# **Administrative Site Review Application**

Office Use Only: Case #:



Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Planner (print):

-				
	n request can be submitted onlin	an tier. If assistance determining a Site Plan Tier is needed e via the Permit and Development Portal. (Note: There is a		
Site Plan Tier: Tier Tw	o Site Plan Tier Thre	e Site Plan		
<u> </u>	d Development Type all that apply)	Site Transaction History		
Detached Attached Townhouse Apartment Tiny house Open lot	General Mixed use Civic Cottage Court Frequent Transit Development Option	Subdivision case #: Scoping/sketch plan case #: Certificate of Appropriateness #: Board of Adjustment #: Zoning Case #: Design Alternate #:		
Development name:	-	NFORMATION		
Inside City limits? Ye Property address(es):	es No			
Site P.I.N.(s):  Please describe the scop	e of work. Include any additions,	expansions, and uses (UDO 6.1.4).		
Current Property Owner	r(s):			
Company:		Title:		
Address:				
Phone #:	Email:			
Applicant Name (If different from owner. See "who can apply" in instructions):				
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder				
Company:	Address:			

Page 1 of 3 REVISION 1.23.23

Phone #:	Email:				
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.					
Developer Contact:					
Company:		Title:			
Address:	Address:				
Phone #:	Email:				
Applicant Name:					
Company:	Address:				
Phone #:	Email:				

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)			
SITE DATA BUILDING DATA			
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):		
Gross site acreage:	Existing gross floor area to be demolished:		
# of parking spaces proposed:	New gross floor area:		
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):		
Overlay District (if applicable):	Proposed # of buildings:		
Existing use (UDO 6.1.4):	Proposed # of stories for each:		
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)		

STORMWATER INFORMATION				
Imperious Area on Parcel(s):	Impervious Area for Compliance (includes ROW):			
Existing (sf) Proposed total (sf)	Existing (sf) Proposed total (sf)			

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS					
Total # of dwelling units:	Total # of hotel bedrooms:				
of bedroom units: 1br 120 2br 48 3br 4br or more					
# of lots:	Is your project a cottage court? Yes No				
	A frequent transit development? Yes No				

Continue to Applicant Signature Block on Page Three.

Page 2 of 3 REVISION 1.23.23

## APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:	Date:
Printed Name:	

Page 3 of 3 REVISION 1.23.23

REAL ESTATE ID: 0031936

REQUIRED AMENITY SPACE

PROPOSED AMENITY SPACE

118,483 SF / 2.72 AC (10%)

118,483 SF / 2.72 AC (10%)

## BICYCLE PARKING CALCULATIONS SHORT-TERM PARKING

MULTI-UNIT LIVING 1 SPACE PER 20 UNITS, MINIMUM 4 168 UNITS/20 = 9 SPACES PROVIDED

# LONG-TERM PARKING

MULTI-UNIT LIVING

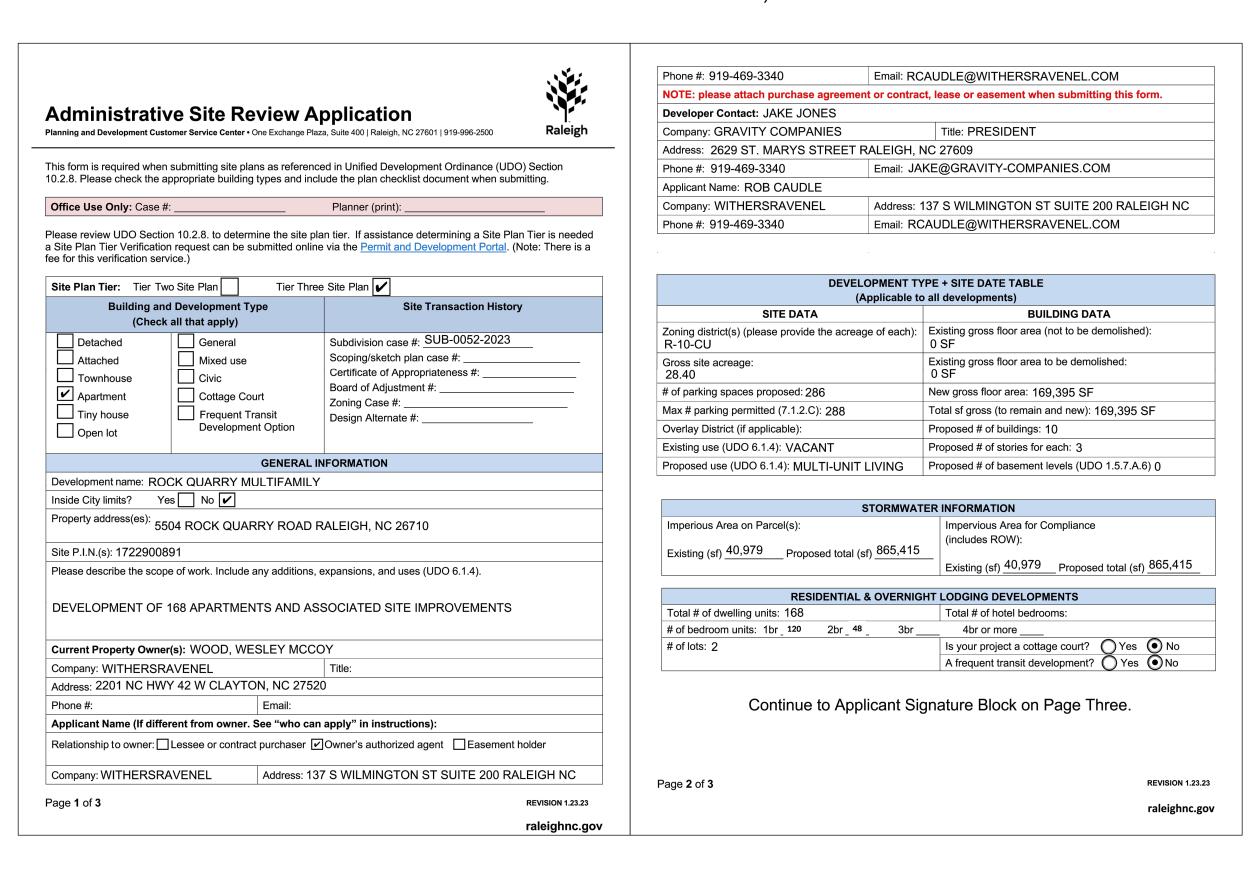
1 SPACE PER 7 BEDROOMS REQUIRED SPACES 168 BED / 7 = 24 SPACES SPACES PROVIDED 24 SPACES INTERNAL TO BUILDING

# ADMINISTRATIVE SITE REVIEW

# ROCK QUARRY MULTI-FAMILY

# 5504 ROCK QUARRY ROAD | RALEIGH, NC, 27610 | WAKE

**1ST SUBMITTAL: NOVEMBER 10, 2023** 



Sh	eet List Table	Sh	et List Table	
Sheet Number	Sheet Title	Sheet Number	Sheet Title	
C0.00	COVER	L6.01	CODE PLANTING PLAN AREA I	
C0.01	GENERAL NOTES	L6.02	CODE PLANTING PLAN AREA II	
C1.00	<b>EXISTING CONDITIONS</b>	L6.20	LANDSCAPE DETAIL	
C1.10	TREE CONSERVATION PLAN	SL1.00	LIGHTING PLAN	
C1.20	DEMOLITION PLAN		1 BEDROOM ELEVATIONS	
C2.00	OVERALL SITE PLAN		1 BEDROOM ELEVATIONS	
C2.01	SITE PLAN AREA I		1 BEDROOM ELEVATIONS	
C2.02	SITE PLAN AREA II		1 BEDROOM ELEVATIONS	
C3.00	UTILITY PLAN		1 BEDROOM ELEVATIONS	
C3.01	UTILITY PLAN AREA I		1 BEDROOM ELEVATIONS	
C3.02	UTILITY PLAN AREA II		1 BEDROOM ELEVATIONS	
C3.10	FIRE ACCESS PLAN		1 BEDROOM ELEVATIONS	
C5.00	GRADING PLAN		1 BEDROOM ELEVATIONS	
C5.01	GRADING PLAN AREA I		1 BEDROOM ELEVATIONS	
C5.02	GRADING PLAN AREA II		2 BEDROOM ELEVATIONS	
L6.00	OVERALL CODE PLANTING PLA	N	2 BEDROOM ELEVATIONS	

# **VICINITY MAP**



## **APPROVED ZONING** CONDITIONS

RESPONSE CONDITION DWELLING UNITS PER ACRE 1. RESIDENTIAL DENSITY SHALL NOT EXCEED SIX (6) DWELLING UNITS PER ACRE DOES NOT EXCEED SIX (6) THE PUBLIC ACCESS FASEMENT PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT, A BICYCLE AND PEDESTRIAN PUBLIC ACCESS SPECIFIED IN THIS ZONING EASEMENT AT LEAST TWENTY (20) FEET IN WIDTH PROVIDING A CONNECTION FROM THE COMMON LINE

IF THE NUMBER OF PEAK HOUR VEHICLE TRIPS FOR DEVELOPMENT IS CALCULATED TO EXCEED ONE HUNDRED (100), AS DETERMINED WITH REFERENCE TO THE ITE TRIP GENERATION MANUAL, THE DEVELOPER SHALL CAUSE A TRAFFIC IMPACT ANALYSIS TO BE CONDUCTED PRIOR TO ADMINISTRATIVE

WITH THE PARCEL IDENTIFIED AS 3831 CENTURION DRIVE (PIN 1722709833, WAKE COUNTY BOOK OF

DEEDS 15289 PAGE 2437) AND THE NORTH BOUNDARY OF THE SUBJECT PROPERTY AS IT ABUTS RIGHT OF

A TRIP GENERATION LETTER

WILL BE PROVIDED TO THE

AND IS SHOWN ON

SUB-0052-2023

CONDITION WILL BE RECORDED

AS PART OF SUBDIVISION PLANS

## TRAFFIC CONTROL & PEDESTRIAN PLAN NOTES

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- 2. THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S
- 3. A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND
- 4. PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- 5. ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO: MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
- PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG); AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;

WAY OF QUARRYMAN ROAD (SHALL BE RECORDED.)

- RALEIGH STREET DESIGN MANUAL (RSDM).
- 6. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC
- 7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

- 1. SOLID WASTE SERVICES ARE TO BE PROVIDED BY A PRIVATE CONTRACTOR. REFER TO SHEET C2.21.
- 2. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.

# FIRE DEPARTMENT NOTES

SOLID WASTE INSPECTION STATEMENT

- 1. THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 250 FEET (NFPA 13); A NFPA 13 SPRINKLING SYSTEM IS PROPOSED FOR THIS SITE.
- 2. FIRE HYDRANT SHALL BE LOCATED WITHIN 600' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1).
- 3. ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
- 4. FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2018 NCFC, SECTION 507.3.
- 5. ALTERNATIVE PAVEMENT MATERIALS TO BE APPROVED BY RALEIGH FIRE MARSHAL.

# **ATTENTION CONTRACTORS**

- NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
- 2. THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER AND SEWER, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2409, AND THE PUBLIC UTILITIES DEPARTMENT AT (919)857-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.
- 3. FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.
- 4. FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.
- 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE.

