instructions):</b>		
Relationship to owner:    Lessee or contract purchaser    Owner's authorized agent    Easement holder		
Company:		Address:

Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b>	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

**DEVELOPMENT TYPE + SITE DATE TABLE**  
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

**STORMWATER INFORMATION**

Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____
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**RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS**

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br <u>120</u> 2br <u>48</u> 3br _____    4br or more _____	
# of lots:	Is your project a cottage court?    Yes    No
	A frequent transit development?    Yes    No

Continue to Applicant Signature Block on Page Three.

**APPLICANT SIGNATURE BLOCK**

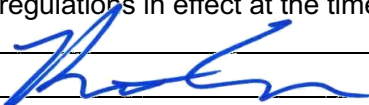
Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:



Date:

Printed Name:

PARCEL DATA

PIN: 1722900891  
 OWNER: WOOD, WESLEY MCCOY  
 ADDRESS: 5504 ROCK QUARRY RD  
 RALEIGH, NC 27610  
 ZONING: R-10-CU  
 AREA: 28.40 AC  
 REAL ESTATE ID: 0031936

SITE DATA TABLE

PARCEL OWNER:	WOOD, WESLEY MCCOY
PARCEL PIN NO.	1722900891
GROSS PARCEL AREA	1,138,191 SF / 26.13 AC
ROW DEDICATION	54,268.65 SF / 1.24 AC
NET PARCEL AREA	1,108,936 SF / 25.46 AC
CURRENT ZONING	R-10-CU
CURRENT LAND USE	VACANT
PROPOSED PRIMARY LAND USE	MULTI-UNIT LIVING
PRIMARY STREET BUILDING SETBACK	10 FT
SIDE BUILDING SETBACK	10 FT
REAR BUILDING SETBACK	20 FT
PRIMARY STREET PARKING SETBACK	10 FT
SIDE PARKING SETBACK	5 FT
REAR PARKING SETBACK	5 FT
PRIMARY FRONTAGE STREET NAME	ADVANTIS DR.
WATERSHED	WALNUT CREEK
EXISTING IMPERVIOUS AREA	26,800 SF / 0.61 AC
PROPOSED IMPERVIOUS AREA	865,415 SF / 19.87 AC
REQUIRED TREE CONSERVATION	118,483 SF / 2.72 AC (10%)
PROPOSED TREE CONSERVATION	118,483 SF / 2.72 AC (10%)
REQUIRED AMENITY SPACE	118,483 SF / 2.72 AC (10%)
PROPOSED AMENITY SPACE	118,483 SF / 2.72 AC (10%)

BUILDING	GROSS FLOOR AREA
BUILDING A	20,865 SF
BUILDING B	20,865 SF
BUILDING C	20,865 SF
BUILDING D	20,865 SF
BUILDING E	29,835 SF
BUILDING F	29,835 SF
BUILDING G	20,865 SF
GARAGE A	2,500 SF
GARAGE B	2,500 SF
MAIL KIOSK	400 SF
<b>TOTAL</b>	<b>66,920 SF</b>
BEDROOM COUNT	
1 BED	120
2 BED	48

**BICYCLE PARKING CALCULATIONS**

**SHORT-TERM PARKING**

MULTI-UNIT LIVING 1 SPACE PER 20 UNITS, MINIMUM 4  
 168 UNITS/20 = 9 SPACES PROVIDED

**LONG-TERM PARKING**

MULTI-UNIT LIVING 1 SPACE PER 7 BEDROOMS  
 REQUIRED SPACES 168 BED / 7 = 24 SPACES  
 SPACES PROVIDED 24 SPACES INTERNAL TO BUILDING

# ADMINISTRATIVE SITE REVIEW

# ROCK QUARRY

# MULTI-FAMILY

5504 ROCK QUARRY ROAD | RALEIGH, NC, 27610 | WAKE  
 1ST SUBMITTAL: NOVEMBER 10, 2023

VICINITY MAP



### Administrative Site Review Application

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Office Use Only: Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan  Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: SUB-0052-2023
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #: _____
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #: _____
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option	Zoning Case #: _____
<input type="checkbox"/> Open lot		Design Alternate #: _____

**GENERAL INFORMATION**

Development name: ROCK QUARRY MULTIFAMILY  
 Inside City limits? Yes  No

Property address(es): 5504 ROCK QUARRY ROAD RALEIGH, NC 26710  
 Site P.I.N. (s): 1722900891  
 Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  
 DEVELOPMENT OF 168 APARTMENTS AND ASSOCIATED SITE IMPROVEMENTS

Current Property Owner(s): WOOD, WESLEY MCCOY  
 Company: WITHERSRAVENEL Title: \_\_\_\_\_  
 Address: 2201 NC HWY 42 W CLAYTON, NC 27520  
 Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

Applicant Name (if different from owner. See "who can apply" in instructions):  
 Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder

Company: WITHERSRAVENEL Address: 137 S WILMINGTON ST SUITE 200 RALEIGH NC

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Phone #: 919-469-3340 Email: RCAUDLE@WITHERSRAVENEL.COM  
**NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.**  
 Developer Contact: JAKE JONES  
 Company: GRAVITY COMPANIES Title: PRESIDENT  
 Address: 2629 ST. MARYS STREET RALEIGH, NC 27609  
 Phone #: 919-469-3340 Email: JAKE@GRAVITY-COMPANIES.COM  
 Applicant Name: ROB CAUDLE  
 Company: WITHERSRAVENEL Address: 137 S WILMINGTON ST SUITE 200 RALEIGH NC  
 Phone #: 919-469-3340 Email: RCAUDLE@WITHERSRAVENEL.COM

**DEVELOPMENT TYPE + SITE DATA TABLE**  
 (Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-10-CU	Existing gross floor area (not to be demolished): 0 SF
Gross site acreage: 28.40	Existing gross floor area to be demolished: 0 SF
# of parking spaces proposed: 286	New gross floor area: 169,395 SF
Max # parking permitted (7.1.2.C): 288	Total of gross (to remain and new): 169,395 SF
Overlay District (if applicable):	Proposed # of buildings: 10
Existing use (UDO 6.1.4): VACANT	Proposed # of stories for each: 3
Proposed use (UDO 6.1.4): MULTI-UNIT LIVING	Proposed # of basement levels (UDO 1.5.7.A.6) 0

**STORMWATER INFORMATION**

Imperious Area on Parcel(s):	Imperious Area for Compliance (includes ROW):
Existing (sf) 40,979 Proposed total (sf) 865,415	Existing (sf) 40,979 Proposed total (sf) 865,415

**RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS**

Total # of dwelling units: 168	Total # of hotel bedrooms:
# of bedroom units: 1br: 120 2br: 48 3br: _____ 4br or more: _____	4br or more: _____
# of lots: 2	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

Continue to Applicant Signature Block on Page Three.

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APPROVED ZONING CONDITIONS

CONDITION	RESPONSE
1. RESIDENTIAL DENSITY SHALL NOT EXCEED SIX (6) DWELLING UNITS PER ACRE.	DWELLING UNITS PER ACRE DOES NOT EXCEED SIX (6)
2. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, A BICYCLE AND PEDESTRIAN PUBLIC ACCESS EASEMENT AT LEAST TWENTY (20) FEET IN WIDTH PROVIDING A CONNECTION FROM THE COMMON LINE WITH THE PARCEL IDENTIFIED AS 3831 CENTURION DRIVE (PIN 1722709833, WAKE COUNTY BOOK OF DEEDS 15289 PAGE 2437) AND THE NORTH BOUNDARY OF THE SUBJECT PROPERTY AS IT ABUTS RIGHT OF WAY OF QUARRYMAN ROAD (SHALL BE RECORDED).	THE PUBLIC ACCESS EASEMENT SPECIFIED IN THIS ZONING CONDITION WILL BE RECORDED AS PART OF SUBDIVISION PLANS AND IS SHOWN ON SUB-0052-2023
2. IF THE NUMBER OF PEAK HOUR VEHICLE TRIPS FOR DEVELOPMENT IS CALCULATED TO EXCEED ONE HUNDRED (100), AS DETERMINED WITH REFERENCE TO THE ITE TRIP GENERATION MANUAL, THE DEVELOPER SHALL CAUSE A TRAFFIC IMPACT ANALYSIS TO BE CONDUCTED PRIOR TO ADMINISTRATIVE SITE REVIEW APPROVAL.	A TRIP GENERATION LETTER WILL BE PROVIDED TO THE ENGINEERING REVIEWER

TRAFFIC CONTROL & PEDESTRIAN PLAN NOTES

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
  - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
  - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
  - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
  - RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

SOLID WASTE INSPECTION STATEMENT

- SOLID WASTE SERVICES ARE TO BE PROVIDED BY A PRIVATE CONTRACTOR. REFER TO SHEET C2.21.
- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.

FIRE DEPARTMENT NOTES

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 250 FEET (NFPA 13); A NFPA 13 SPRINKLING SYSTEM IS PROPOSED FOR THIS SITE.
- FIRE HYDRANT SHALL BE LOCATED WITHIN 600' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2018 NCFC, SECTION 507.3.
- ALTERNATIVE PAVEMENT MATERIALS TO BE APPROVED BY RALEIGH FIRE MARSHAL.

ATTENTION CONTRACTORS

- NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
- THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER AND SEWER, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2409, AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 985-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.
- FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.
- FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE.

CONTACT LIST:

WithersRavenel  
 137 S Wilmington Street, Suite 200  
 Raleigh, NC 27601  
 919-535-5200

President  
 Jake Jones  
 Gravity Companies  
 2629 St. Mary's Street  
 Raleigh, NC 27609  
 919-414-5166



PRELIMINARY  
 NOT APPROVED  
 FOR CONSTRUCTION



WithersRavenel  
 137 S Wilmington Street | Suite 200 | Raleigh, NC 27601  
 License #: F-1479 | t: 919.469.3340 | www.withersravenel.com

PREPARED BY:

GRAVITY COMPANIES

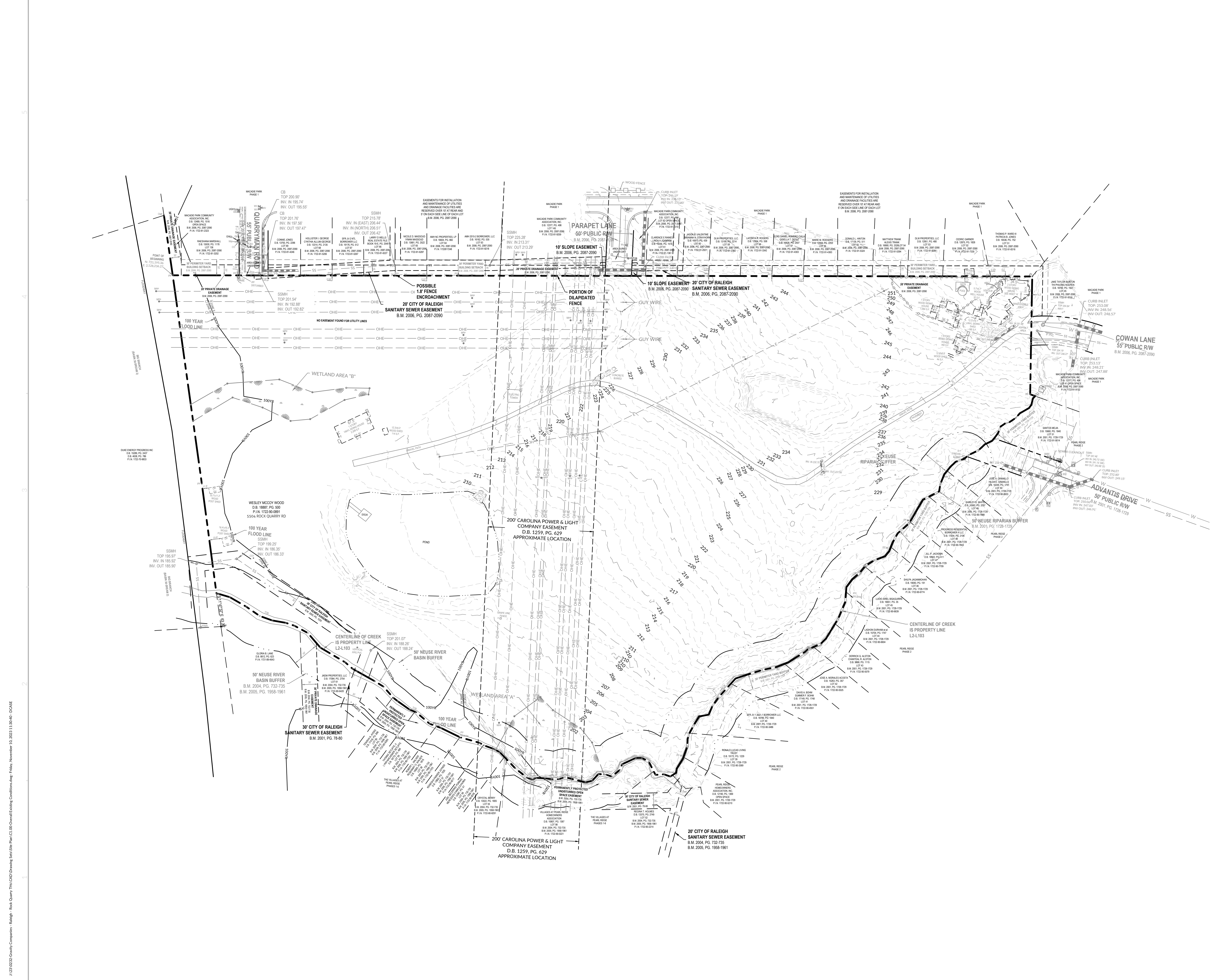
2629 ST. MARYS STREET  
 RALEIGH, NC 27609  
 PHONE #: 919-414-5166  
 ATTENTION: Jake Jones

DEVELOPER:



Administrative Site Review  
 Rock Quarry  
 Multi-Family  
 WR PROJECT NO. 23-0232  
 City of Raleigh  
 MUNI PRO NO: ASR-XXXX-2023  
 INITIAL PLAN DATE: 11/10/2023





EXISTING CONDITIONS LEGEND	
SYMBOL	DESCRIPTION
—	PROPERTY BOUNDARY
- - -	ADJACENT BOUNDARY
- - - -	EASEMENT
▬	BUILDING
▬▬▬	EDGE OF PAVEMENT
▬▬▬▬	PAVEMENT STRIPING
~	TREELINE
~	TOP OF BANK
▬▬▬▬	WETLAND
▬▬▬▬	STREAM
▬▬▬▬	FENCE
▬▬▬▬	FEMA REGULATORY FLOODWAY
▬▬▬▬	1% FLOOD LINE
▬▬▬▬	NEUSE RIVER 30' BUFFER ZONE 1
▬▬▬▬	NEUSE RIVER 20' BUFFER ZONE 2
▬▬▬▬	SS - GRAVITY SEWER LINE
▬▬▬▬	WATER MAIN
▬▬▬▬	STORM PIPE
▬▬▬▬	FO - FIBER OPTIC LINE
▬▬▬▬	OU - OVERHEAD UTILITY LINE
○	UTILITY POLE
○	FIRE HYDRANT
○	WATER VALVE
○	FIBER OPTIC BOX
○	SEWER MANHOLE
○	TREE

**WithersRavenel**  
 137 S. Wilmington Street | Suite 200 | Raleigh, NC 27601  
 License #: F-1479 | T: 919.469.3340 | www.withersravenel.com

**GRAVITY COMPANIES**  
 2629 ST. MARY'S STREET  
 RALEIGH, NC 27609

ADMINISTRATIVE SITE REVIEW  
**ROCK QUARRY MULTI-FAMILY**  
 5504 ROCK QUARRY ROAD | RALEIGH, NC. 27610 | WAKE

**PRELIMINARY**  
 NOT APPROVED  
 FOR CONSTRUCTION

0 40 80  
 SCALE: 1 inch = 80 ft.

INITIAL PLAN DATE: 11/10/2023  
 REVISIONS:

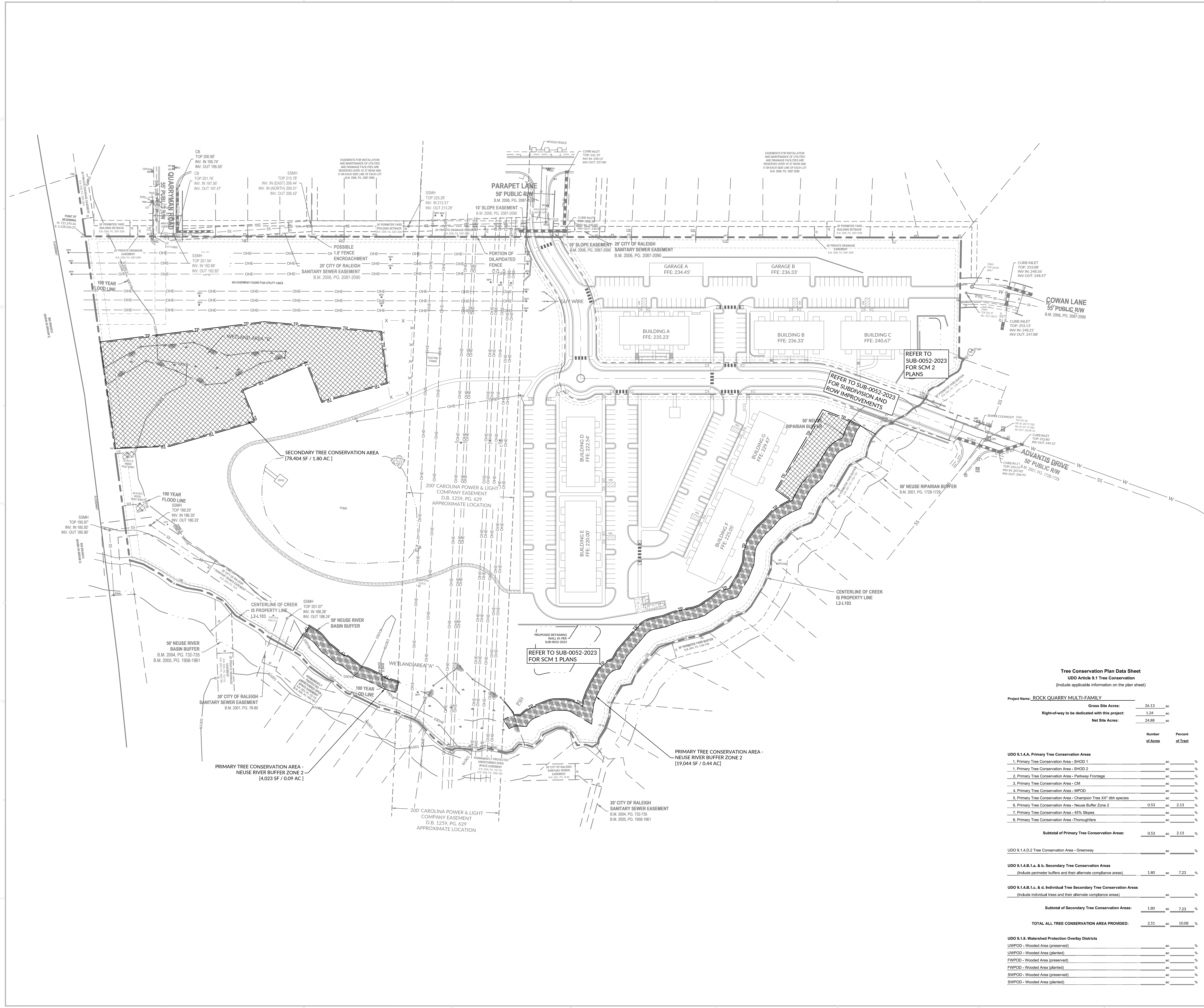
WR JOB NUMBER: 23-0232  
 DRN: WR DGN: WR CKD: WR

**EXISTING CONDITIONS**

**C1.00**

J:\2023\2023-County-Competition - Raleigh - Rock Quarry Multi-Family\Drawings\Site\Site\Plan\Site\DO-Overall\Existing Conditions.dwg - Friday, November 10, 2023 1:38:40 PM - D:\CME

EST 1993



**TCA LEGEND**

SYMBOL	DESCRIPTION
[Cross-hatched pattern]	PRIMARY TCA - NEUSE RIVER BUFFER ZONE 2 (TO REMAIN)
[Diagonal line pattern]	SECONDARY TCA
[Dashed line]	TREE PROTECTION FENCE

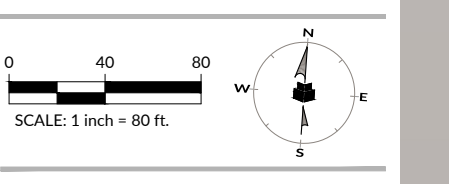
**Tree Conservation Plan Data Sheet**  
UDO Article 9.1 Tree Conservation  
(Include applicable information on the plan sheet)

Project Name: **ROCK QUARRY MULTI-FAMILY**

Gross Site Acres:	26.13	ac
Right-of-way to be dedicated with this project:	1.24	ac
<b>Net Site Acres:</b>	<b>24.88</b>	<b>ac</b>

	Number of Acres	Percent of Tract
<b>UDO 9.1.4.A. Primary Tree Conservation Areas</b>		
1. Primary Tree Conservation Area - SHOD 1	ac	%
1. Primary Tree Conservation Area - SHOD 2	ac	%
2. Primary Tree Conservation Area - Parkway Frontage	ac	%
3. Primary Tree Conservation Area - CM	ac	%
4. Primary Tree Conservation Area - MPOD	ac	%
5. Primary Tree Conservation Area - Champion Tree XX" dbh species	ac	%
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0.53	2.13 %
7. Primary Tree Conservation Area - 45% Slopes	ac	%
8. Primary Tree Conservation Area - Thoroughfare	ac	%
<b>Subtotal of Primary Tree Conservation Areas:</b>	<b>0.53</b>	<b>2.13 %</b>
<b>UDO 9.1.4.D.2 Tree Conservation Area - Greenway</b>	ac	%
<b>UDO 9.1.4.B.1.a. &amp; b. Secondary Tree Conservation Areas</b> (Include perimeter buffers and their alternate compliance areas)	1.80	7.23 %
<b>UDO 9.1.4.B.1.c. &amp; 4. Individual Tree Secondary Tree Conservation Areas</b> (Include individual trees and their alternate compliance areas)	ac	%
<b>Subtotal of Secondary Tree Conservation Areas:</b>	<b>1.80</b>	<b>7.23 %</b>
<b>TOTAL ALL TREE CONSERVATION AREA PROVIDED:</b>	<b>2.51</b>	<b>10.08 %</b>
<b>UDO 9.1.B. Watershed Protection Overlay Districts</b>		
LWPOD - Wooded Area (preserved)	ac	%
LWPOD - Wooded Area (planted)	ac	%
FWPOD - Wooded Area (preserved)	ac	%
FWPOD - Wooded Area (planted)	ac	%
SWPOD - Wooded Area (preserved)	ac	%
SWPOD - Wooded Area (planted)	ac	%