**CONTACT LIST:** 

Jake Jones **Gravity Companies** 2629 St. Mary's Street Raleigh, NC 27609 919-414-5166

**PRELIMINARY** NOT APPROVED FOR CONSTRUCTION



PREPARED BY:

**GRAVITY COMPANIES** 

2629 ST. MARY'S STREET

PHONE #: 919-414-5166 ATTENTION: Jake Jones

RALEIGH, NC 27609

**DEVELOPER:** 





WR PROJECT NO. 23-0232 MUNI PRO NO: ASR-XXXX-2023

Rock Quarry Multi-Family

- c. VERTICAL DATUM: NAVD 88
- d. COORDINATE UNITS: US SURVEY FEET e. VERTICAL UNITS: US SURVEY FEET
- 2. PROPERTY BOUNDARY AND TOPOGRAPHIC SURVEY SHOWN AS PROVIDED BY WITHERSRAVENEL DATED APRIL 28, 2023.
- 3. PROPERTY DOES FALL WITHIN FEMA FLOODPLAIN PER FEMA FIRM 3720172200K, EFFECTIVE DATE JULY 19, 2022.
- 4. NO DETERMINATION HAS BEEN MADE BY THE SURVEYOR AS TO THE FOLLOWING: UNDERGROUND STORAGE FACILITIES. UNDERGROUND UTILITIES, GRAVES, CEMETERIES, BURIAL GROUNDS, HAZARDOUS WASTE DEPOSITS OR MATERIALS.
- 5. SURVEY CONTROL POINTS PROVIDED IN NC STATE PLANE COORDINATES. ALL PROPOSED COORDINATES ARE GROUND COORDINATES. THE CONTRACTOR'S SURVEYOR IS RESPONSIBLE FOR ANY CONVERSIONS NEEDED FOR THE STAKEOUT OF THE PROPOSED GROUND COORDINATES SHOWN.
- 6. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING ADDITIONAL CONTROLS THAT MAY BE NEEDED THROUGHOUT THE

- l. Work on this project shall conform to the latest north carolina department of transportation (ncdot) STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES, THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, CITY OF RALEIGH STANDARDS AND SPECIFICATIONS, GEOTECHNICAL REPORTS, AND ANY OTHER APPLICABLE DESIGN STANDARDS AT THE TIME OF PLAN APPROVAL. IN THE EVENT OF CONFLICT BETWEEN ANY OF THESE STANDARDS, SPECIFICATIONS OR PLANS, THE MOST STRINGENT SHALL GOVERN, UNLESS OTHERWISE NOTED IN THESE PLANS.
- 2. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR HAVING VISITED THE SITE AND HAVING FAMILIARIZED THEMSELVES WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID AND/OR COMMENCING WORK.
- 3. ANY DISCREPANCIES, INCONSISTENCIES OR AMBIGUITIES FOUND BETWEEN THE DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER IN WRITING AND PRIOR TO BIDDING IF APPLICABLE. WORK DONE BY THE CONTRACTOR AFTER THE DISCOVERY OF SUCH DISCREPANCIES, INCONSISTENCIES, OR AMBIGUITIES WITHOUT WRITTEN CLARIFICATION FROM THE ENGINEER AND APPROVAL BY OWNER SHALL BE DONE AT THE CONTRACTOR'S RISK AND EXPENSE.
- 4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL JOBSITE SAFETY DURING ALL PHASES OF CONSTRUCTION. ALL WORK SHALL COMPLY WITH MUNICIPAL, COUNTY AND STATE REGULATIONS, AND OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS. CONTRACTOR SHALL COMPLY WITH THE LATEST REVISIONS AND INTERPRETATIONS OF THE DEPARTMENT OF LABOR SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OSHA ACT.
- 5. THE CONTRACTOR SHALL CALL "811" FOR PROPER IDENTIFICATION OF EXISTING UTILITIES AT LEAST 72 HOURS PRIOR TO ANY DEMOLITION, GRADING, OR CONSTRUCTION ACTIVITY
- 6. THE CONTRACTOR IS RESPONSIBLE FOR HORIZONTALLY AND VERTICALLY LOCATING, AND SUBSEQUENTLY PROTECTING, ALL PUBLIC AND PRIVATE UTILITIES (SHOWN OR NOT SHOWN) THAT LIE IN OR ADJACENT TO THE PROJECT SITE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE UNDERGROUND UTILITIES. ALL UTILITIES AND FACILITIES ARE NOT NECESSARILY SHOWN. HAND DIGGING TO PROTECT UTILITIES FROM DAMAGE MAY BE REQUIRED.
- 7. ANY UTILITIES AND EXISTING SITE ELEMENTS (I.E. SIGNS, ROADWAYS, PATHS, STRUCTURES, NATURAL VEGETATION, OTHER EXISTING PROPERTY ITEMS, ETC.) DAMAGED DURING THE PROJECT BY THE CONTRACTOR'S WORKERS OR EQUIPMENT SHALL BE PROMPTLY REPAIRED AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER, UTILITY OWNER, REGULATORY AGENCY, AND
- 8. CONTRACTOR SHALL MAKE EVERY EFFORT TO PRESERVE PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES. A NORTH CAROLINA LICENSED LAND SURVEYOR SHALL REPLACE, AT THE CONTRACTOR'S EXPENSE, PROPERTY IRONS, MONUMENTS, OTHER PERMANENT POINTS AND LINES OF REFERENCE AND CONSTRUCTION STAKES
- 9. CONTRACTOR SHALL PLAN AND CONSTRUCT WORK IN ORDER TO CAUSE MINIMUM DISTURBANCE TO THE OWNER, ADJACENT PROPERTIES AND THE PUBLIC. CONTRACTOR SHALL COORDINATE WITH AND OBTAIN APPROVAL FROM STATE AND LOCAL
- 10. ADJACENT STREETS AND SIDEWALKS SHALL BE MAINTAINED IN AN UNOBSTRUCTED, CLEAN CONDITION, MUD AND DUST-FREE.
- 11. THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMIT APPROVALS AND EXECUTED EASEMENTS ON THE JOB SITE AT ALL TIMES.
- 12. CONSTRUCTION STAKEOUT FOR THIS PROJECT MAY BE PERFORMED BY THE CONTRACTOR, USING A DIGITAL (CADD) FILE PROVIDED BY THE ENGINEER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND BETWEEN THE DIGITAL FILE AND THE CRITICAL STAKING DIMENSIONS SHOWN ON THIS PLAN (I.E. PAVEMENT WIDTHS, CURB RADII, BUILDING SETBACKS, BUILDING FOOTPRINTS, ETC.). ANY MODIFICATIONS MADE BY OTHERS TO THE DIGITAL FILE PROVIDED BY THE ENGINEER SHALL RENDER IT VOID.
- 13. WETLANDS SHOWN WILL HAVE DEED RESTRICTION AND SHALL NOT BE CLEARED, DRAINED, OR OTHERWISE DISTURBED UNLESS SPECIFICALLY PERMITTED BY THE UNITED STATES ARMY CORPS OF ENGINEERS (USACE) OR NC DIVISION OF COASTAL MANAGEMENT (DCM) OR NC DIVISION OF WATER RESOURCES (DWR), AS APPLICABLE.
- 14. ANY WETLANDS THAT ARE TEMPORARILY IMPACTED DUE TO CONSTRUCTION ACTIVITIES SHALL BE RETURNED TO PRE-CONSTRUCTION GRADE AND SEEDED WITH A WETLAND SEED MIX IN ACCORDANCE WITH THE SEDIMENT & EROSION CONTROL
- I.S. CONTRACTOR SHALL FURNISH AND INSTALL ALL PAVEMENT MARKINGS FOR FIRE LANES, PARKING STALLS, ACCESSIBLE PARKING SYMBOLS, AND MISCELLANEOUS STRIPING WITHIN PARKING LOT AND AROUND BUILDINGS AS SHOWN ON THE PLANS. ALL LANDSCAPE ARCHITECT AND OWNER. PAVEMENT MARKING MATERIALS SHALL ADHERE TO NCDOT STANDARDS, UNLESS NOTED OTHERWISE.
- 16. ACCESSIBLE ROUTES AND PARKING AREAS MUST BE PROVIDED IN ACCORDANCE WITH THE CURRENT NORTH CAROLINA BUILDING CODE AND ADA STANDARDS FOR ACCESSIBLE DESIGN.
- 17. WHERE PROPOSED CURB AND GUTTER TIES TO EXISTING CURB OR CURB AND GUTTER, A TRANSITION OF 10' SHALL BE MADE TO CONFORM TO THE EXISTING HEIGHTS AND SHAPES, UNLESS OTHERWISE SHOWN ON THE PLANS.
- 18. ALL EXPANSION CURB JOINTS SHALL EXTEND THROUGH THE CURB. MINIMUM LENGTH OF OFFSET JOINTS AT RADIUS POINTS IS 1.5', UNLESS OTHERWISE SHOWN ON PLANS. ALL JOINTS SHALL BE SEALED WITH JOINT SEALANT.

# DEMOLITION NOTES:

- 1. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND UTILITY OWNER TO PROPERLY MAINTAIN, REMOVE OR RELOCATE EXISTING SERVICE CONNECTIONS WHEN NECESSARY.
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING SURROUNDING NEIGHBORS ABOUT ANY POTENTIAL INTERRUPTION TO
- 3. EXISTING UTILITIES NOT INTENDED FOR DEMOLITION SHALL BE MAINTAINED, PROTECTED AND UNDISTURBED DURING CONSTRUCTION ACTIVITIES.
- 4. THE CONTRACTOR SHALL PROTECT ALL ADJACENT PROPERTY, STRUCTURES AND UTILITIES. DAMAGE TO PROPERTIES OF OTHERS DUE TO THE CONTRACTOR'S ACTIVITIES SHALL BE AT THE CONTRACTOR'S EXPENSE AND SHALL BE REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER
- 5. ALL MATERIAL CLEARED OR DEMOLISHED BY THE CONTRACTOR IN ORDER TO CONSTRUCT THE WORK SHALL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED AND SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- 6. SAW CUTS OF EXISTING PAVEMENTS, CURBS, GUTTERS AND SIDEWALKS SHALL PRODUCE A NEAT VERTICAL EDGE.
- 7. ALL DEMOLITION WORK SHALL BE DONE IN STRICT ACCORDANCE WITH AUTHORITIES HAVING JURISDICTION.
- 8. ALL PERMITS REQUIRED FOR THE DEMOLITION WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PRIOR TO THE START OF DEMOLITION ACTIVITIES.

# STORM DRAINAGE NOTES:

- l. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND NCDOT STANDARD
- 2. ALL PUBLIC STORM DRAINAGE FRAMES, GRATES, AND HOODS SHALL BE STAMPED WITH "DRAINS TO RIVER" IN ACCORDANCE WITH

3. RIM ELEVATION GIVEN FOR CATCH BASIN (CB) IS TOP OF CURB, YARD INLET (YI) IS OPENING INVERT FOR SLAB TOP, DROP INLET (DI) IS

- TOP OF GRATE AND JUNCTION BOX (JB) IS TOP OF RIM.
- 4. CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING, BUT NOT LIMITED TO THE HORIZONTAL AND VERTICAL LOCATION OF STRUCTURES AND UTILITIES CROSSING THE STORM SEWER PIPE.
- 5. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE STORM SEWER DRAINAGE SYSTEM.
- 6. ALL STORM SEWER PIPE SHALL BE MINIMUM CLASS III REINFORCED CONCRETE PIPE (RCP), UNLESS OTHERWISE NOTED.
- 7. IF THERE ARE DISCREPANCIES BETWEEN THE PLAN AND FIELD CONDITIONS RELATED TO WHERE THE PROPOSED STORM SEWER PIPING TIES TO EXISTING STRUCTURES, PIPES, SWALES, ETC., THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND

- OWNER. AFTER NOTIFICATION TO ENGINEER AND OWNER, THE CONTRACTOR SHALL PERFORM THE AGREED UPON FIELD ADJUSTMENTS TO MATCH THE LOCATIONS OF THESE EXISTING FEATURES.
- 8. ALL STORM SEWER PIPE SHALL HAVE A MINIMUM COVER OF 2 FEET FROM FINISHED SUBGRADE TO THE PIPE CROWN IN TRAFFIC BEARING AREAS, UNLESS APPROVED BY AUTHORITIES HAVING JURISDICTION.
- 9. ALL STORM SEWER PIPE SHALL HAVE A MINIMUM COVER OF 1 FOOT TO THE PIPE CROWN IN NON-TRAFFIC BEARING AREAS.
- 10. THE STORM PIPE LENGTHS AS SHOWN ON THE DRAWINGS REPRESENTS THE DISTANCE FROM CENTER TO CENTER OF THE 20. THE SITE SHALL BE STABILIZED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). RESPECTIVE STRUCTURES
- 11. STORM SEWER UTILITY STRUCTURE TABLES ARE AVAILABLE UPON REQUEST

ADEQUATE SITE DRAINAGE DURING ALL PHASES OF CONSTRUCTION, IN ADDITION TO THE MEASURES SHOWN IN THESE PLANS. THE CONTRACTOR SHALL USE INTERIM DIVERSION DITCHES. BERMS. OR OTHER METHODS AS REQUIRED TO DIRECT DRAINAGE AS SHOWN ON THESE PLANS AND TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING ONTO ADJACENT PROPERTIES. ROADWAYS. TREE PROTECTION NOTES: AND ENVIRONMENTALLY SENSITIVE AREAS SUCH AS BUFFERS AND WETLANDS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND OWNER IN WRITING OF ANY DISCREPANCIES OR CONCERNS.

1. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE, AND AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL MAINTAIN

- 2. ALL SOILS USED FOR BACKFILL SHALL BE FREE OF UNSATISFACTORY MATERIALS INCLUDING ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION AND OTHER DELETERIOUS MATTER. ROCK OR GRAVEL LARGER than 2 inches in any dimension shall not be placed in the in the final lift (minimum of 6 inches). Unsatisfactory materials also include man-made fills and refuse debris derived from any source, refer to final geotechnical REPORT FOR ANY SPECIAL FILL MATERIAL REQUIRED FOR THIS PROJECT, IF ANY. THE CONTRACTOR SHALL CONSULT WITH THE SITE GEOTECHNICAL ENGINEER PRIOR TO BACKFILL PLACEMENT TO VERIFY BACKFILL MEETS PROJECT REQUIREMENTS.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL SOIL TESTING IS PERFORMED AND THE RESULTS FORWARDED TO THE ENGINEER AND OWNER.
- 4. MATERIALS USED TO CONSTRUCT EMBANKMENTS FOR ANY PURPOSE, BACKFILL AROUND DRAINAGE STRUCTURES, OR IN UTILITY TRENCHES FOR ANY OTHER DEPRESSION REQUIRING FILL OR BACKFILL SHALL MEET THE REQUIREMENTS OF THE PROJECT GEOTECHNICAL ENGINEER RECOMMENDATIONS.
- 5. THE CONTRACTOR SHALL, PRIOR TO ANY OPERATIONS INVOLVING FILLING OR BACKFILLING, SUBMIT TO THE OWNER AND PROJECT GEOTECHNICAL ENGINEER THE RESULTS OF THE PROCTOR TEST TOGETHER WITH A CERTIFICATION THAT THE SOIL TESTED IS REPRESENTATIVE OF THE MATERIALS TO BE USED ON THE PROJECT. TESTS SHALL BE CONDUCTED BY A NORTH CAROLINA CERTIFIED MATERIALS TESTING LABORATORY AND CERTIFICATIONS MADE BY A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NORTH CAROLINA REPRESENTING THE LABORATORY.
- 6. ALL PAVEMENT SUBGRADES SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES AND COMPACTED TO A MINIMUM DENSITY OF 100 PERCENT OF ASTM D1557 DENSITY AT OPTIMUM MOISTURE CONTENT UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION PLANS OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- 7. RETAINING WALLS OR MECHANICALLY STABILIZED FARTH WALLS SHALL BE DESIGNED AND CONSTRUCTED LINDER THE RESPONSIBLE CHARGE OF A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NORTH CAROLINA AND COMPLY IN ALL ASPECTS WITH THE NC BUILDING CODE AND LOCAL JURISDICTION.
- 8. CONTOURS AND GUTTER GRADIENTS ARE APPROXIMATE. SPOT ELEVATIONS ARE TO BE USED IN CASE OF DISCREPANCY.
- 9. CONTRACTOR SHALL OBTAIN ALL PERMITS AS REQUIRED FOR BLASTING ROCK IF BLASTING ROCK IS REQUIRED. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION RELATED TO BLASTING
- 10. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS. DEWATERING SHALL BE INCIDENTAL TO GRADING OPERATIONS.
- 11. MASS GRADING OPERATIONS SHALL BE PHASED TO LIMIT EXPOSED AREAS. PRIOR TO PROCEEDING TO ANOTHER PHASE, THE PRESENT PHASE SHALL BE STABILIZED WITH ADEQUATE GROUND COVER SUFFICIENT TO RESTRAIN EROSION AND HAVE ALL INFRASTRUCTURE INSTALLED. SEE GROUND COVER REQUIREMENTS WITHIN THESE PLANS OR CONSULT THE MUNICIPAL EROSION CONTROL SPECIALIST
- 12. THE FRAMES AND COVERS OF ALL EXISTING AND PROPOSED DRAINAGE, SANITARY SEWER, WATER MAIN, GAS AND ELECTRIC UTILITY STRUCTURES SHALL BE ADJUSTED TO MATCH PROPOSED FINISHED ELEVATIONS AND SLOPES UNLESS OTHERWISE SHOWN
- 13. BEFORE ANY EARTHWORK COMMENCES, THE CONTRACTOR SHALL STAKE OUT AND MARK THE LIMITS OF CONSTRUCTION AND OTHER ITEMS ESTABLISHED IN THE PLANS. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SURVEYING FOR LINE AND GRADE CONTROL POINTS RELATED TO EARTHWORK.
- 14. REFERENCE STRUCTURAL DRAWINGS. SPECIFICATIONS, GEOTECHNICAL REPORT, AND/OR DIRECTIVES PROVIDED BY THE PROJECT GEOTECHNICAL ENGINEER FOR BUILDING PAD AND PAVING SUBGRADE INFORMATION.

- TO REMAIN. THE CONTRACTOR SHALL RESTORE DISTURBED AREAS TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE COMMUNICATION LINES AND ASSOCIATED APPURTENANCES. LANDSCAPE ARCHITECT AND OWNER.
- 2. UTILITIES SHOWN ON THE LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. SEE UTILITY DRAWINGS FOR EXISTING AND PROPOSED <u>EROSION & SEDIMENT CONTROL NOTES:</u> UTILITY LOCATIONS. SEE UTILITY NOTES FOR ADDITIONAL INFORMATION.
- 3 NO CHANGES TO ANY ASPECT OF APPROVED PLAN INCLUDING BUT NOT LIMITED TO LANDSCAPING GRADING BUILDING
- 4. ALL PLANTS PROVIDED BY THE CONTRACTOR SHALL MEET OR SURPASS THE SPECIFICATIONS GIVEN IN THE PLANT TABLE AND CONFORM TO THE AMERICAN STANDARD OF NURSERY STOCK, ANSI 7601-1973 IN REGARD TO SIZING, GROWING AND BALLED AND BURLAPPED (B&B) SPECIFICATIONS. PLANTS SHALL BE FULL AND HEAVY. AND IN HEALTHY CONDITION AT THE TIME OF PLANTING. LANDSCAPE ARCHITECT SHALL REJECT ANY PLANT NOT MEETING THESE GUIDELINES AND REQUIRE REPLACEMENT.
- 5. ALL PLANTS ARE TO BE FULLY WARRANTED (INCLUDING LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR

# 6. PLANTING SHALL BE INSTALLED DURING THE IDEAL SEASON BASED ON THE TYPE OF PLANT.

- 7. ALL PLANTS THAT ARE UNABLE TO BE IMMEDIATELY PLANTED SHALL BE STORED IN A PROTECTED AREA OUT OF DIRECT SUN AND WIND. PLANTS SHALL BE EVENLY AND CONSISTENTLY WATERED, AS NEEDED, TO PREVENT DRYING OF ROOTS. ROOT BALLS OF B&B STOCK SHALL BE COVERED WITH AT LEAST 4 INCHES OF HARDWOOD MULCH TO MAINTAIN MOISTURE IN ROOTS.
- 8. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS AND CLARIFY ANY DISCREPANCIES WITH LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS. CONTRACTOR SHALL TAG ALL TREES (AS DESIGNATED IN THE MASTER PLANT LIST) AT THE NURSERY FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO PURCHASING PLANTS.
- 9. LANDSCAPE ARCHITECT SHALL BE NOTIFIED IN WRITING OF ANY PROPOSED PLANT SUBSTITUTIONS BY THE CONTRACTOR. NO SUBSTITUTIONS SHALL BE MADE UNDER ANY CIRCUMSTANCES WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE
- 10. ALL PLANTS AND PLANTING BEDS ARE TO BE LOCATED BY SCALED DIMENSIONS FROM BUILDINGS, CURBS, PAVEMENTS, ETC. SPECIFIC ATTENTION SHALL BE GIVEN TO ENSURE THAT PLANTS INDIVIDUALLY SHOWN ON THE PLAN ARE ACCURATELY LOCATED LOCATION OF ALL PLANTS SHALL BE REVIEWED IN THE FIELD BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE FOR REVIEW.
- 11. NO PLANTINGS SHALL BE REQUIRED WHEN A PRESERVED WETLAND OR REQUIRED RIPARIAN BUFFER EXISTS WITHIN A REQUIRED
- 12. EXISTING SIGNIFICANT VEGETATION THAT IS PRESERVED WITHIN ANY REQUIRED BUFFER YARD SHALL BE CREDITED TOWARD STANDARDS FOR THE TYPE OF BUFFER REQUIRED AT THE TIME OF MUNICIPAL APPROVALS. IF EXISTING VEGETATION DOES NOT FULLY MEET THE STANDARDS FOR THE TYPE OF BUFFER REQUIRED, SUPPLEMENTAL VEGETATION AND/OR SITE FEATURES (INCLUDING FENCES) SHALL BE PLANTED OR INSTALLED WITHIN THE REQUIRED BUFFER AREA TO MEET MINIMUM STANDARDS.
- 13. A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL NEW PLANTING BEDS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND ALLOWED TO DISSIPATE PRIOR TO INSTALLATION OF ANY PLANT MATERIAL.
- 14. ALL LANDSCAPE AREAS ARE TO BE GRADED FOR POSITIVE DRAINAGE AND TO ENSURE NO STANDING WATER. SEE GRADING PLAN FOR SPECIFIC GRADING INFORMATION, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND/OR ENGINEER OF ANY GRADING DISCREPANCIES OR CONCERNS.
- 15. ESTABLISH AND MAINTAIN TOP OF GRADE BELOW ADJACENT CURBS, WALKWAYS AND OTHER HARDSCAPE AREAS TO ALLOW FOR
- 16. ALL PLANTING BEDS ARE TO BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2-3 INCHES, UNLESS INDICATED OTHERWISE. MULCH SHALL BE AS SELECTED BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL SUBMIT A SAMPLE FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE AND DELIVERY TO PROJECT SITE.
- 18. MIXED GROUNDCOVER AND PLANTS SPECIFIED FOR MASS PLANTINGS SHALL BE PLANTED IN ODD GROUPINGS AND LOCATED AS REQUIRED TO PROVIDE A GENERAL MIXING OF SPECIES. DO NOT PLANT IN ROWS OR REPETITIVE PATTERNS UNLESS OTHERWISE

- 19. ALL TREES ADJACENT TO PEDESTRIAN WALKWAYS AND IN SIGHT TRIANGLES SHALL BE UNDER-TRIMMED SUFFICIENTLY TO ALLOV CLEAR SIGHT AND PEDESTRIAN ACCESS UP TO 6 FEET ABOVE SIDEWALK ELEVATION. ALL PRUNING SHALL BE PERFORMED BY A CERTIFIED ARBORIST AND ADHERE TO THE ANSI A300 PRUNING STANDARD. PRUNING CUTS ARE TO BE DELIBERATE AND TARGETED

NOT CAUSE INJURY TO TREE TRUNKS, BRANCHES AND ROOTS.

- 21. CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO WATERING, MULCHING. SPRAYING, FERTILIZING, ETC.) OF THE PLANTING AREAS UNTIL FINAL ACCEPTANCE.
- 22. ANY PLANT WHICH DIES, TURNS BROWN OR DEFOLIATES PRIOR TO FINAL ACCEPTANCE OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, IN ACCORDANCE WITH THE APPROPRIATE PLANTING SEASON; QUANTITY AND SIZE TO MEET PLAN SPECIFICATIONS.

INTEGRITY OF THE TREES.

- 1. ALL TREES THAT ARE TO REMAIN, WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK, MUST BE PROTECTED WITH TREE PROTECTION FENCE AS INDICATED ON THE PLANS TO THE EXTENT OF THE TREE BOX OR THE DRIP LINE IN A PLANTING STRIP. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF THE TREE. FENCING IS TO BE INSTALLED PRIOR TO CONSTRUCTION, MAINTAINED THROUGHOUT, AND REMOVED ONLY AT THE END OF THE PROJECT.
- 2. NONE OF THE FOLLOWING SHALL OCCUR WITHIN THE ROOT ZONE OF A TREE WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST: ALTERATION OR DISTURBANCE TO EXISTING GRADE; STAGING OR STORAGE OF CONSTRUCTION MATERIALS,
- EQUIPMENT USE, SOIL OR DEBRIS REMOVAL OR STOCKPILING; TRENCHING; OR DISPOSAL OF ANY LIQUIDS. 3. APPROVED EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CARE BY USE OF HAND TOOLS OR EQUIPMENT THAT WILL
- 4. NO ROOTS GREATER THAN 2 INCHES IN DIAMETER SHALL BE CUT WITHOUT PERMISSION OF LANDSCAPE ARCHITECT OR PROJECT ARBORIST. EXPOSED ROOTS 2 INCHES AND LARGER IN DIAMETER SHALL BE WRAPPED IN BURLAP OR OTHER APPROVED MATERIAL
- 5. IF THERE ARE ANY TREE CONFLICTS ON THIS IOB SITE, PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT LANDSCAPE ARCHITECT OR PROJECT ARBORIST FOR DIRECTION AND CLEARANCE TO CONTINUE THE CONFLICTING WORK.
- 6. TREES THAT ARE PROTECTED SHALL BE THOROUGHLY WATERED AS REQUIRED TO KEEP ROOT BALLS FROM DRYING OUT, ESPECIALLY BETWEEN APRIL THROUGH SEPTEMBER.