**PRELIMINARY**  
NOT APPROVED  
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INITIAL PLAN DATE: 11/10/2023  
REVISIONS:

WR JOB NUMBER: 23-0232  
DRN: WR DGN: WR CKD: WR

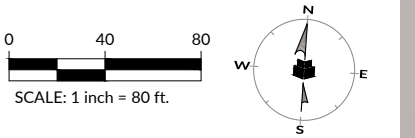
**TREE CONSERVATION PLAN**

**C1.10**

J:\2023\2023 Gravity Companies - Raleigh - Rock Quarry Multi-Family\UDO Drawings & Schedules\UDO Tree Conservation Plan.dwg - Friday, November 10, 2023 11:15:05 - DGCSE

EXISTING CONDITIONS LEGEND	
SYMBOL	DESCRIPTION
	PROPERTY BOUNDARY
	ADJACENT BOUNDARY
	EASEMENT
	BUILDING
	EDGE OF PAVEMENT
	PAVEMENT STRIPING
	TREELINE
	TOP OF BANK
	WETLAND
	STREAM
	FENCE
	FEMA REGULATORY FLOODWAY
	1% FLOOD LINE
	NEUSE RIVER 30' BUFFER ZONE 1
	NEUSE RIVER 20' BUFFER ZONE 2
	SS - GRAVITY SEWER LINE
	WATER MAIN
	STORM PIPE
	FO - FIBER OPTIC LINE
	OU - OVERHEAD UTILITY LINE
	UTILITY POLE
	FIRE HYDRANT
	WATER VALVE
	FIBER OPTIC BOX
	SEWER MANHOLE
	TREE

**PRELIMINARY**  
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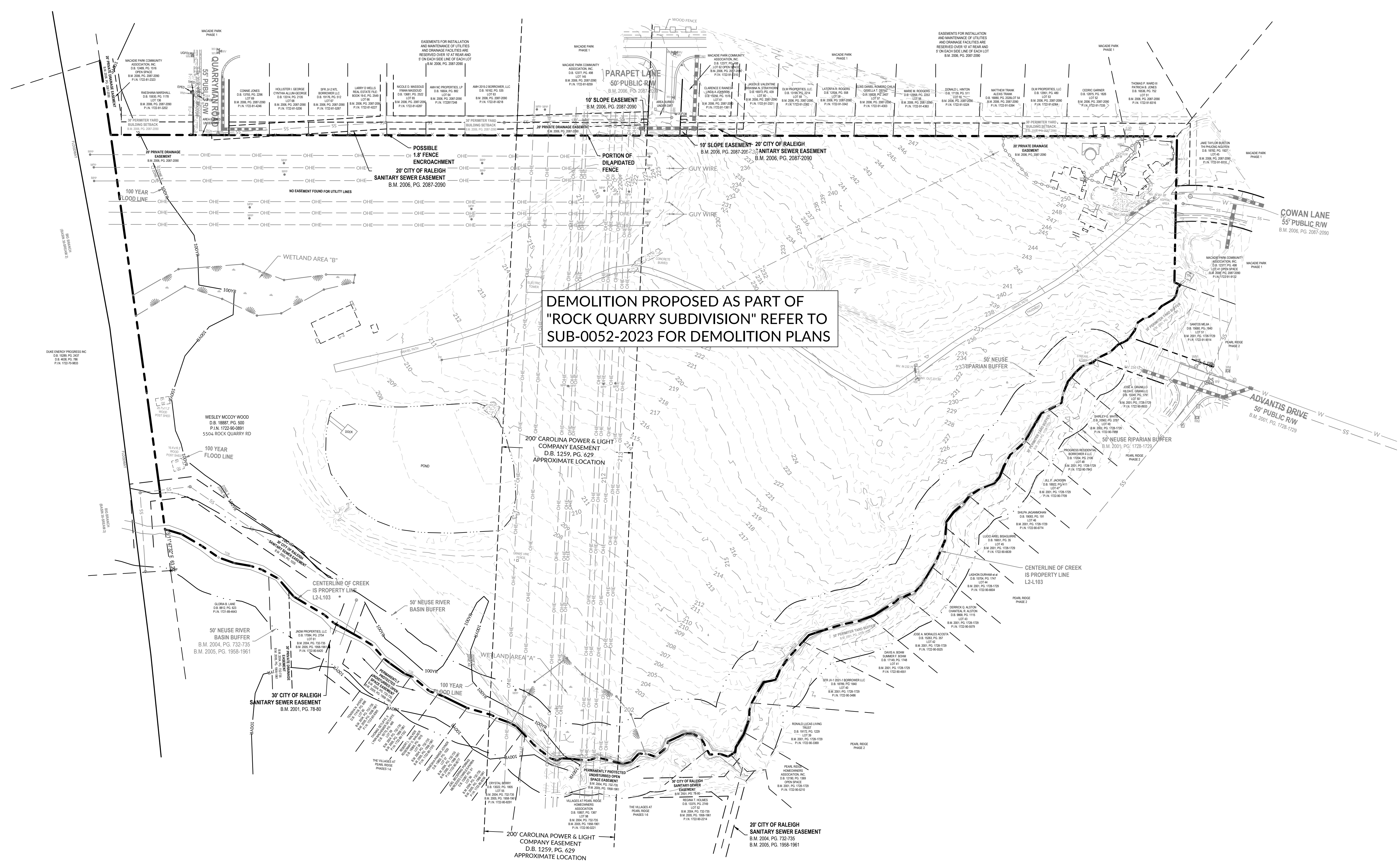


INITIAL PLAN DATE: 11/10/2023  
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 DRN: WR DGN: WR CKD: WR

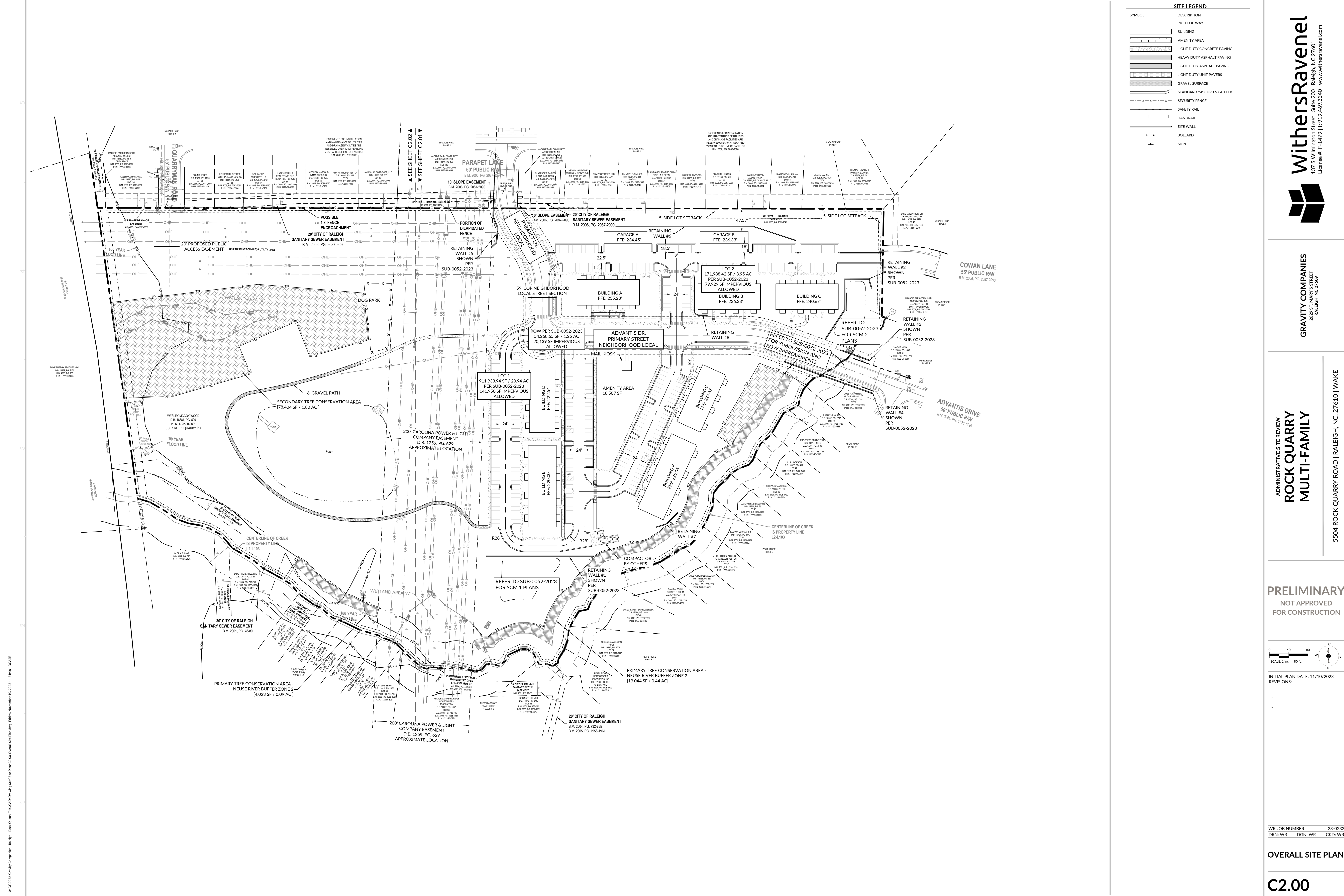
**DEMOLITION PLAN**

**C1.20**



J:\23\0232\Gravity Companies - Raleigh - Rock Quarry Multi-Family\DWG\Drawings\Site\Site\Plan\EC1-Demolition\Plan\WR\_C1.20-Demolition.dwg, November 10, 2023 1:33:24 PM, C:\DWG





**SITE LEGEND**

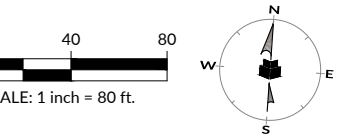
SYMBOL	DESCRIPTION
---	RIGHT OF WAY
▭	BUILDING
▨	AMENITY AREA
▧	LIGHT DUTY CONCRETE PAVING
▩	HEAVY DUTY ASPHALT PAVING
▪	LIGHT DUTY ASPHALT PAVING
▫	LIGHT DUTY UNIT PAVERS
▬	GRAVEL SURFACE
▮	STANDARD 24" CURB & GUTTER
▯	SECURITY FENCE
▰	SAFETY RAIL
▱	HANDRAIL
▴	SITE WALL
▾	BOLLARD
•	SIGN

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 137 S. Wilmington Street | Suite 200 | Raleigh, NC 27601  
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**GRAVITY COMPANIES**  
 2629 ST. MARY'S STREET  
 RALEIGH, NC 27609

ADMINISTRATIVE SITE REVIEW  
**ROCK QUARRY  
 MULTI-FAMILY**  
 5504 ROCK QUARRY ROAD | RALEIGH, NC, 27610 | WAKE

**PRELIMINARY**  
 NOT APPROVED  
 FOR CONSTRUCTION



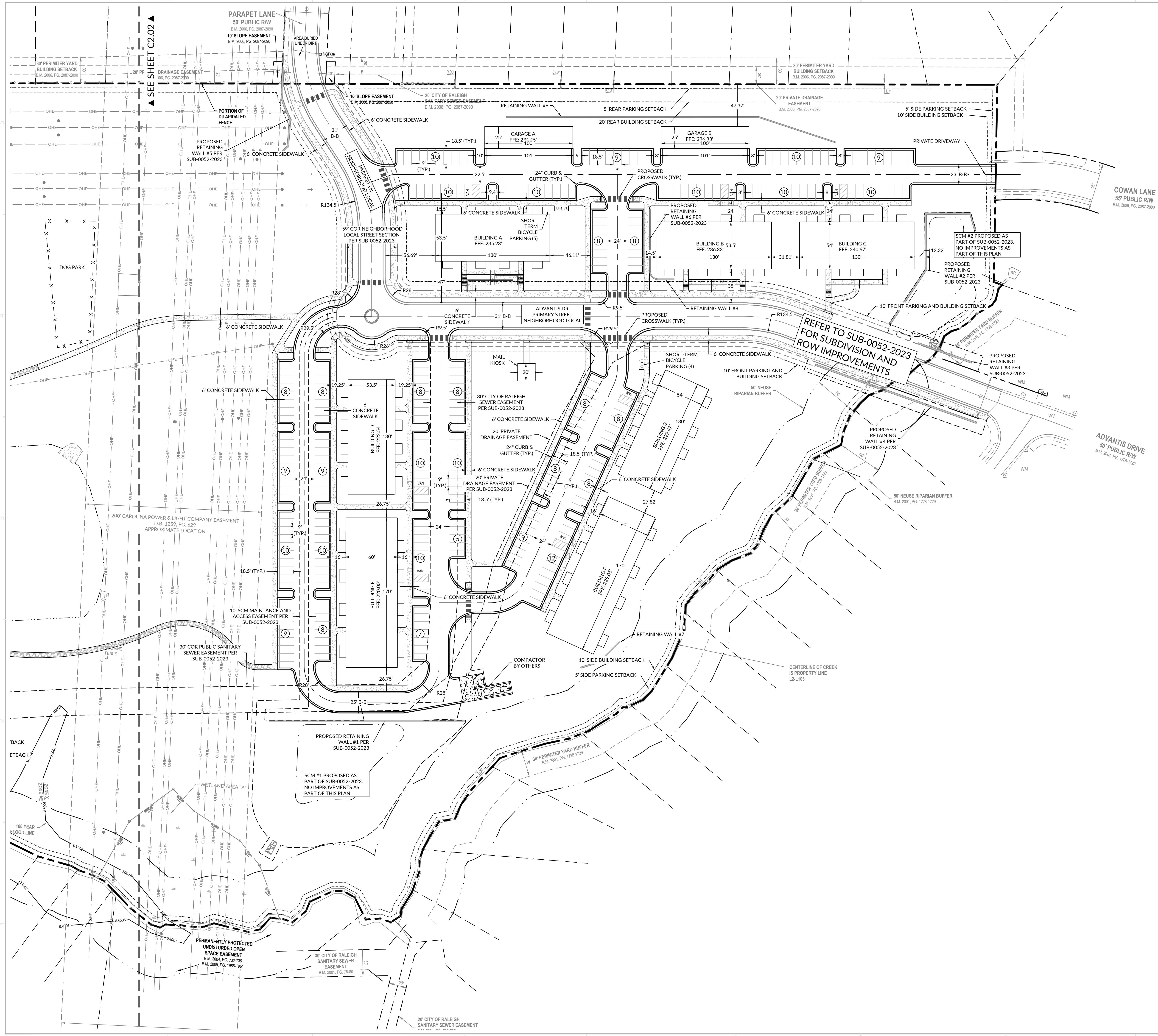
INITIAL PLAN DATE: 11/10/2023  
 REVISIONS:

WR JOB NUMBER: 23-0232  
 DRN: WR DGN: WR CKD: WR

**OVERALL SITE PLAN**

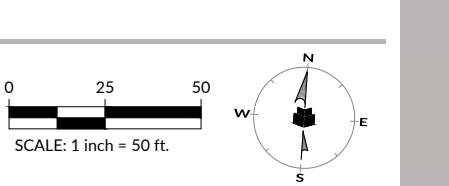
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SYMBOL	DESCRIPTION
---	RIGHT OF WAY
▭	BUILDING
▭	AMENITY AREA
▭	LIGHT DUTY CONCRETE PAVING
▭	HEAVY DUTY ASPHALT PAVING
▭	LIGHT DUTY ASPHALT PAVING
▭	LIGHT DUTY UNIT PAVERS
▭	GRAVEL SURFACE
▭	STANDARD 24" CURB & GUTTER
▭	SECURITY FENCE
---	SAFETY RAIL
---	HANDRAIL
---	SITE WALL
---	BOLLARD
---	SIGN

**PRELIMINARY**  
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 REVISIONS:

WR JOB NUMBER: 23-0232  
 DRN: WR DGN: WR CKD: WR

**SITE PLAN AREA I**

**C2.01**

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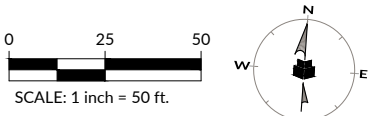
SYMBOL	DESCRIPTION
---	RIGHT OF WAY
▭	BUILDING
▭	AMENITY AREA
▭	LIGHT DUTY CONCRETE PAVING
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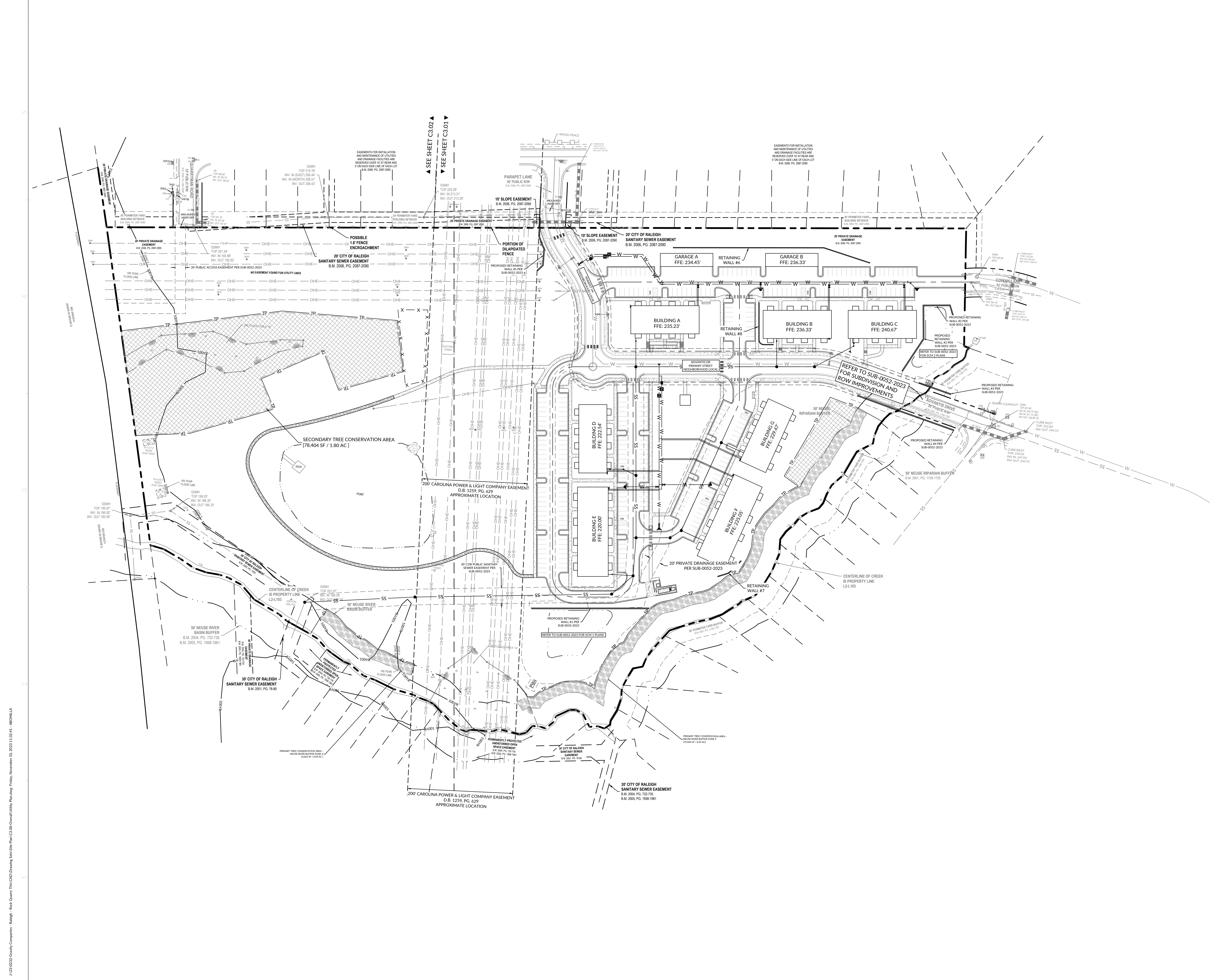
WR JOB NUMBER: 23-0232  
 DRN: WR DGN: WR CKD: WR

**SITE PLAN AREA II**

**C2.02**

EST. 1983

our people • your success



**PROPOSED UTILITIES LEGEND**

SYMBOL	DESCRIPTION
— W —	WATER MAIN
— G —	GRAVITY SEWER
— S —	WATER SERVICE
— SS —	SEWER SERVICE
— S# —	SEWER CLEANOUT
●	SEWER MANHOLE
○	WATER VALVE
+	FIRE HYDRANT ASSEMBLY
+	BACKFLOW PREVENTER
+	WATER METER
+	FIRE DEPARTMENT CONNECTION (FDC)
—	WALL

**COR APPENDIX D  
STANDARD UTILITY NOTES**

- ALL STANDARD MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARD, DETAILS, & SPECIFICATIONS (REFERENCE CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE TO BE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS, MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CHADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
- ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 4" COPPER WATER SERVICE WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. *NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.*
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

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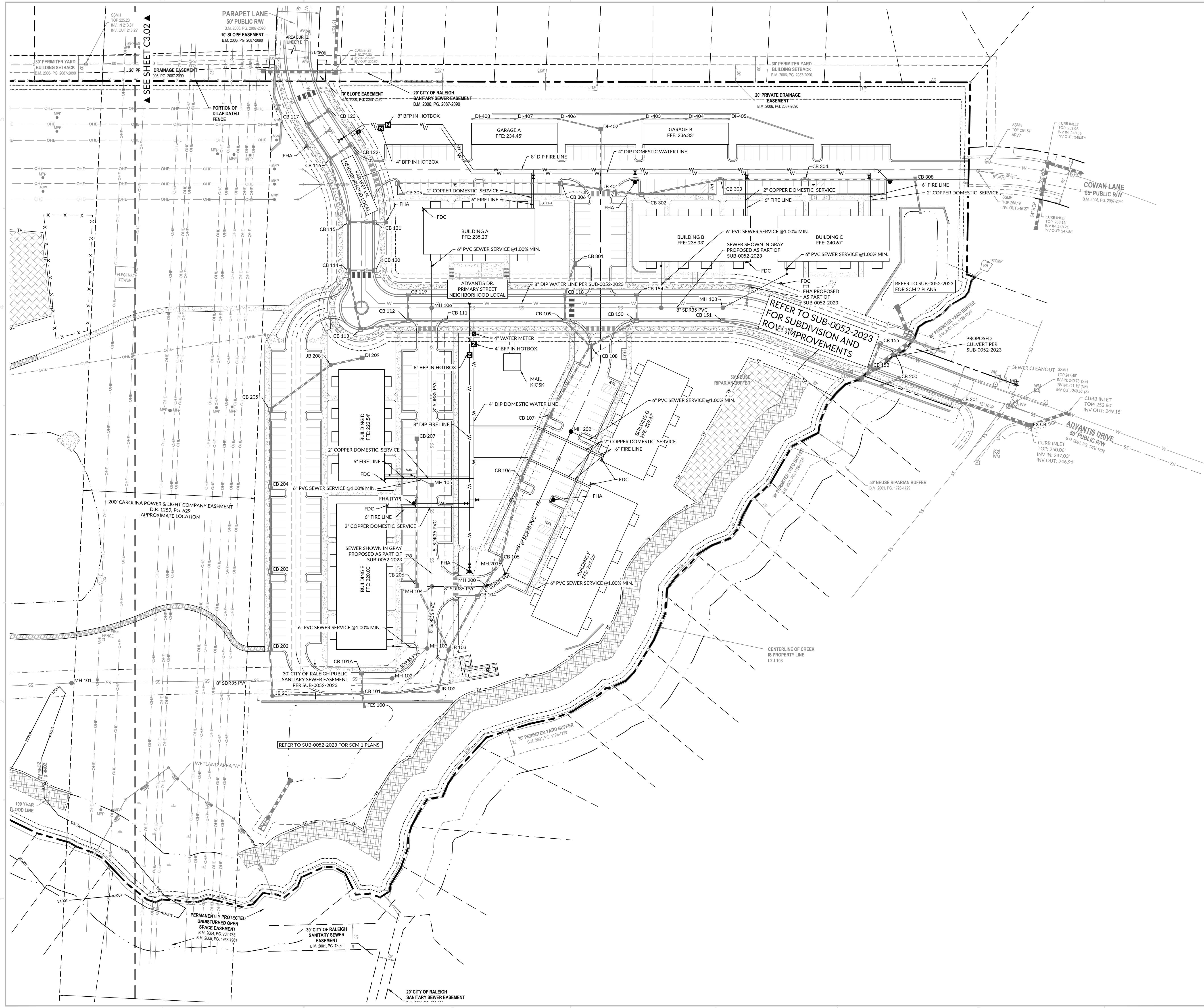
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SCALE: 1 inch = 80 ft.