# 1. GENERALLY, FILL MATERIAL SHALL BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.

- 2. ALL NECESSARY INSPECTIONS, CERTIFICATIONS, AND TESTING REQUIRED BY CODES AND UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO MUNICIPAL APPROVAL FOR THE FINAL CONNECTION OF SERVICE. CONTRACTOR SHALL BE RESPONSIBLE FOR PAYMENT OF TESTING SERVICES AND COORDINATION WITH UTILITY OWNER.
- 3. CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF THE IMPROVEMENTS SHOWN.
- 4. THE CONTRACTOR SHALL REPORT, IN WRITING ANY UTILITY CONFLICTS TO THE ENGINEER IMMEDIATELY UPON DISCOVERING
- 5. THE SANITARY SEWER PIPE LENGTHS AS SHOWN ON THE DRAWINGS REPRESENTS THE DISTANCE FROM CENTER TO CENTER OF THE
- 6. PRIOR TO UTILITY RELOCATION, REMOVAL OR ABANDONMENT, THE CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY PROVIDERS, LOCAL MUNICIPALITY, AND NCDOT. KNOWN UTILITY PROVIDER INFORMATION IS CONTAINED ON THIS PLAN SHEET.
- 7. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING SURROUNDING NEIGHBORS ABOUT ANY POTENTIAL INTERRUPTION TO
- 8. THE CONTRACTOR SHALL MAINTAIN A MINIMUM COVER OF 3 FEET ON ALL PROPOSED WATER LINES. THREE FEET SHALL BE MEASURED TO THE BOTTOM OF THE PROPOSED SUBGRADE WITHIN PAVED AREAS.
- 9. THE CONTRACTOR SHALL MAINTAIN A MINIMUM COVER OF 3 FEET ON ALL PROPOSED SANITARY LINES. THREE FEET SHALL BE MEASURED TO THE BOTTOM OF THE PROPOSED SUBGRADE WITHIN PAVED AREAS.
- 10. THE CONTRACTOR SHALL MAINTAIN SEPARATION OF WATER MAIN FROM SANITARY SEWER PIPING IN ACCORDANCE WITH THOSE DISTANCES SPECIFIED BY STATE AND/OR LOCAL CODE OR A MINIMUM OF 10 FEET HORIZONTAL OR 18 INCHES VERTICAL DISTANCE.
- 1. THE CONTRACTOR SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE EXISTING PLANTS, FACILITIES AND STRUCTURES THAT ARE 11. THE CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR INSTALLATION OF ALL PROPOSED POWER AND

- 1. CONTRACTOR SHALL INSTALL EROSION CONTROLS IN ORDER WITH THE SEQUENCE PROVIDED.
- DRAIN OFFSITE OR INTO WATERCOURSES.
- 3. A GRAVEL CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT THE LOCATIONS SHOWN ON THE DRAWINGS AND AT EACH POINT
- 4. CONTRACTOR SHALL CONSTRUCT DIVERSION DITCHES AS NECESSARY TO ENSURE ALL SEDIMENT IS DIRECTED INTO EROSION
- 5. IF STORM CROSS DRAINAGE CANNOT BE INSTALLED PRIOR TO GRADING, TEMPORARY HDPE STORM DRAINAGE PIPE SHALL BE USED
- 6. ALL STORM DRAINAGE PIPE SHALL BE PROTECTED AS SHOWN ON THE PLANS DURING CONSTRUCTION.

TO CROSS WET WEATHER CHANNELS, EXCLUDING ANY PROTECTED WETLANDS OR STREAMS

- 7. CONTRACTOR SHALL PROVIDE RIPRAP LINED DISSIPATOR PADS AT THE STORM DRAINAGE PIPE DISCHARGE POINTS AS REQUIRED TO ENSURE POSITIVE DRAINAGE. SEE PLANS FOR DIMENSIONS AND DETAILS.
- 8. TO AVOID SLOPE EROSION, CONTRACTOR SHALL INSTALL TEMPORARY SLOPE DRAINS PER DETAIL AT LOCATIONS INDICATED AND WHERE TEMPORARY DIVERSION DITCHES DISCHARGE INTO A SKIMMER BASIN.
- 9. PERMANENT GROUND COVER SHALL BE ESTABLISHED PER APPROVED NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM 10. TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED PRIOR TO ISSUANCE OF A GRADING PERMIT. FENCING SHALL NOT

BE REQUIRED ADJACENT TO AREAS WITHOUT WOODED VEGETATION, FENCING SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE

WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO. 11. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT AN EROSION CONTROL PERMIT AND ANY OTHER RELATED PERMITS ARE SECURED FOR ANY OFF-SITE WASTE OR BORROW AREAS. UNLESS OTHERWISE STATED IN THE PROJECT DOCUMENTS, THE

CONTRACTOR IS RESPONSIBLE FOR SECURING ALL AGREEMENTS WITH LANDOWNERS FOR PLACEMENT OF WASTE SOIL OR REMOVAL OF BORROW. OFF-SITE PERMITS AND AGREEMENTS SHALL EXIST PRIOR TO CONSTRUCTION ACTIVITIES ON WASTE OR BORROW

AREAS. COPIES OF PERMITS AND AGREEMENTS SHALL BE PROVIDED TO THE OWNER AND ENGINEER. 12. SOILS CONTAMINATED WITH ANY CHEMICAL, METAL OR PETROLEUM CONTAMINATION SHALL NOT BE TRANSPORTED ONTO THE PROPERTY AS BORROW / FILL SOILS. CONTAMINATED SOILS, IF DISCOVERED ON THE PROPERTY SHALL NOT BE TRANSPORTED OFFSITE WITHOUT TESTING, PERMITTING AND/OR OTHER REGULATORY APPROVALS COMMENSURATE WITH THE TYPE OF

# SEPTIC SYSTEM ABANDONMENT

CONTAMINATION AND LOCATION.

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND PAYING APPLICABLE FEES FOR THE ABANDONMENT OF SEPTIC TANKS AND SEPTAGE. ALL WORK SHALL BE DONE IN ACCORDANCE WITH AUTHORITIES HAVING
- 2. THE CONTRACTOR SHALL PROVIDE TEMPORARY CONTAINMENT AND PROPER DISPOSAL OF THE WASTEWATER COMING FROM THE RESIDENCE PRIOR TO DISCONNECTING THE SEPTIC SYSTEM TO BE ABANDONED
- 3. FOR SEPTIC SYSTEMS CONTAINING A SEPTIC PUMP, THE CONTRACTOR SHALL DISCONNECT THE SEPTIC PUMP PRIOR TO ABANDONING THE SEPTIC SYSTEM. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT NC ELECTRICAL CODE BY A LICENSED ELECTRICAL CONTRACTOR IN THE STATE OF NORTH CAROLINA.
- 4. ALL DEBRIS AND MATERIALS FROM THE ABANDONED SEPTIC SYSTEM ARE TO BE DISPOSED OF PROPERLY IN AN APPROVED OFF-SITE FACILITY AND THE CONSTRUCTION AREA RESTORED TO PRE-CONSTRUCTION CONDITIONS OR BETTER.
- 17. FINISH OFF 2-4 FOOT CLEAR ZONE AROUND TREES WITH A 2-3-INCH LAYER OF MULCH, BUT DO NOT PLACE UP AGAINST OR MOUND
  5. NO SEPTAGE SHALL BE DISCHARGED TO THE EXISTING SEWER SYSTEM.

## RETAINING WALL NOTES

- 1. TFW REFERS TO TOP FACE OF WALL ELEVATION. BFW REFERS TO THE BOTTOM FACE OF WALL ELEVATION AT FINISHED GRADE, NOT
- ONLY TO THE NECESSARY BRANCHES IN ORDER TO SATISFY SIGHT AND CLEARANCE REQUIREMENTS WHILE MAINTAINING THE 2. IF STAKED BY WITHERSRAVENEL, INC., BOTTOM OF WALL GRADE AT FINISHED GRADE WILL BE STAKED. ANY DIFFERENCES BETWEEN FOUNDATION OF WALL AS COMPARED TO FINISHED GRADE BOTTOM IS TO BE STATED SO ON RETAINING WALL PLANS BY OTHERS.
  - 3. IF WALL CONTRACTOR REQUIRES ADDITIONAL STAKING BEYOND WALL AT FINISHED GRADE, THE ENGINEER MAY PROVIDE A CAD FILE

## NOTING LOCATION OF THE ITEMS TO BE STAKED. LOCATIONS WHERE WALL BREAKS OR CHANGES IN WALL ANGLES ARE TO BE NOTED ON THE CAD FILE.

## 4. WALL BATTER ASSUMPTIONS a. ¼" PER 8" VERTICAL RISE

- b. THE WALL CONTRACTOR OR ENGINEER OF RECORD FOR THE PROPOSED WALL SHALL NOTIFY THE WITHERSRAVENEL, INC. IF THE RETAINING WALL BATTER MUST DEVIATE FROM THE ABOVE WALL ASSUMPTIONS AT THE TIME OF DESIGN FOR VERIFICATION TO
- 5. PRIOR TO WALL STAKING, A MEETING SHALL BE HELD BY THE SURVEYOR AND WALL CONTRACTOR TO DETERMINE STAKING CRITERIA.
- 6. CONTRACTOR TO INSTALL TEMPORARY FENCING/BARRICADES DURING CONSTRUCTION UNTIL PERMANENT FENCING IS INSTALLED.
- 7. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES TO PERMANENT FENCING DURING CONSTRUCTION. REPAIR OF DAMAGES SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER AND SHALL BE DONE TO THE SATISFACTION OF THE ENGINEER AND OWNER.

FOR CONSTRUCTION

REVISIONS:

**GENERAL NOTES** 

**EXISTING CONDITIONS LEGEND** 

SYMBOL DESCRIPTION PROPERTY BOUNDARY — — ADJACENT BOUNDARY

EDGE OF PAVEMENT PAVEMENT STRIPING

. TREELINE TOP OF BANK

WETLAND

NEUSE RIVER 30' BUFFER ZONE 1 NEUSE RIVER 20' BUFFER ZONE 2

---- SS --- GRAVITY SEWER LINE

STORM PIPE — — FO— FIBER OPTIC LINE

— — OU— OVERHEAD UTILITY LINE UTILITY POLE

FIRE HYDRANT WATER VALVE FIBER OPTIC BOX

SEWER MANHOLE

PRELIMINARY

**NOT APPROVED** 

FOR CONSTRUCTION

INITIAL PLAN DATE: 11/10/2023 REVISIONS:

WR JOB NUMBER 23-0232 DRN: WR DGN: WR CKD: WR

EXISTING CONDITIONS

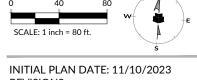
C1.00

TCA LEGEND DESCRIPTION PRIMARY TCA - NEUSE RIVER BUFFER ZONE 2 (TO REMAIN) SECONDARY TCA



PRELIMINARY **NOT APPROVED** 

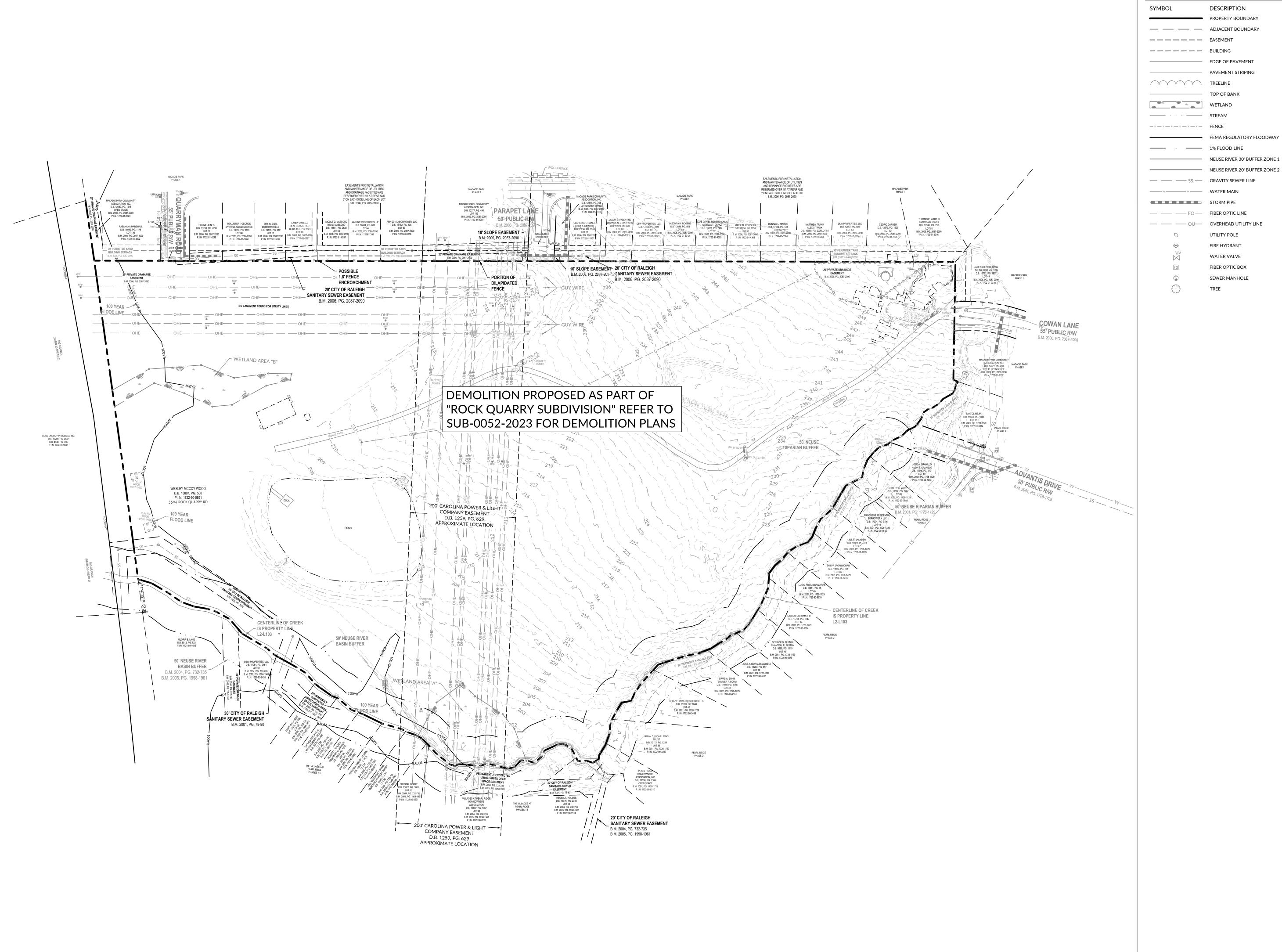
FOR CONSTRUCTION



**REVISIONS:** 

WR JOB NUMBER DRN: WR DGN: WR CKD: WR CONSERVATION PLAN

C1.10



EXISTING CONDITIONS LEGEND

VITY COMPANIES
2629 ST. MARY'S STREET
RAI EIGH, NC 27609

**>** >

ROCK QUARRY MULTI-FAMILY

PRELIMINARY

40 80 W LE: 1 inch = 80 ft.

NOT APPROVED FOR CONSTRUCTION

INITIAL PLAN DATE: 11/10/2023 REVISIONS:

WR JOB NUMBER 23-0232
DRN: WR DGN: WR CKD: WR

DEMOLITION PLAN

C1.20



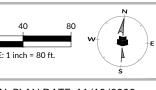


VITY COMPANIES 2629 ST. MARY'S STREET RALEIGH, NC 27609

OCK QUARRY 10LTI-FAMILY

PRELIMINARY

NOT APPROVED FOR CONSTRUCTION

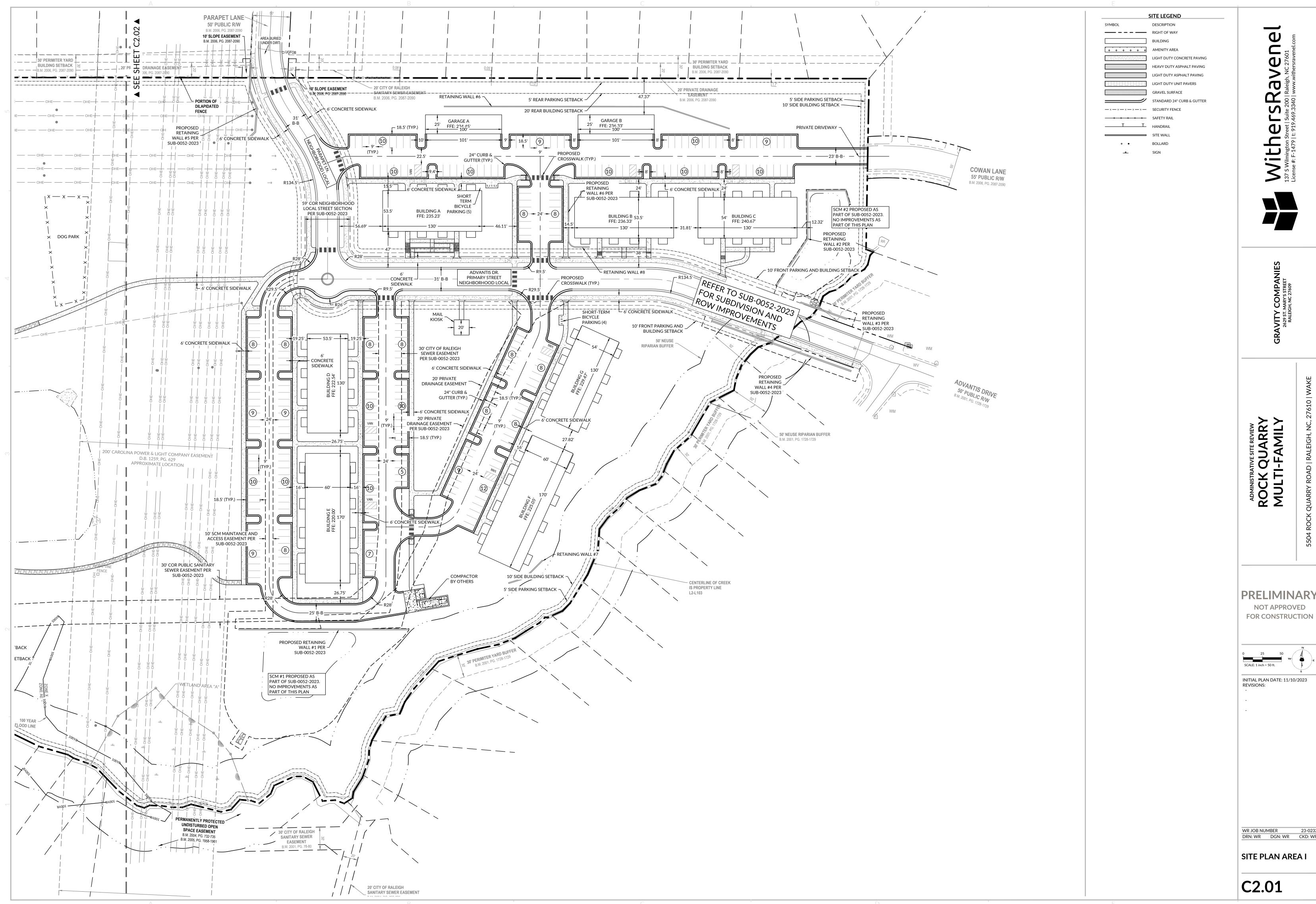


INITIAL PLAN DATE: 11/10/2023 REVISIONS:

WR JOB NUMBER 23-0232 DRN: WR DGN: WR CKD: WR

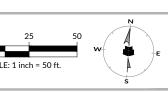
OVERALL SITE PLAN

C2.00





**PRELIMINARY** 



INITIAL PLAN DATE: 11/10/2023 REVISIONS:

WR JOB NUMBER 23-0232 DRN: WR DGN: WR CKD: WR

SITE PLAN AREA I



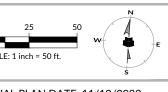
SITE LEGEND DESCRIPTION + + + + + + AMENITY AREA LIGHT DUTY CONCRETE PAVING HEAVY DUTY ASPHALT PAVING LIGHT DUTY ASPHALT PAVING LIGHT DUTY UNIT PAVERS GRAVEL SURFACE STANDARD 24" CURB & GUTTER — x — x — x — x — x — SECURITY FENCE





PRELIMINARY

NOT APPROVED FOR CONSTRUCTION

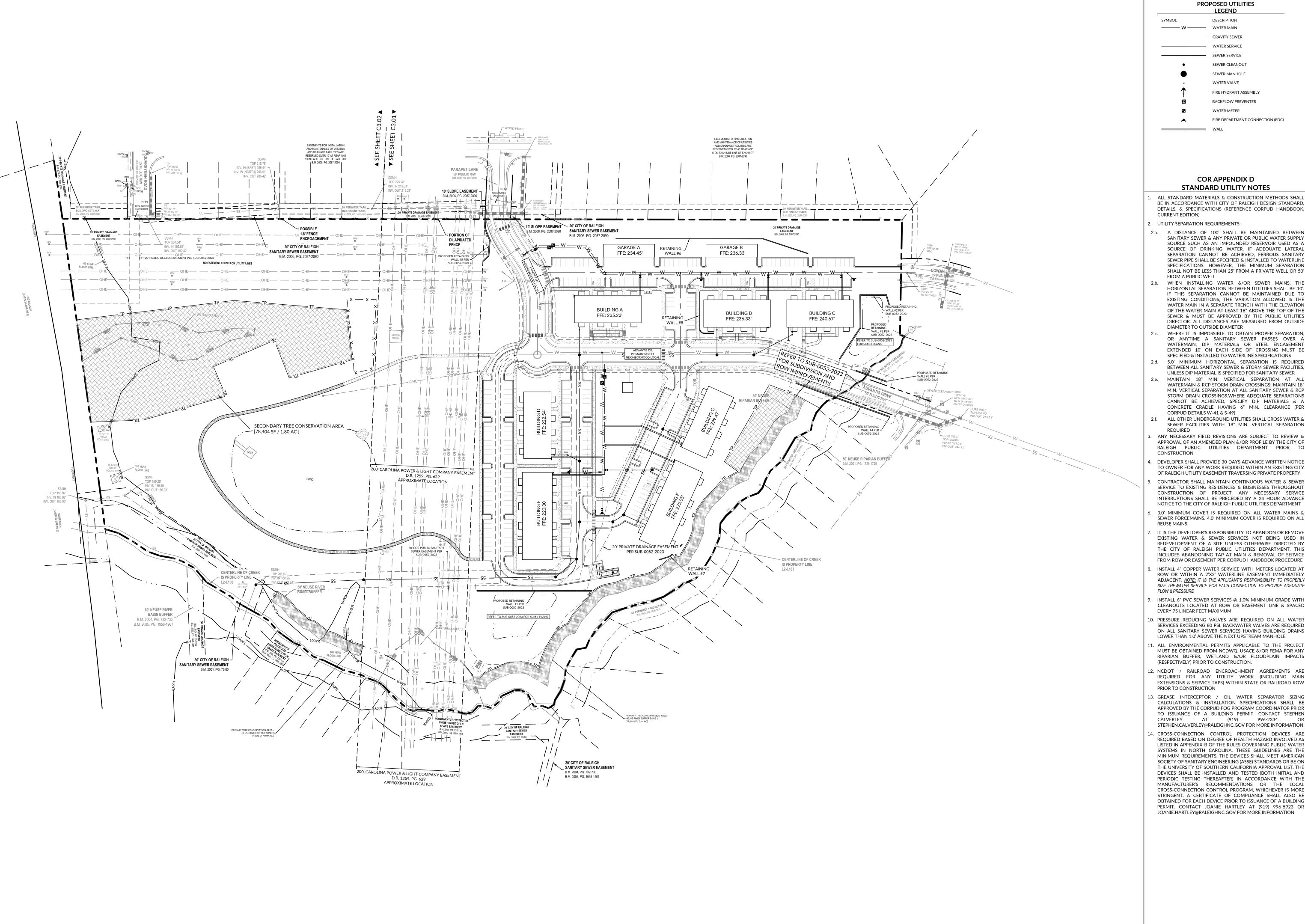


INITIAL PLAN DATE: 11/10/2023 REVISIONS:

WR JOB NUMBER 23-0232 DRN: WR DGN: WR CKD: WR

SITE PLAN AREA II

C2.02



FIRE HYDRANT ASSEMBLY

BACKFLOW PREVENTER FIRE DEPARTMENT CONNECTION (FDC)