INITIAL PLAN DATE: 11/10/2023  
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WR JOB NUMBER: 23-0232  
DRN: WR DGN: WR CKD: WR

**UTILITY PLAN**  
**C3.00**

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**PROPOSED UTILITIES LEGEND**

SYMBOL	DESCRIPTION
—	WATER MAIN
—	GRAVITY SEWER
—	WATER SERVICE
—	SEWER SERVICE
—	SEWER CLEANOUT
—	SEWER MANHOLE
—	WATER VALVE
—	FIRE HYDRANT ASSEMBLY
—	BACKFLOW PREVENTER
—	WATER METER
—	FIRE DEPARTMENT CONNECTION (FDC)
—	WALL

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0 25 50  
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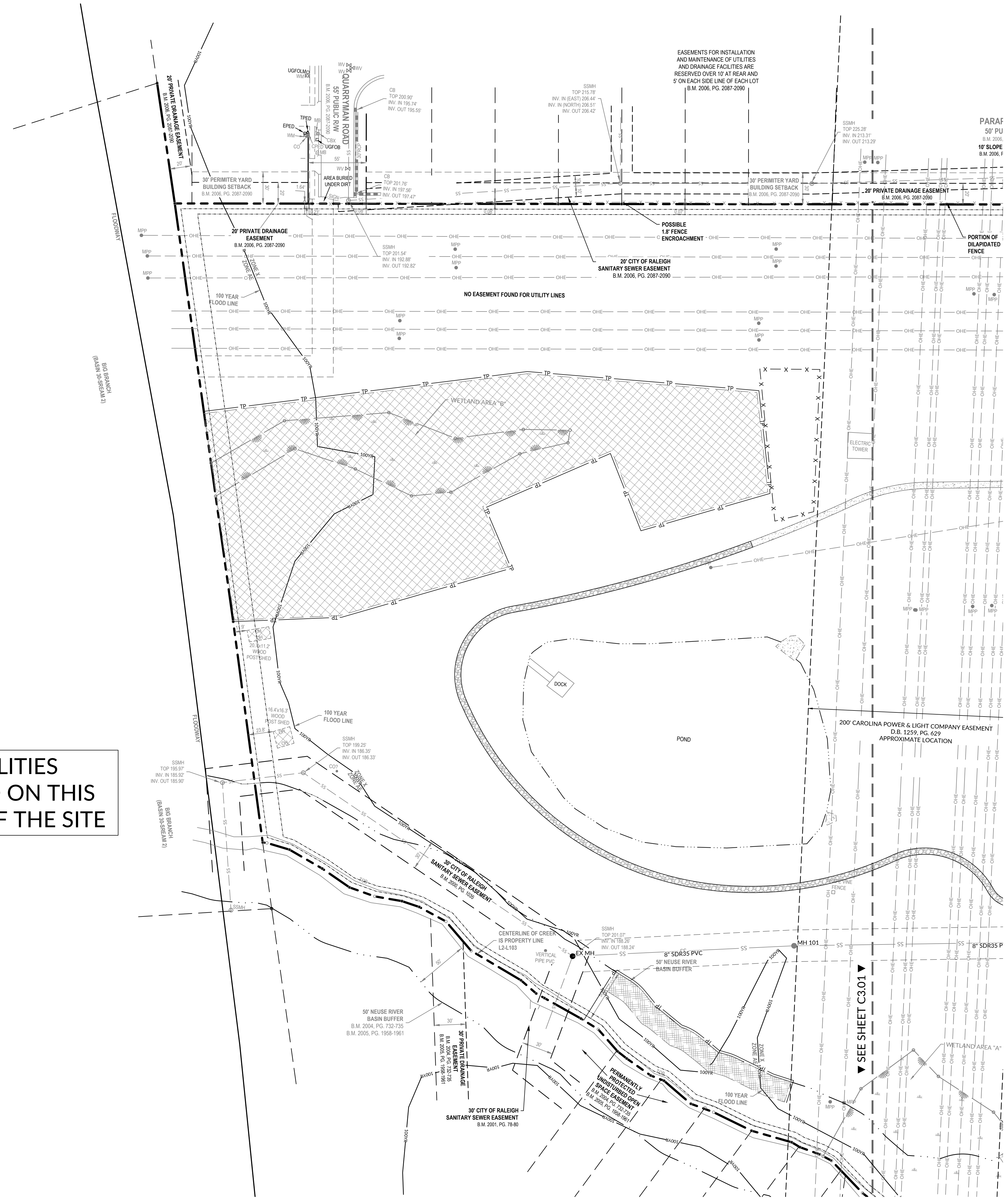
INITIAL PLAN DATE: 11/10/2023  
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WR JOB NUMBER 23-0232  
DRN: WR DGN: WR CKD: WR

**UTILITY PLAN AREA I**

**NO UTILITIES  
PROPOSED ON THIS  
PORTION OF THE SITE**

J:\2023\2023 Gravity Companies - Raleigh - Rock Quarry Title\CD\Drawings\Site\Site Plan\CD\15 C3.02 (18)P\Utility Plan\Utility Plan.dwg, November 10, 2023 11:31:12 - ARD/MLLA



**PROPOSED UTILITIES LEGEND**

SYMBOL	DESCRIPTION
—	WATER MAIN
—	GRAVITY SEWER
—	WATER SERVICE
—	SEWER SERVICE
—	SEWER CLEANOUT
●	SEWER MANHOLE
○	WATER VALVE
+	FIRE HYDRANT ASSEMBLY
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**GRAVITY COMPANIES**  
2629 ST. MARY'S STREET  
RALEIGH, NC 27609

**ADMINISTRATIVE SITE REVIEW**  
**ROCK QUARRY  
MULTI-FAMILY**

5504 ROCK QUARRY ROAD | RALEIGH, NC, 27610 | WAKE

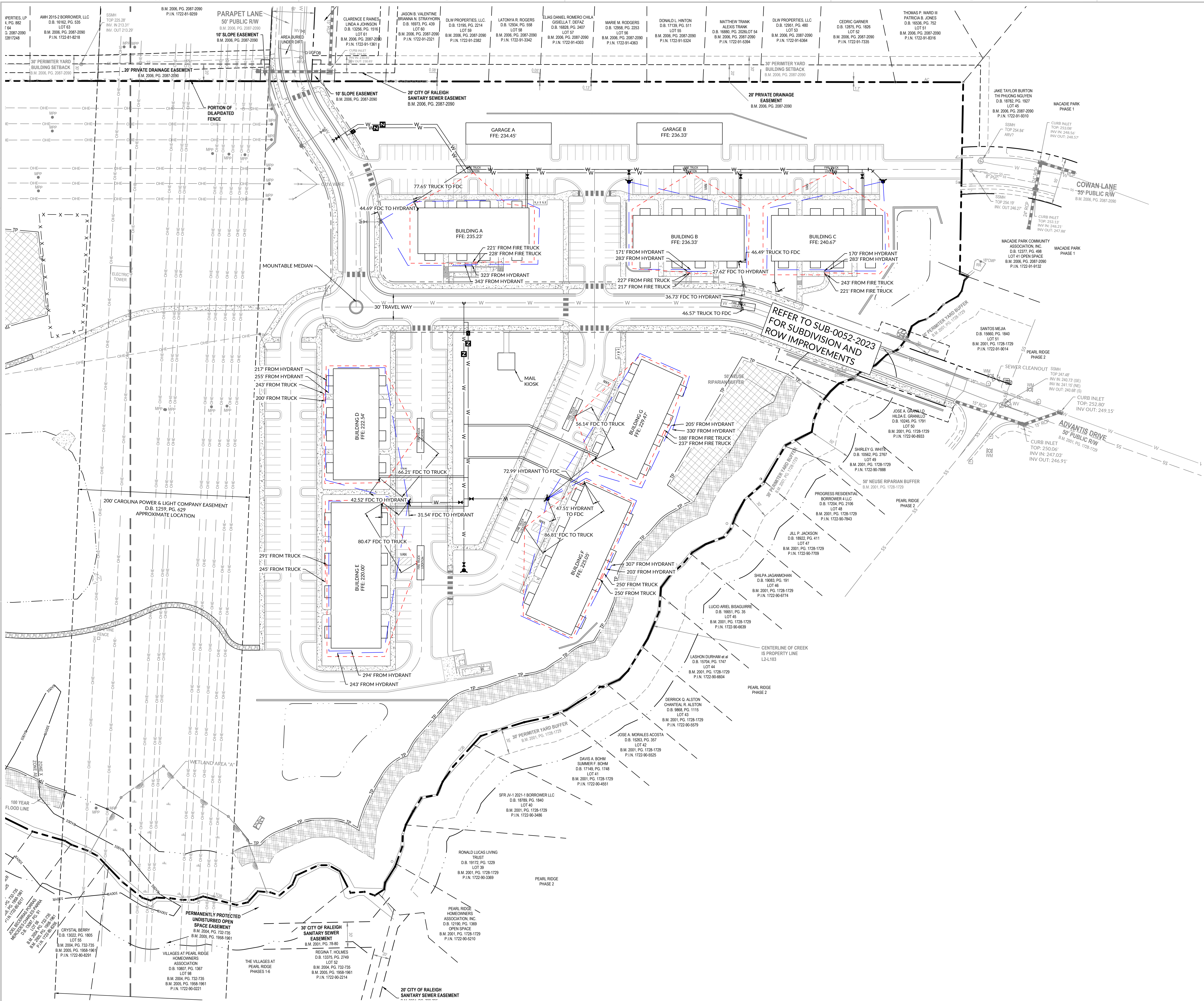
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NOT APPROVED  
FOR CONSTRUCTION

INITIAL PLAN DATE: 11/10/2023  
REVISIONS:

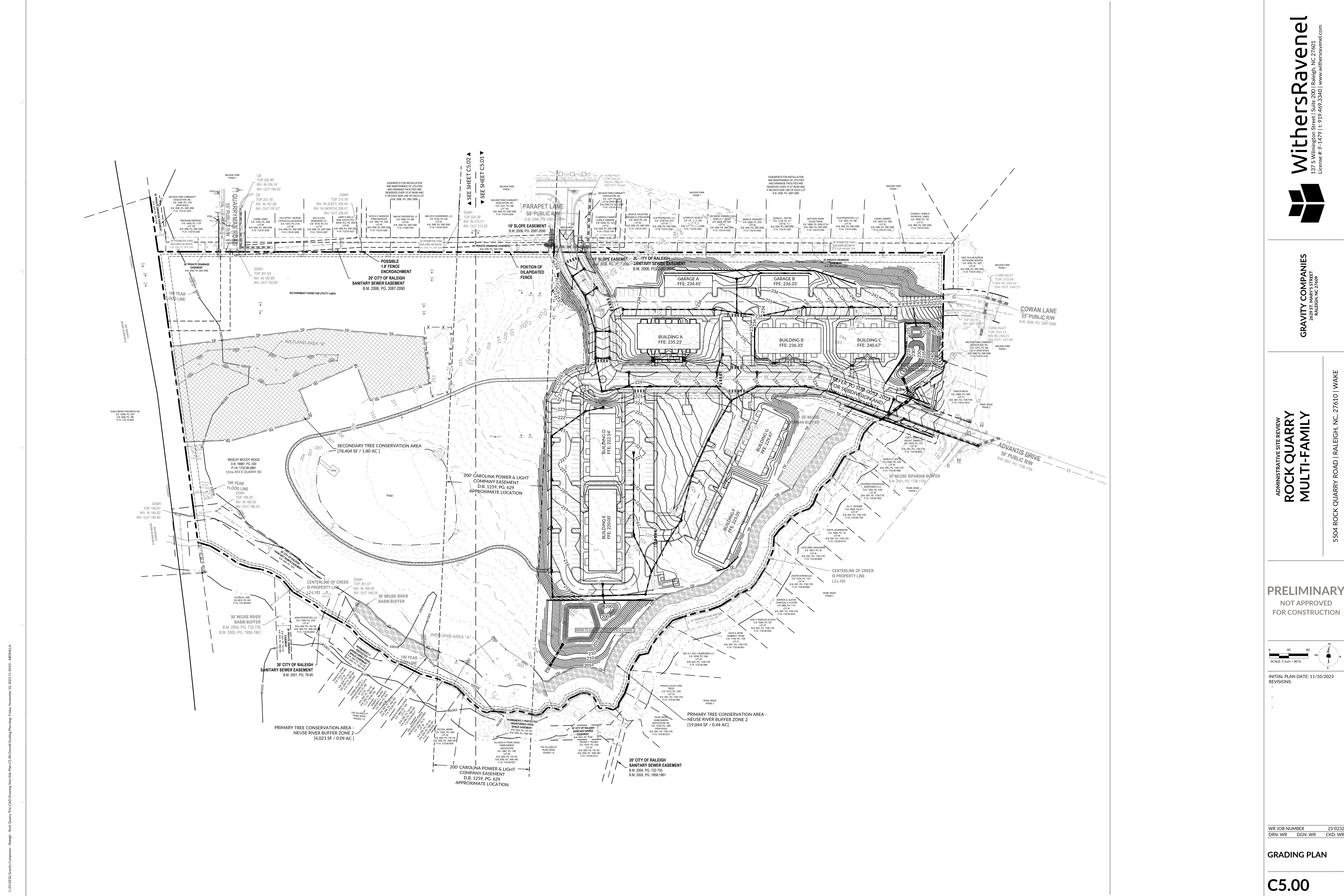
WR JOB NUMBER 23-0232  
DRN: WR DGN: WR CKD: WR

UTILITY PLAN AREA II

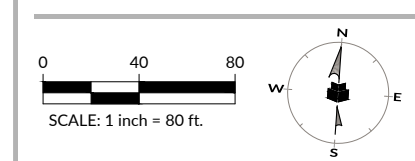
**C3.02**



REFER TO SUB-0052-2023  
FOR SUBDIVISION AND  
ROW IMPROVEMENTS



**PRELIMINARY**  
 NOT APPROVED  
 FOR CONSTRUCTION



INITIAL PLAN DATE: 11/10/2023  
 REVISIONS:

WR JOB NUMBER: 23-0232  
 DRN: WR DGN: WR CKD: WR

**GRADING PLAN**

**C5.00**

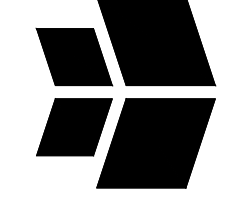
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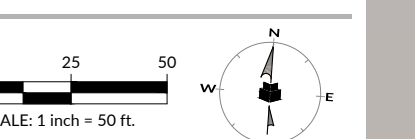
**AVERAGE GRADE CALCULATIONS:**

BUILDING A:	(235.21 + 234.56) / 2 = 234.89'
BUILDING B:	(235.91 + 235.54) / 2 = 235.59'
BUILDING C:	(240.65 + 240.00) / 2 = 240.33'
BUILDING D:	(221.87 + 221.87) / 2 = 221.87'
BUILDING E:	(219.33 + 219.33) / 2 = 219.33'
BUILDING F:	(227.00 + 227.00) / 2 = 227.00'
BUILDING G:	(228.80 + 228.80) / 2 = 228.80'



ADMINISTRATIVE SITE REVIEW  
**ROCK QUARRY MULTI-FAMILY**

**PRELIMINARY**  
 NOT APPROVED  
 FOR CONSTRUCTION



INITIAL PLAN DATE: 11/10/2023  
 REVISIONS:

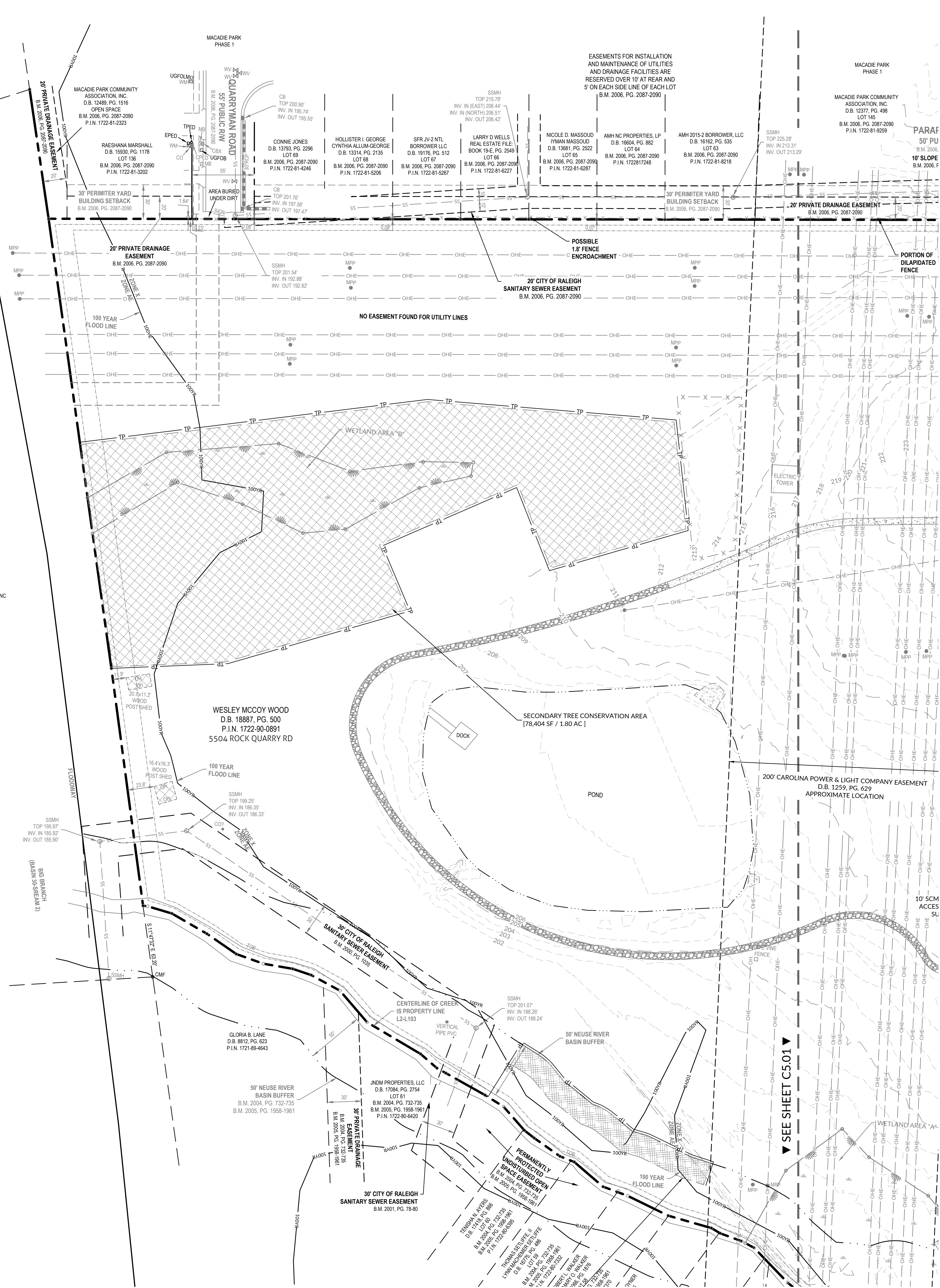
WR JOB NUMBER: 23-0232  
 DRN-WR DGN-WR CKD-WR

**GRADING PLAN AREA 1**

**C5.01**

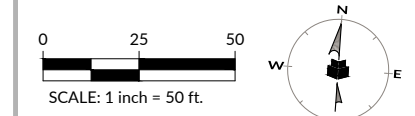
J:\2023\230232\Gravity Companies - Raleigh - Rock Quarry Multi-Family\Drawings\Site\SCM\Plan\CD\CD-Grading\Plan\Area1.dwg, November 15, 2023 11:54:45 AM, ANTHONIA

**NO GRADING MODIFICATION  
PROPOSED ON THIS PORTION  
OF THE SITE**



DUKE ENERGY PROGRESS INC  
D.B. 15289, PG. 247  
D.B. 4638, PG. 786  
P.I.N. 1722-76-9853

**PRELIMINARY**  
NOT APPROVED  
FOR CONSTRUCTION



INITIAL PLAN DATE: 11/10/2023  
REVISIONS:

WR JOB NUMBER 23-0232  
DRN: WR DGN: WR CKD: WR

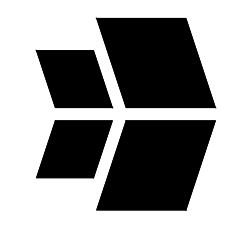
**GRADING PLAN  
AREA II**

**C5.02**

ADMINISTRATIVE SITE REVIEW  
**ROCK QUARRY  
MULTI-FAMILY**

5504 ROCK QUARRY ROAD | RALEIGH, NC. 27610 | WAKE

**GRAVITY COMPANIES**  
2629 ST. MARY'S STREET  
RALEIGH, NC 27609



**WithersRavenel**  
137 S. Wilmington Street, Suite 200 | Raleigh, NC 27601  
License #: F-1479 | T: 919.469.3340 | www.withersravenel.com

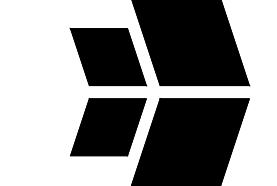
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**LANDSCAPE LEGEND:**

- 10 UPPER STORY TREES
- QNU - QUERCUS NUTTALLII

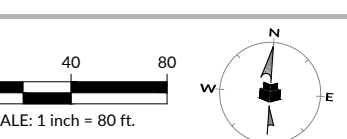
**NOTES:**  
 1 SHADE TREE PER 2,000 SF OF PARKING AREA REQUIRED  
 TOTAL PARKING LOT SF = 131,122.33 SF  
 131,122.33 SF / 2,000 SF = 65.56  
 TREES REQUIRED = 65.56  
 TREES PROVIDED = 65



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 FOR CONSTRUCTION

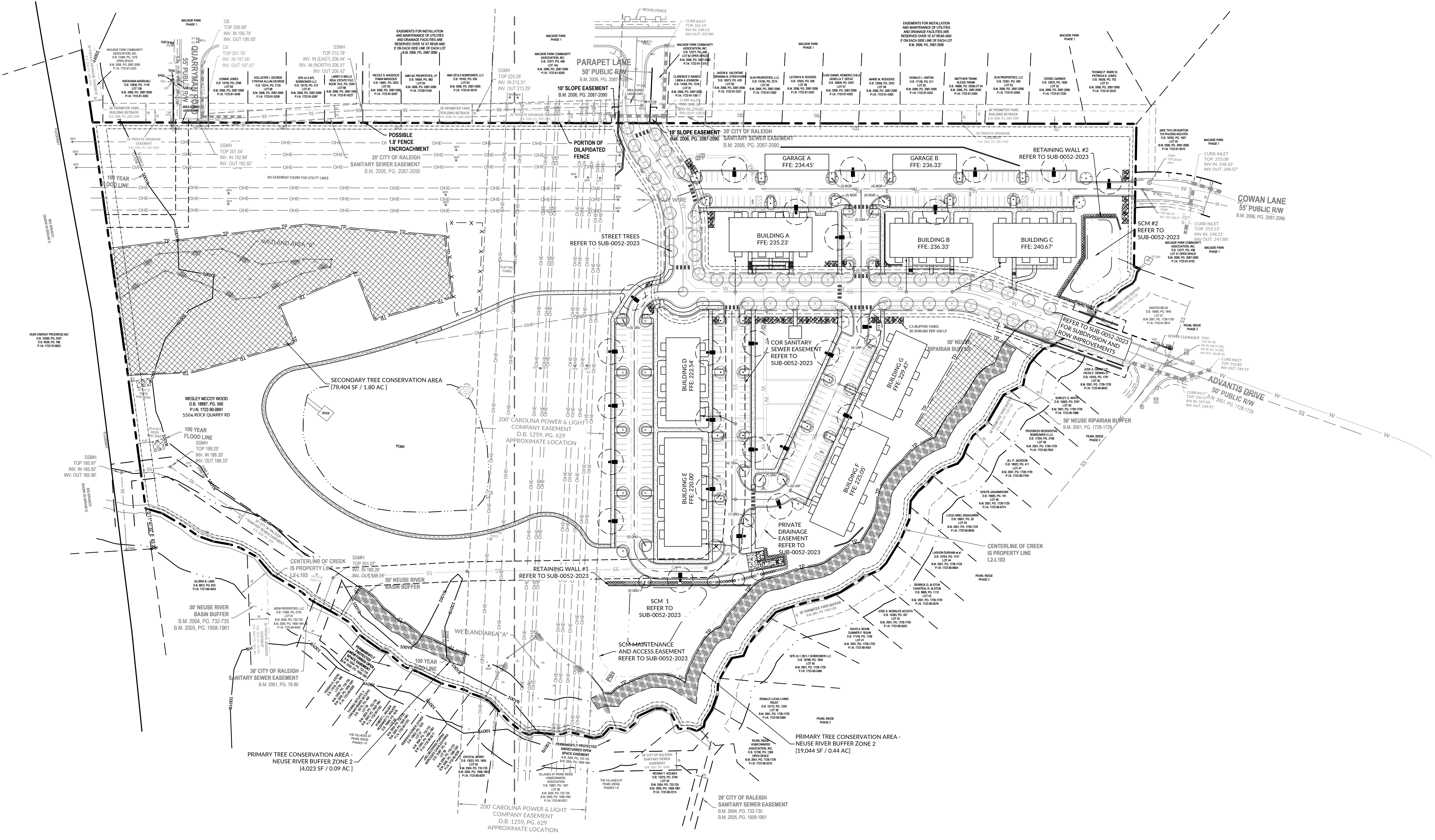


INITIAL PLAN DATE: 11/10/2023  
 REVISIONS:

WR JOB NUMBER: 23-0232  
 DRN: WR DGN: WR CKD: WR

**OVERALL CODE**  
**PLANTING PLAN**

**L6.00**



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**LANDSCAPE LEGEND:**

SYMBOL	DESCRIPTION
(10)	UPPER STORY TREES
○	GRU - GINKGO BILOBA 'AUTUMN GOLD'
○	MGR - MAGNOLIA GRANDIFLORA
○	ONU - QUERCUS NUTTALLI
○	TDI - TAXODIUM DISTICHUM
○	UAP - UNILUS AMERICANA 'PRINCETON'
(20)	SHRUBS
○	CSA - CAMELLIA SASANQUA
○	CHA - CEPHALOTAXUS HARRINGTONIA 'DUKE GARDENS'
○	DMB - DISTYLUM x 'PIDISTIF'
(5)	BUFFERS / MISCELLANEOUS
▨	TYPE 'C3' BUFFER YARD

**NOTES:**

1 SHADE TREE PER 2,000 SF OF PARKING AREA REQUIRED  
 TOTAL PARKING LOT SF = 131,122.33 SF  
 131,122.33 SF / 2,000 SF = 65.56  
 TREES REQUIRED = 65.56  
 TREES PROVIDED = 65

1 SHADE TREE PER 2,000 SF OF PARKING AREA REQUIRED  
 TOTAL PARKING LOT SF = 87,534.99 SF  
 87,534.99 SF / 2,000 SF = 43.77  
 TREES REQUIRED = 43.77  
 TREES PROVIDED = 51

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**GRAVITY COMPANIES**  
 2629 ST. MARY'S STREET  
 RALEIGH, NC 27609

**ADMINISTRATIVE SITE REVIEW**  
**ROCK QUARRY**  
**MULTI-FAMILY**

5504 ROCK QUARRY ROAD | RALEIGH, NC. 27610 | WAKE

0 25 50  
 SCALE: 1 inch = 50 ft.

INITIAL PLAN DATE: 11/10/2023  
 REVISIONS:

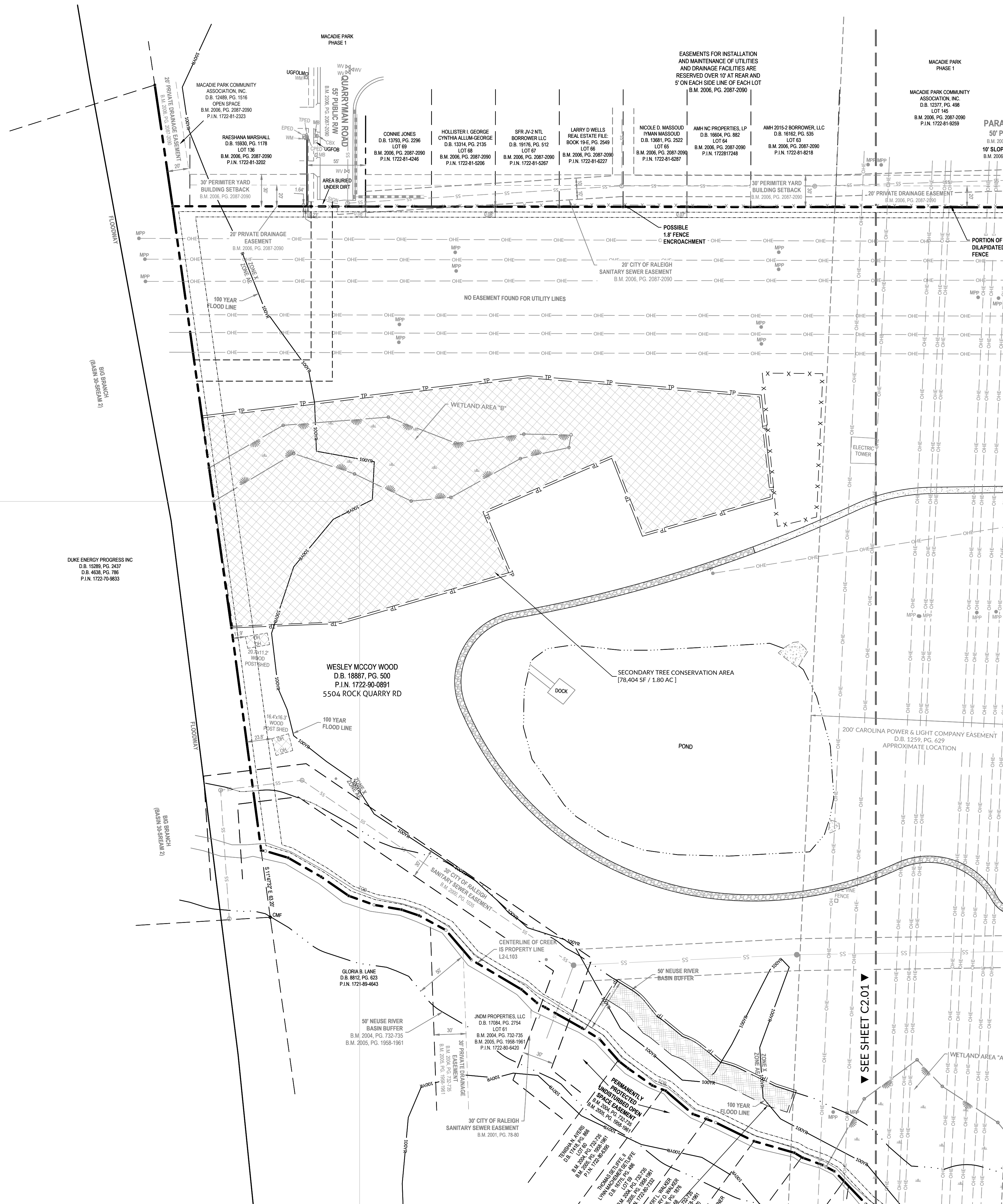
WR JOB NUMBER 23-0232  
 DRN: WR DGN: WR CKD: WR

**CODE PLANTING**  
**PLAN AREA I**

**L6.01**

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**LANDSCAPE LEGEND:**

SYMBOL	DESCRIPTION
10	UPPER STORY TREES
GRU - GINKGO BILOBA 'AUTUMN GOLD'	
MGR - MAGNOLIA GRANDIFLORA	
QNU - QUERCUS NUTTALLI	
TDI - TAXODIUM DISTICHUM	
LAP - LILIUPLU AMERICANA 'PRINCETON'	
20	SHRUBS
CSA - CAMELLIA SASANQUA	
CHA - CEPHALOTAXUS HARRINGTONIA 'DUKE GARDENS'	
DMB - DYSTYLUM x 'PIDISTIF'	
5	BUFFERS / MISCELLANEOUS
	TYPE 'C3' BUFFER YARD

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ADMINISTRATIVE SITE REVIEW  
**ROCK QUARRY MULTI-FAMILY**  
 5504 ROCK QUARRY ROAD | RALEIGH, NC. 27610 | WAKE

0 25 50  
 SCALE: 1 inch = 50 ft.

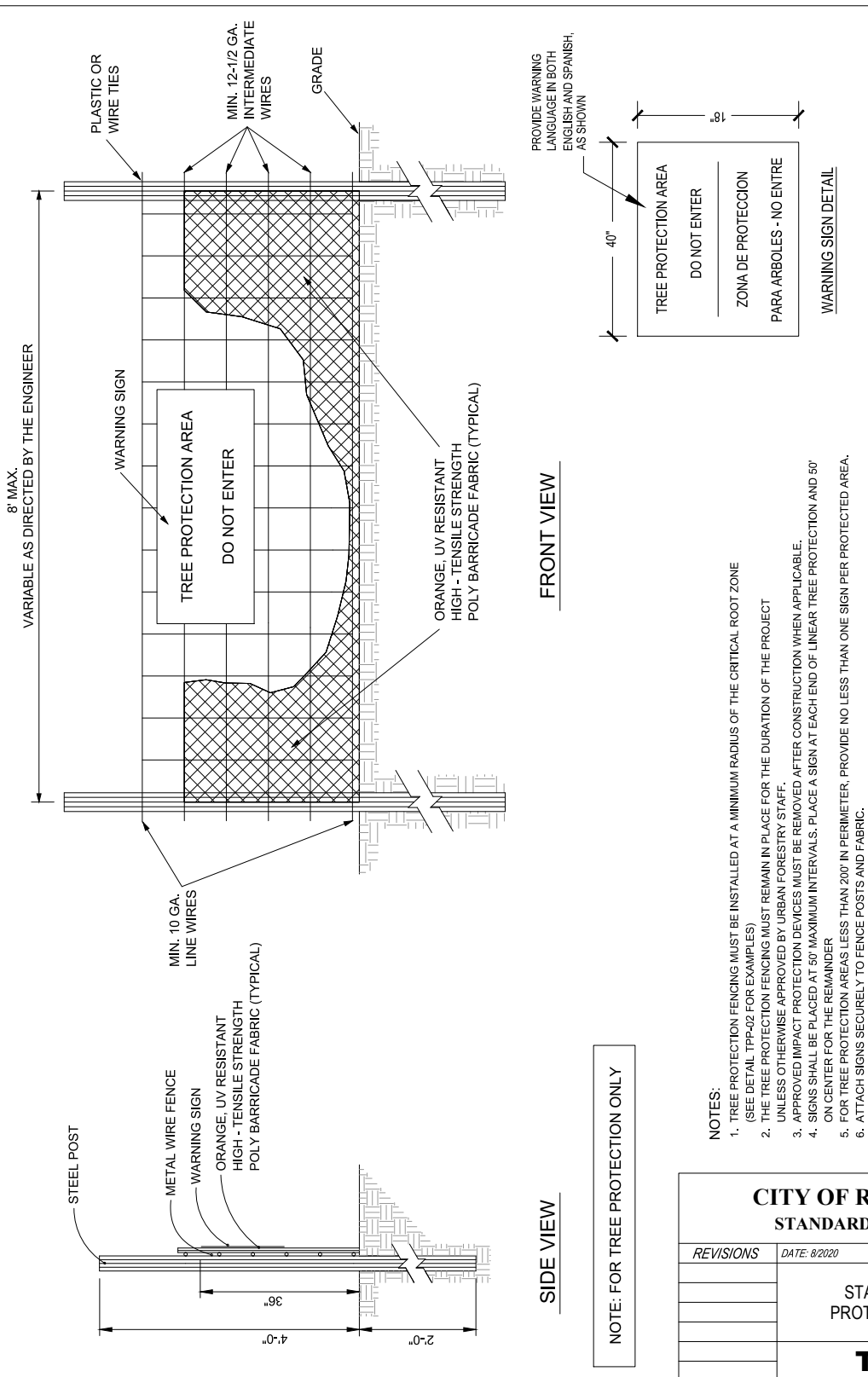
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 REVISIONS:

WR JOB NUMBER 23-0232  
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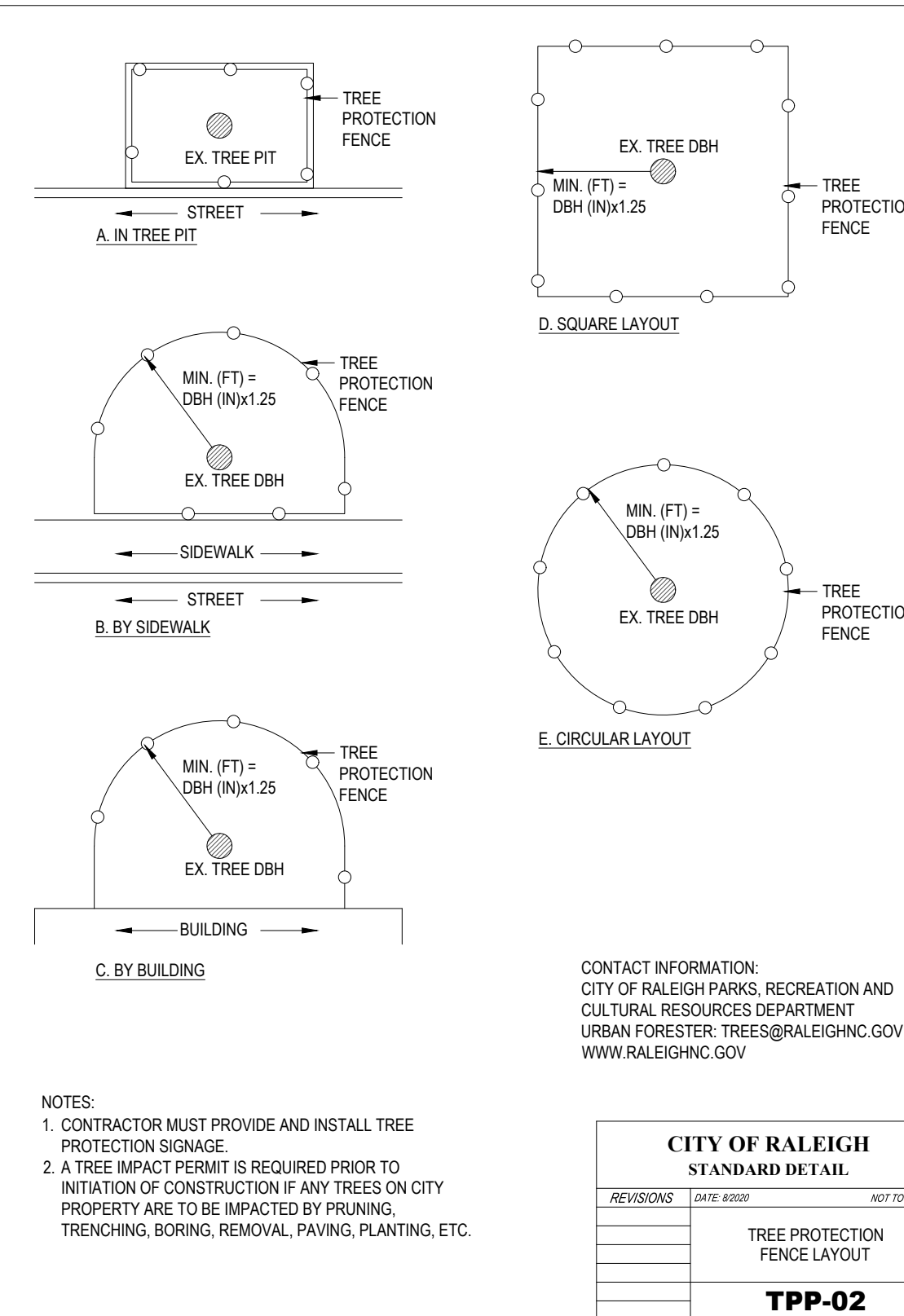
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**L6.02**