# COR APPENDIX D

ALL STANDARD MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARD DETAILS, & SPECIFICATIONS (REFERENCE CORPUD HANDBOOK

2.a. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50'

2.b. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE

2.c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS

MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS.WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER

2.f. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION

ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO

DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY

CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT

3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL

IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE

ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THEWATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE

INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED

10. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS PRELIMINARY

11. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS

.2. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW

13. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE SCALE: 1 inch = 80 ft. APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR NITIAL PLAN DATE: 11/10/2023 STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION | REVISIONS:

14. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR

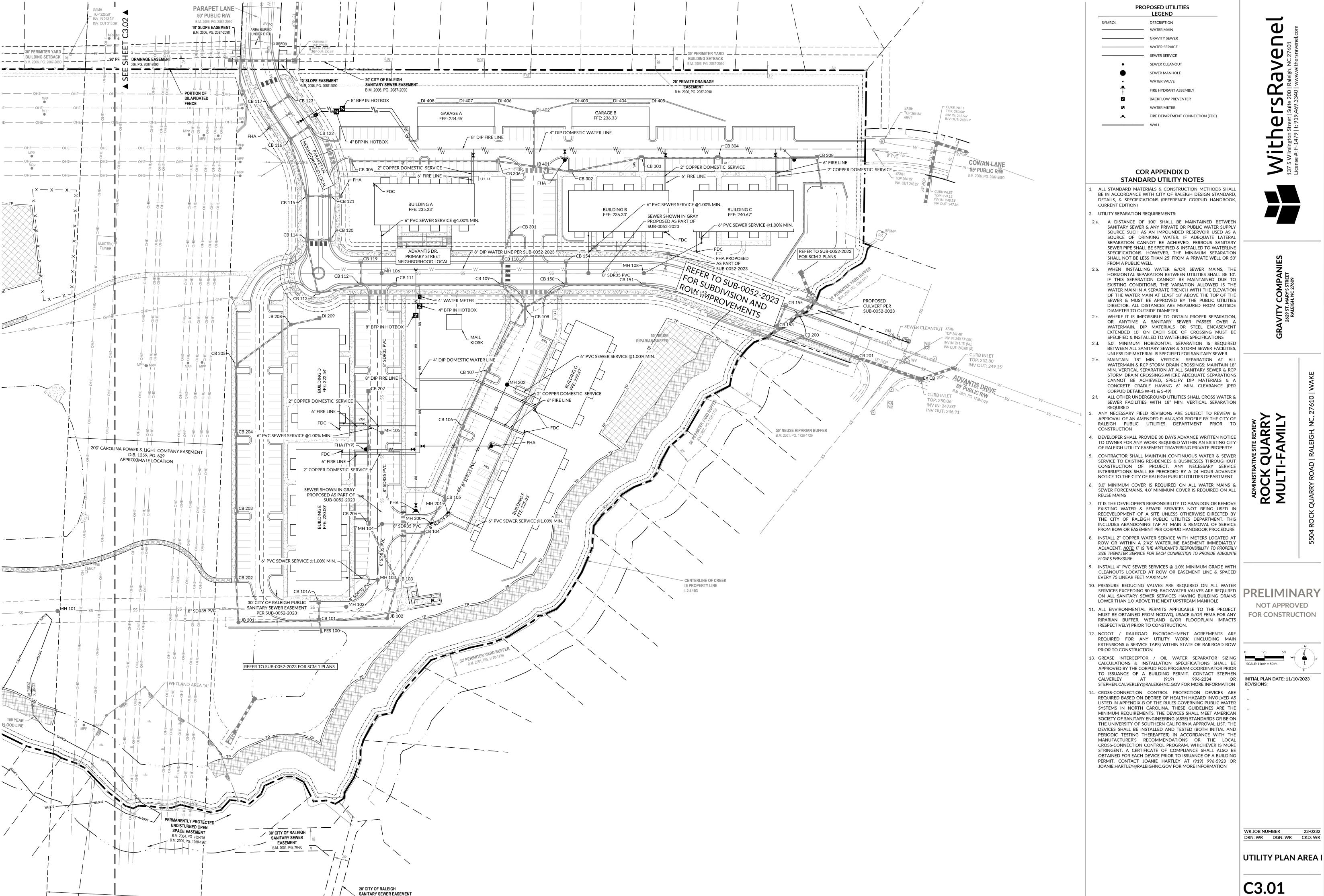
**NOT APPROVED** 

FOR CONSTRUCTION

WR JOB NUMBER DRN: WR DGN: WR CKD: WR

**UTILITY PLAN** 

C3.00





**NOT APPROVED** 

FOR CONSTRUCTION

CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR NITIAL PLAN DATE: 11/10/2023

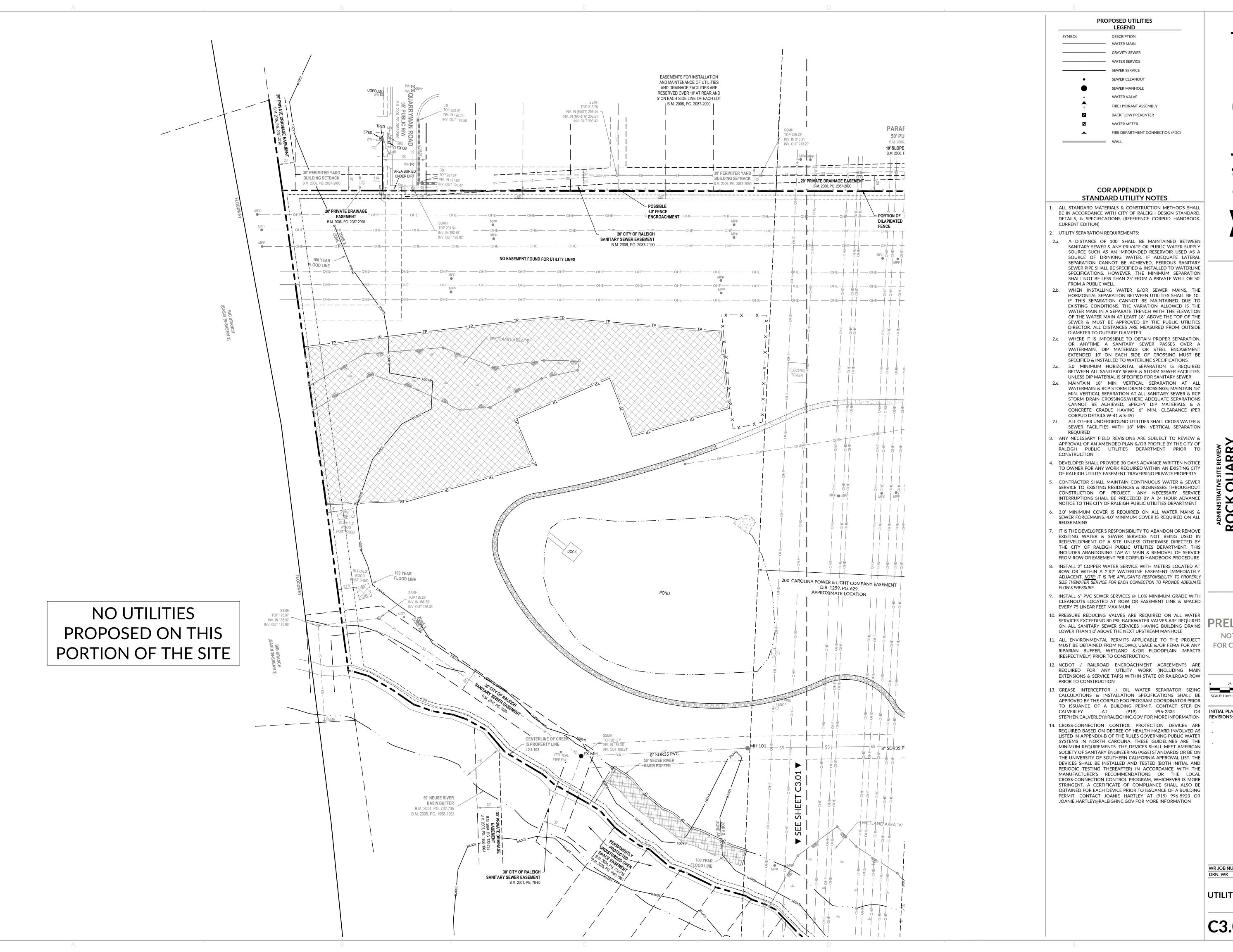
STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION REVISIONS: 14. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE

DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE

> WR JOB NUMBER DRN: WR DGN: WR CKD: WR

UTILITY PLAN AREA I

C3.01





**PRELIMINARY** 

FOR CONSTRUCTION



DRN: WR DGN: WR CKD: WR

UTILITY PLAN AREA II

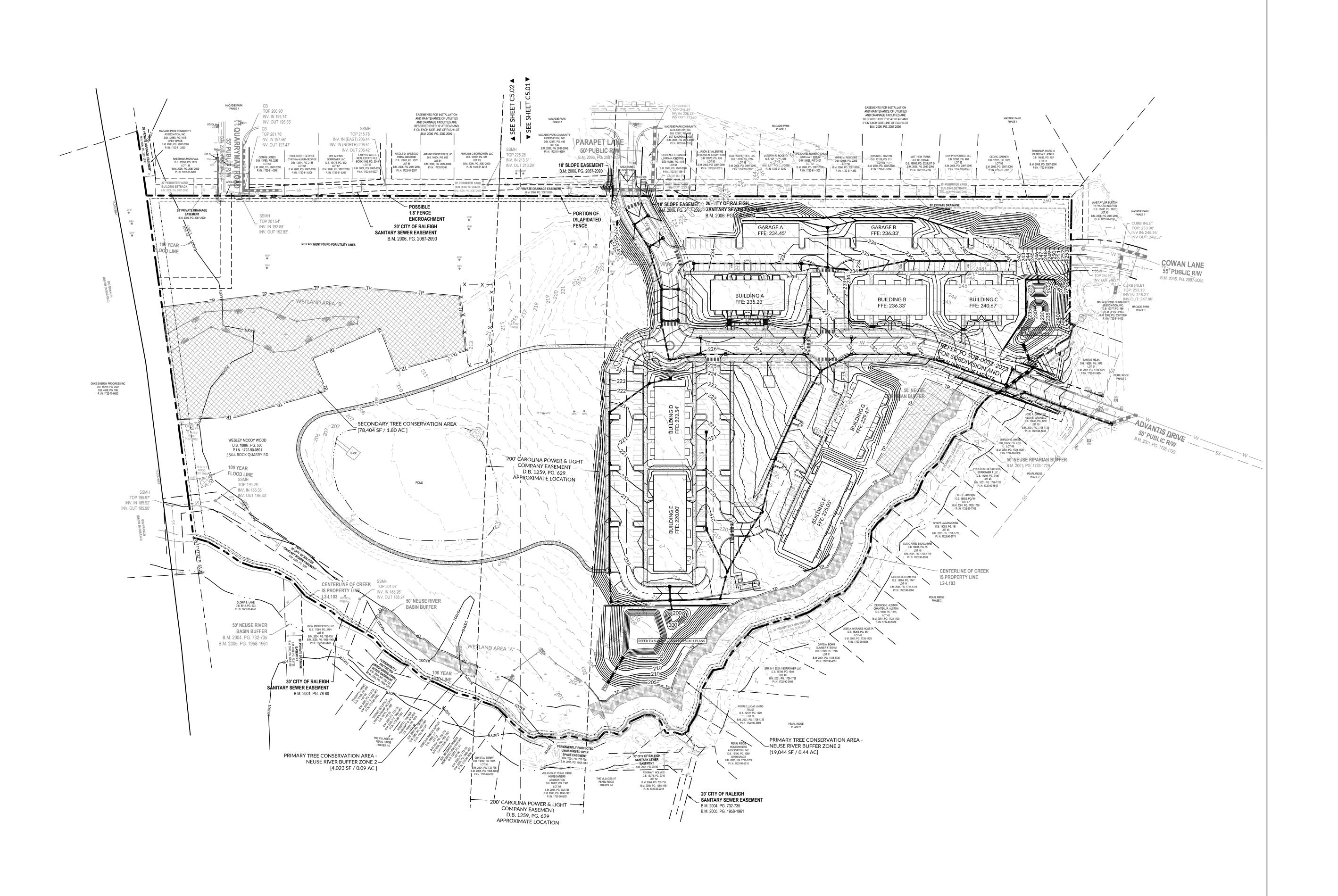
C3.02



WR JOB NUMBER 23-0232 DRN: WR DGN: WR CKD: WR

GRADING PLAN

C5.00







**PRELIMINARY** 

**NOT APPROVED** FOR CONSTRUCTION



WR JOB NUMBER 23-0232 DRN: WR DGN: WR CKD: WR

**GRADING PLAN** 

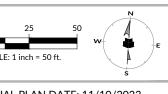


AVITY COMPANIES
2629 ST. MARY'S STREET
RALEIGH, NC 27609

ROCK QUARRY MULTI-FAMILY

PRELIMINARY NOT APPROVED

FOR CONSTRUCTION



INITIAL PLAN DATE: 11/10/2023 REVISIONS:

WR JOB NUMBER 23-0232
DRN: WR DGN: WR CKD: WR

GRADING PLAN AREA II

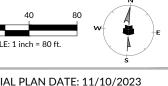
C5.02

# LANDSCAPE LEGEND:



PRELIMINARY

**NOT APPROVED** FOR CONSTRUCTION

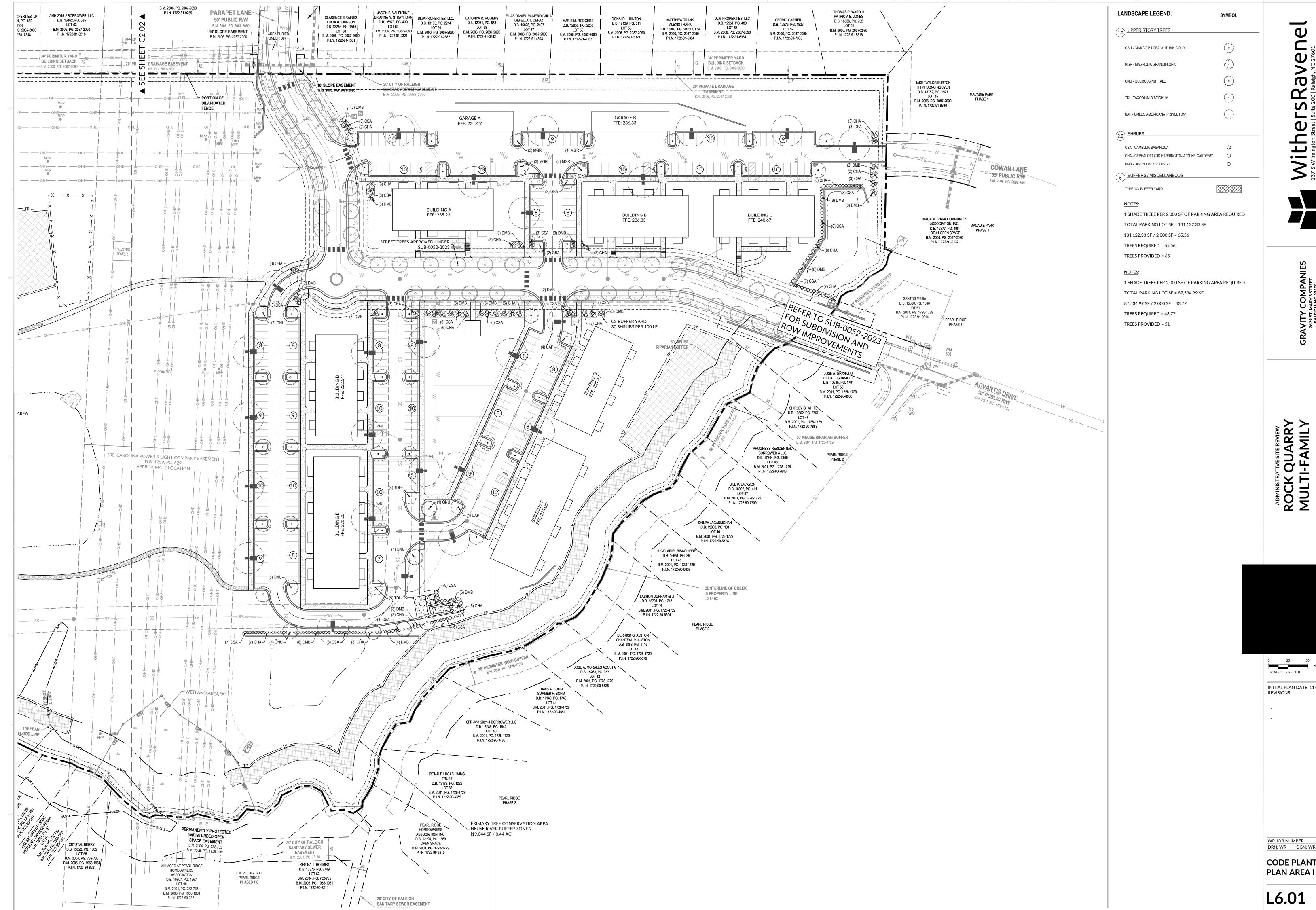


INITIAL PLAN DATE: 11/10/2023 REVISIONS:

WR JOB NUMBER 23-0232 DRN: WR DGN: WR CKD: WR

OVERALL CODE PLANTING PLAN

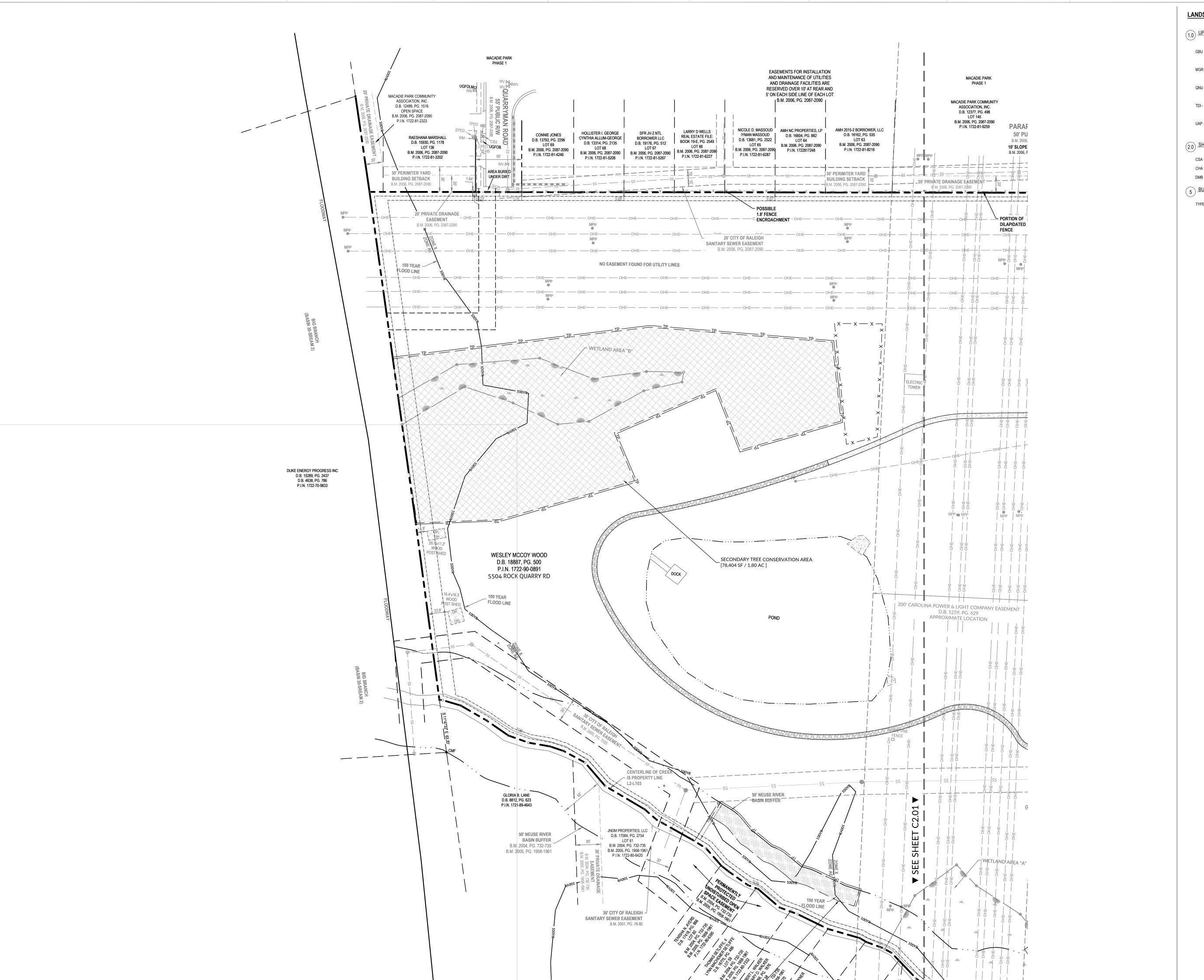
L6.00



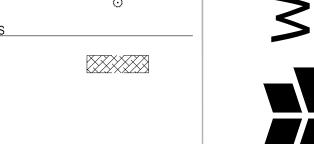
INITIAL PLAN DATE: 11/10/2023

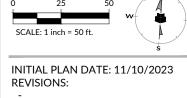
DRN: WR DGN: WR CKD: WR

**CODE PLANTING** 



LANDSCAPE LEGEND: SYMBOL (1.0) <u>UPPER STORY TREES</u> (°) GBU - GINKGO BILOBA 'AUTUMN GOLD' MGR - MAGNOLIA GRANDIFLORA QNU - QUERCUS NUTTALLII TDI - TAXODIUM DISTICHUM (·) UAP - UMLUS AMERICANA 'PRINCETON' (2.0) SHRUBS CSA - CAMELLIA SASANQUA CHA - CEPHALOTAXUS HARRINGTONIA 'DUKE GARDENS' DMB - DISTYLIUM x 'PIIDIST-II' (5) BUFFERS / MISCELLANEOUS TYPE 'C3' BUFFER YARD