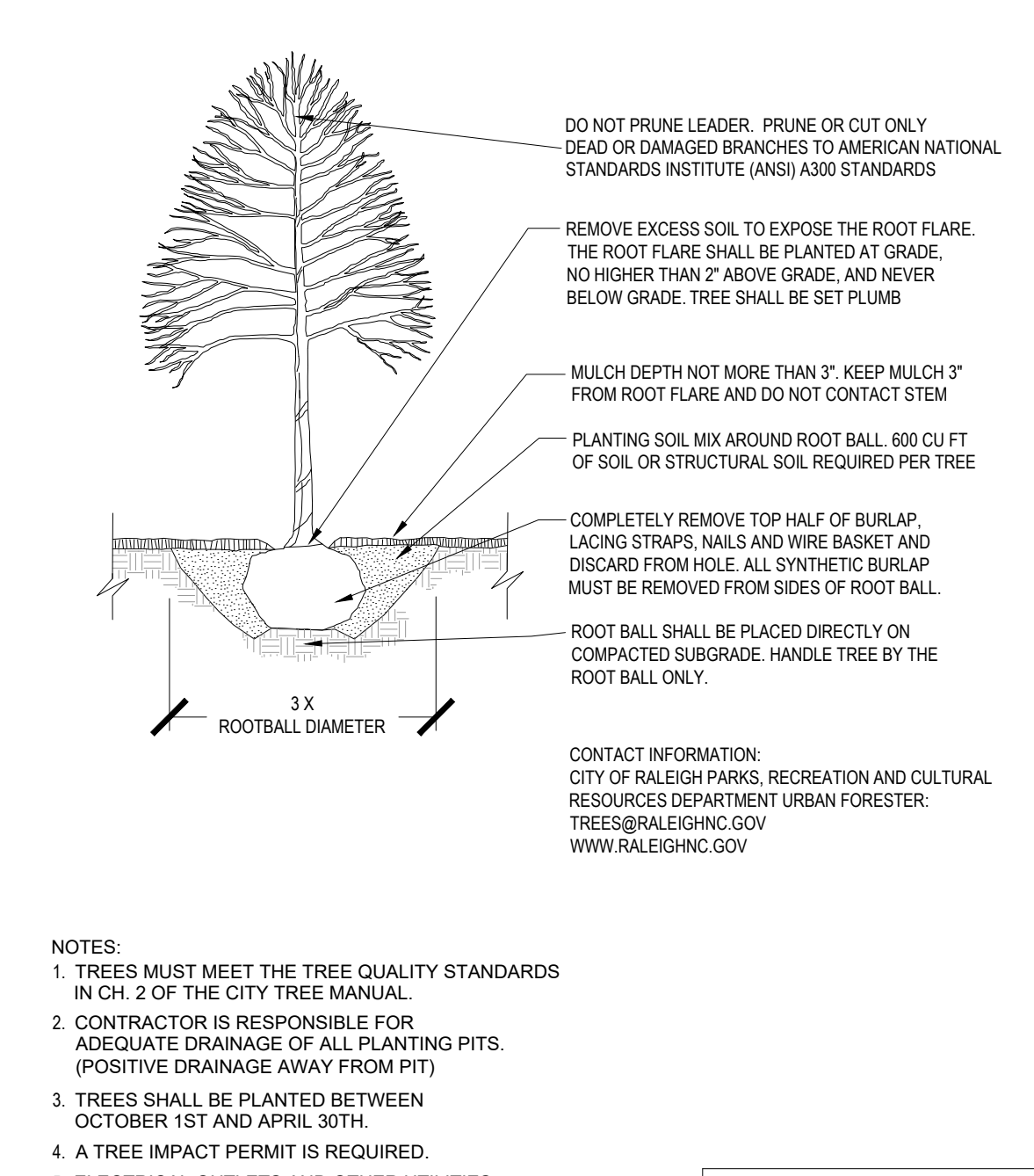
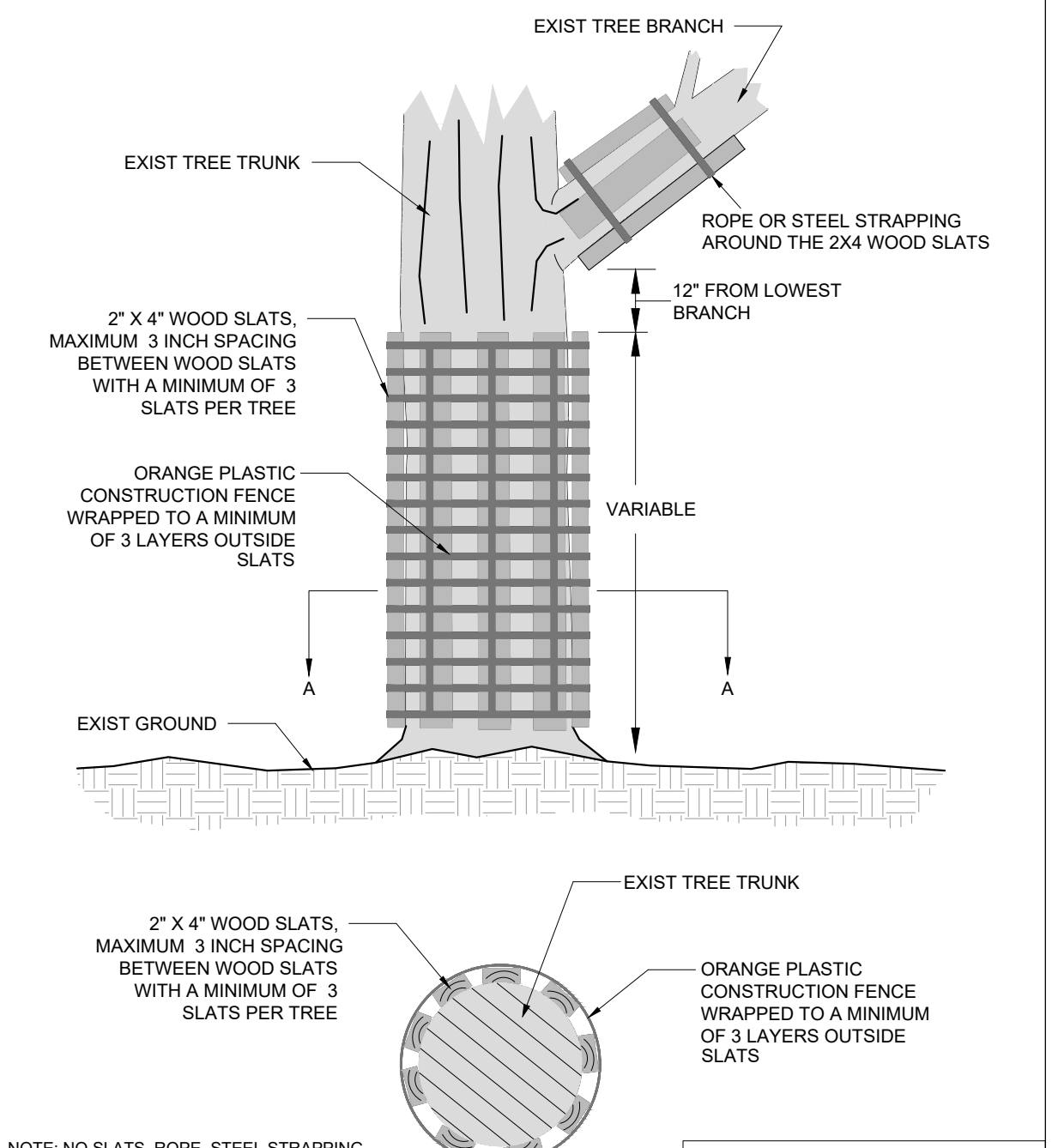
EST. 1993



**CITY OF RALEIGH STANDARD DETAIL**  
**TPP-01**  
 REVISIONS DATE: 8/2009 NOT TO SCALE  
 TREE PROTECTION ONLY  
 STANDARD TREE PROTECTION DETAIL



**CITY OF RALEIGH STANDARD DETAIL**  
**TPP-02**  
 REVISIONS DATE: 8/2009 NOT TO SCALE  
 TREE PROTECTION FENCE LAYOUT



**CITY OF RALEIGH STANDARD DETAIL**  
**TPP-03**  
 REVISIONS DATE: 8/2009 NOT TO SCALE  
 TREE PLANTING DETAIL

**CITY OF RALEIGH STANDARD DETAIL**  
**TPP-09**  
 REVISIONS DATE: 8/2009 NOT TO SCALE  
 TREE ARMOUR  
 CONTACT INFORMATION: CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER, TREES@RALEIGHNC.GOV WWW.RALEIGHNC.GOV

**CITY OF RALEIGH STANDARD DETAIL**  
**TPP-03**  
 REVISIONS DATE: 8/2009 NOT TO SCALE  
 TREE PLANTING DETAIL  
 CONTACT INFORMATION: CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER, TREES@RALEIGHNC.GOV WWW.RALEIGHNC.GOV

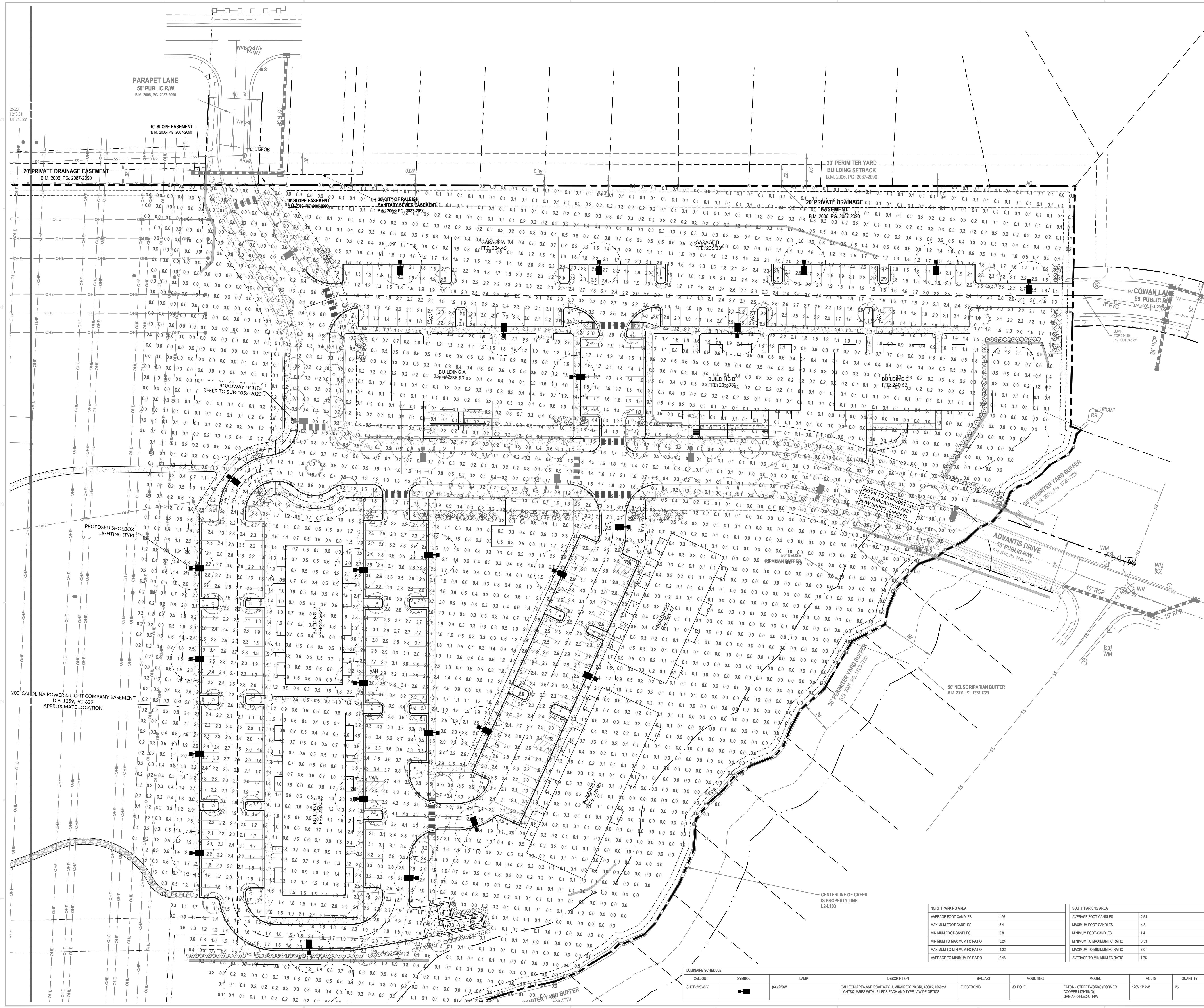
**LANDSCAPE NOTES:**

- THE PLANNING AND DEVELOPMENT OFFICER CANNOT ISSUE A CERTIFICATE OF COMPLIANCE UNTIL ALL LANDSCAPING HAS BEEN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UDO.
- A TEMPORARY CERTIFICATE OF COMPLIANCE MAY BE ISSUED WHEN THE PLANNING AND DEVELOPMENT OFFICER DETERMINES THAT DUE TO THE UNAVAILABILITY OF PLANT MATERIAL OR WEATHER CONCERNS, PLANTING LANDSCAPING WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS FOR A PERIOD OF UP TO 1 YEAR FOLLOWING THE DATE OF APPLICATION FOR A CERTIFICATE OF COMPLIANCE. THE APPLICANT SHALL MAKE THE FOLLOWING ARRANGEMENTS TO SECURE A TEMPORARY CERTIFICATE OF COMPLIANCE:
  - PRODUCE A CONTRACT BINDING FOR 1 YEAR FROM THE DATE APPROVED BY THE CITY FOR THE COMPLETION OF THE LANDSCAPE WORK. SUCH CONTRACT SHALL SPECIFY THAT THE WORK SHALL BE COMPLETED BEFORE OR DURING THE YEAR IMMEDIATELY FOLLOWING THE DATE OF APPLICATION FOR A CERTIFICATE OF COMPLIANCE. THE CITY SHALL NOT BE A PARTY OR A THIRD PARTY BENEFICIARY TO THE CONTRACT.
  - THE APPLICANT SHALL ALSO AGREE IN WRITING THAT THEY, THEIR SUCCESSORS OR ASSIGNS, SHALL PROVIDE THE REQUIRED PLANTING WITHIN THE 1 YEAR PERIOD, AS A CONDITION FOR OBTAINING A CERTIFICATE OF COMPLIANCE FOR THE PRINCIPAL USE SO LONG AS THE PRINCIPAL USE SHALL CONTINUE. THE APPLICANT SHALL ALSO AGREE THAT THE PRINCIPAL USE SHALL BE DISCONTINUED IF THE REQUIRED PLANTING IS NOT PROVIDED. VIOLATIONS OF THESE PROVISIONS SHALL CONSTITUTE AN UNAUTHORIZED ILLEGAL OCCUPANCY OF THE PRINCIPAL USE.
- LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING AISLES OR THE APPROACH TO ANY STREET INTERSECTION.
- ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE SIGHT TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.
- PLANT MATERIALS MUST BE HARDY TO ZONE 7 IN ACCORDANCE WITH THE U.S. DEPARTMENT OF AGRICULTURE'S PLANT HARDINESS ZONE MAP.
- PLANT MATERIALS MUST BE ABLE TO SURVIVE ON NATURAL RAINFALL ONCE ESTABLISHED WITH NO LOSS OF HEALTH.
- TREE HEIGHT IS MEASURED FROM THE TOP OF THE ROOT BALL TO THE TIP OF THE MAIN STEM.
- TREES CANNOT BE PLANTED WITHIN A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE AND MUST BE PLANTED AT LEAST 15' FROM ANY OTHER TREE AND MEASURED FROM TREE TRUNK TO TREE TRUNK.
- ALL SHADE TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST BE LOCALLY ADOPTED SPECIES WITH AN EXPECTED MATURE HEIGHT OF 35' OR GREATER UNLESS SUBJECT TO AN OVERHEAD POWER LINE IN WHICH CASE THE MATURE HEIGHT MAY BE LESS.
- ALL SHADE TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST HAVE A MINIMUM CALIPER OF 3" AND BE AT LEAST 10' TALL AT TIME OF PLANTING.
- UNDERSTORY TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST BE A LOCALLY ADOPTED SPECIES WITH AN EXPECTED MATURE HEIGHT OF AT LEAST 15' AND EXPECTED MATURE CROWN SPREAD OF AT LEAST 15'.
- SINGLE-STEM UNDERSTORY TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST HAVE A MINIMUM CALIPER OF 1 1/2" AND BE AT LEAST 6' TALL AT TIME OF PLANTING.
- IN A PROTECTIVE YARD, 50% OF REQUIRED TREES SHALL BE LOCALLY ADAPTED EVERGREEN SPECIES. TREES SHALL BE DISTRIBUTED SO THAT THERE ARE NO HORIZONTAL GAPS BETWEEN TREES GREATER THAN 30', MEASURED ALONG THE PROPERTY LINE.
- IN A PARKING AREA, ALL SHRUBS TO MEET THE LANDSCAPING REQUIREMENTS SHALL BE OF A SPECIES THAT UNDER TYPICAL CONDITIONS CAN BE EXPECTED TO REACH A HEIGHT AND SPREAD OF 3' WITHIN THREE YEARS OF PLANTING. ALL SHRUBS SHALL BE A MINIMUM OF 18" TALL WHEN PLANTED.
- IN A PROTECTIVE YARD, ALL SHRUBS PLANTED TO MEET THE LANDSCAPING REQUIREMENTS SHALL BE EVERGREEN AND BE OF A SPECIES THAT UNDER TYPICAL CONDITIONS CAN BE EXPECTED TO REACH A HEIGHT AND SPREAD OF 3' WITHIN THREE YEARS OF PLANTING. ALL SHRUBS SHALL BE A MINIMUM OF 18" TALL WHEN PLANTED.
- SHRUBS PLANTED IN A TYPE C2 STREET PROTECTIVE YARD SHALL BE OF A SPECIES THAT UNDER TYPICAL CONDITIONS CAN BE EXPECTED TO REACH A HEIGHT AND SPREAD OF 5' WITHIN THREE YEARS OF PLANTING. ALL SHRUBS SHALL BE A MINIMUM OF 3' TALL WHEN PLANTED.
- IN A STREET PROTECTIVE YARD, SHRUB PLANTING MUST FORM AT LEAST ONE CONTINUOUS ROW OF SHRUBS SPACED 5' ON CENTER ACROSS THE ENTIRE PROTECTIVE YARD EXCEPT FOR DRIVEWAYS.
- SHRUBS CANNOT BE PLANTED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.
- WHERE A PROTECTIVE YARD IS ALSO A TREE CONSERVATION AREA, SHRUBS MUST BE PLANTED ADJACENT TO AND OUTSIDE THE TREE CONSERVATION AREA.
- NO REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED INSIDE UTILITY AND DRAINAGE EASEMENTS, EXCLUDING OVERHEAD EASEMENTS, WITHOUT THE CONSENT OF THE CITY AND THE EASEMENT HOLDER.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

**CITY OF RALEIGH (STREET DESIGN MANUAL):**

- STREET TREE PLANTINGS IN AN URBAN SETTING
  - THE PARKS AND RECREATION DEPARTMENT IS RESPONSIBLE FOR PLAN REVIEW, INSPECTION, MONITORING AND ENFORCEMENT ASSOCIATED WITH TREE PLANTING AND MAINTENANCE ON PROPERTY OWNED OR CONTROLLED BY THE CITY. TREE RELATED ACTIVITIES ARE CONDUCTED IN ADHERENCE TO CITY OF RALEIGH MUNICIPAL CODE TREES AND VEGETATION, PART 9 CHAPTER 8 AND THE CITY TREE MANUAL, WHERE THE TRANSPORTATION MANUAL DEVIATES FROM THE REFERENCED MATERIALS THE MUNICIPAL CODE PART 9 CHAPTER 8 SHALL TAKE PRECEDENCE.
    - DEVELOPMENT AND LANDSCAPE PLAN REQUIREMENTS
      - THE URBAN FORESTER OR DESIGNEE SHALL REVIEW ALL SITE PLANS WITH TREES IN THE RIGHT OF WAY AND ON CITY OWNED OR CONTROLLED PROPERTY. THIS APPLICATION PROCESS DESCRIBES THE REQUIREMENTS FOR PLAN REVIEW, PERMITTING, TREE PROTECTION, STANDARD SPECIFICATIONS, TREE QUALITY, INSTALLATION AND MAINTENANCE.
      - WHERE DEVELOPMENT ABUTS A STREET CONTROLLED BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION TREES MAY NOT BE REQUIRED OR WILL FALL UNDER THE LANDSCAPE REQUIREMENTS OF THE STATE. THE CITY IS STILL REQUIRED TO REVIEW AND APPROVE ALL PROPOSED TREES IN THE RIGHT OF WAY.
    - APPLICATION PROCESS
      - THIS IS THE APPLICATION PROCESS FOR ACTIVITIES IMPACTING CITY TREES. IMPACTS INCLUDE BUT ARE NOT LIMITED TO PLANTING, REMOVAL, PRUNING, TRENCHING, BORING, EXCAVATING, FILLING, FERTILIZING, TREATING FOR DISEASE OR INSECTS, INSTALLING DECORATIONS AND PLANTING.
      - SUBMIT TREE IMPACT PERMIT REQUEST TO THE URBAN FORESTER
      - ADDITIONAL DOCUMENTATION REQUIRED:
        - SITE AND/OR LANDSCAPE PLAN
        - IDENTIFY PROPERTY BOUNDARIES AND RIGHTS OF WAY
        - LABEL STREETS AND OTHER PLAN ELEMENTS
        - OVERHEAD UTILITIES AND LIGHTING PLAN
        - IDENTIFY TREES FOR DEMOLITION AND PRESERVATION
        - DEPICT THE REQUIRED SITE DISTANCE TRIANGLES
        - DEPICT TREE PROTECTION ZONES AND FENCING DETAIL
        - TREE SPECIES INCLUDING BOTANICAL NAME, INSTALLATION SIZE AND COUNTS
        - URBAN TREE PIT DETAIL AND SUBSURFACE ROOT TREATMENT IF APPLICABLE WITH 600CUFT MINIMUM SOIL REQUIREMENT.
        - ADHERENCE TO TREE QUALITY SPECIFICATIONS AND DETAIL
        - ADHERENCE TO TREE PLANTING SPECIFICATIONS AND DETAIL
        - TREE PROTECTION PLAN (WAIVED IF NO TREES IMPACTED WITHIN CRITICAL ROOT ZONE ON SITE)
  - 6.18.2 TREE INFRASTRUCTURE, INSTALLATION AND MAINTENANCE STANDARDS
    - TREES IN SIDEWALKS, PITS AND GRATES AND TREE LAWN
      - A TREE MAINTENANCE FEE SHALL BE ASSESSED AT THE TIME OF PERMIT ISSUANCE FOR EACH STREET TREE TO BE INSTALLED. THIS SHALL BE INCLUDED IN THE FEE SCHEDULE.
      - TREE LAWN
        - MINIMUM 6 FEET WIDE TREE LAWN.
        - TREES CENTERED IN AREA.
        - NO UTILITIES OR ELECTRICAL CONDUITS ARE PERMITTED WITHIN THE TREE LAWN (UTILITIES MAY RUN BELOW AND THROUGH THE SUBSURFACE ROOT EXPANSION INFRASTRUCTURE)
        - 600 CUBIC FEET OF ENGINEERED STRUCTURAL SOIL WITH ORGANIC MATTER IN THE SURROUNDING 200 SQUARE FOOT AREA WHERE THE TREE IS TO BE PLACED.
    - REQUIRED SUBSURFACE ROOT EXPANSION
      - HIGH QUALITY TOP SOIL OR STRUCTURAL SOIL SHALL BE USED TO ACCOMPLISH THE SOIL VOLUME REQUIREMENT.
      - REQUIRE MINIMUM 600 CUBIC FEET.
      - EXCEPTIONS AND DESIGN ALTERNATIVES ARE ENCOURAGED TO ACHIEVE SOIL VOLUME. URBAN FORESTER REVIEW REQUIRED. DESIGNS THAT GROUP TREES AND CONNECT ROOT SPACES WILL BE FAVORED AS WELL AS THE INTRODUCTION OF LID MATERIALS AND TECHNOLOGY.
      - SELECT ONE OR MORE OPTIONS BELOW
        - STRUCTURAL SOIL PIT THAT EXTENDS BENEATH SURROUNDING PAVEMENT.
        - SUBSURFACE SOIL CONTAINMENT STRUCTURE
        - MINIMUM 6 PATHS FROM EACH TREE, 3 ON EACH SIDE 20" MINIMUM EXTENSION FOR EACH PATH. CONNECT TO ADJACENT PIT PATH.
        - SUBRENDED PAVEMENT
        - WHEN ROOT EXPANSION PATHS EXTEND UNDER SIDEWALKS, ENSURE MINIMUM DENSITY REQUIREMENTS ARE MET.
    - PLANTING STANDARDS
      - ALL PLANT MATERIAL AND INSTALLATION WORK SHALL CONFORM TO THE STANDARDS DETAILED IN THE FOLLOWING DOCUMENTS:
        - AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300, AMERICAN NATIONAL STANDARDS INSTITUTE, 11 WEST 42ND STREET, NEW YORK, N.Y. 10036
        - AMERICAN NATIONAL STANDARD FOR NURSERY STOCK, ANSI Z60.1, AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, 1250 EYE STREET, NW, SUITE 500, WASHINGTON, D.C. 20005
        - HORTUS THIRD, THE STAFF OF THE L.H. BAILEY HORTORIUM, 1976, MACMILLAN PUBLISHING CO., NEW YORK

PLANT SCHEDULE									
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	HEIGHT	REMARKS	
<b>TREES</b>									
	GBA	4	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE	---	3" CAL MIN	10' MIN		
	MGR	14	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	---	3" CAL MIN	10' MIN		
	QNU	16	QUERCUS NUTTALLII	NUTTALL OAK	---	3" CAL MIN	10' MIN		
	TDI	9	TAXODIUM DISTICHUM	BALD CYPRESS	---	3" CAL MIN	10' MIN		
	UAP	8	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	---	3" CAL MIN	10' MIN		
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	HEIGHT	REMARKS	
<b>SHRUBS</b>									
	CSA	92	CAMELLIA SASANQUA	SASANQUA CAMELLIA	---	CONT	18" MIN		
	CHA	85	CEPHALOTAXUS HARRINGTONIA 'DUKE GARDENS'	DUKE GARDENS PLUM YEW	---	CONT	18" MIN		
	DMB	76	DISTYLIUM X 'PIIDIST-II'	BLUE CASCADE® DISTYLIUM	---	CONT	18" MIN		



**Outdoor Lighting**  
**Shoobox LED**

The energy efficient Shoobox LED provides excellent, contemporary style with excellent beam lighting effect that is perfect for streets, parking lots, commercial buildings and residential applications. The Shoobox LED provides excellent color rendering and excellent uniformity. Available in black, white and bronze. Available in 120V and 277V. Available in 100, 150, 200, 250, 300, 350, 400, 450, 500, 550, 600, 650, 700, 750, 800, 850, 900, 950, 1000, 1050, 1100, 1150, 1200, 1250, 1300, 1350, 1400, 1450, 1500, 1550, 1600, 1650, 1700, 1750, 1800, 1850, 1900, 1950, 2000, 2050, 2100, 2150, 2200, 2250, 2300, 2350, 2400, 2450, 2500, 2550, 2600, 2650, 2700, 2750, 2800, 2850, 2900, 2950, 3000, 3050, 3100, 3150, 3200, 3250, 3300, 3350, 3400, 3450, 3500, 3550, 3600, 3650, 3700, 3750, 3800, 3850, 3900, 3950, 4000, 4050, 4100, 4150, 4200, 4250, 4300, 4350, 4400, 4450, 4500, 4550, 4600, 4650, 4700, 4750, 4800, 4850, 4900, 4950, 5000, 5050, 5100, 5150, 5200, 5250, 5300, 5350, 5400, 5450, 5500, 5550, 5600, 5650, 5700, 5750, 5800, 5850, 5900, 5950, 6000, 6050, 6100, 6150, 6200, 6250, 6300, 6350, 6400, 6450, 6500, 6550, 6600, 6650, 6700, 6750, 6800, 6850, 6900, 6950, 7000, 7050, 7100, 7150, 7200, 7250, 7300, 7350, 7400, 7450, 7500, 7550, 7600, 7650, 7700, 7750, 7800, 7850, 7900, 7950, 8000, 8050, 8100, 8150, 8200, 8250, 8300, 8350, 8400, 8450, 8500, 8550, 8600, 8650, 8700, 8750, 8800, 8850, 8900, 8950, 9000, 9050, 9100, 9150, 9200, 9250, 9300, 9350, 9400, 9450, 9500, 9550, 9600, 9650, 9700, 9750, 9800, 9850, 9900, 9950, 10000.

Light fixture: Shoobox LED  
Light fixture height: 10' 0" (3048 mm)  
Mounting: Pole  
Finish: Black, White, Bronze  
Poles: 120V/277V only, 1" or 2" diameter per pole  
Notes: 10' pole available in black or bronze only.

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Mounting height: 10'  
Mounting: Pole  
Finish: Black, White, Bronze  
Poles: 120V/277V only, 1" or 2" diameter per pole  
Notes: 10' pole available in black or bronze only.

Features:  
• Low energy consumption  
• Long service life  
• Excellent color rendering  
• Excellent beam lighting effect  
• Excellent uniformity  
• Available in black, white and bronze  
• Available in 120V and 277V  
• Available in 100, 150, 200, 250, 300, 350, 400, 450, 500, 550, 600, 650, 700, 750, 800, 850, 900, 950, 1000, 1050, 1100, 1150, 1200, 1250, 1300, 1350, 1400, 1450, 1500, 1550, 1600, 1650, 1700, 1750, 1800, 1850, 1900, 1950, 2000, 2050, 2100, 2150, 2200, 2250, 2300, 2350, 2400, 2450, 2500, 2550, 2600, 2650, 2700, 2750, 2800, 2850, 2900, 2950, 3000, 3050, 3100, 3150, 3200, 3250, 3300, 3350, 3400, 3450, 3500, 3550, 3600, 3650, 3700, 3750, 3800, 3850, 3900, 3950, 4000, 4050, 4100, 4150, 4200, 4250, 4300, 4350, 4400, 4450, 4500, 4550, 4600, 4650, 4700, 4750, 4800, 4850, 4900, 4950, 5000, 5050, 5100, 5150, 5200, 5250, 5300, 5350, 5400, 5450, 5500, 5550, 5600, 5650, 5700, 5750, 5800, 5850, 5900, 5950, 6000, 6050, 6100, 6150, 6200, 6250, 6300, 6350, 6400, 6450, 6500, 6550, 6600, 6650, 6700, 6750, 6800, 6850, 6900, 6950, 7000, 7050, 7100, 7150, 7200, 7250, 7300, 7350, 7400, 7450, 7500, 7550, 7600, 7650, 7700, 7750, 7800, 7850, 7900, 7950, 8000, 8050, 8100, 8150, 8200, 8250, 8300, 8350, 8400, 8450, 8500, 8550, 8600, 8650, 8700, 8750, 8800, 8850, 8900, 8950, 9000, 9050, 9100, 9150, 9200, 9250, 9300, 9350, 9400, 9450, 9500, 9550, 9600, 9650, 9700, 9750, 9800, 9850, 9900, 9950, 10000.

NORTH PARKING AREA		SOUTH PARKING AREA	
AVERAGE FOOT CANDLES	1.97	AVERAGE FOOT CANDLES	2.84
MAXIMUM FOOT CANDLES	3.4	MAXIMUM FOOT CANDLES	4.3
MINIMUM FOOT CANDLES	0.8	MINIMUM FOOT CANDLES	1.4
MINIMUM TO MAXIMUM FC RATIO	0.24	MINIMUM TO MAXIMUM FC RATIO	0.33
MAXIMUM TO MINIMUM FC RATIO	4.22	MAXIMUM TO MINIMUM FC RATIO	3.01
AVERAGE TO MINIMUM FC RATIO	2.43	AVERAGE TO MINIMUM FC RATIO	1.76

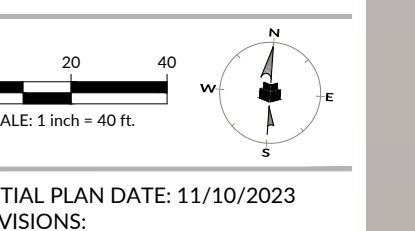
LUMINAIRE SCHEDULE	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	VOLTS	QUANTITY
SHOE-220W	■	(8) 220W	GALLEN AREA AND ROADWAY LUMINAIRE (FC CR. 400K, 100MA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE N WIDE OPTICS)	ELECTRONIC	30' POLE	EATON - STREETWORKS (FORMER COOPER LIGHTING), GAN-FH-LED-TW	120V IP-2W	25

**WithersRavenel**  
137 S. Wilmington Street | Suite 200 | Raleigh, NC 27601  
License #: F-1479 | T: 919-469-3340 | www.withersravenel.com

**GRAVITY COMPANIES**  
2629 ST. MARY'S STREET  
RALEIGH, NC 27609

ADMINISTRATIVE SITE REVIEW  
**ROCK QUARRY MULTI-FAMILY**  
5504 ROCK QUARRY ROAD | RALEIGH, NC, 27610 | WAKE

**PRELIMINARY**  
NOT APPROVED  
FOR CONSTRUCTION



INITIAL PLAN DATE: 11/10/2023  
REVISIONS:

WR JOB NUMBER: 23-0232  
DRN: WR DGN: WR CKD: WR

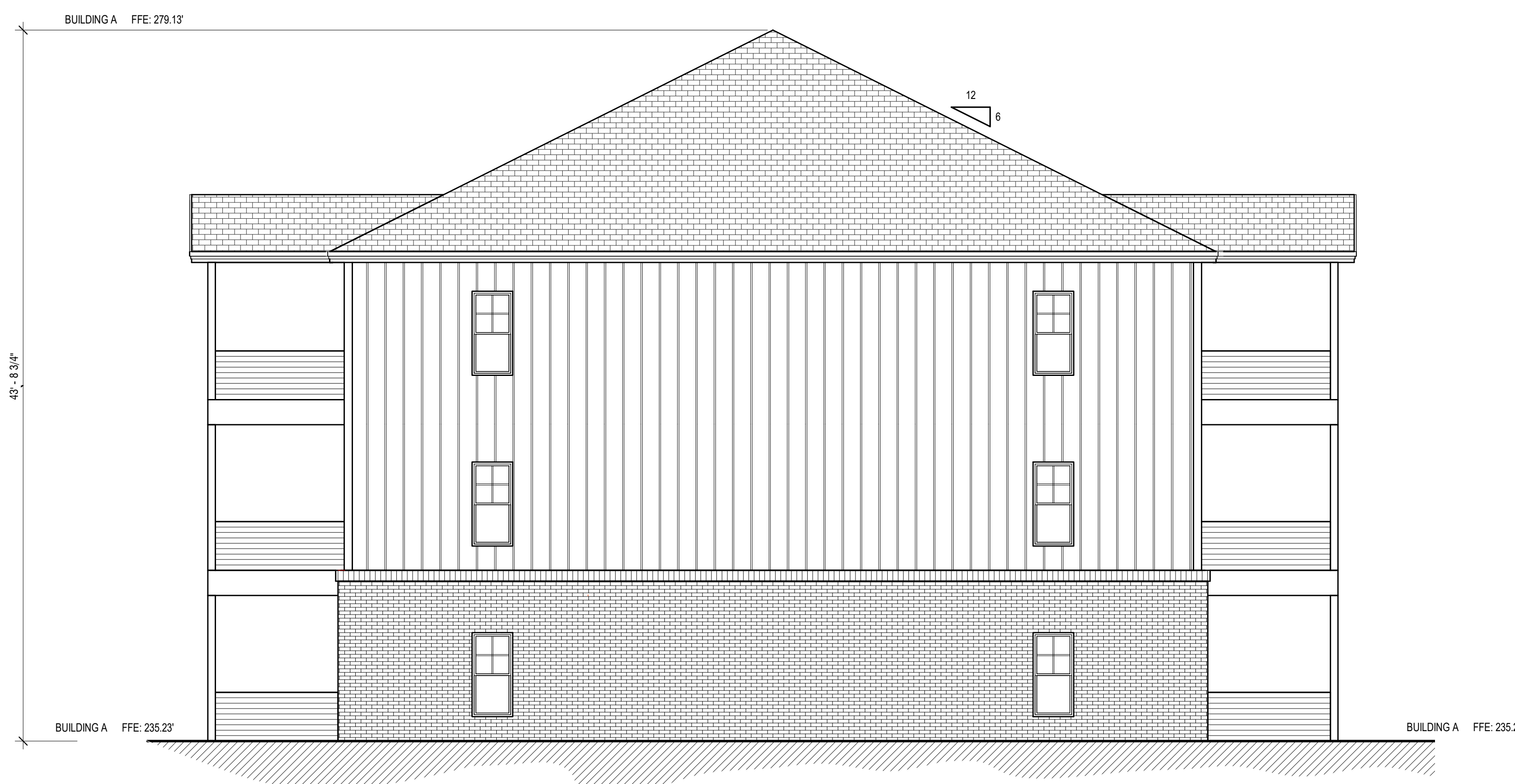
**LIGHTING PLAN**

**SL1.00**

J:\2023\23-0232\Gravity Companies - Raleigh - Rock Quarry Multi-Family\Drawings\Site\SL1.00 - Overall Lighting Plan.dwg, Friday, November 10, 2023 11:36:10 - DCDL



1 FRONT ELEVATION  
 SCALE: 3/16" = 1'-0"



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**GRAVITY ROCK 1-BEDROOM UNITS**  
 5504 Rock Quarry Road Raleigh, NC 27610

REV.	DATE	ISSUE TITLE

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**FRONT / RIGHT ELEVATIONS**

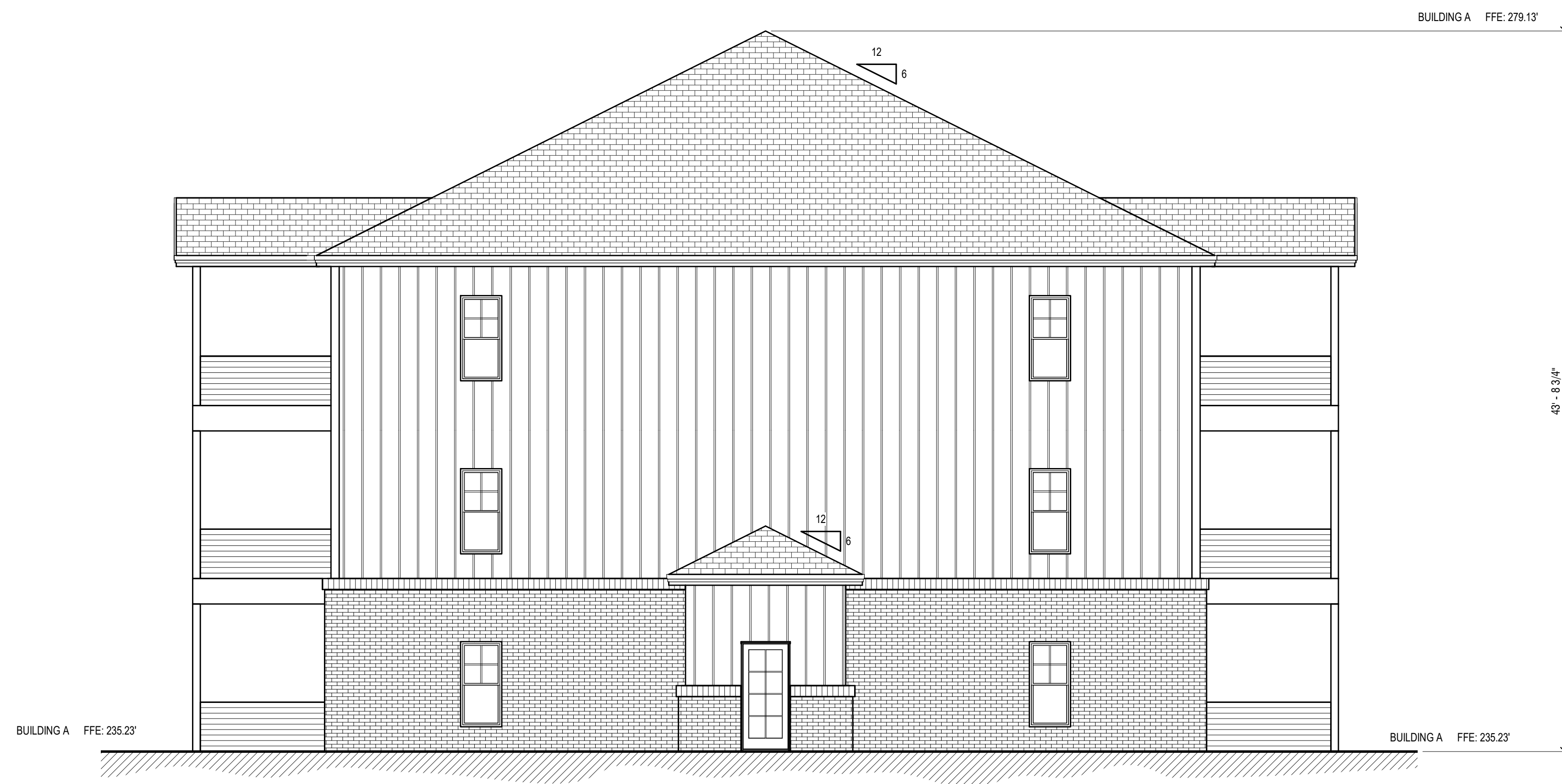
SHEET NUMBER

**B4**





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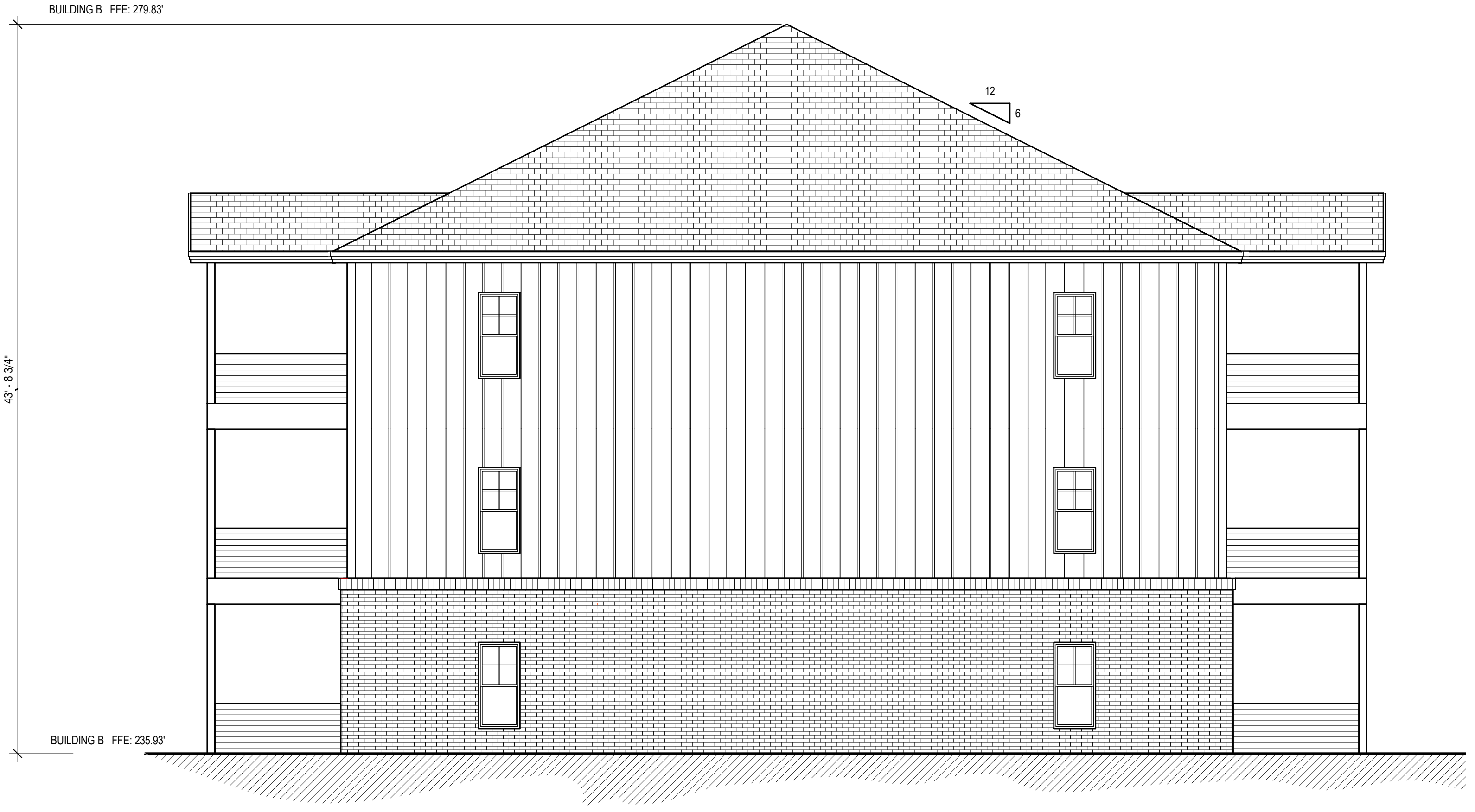
REV.	DATE	ISSUE TITLE

SHEET NAME  
 REAR / LEFT ELEVATIONS  
 SHEET NUMBER

**B5**



1 FRONT ELEVATION  
 SCALE: 3/16" = 1'-0"



2 RIGHT ELEVATION  
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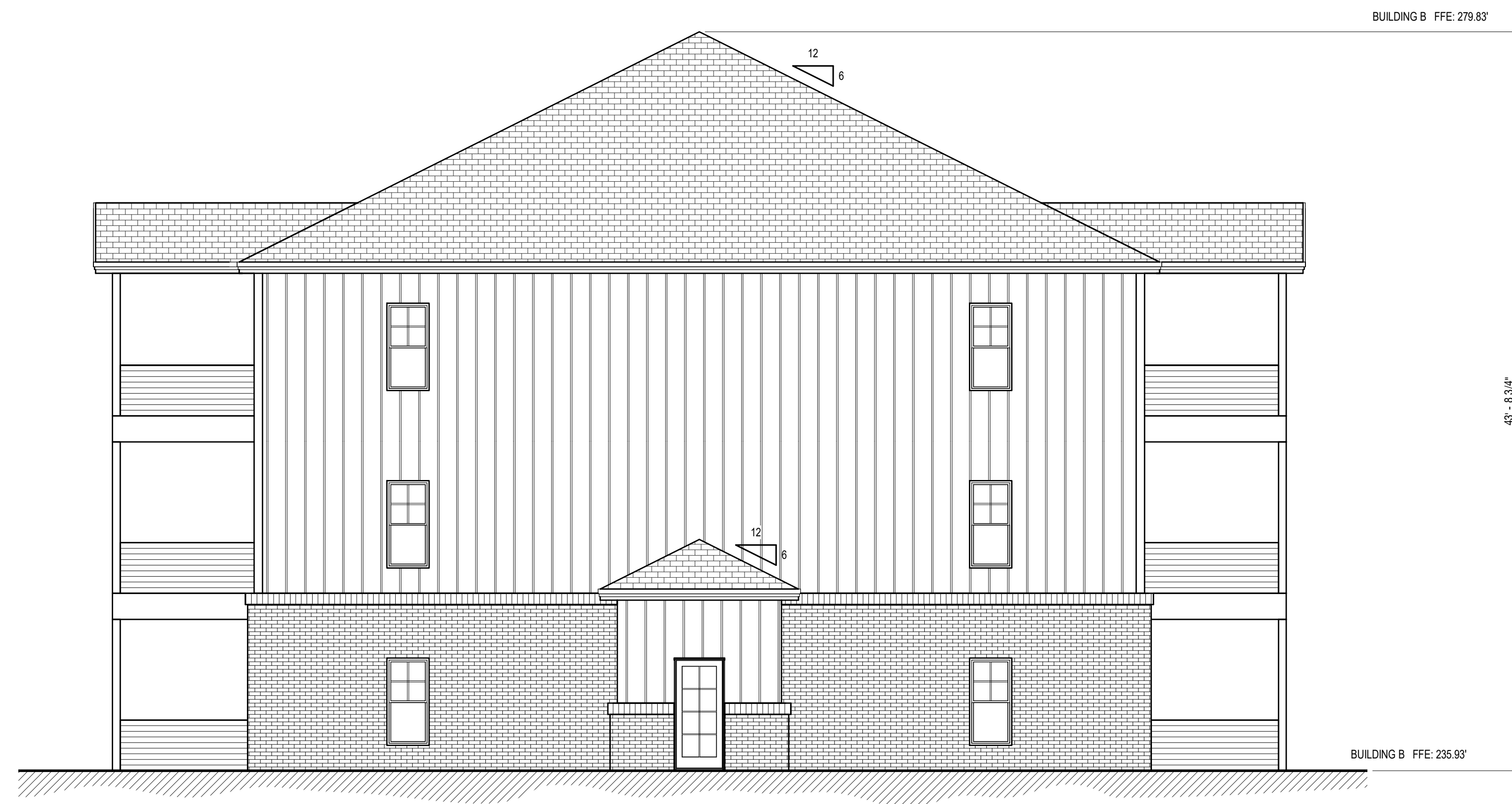
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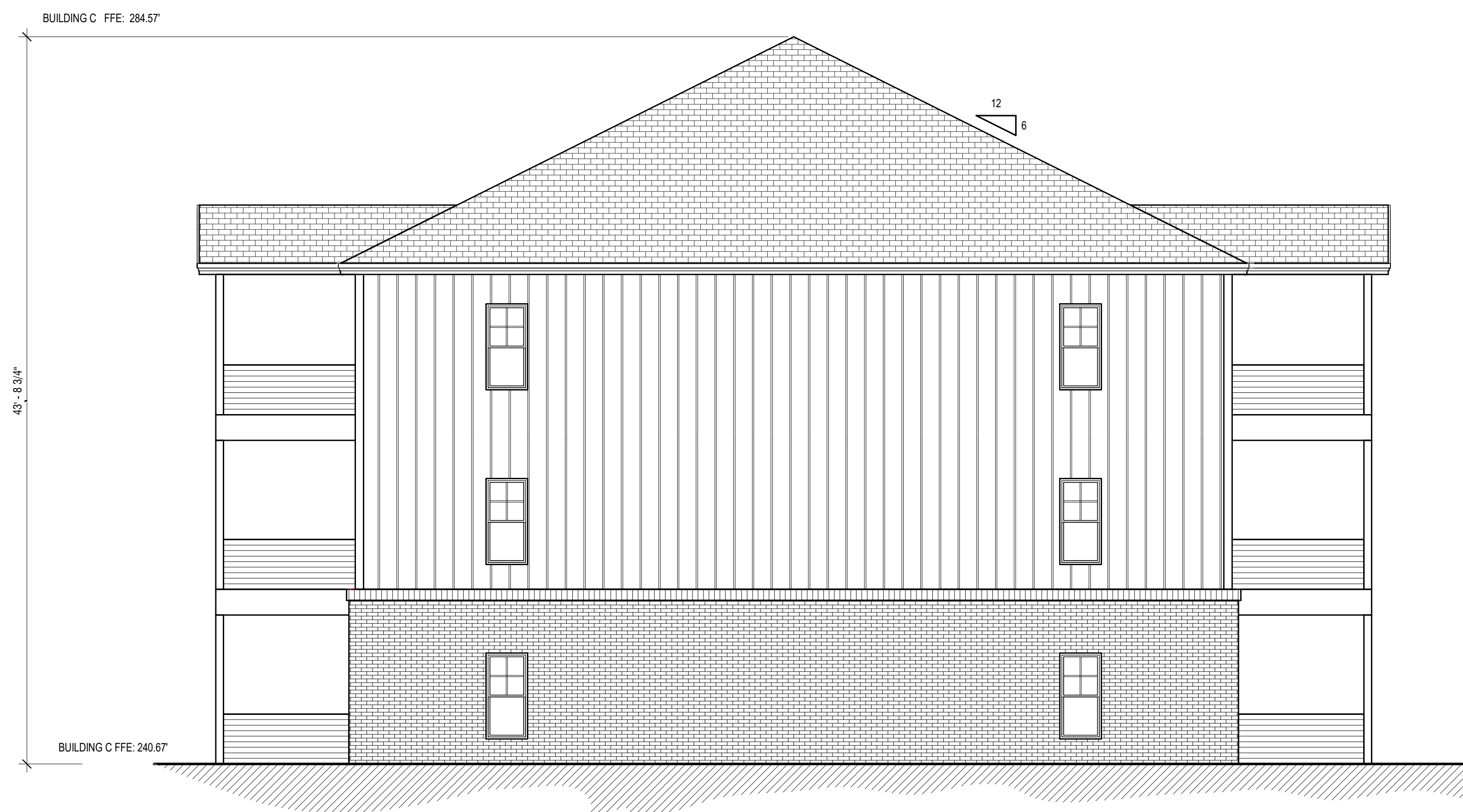
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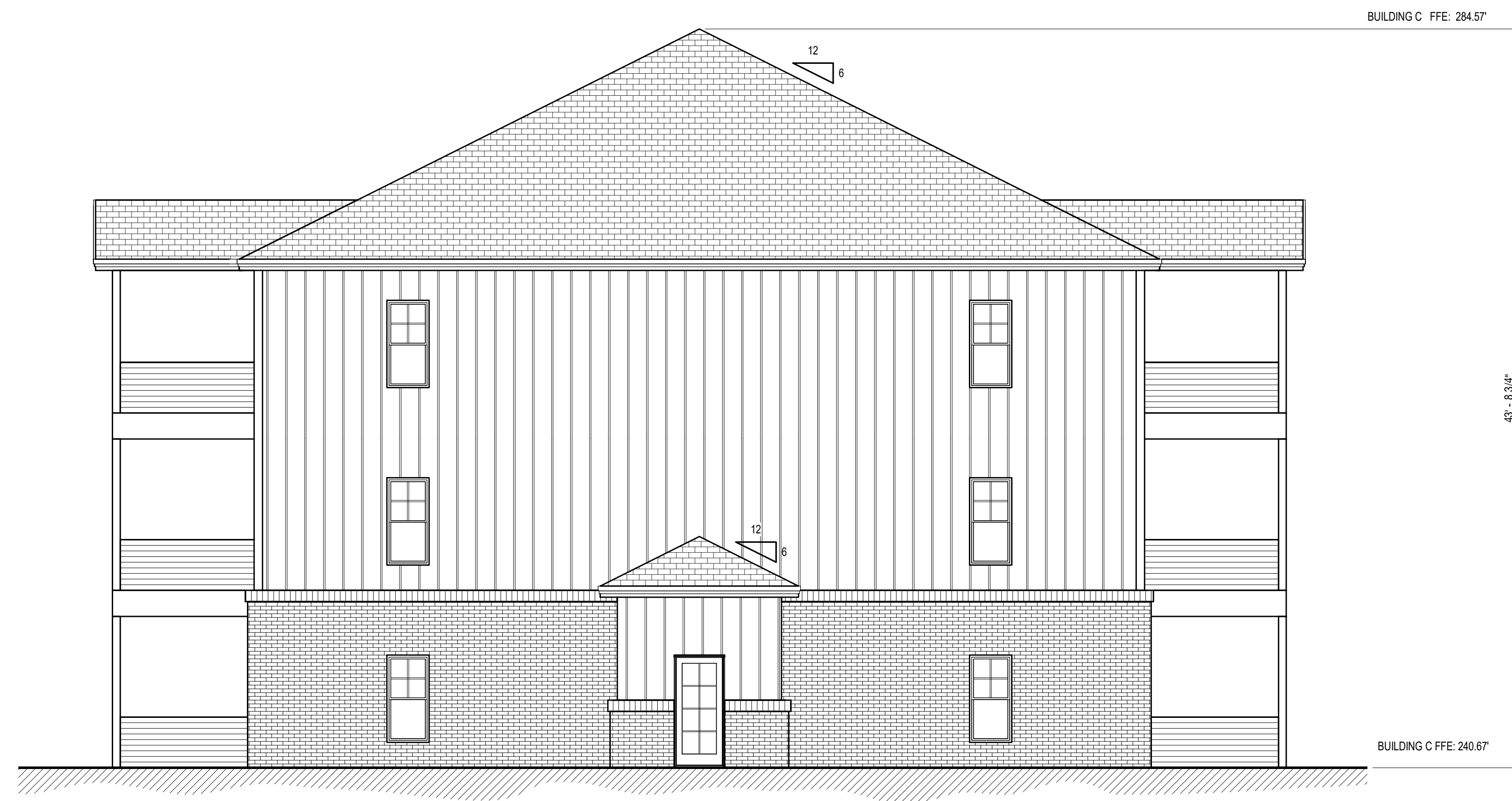
FRONT / RIGHT ELEVATIONS

SHEET NUMBER

**B4**



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2 LEFT ELEVATION  
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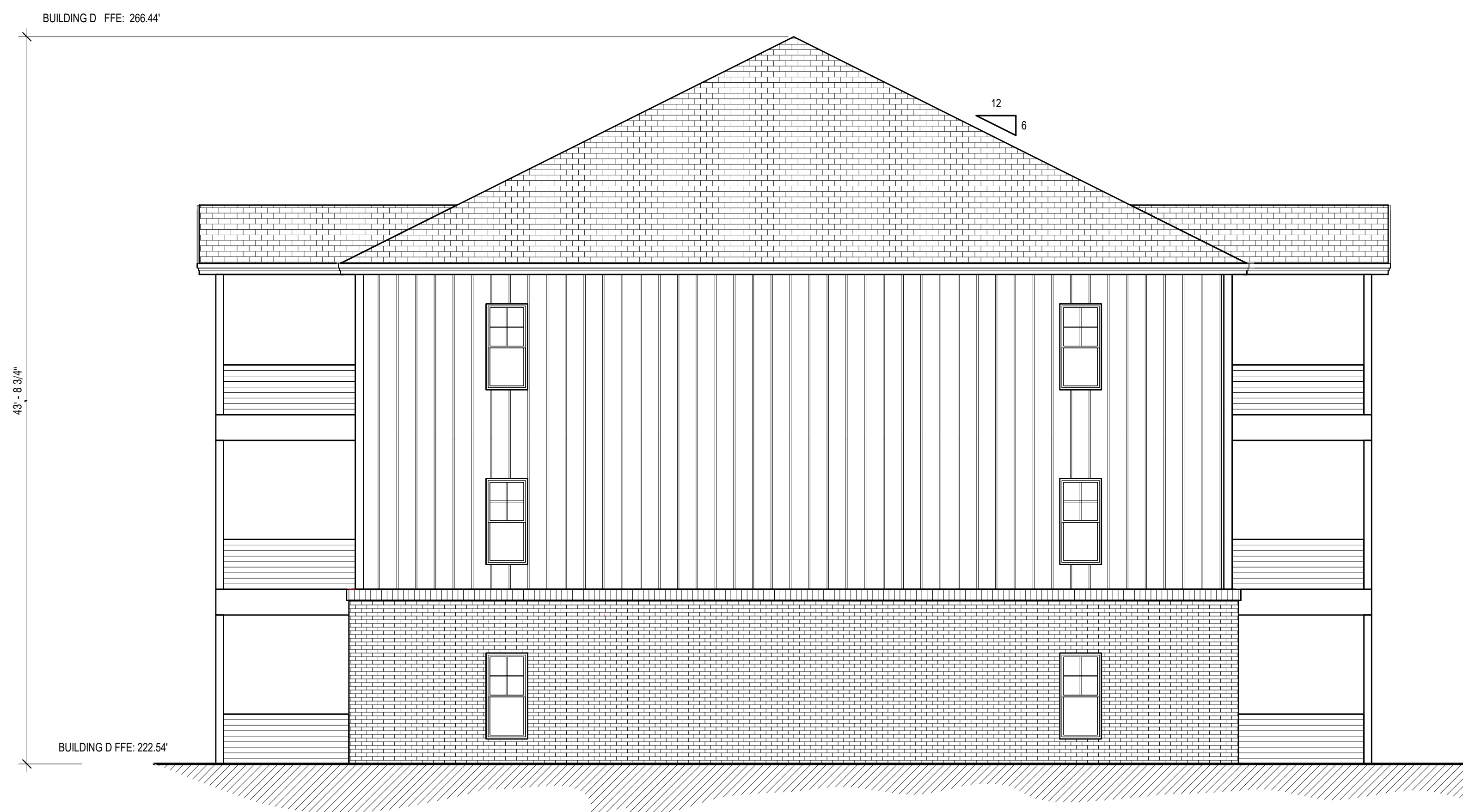
SHEET NAME  
 REAR / LEFT ELEVATIONS

SHEET NUMBER

**B5**



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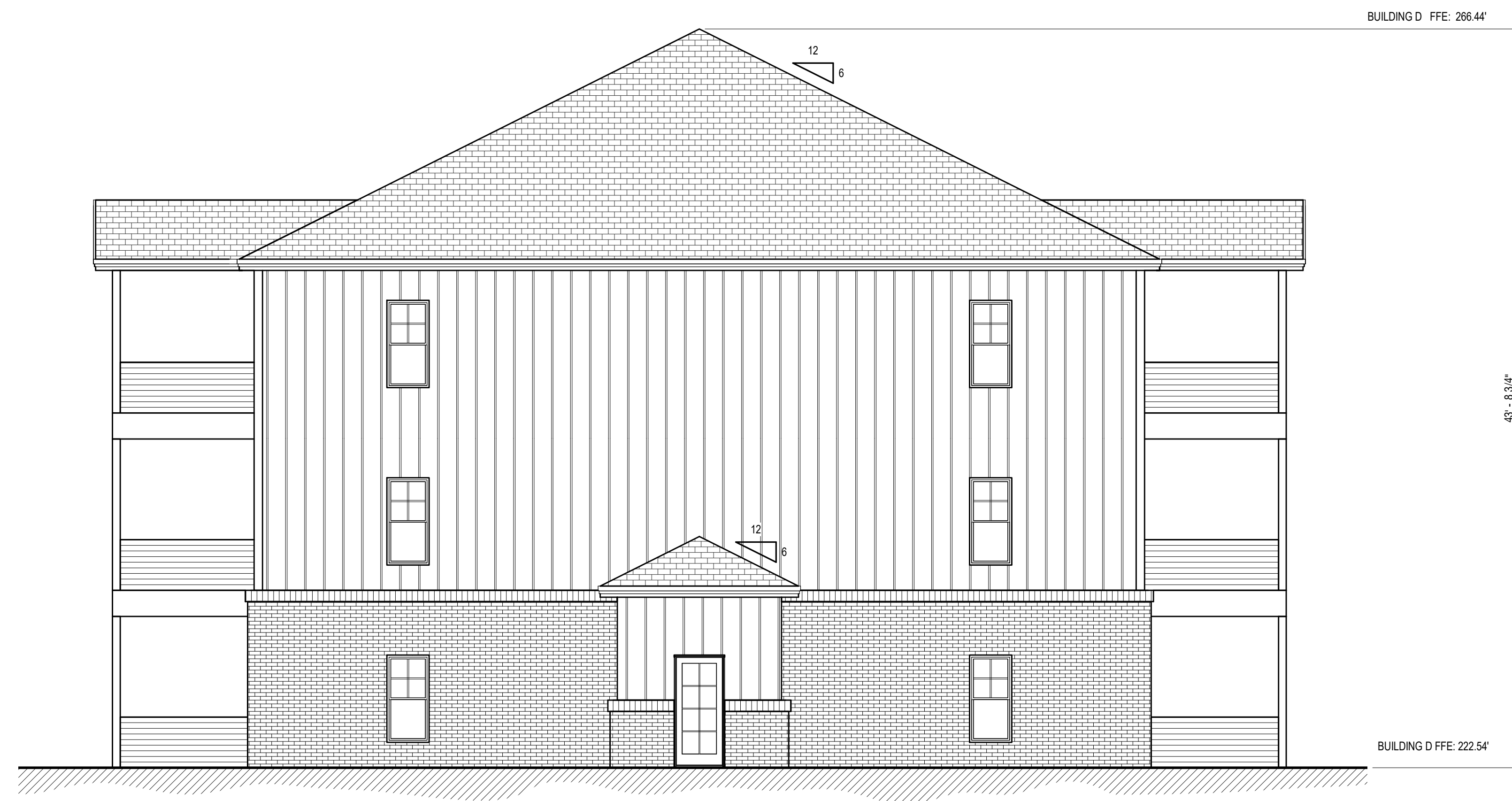
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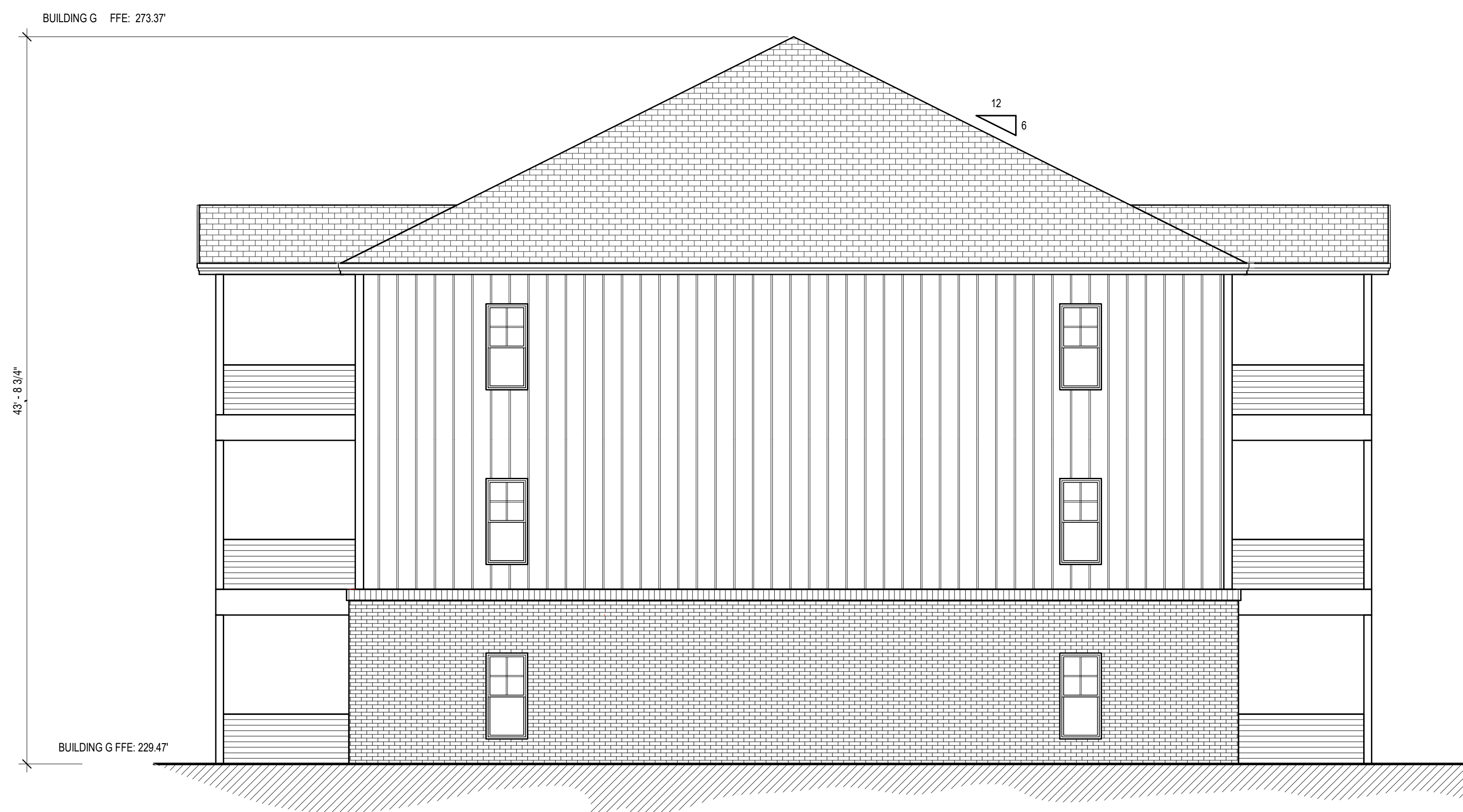
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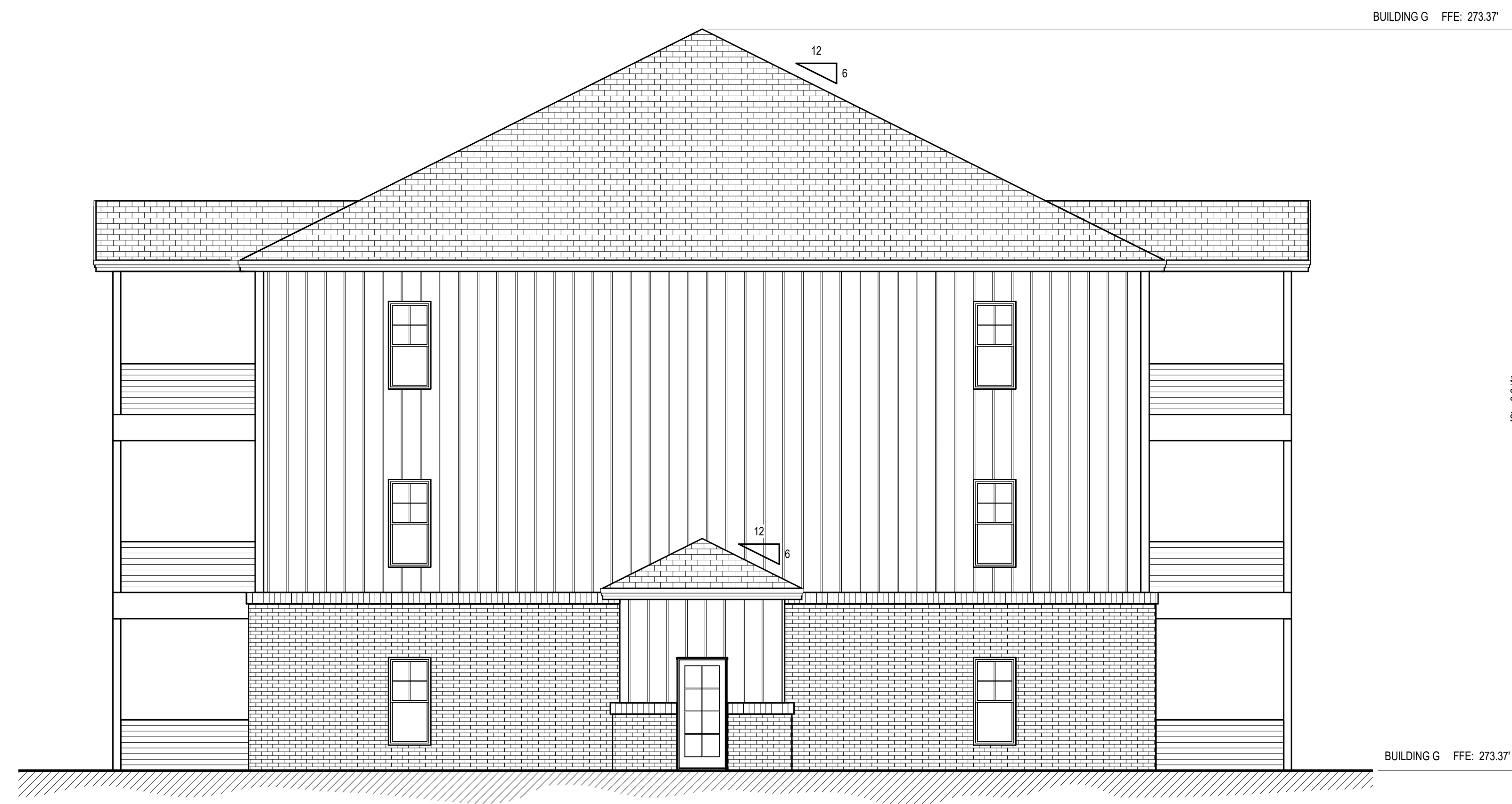
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15. ERECTION BRACING IS ALWAYS REQUIRED. PROFESSIONAL ADVICE SHOULD ALWAYS BE SOUGHT TO PREVENT TOPPLING OR DOMINOING OF TRUSSES DURING INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FURNISHING THE MATERIALS USED FOR INSULATION AND PERMANENT BRACING.

**GRAVITY ROCK 1-BEDROOM UNITS**  
 5504 Rock Quarry Road Raleigh, NC 27610

REV.	DATE	ISSUE TITLE

SHEET NAME

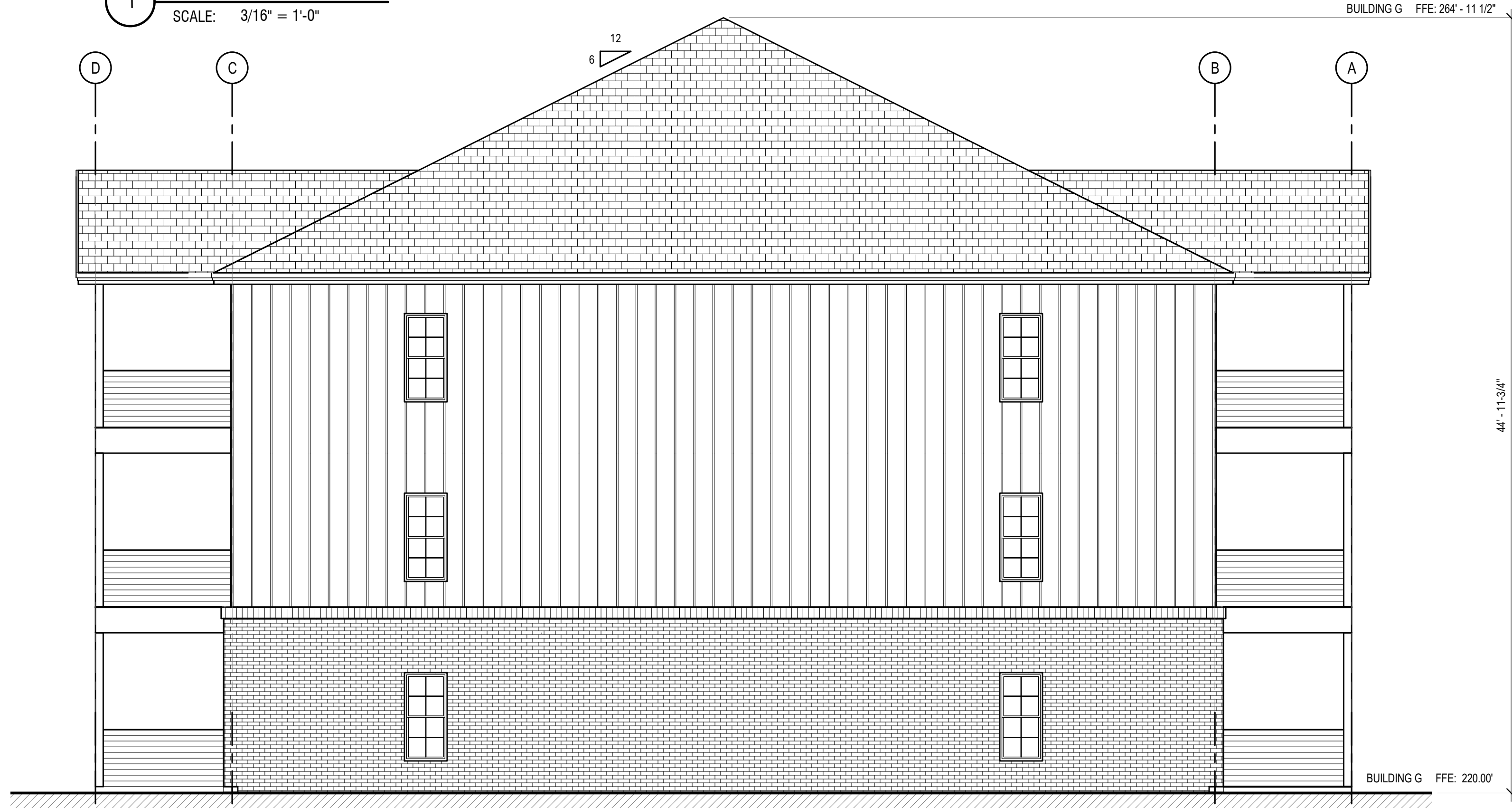
REAR / LEFT ELEVATIONS

SHEET NUMBER

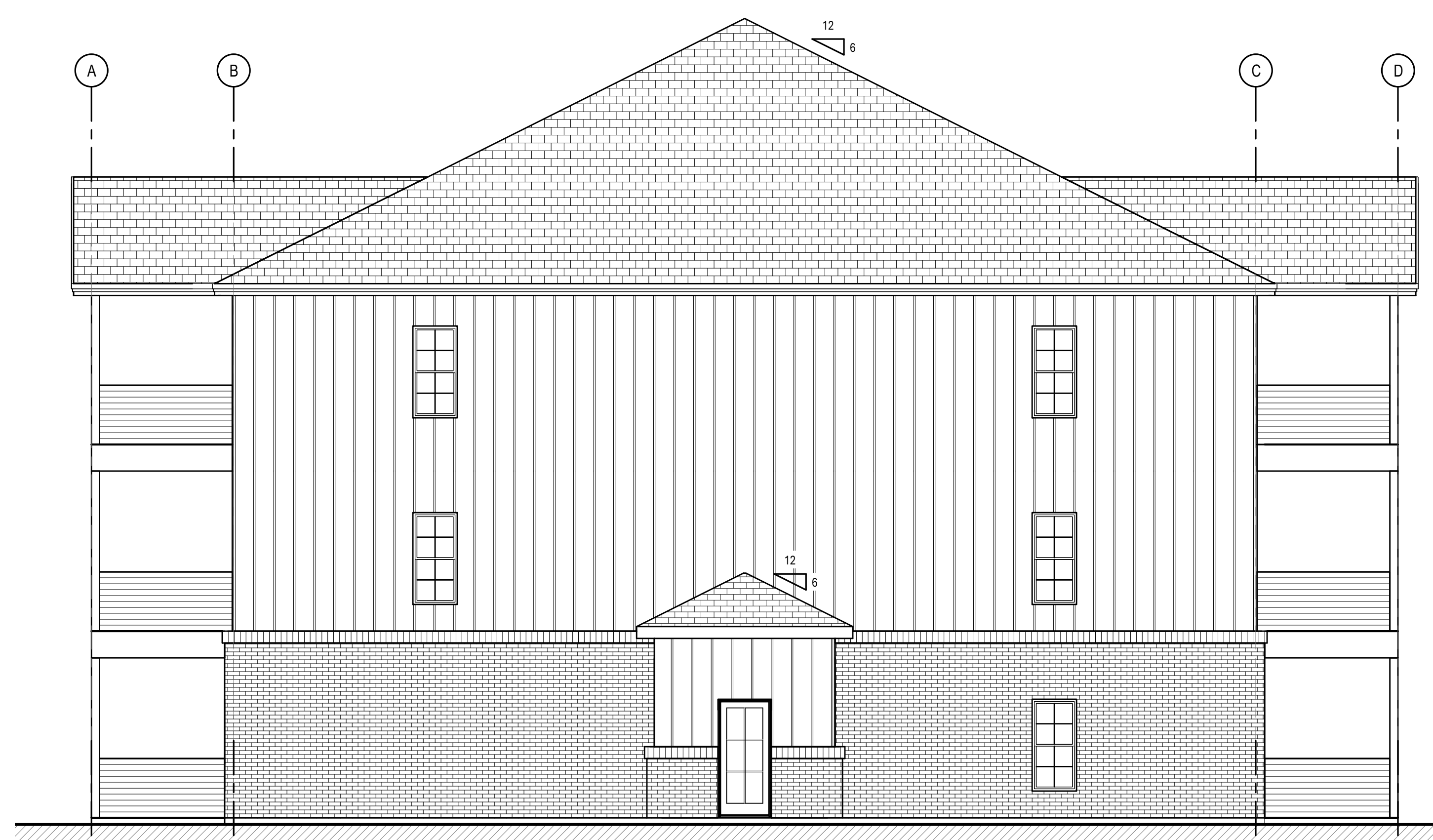
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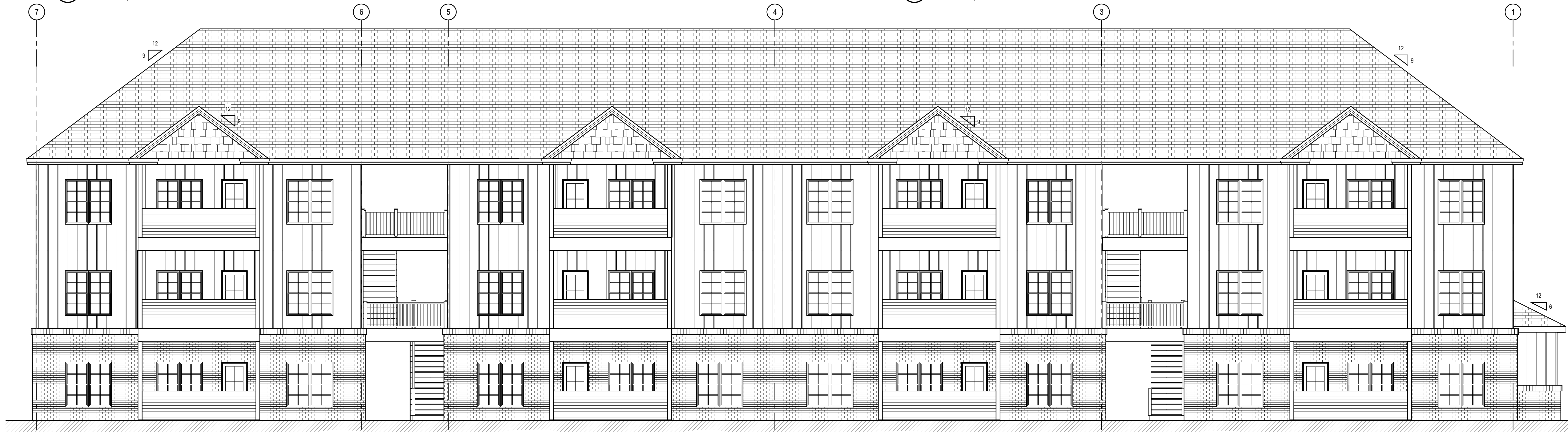
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2 RIGHT ELEVATION  
SCALE: 3/16" = 1'-0"



4 LEFT ELEVATION  
SCALE: 3/16" = 1'-0"



3 REAR ELEVATION  
SCALE: 3/16" = 1'-0"

REVISIONS		
NO.	DATE	BY

**InFocus Engineering, PLLC**  
2702 Forest Glen Drive  
Greenville, NC 27858  
(252) 412-8598

# GRAVITY ROCK 2-BEDROOM UNITS

5504 Rock Quarry Road Raleigh, NC 27610

DATE 11/8/2023 10:58:48 PM

SCALE

DRAWN BY TC

SHEET INFO  
EXTERIOR ELEVATIONS

SHEET NUMBER

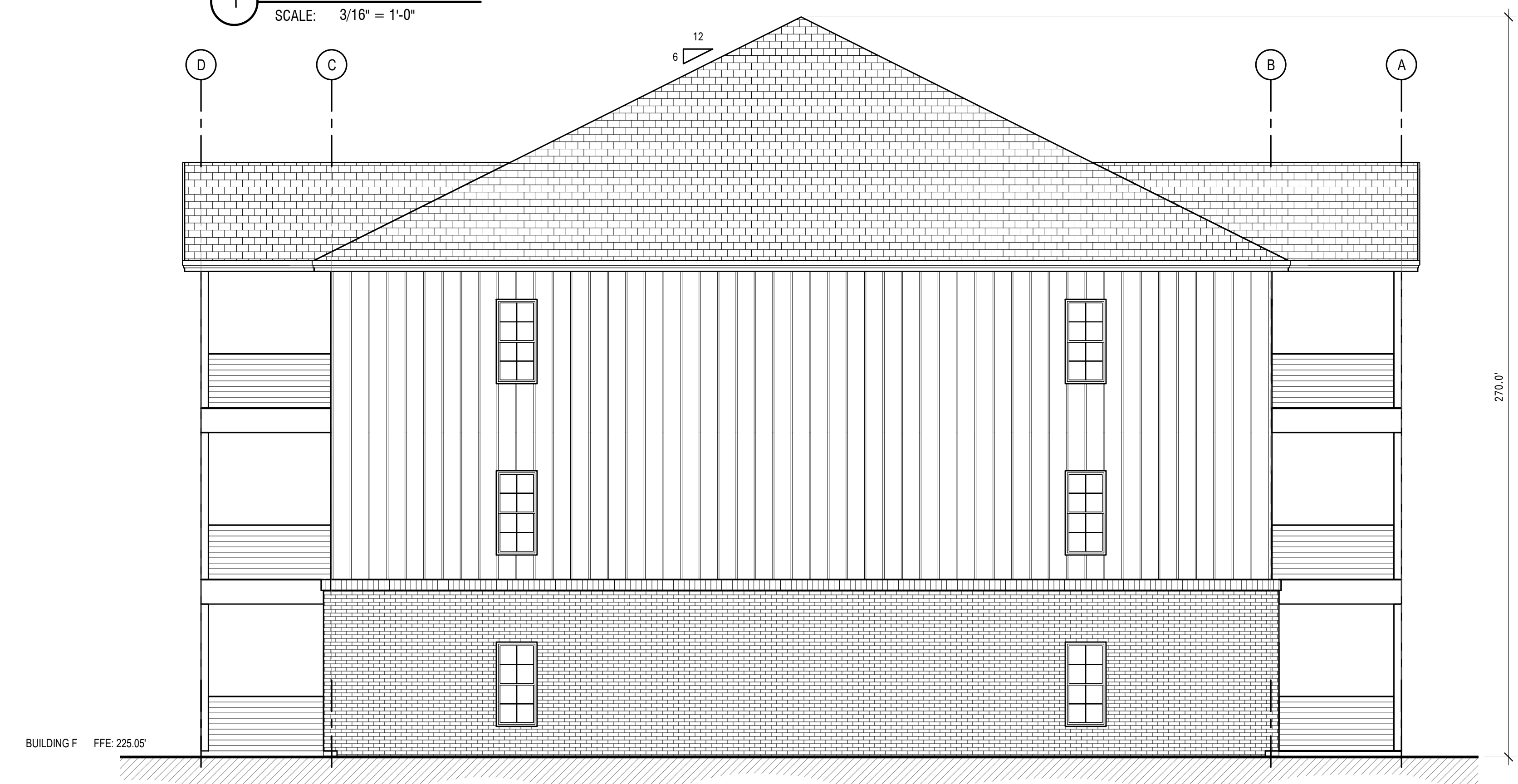
**B4**

REVISIONS		
NO.	DATE	BY

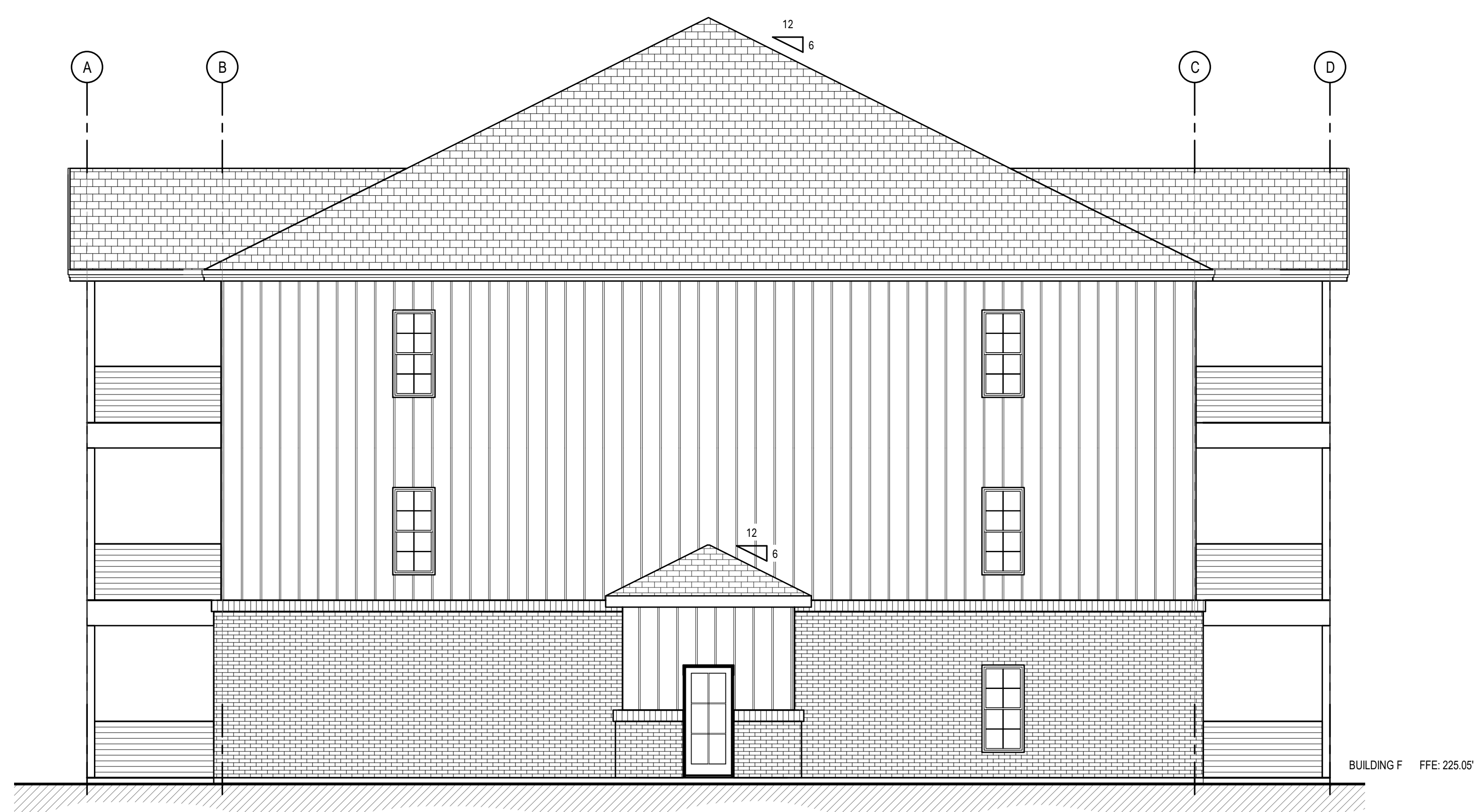
**InFocus Engineering, PLLC**  
 2702 Forest Glen Drive  
 Greenville, NC 27858  
 (252) 412-8598



**1 FRONT ELEVATION**  
 SCALE: 3/16" = 1'-0"



**2 RIGHT ELEVATION**  
 SCALE: 3/16" = 1'-0"



**4 LEFT ELEVATION**  
 SCALE: 3/16" = 1'-0"



**3 REAR ELEVATION**  
 SCALE: 3/16" = 1'-0"

**GRAVITY ROCK 2-BEDROOM UNITS**  
 5504 Rock Quarry Road Raleigh, NC 27610

DATE	11/8/2023 10:00:18 PM
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SHEET INFO	EXTERIOR ELEVATIONS
SHEET NUMBER	

**B4**