WR JOB NUMBER 23-0232 DRN: WR DGN: WR CKD: WR CODE PLANTING PLAN AREA II

L6.02

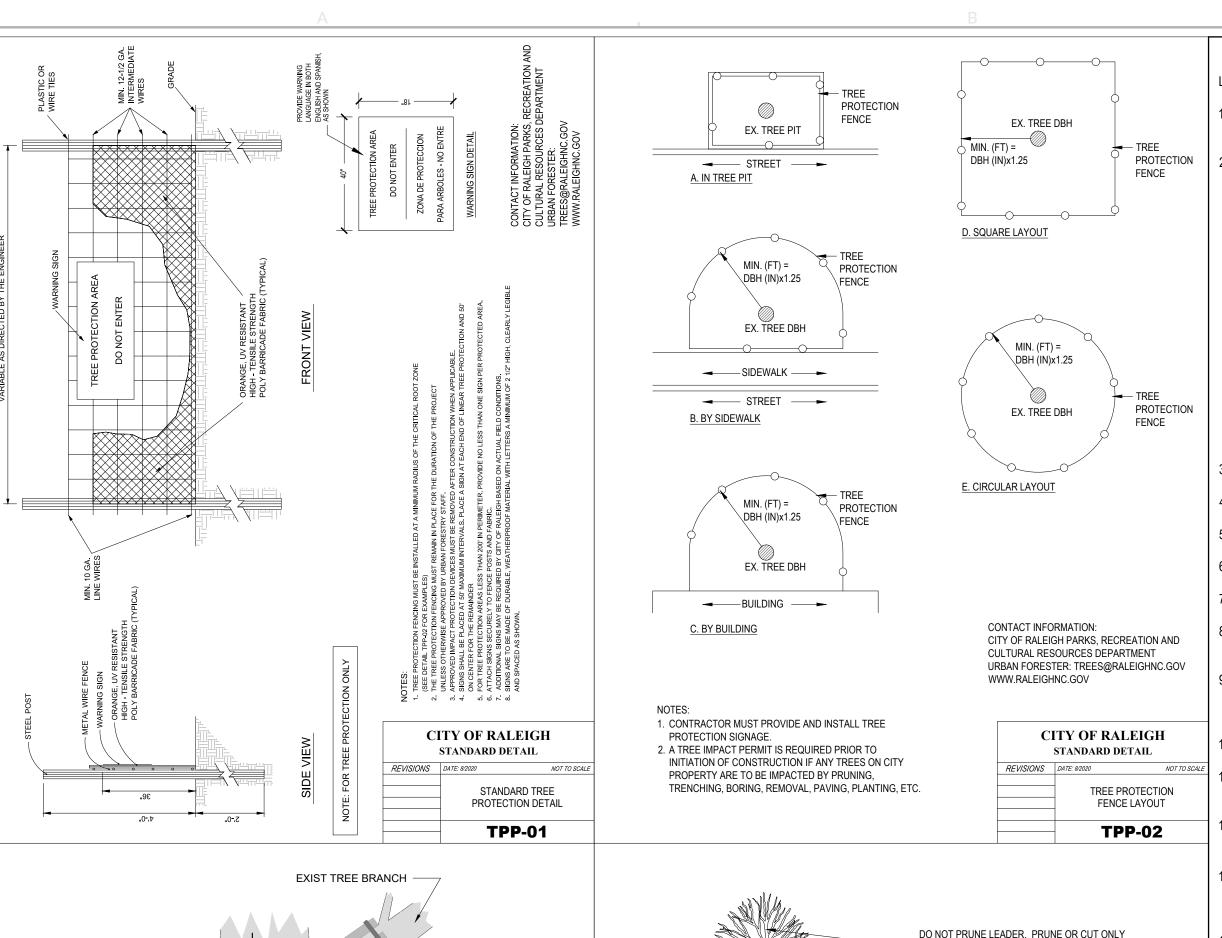
FOR CONSTRUCTION

WR JOB NUMBER

LANDSCAPE DETAIL

DRN: WR DGN: WR CKD: WR

L6.20



ROPE OR STEEL STRAPPING

12" FROM LOWEST

BRANCH

—EXIST TREE TRUNK

ORANGE PLASTIC

REVISIONS DATE: 8/2020

CONSTRUCTION FENCE

OF 3 LAYERS OUTSIDE

WRAPPED TO A MINIMUM

CITY OF RALEIGH

STANDARD DETAIL

TREE ARMOUR

**TPP-09** 

**VARIABLE** 

SECTION A - A

AROUND THE 2X4 WOOD SLATS

DO NOT PRUNE LEADER. PRUNE OR CUT ONLY - DEAD OR DAMAGED BRANCHES TO AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 STANDARDS - REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE. THE ROOT FLARE SHALL BE PLANTED AT GRADE. NO HIGHER THAN 2" ABOVE GRADE, AND NEVER BELOW GRADE. TREE SHALL BE SET PLUMB MULCH DEPTH NOT MORE THAN 3". KEEP MULCH 3" FROM ROOT FLARE AND DO NOT CONTACT STEM PLANTING SOIL MIX AROUND ROOT BALL. 600 CU FT OF SOIL OR STRUCTURAL SOIL REQUIRED PER TREE COMPLETELY REMOVE TOP HALF OF BURLAP. LACING STRAPS. NAILS AND WIRE BASKET AND DISCARD FROM HOLE. ALL SYNTHETIC BURLAP MUST BE REMOVED FROM SIDES OF ROOT BALL. - ROOT BALL SHALL BE PLACED DIRECTLY ON COMPACTED SUBGRADE. HANDLE TREE BY THE ROOT BALL ONLY. ROOTBALL DIAMETER CONTACT INFORMATION: CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER: TREES@RALEIGHNC.GOV

WWW.RALEIGHNC.GOV

1. TREES MUST MEET THE TREE QUALITY STANDARDS

IN CH. 2 OF THE CITY TREE MANUAL. 2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS

(POSITIVE DRAINAGE AWAY FROM PIT) 3. TREES SHALL BE PLANTED BETWEEN

OCTOBER 1ST AND APRIL 30TH. 4. A TREE IMPACT PERMIT IS REQUIRED.

5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE. 6. IF STAKING IN ACCORDANCE WITH THE CITY

TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR

7 TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY. CITY OF RALEIGH STANDARD DETAIL

TREE PLANTING DETAIL

TPP-03

LANDSCAPE NOTES:

THE PLANNING AND DEVELOPMENT OFFICER CANNOT ISSUE A CERTIFICATE OF COMPLIANCE UNTIL ALL LANDSCAPING HAS BEEN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UDO.

A TEMPORARY CERTIFICATE OF COMPLIANCE MAY BE ISSUED WHEN THE PLANNING AND DEVELOPMENT OFFICER DETERMINES THAT DUE TO THE UNAVAILABILITY OF PLANT MATERIAL OR WEATHER CONCERNS, PLANTING LANDSCAPING WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS FOR A PERIOD OF UP TO 1 YEAR FOLLOWING THE DATE OF APPLICATION FOR A CERTIFICATE OF COMPLIANCE. THE APPLICANT SHALL MAKE THE FOLLOWING ARRANGEMENTS TO SECURE A TEMPORARY CERTIFICATE OF COMPLIANCE:

2.1. PRODUCE A CONTRACT BINDING FOR 1 YEAR FROM THE DATE APPROVED BY THE CITY FOR THE COMPLETION OF THE LANDSCAPE WORK. SUCH CONTRACT SHALL SPECIFY THAT THE WORK SHALL BE COMPLETED BEFORE OR DURING THE YEAR IMMEDIATELY FOLLOWING THE DATE OF APPLICATION FOR A CERTIFICATE OF COMPLIANCE. THE CITY SHALL NOT BE A PARTY OR A THIRD PARTY BENEFICIARY TO

THE APPLICANT SHALL ALSO AGREE IN WRITING THAT THEY, THEIR SUCCESSORS OR ASSIGNS, SHALL PROVIDE THE REQUIRED PLANTING WITHIN THE 1 YEAR PERIOD, AS A CONDITION FOR OBTAINING A CERTIFICATE OF COMPLIANCE FOR THE PRINCIPAL USE SO LONG AS THE PRINCIPAL USE SHALL CONTINUE. THE APPLICANT SHALL ALSO AGREE THAT THE PRINCIPAL USE SHALL BE DISCONTINUED IF THE REQUIRED PLANTING IS NOT PROVIDED. VIOLATIONS OF THESE PROVISIONS SHALL

CONSTITUTE AN UNAUTHORIZED ILLEGAL OCCUPANCY OF THE PRINCIPAL USE. LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING AISLES OR THE APPROACH TO ANY STREET INTERSECTION.

ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE SIGHT TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.

PLANT MATERIALS MUST BE HARDY TO ZONE 7 IN ACCORDANCE WITH THE U.S.

DEPARTMENT OF AGRICULTURE'S PLANT HARDINESS ZONE MAP. PLANT MATERIALS MUST BE ABLE TO SURVIVE ON NATURAL RAINFALL ONCE

ESTABLISHED WITH NO LOSS OF HEALTH. TREE HEIGHT IS MEASURED FROM THE TOP OF THE ROOT BALL TO THE TIP OF THE MAIN

TREES CANNOT BE PLANTED WITHIN A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE AND MUST BE PLANTED AT LEAST 15' FROM ANY

OTHER TREE AND MEASURED FROM TREE TRUNK TO TREE TRUNK. ALL SHADE TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST BE LOCALLY ADOPTED SPECIES WITH AN EXPECTED MATURE HEIGHT OF 35' OR GREATER UNLESS SUBJECT TO AN OVERHEAD POWER LINE IN WHICH CASE THE MATURE HEIGHT

MAY BE LESS. . ALL SHADE TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST HAVE A MINIMUM CALIPER OF 3" AND BE AT LEAST 10' TALL AT TIME OF PLANTING.

UNDERSTORY TREES PLANTED TO MEET THE LANDSCAPING REQUIREMENTS MUST BE A LOCALLY ADAPTED SPECIES WITH AN EXPECTED MATURE HEIGHT OF AT LEAST 15' AND EXPECTED MATURE CROWN SPREAD OF AT LEAST 15'. 2. SINGLE-STEM UNDERSTORY TREES PLANTED TO MEET THE LANDSCAPING

REQUIREMENTS MUST HAVE A MINIMUM CALIPER OF 1 1/2" AND BE AT LEAST 6' TALL AT TIME 13. IN A PROTECTIVE YARD, 50% OF REQUIRED TREES SHALL BE LOCALLY ADAPTED EVERGREEN SPECIES. TREES SHALL BE DISTRIBUTED SO THAT THERE ARE NO

HORIZONTAL GAPS BETWEEN TREES GREATER THAN 30', MEASURE ALONG THE PROPERTY LINE. 4. IN A PARKING AREA, ALL SHRUBS TO MEET THE LANDSCAPING REQUIREMENTS SHALL BE OF A SPECIES THAT UNDER TYPICAL CONDITIONS CAN BE EXPECTED TO REACH A HEIGHT

AND SPREAD OF 3' WITHIN THREE YEARS OF PLANTING. ALL SHRUBS SHALL BE A MINIMUM OF 18" TALL WHEN PLANTED. 5. IN A PROTECTIVE YARD, ALL SHRUBS PLANTED TO MEET THE LANDSCAPING REQUIREMENTS SHALL BE EVERGREEN AND BE OF A SPECIES THAT UNDER TYPICAL

CONDITIONS CAN BE EXPECTED TO REACH A HEIGHT AND SPREAD OF 3' WITHIN THREE YEARS OF PLANTING. ALL SHRUBS SHALL BE A MINIMUM OF 18" TALL WHEN PLANTED. 6. SHRUBS PLANTED IN A TYPE C2 STREET PROTECTIVE YARD SHALL BE OF A SPECIES THAT UNDER TYPICAL CONDITIONS CAN BE EXPECTED TO REACH A HEIGHT AND SPREAD OF 5'

WITHIN THREE YEARS OF PLANTING. ALL SHRUBS SHALL BE A MINIMUM OF 3' TALL WHEN 7. IN A STREET PROTECTIVE YARD, SHRUB PLANTING MUST FORM AT LEAST ONE CONTINUOUS ROW OF SHRUBS SPACED 5' ON CENTER ACROSS THE ENTIRE PROTECTIVE

18. SHRUBS CANNOT BE PLANTED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE 19. WHERE A PROTECTIVE YARD IS ALSO A TREE CONSERVATION AREA, SHRUBS MUST BE

PLANTED ADJACENT TO AND OUTSIDE THE TREE CONSERVATION AREA. 20. NO REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED INSIDE UTILITY AND

THE CITY AND THE EASEMENT HOLDER. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE

REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

YARD EXCEPT FOR DRIVEWAYS.

DRAINAGE EASEMENTS. EXCLUDING OVERHEAD EASEMENTS. WITHOUT THE CONSENT OF

WHERE DEVELOPMENT ABUTS A STREET CONTROLLED BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION TREES MAY NOT BE REQUIRED OR WILL FALL UNDER THE LANDSCAPE REQUIREMENTS OF THE STATE. THE CITY IS STILL REQUIRED TO REVIEW AND APPROVE ALL PROPOSED TREES IN THE RIGHT OF WAY. APPLICATION PROCESS

THIS IS THE APPLICATION PROCESS FOR ACTIVITIES IMPACTING CITY TREES. IMPACTS

INCLUDE BUT ARE NOT LIMITED TO PLANTING, REMOVAL, PRUNING, TRENCHING, BORING,

THE PARKS AND RECREATION DEPARTMENT IS RESPONSIBLE FOR PLAN REVIEW,

INSPECTION, MONITORING AND ENFORCEMENT ASSOCIATED WITH TREE PLANTING AND

MAINTENANCE ON PROPERTY OWNED OR CONTROLLED BY THE CITY. TREE RELATED

ACTIVITIES ARE CONDUCTED IN ADHERENCE TO CITY OF RALEIGH MUNICIPAL CODE TREES

AND VEGETATION, PART 9 CHAPTER 8 AND THE CITY TREE MANUAL. WHERE THE

TRANSPORTATION MANUAL DEVIATES FROM THE REFERENCED MATERIALS THE

THE URBAN FORESTER OR DESIGNEE SHALL REVIEW ALL SITE PLANS WITH TREES IN

THE RIGHT OF WAY AND ON CITY OWNED OR CONTROLLED PROPERTY. THIS APPLICATION PROCESS DESCRIBES THE REQUIREMENTS FOR PLAN REVIEW.

PERMITTING, TREE PROTECTION, STANDARD SPECIFICATIONS, TREE QUALITY,

EXCAVATING, FILLING, FERTILIZING, TREATING FOR DISEASE OR INSECTS, INSTALLING DECORATIONS AND PLANTING.

SUBMIT TREE IMPACT PERMIT REQUEST TO THE URBAN FORESTER

ADDITIONAL DOCUMENTATION REQUIRED: 2.1. SITE AND/OR LANDSCAPE PLAN

CITY OF RALEIGH (STREET DESIGN MANUAL)

INSTALLATION AND MAINTENANCE.

6.18.1. STREET TREE PLANTINGS IN AN URBAN SETTING

MUNICIPAL CODE PART 9 CHAPTER 8 SHALL TAKE PRECEDENCE.

DEVELOPMENT AND LANDSCAPE PLAN REQUIREMENTS

IDENTIFY PROPERTY BOUNDARIES AND RIGHTS OF WAY LABEL STREETS AND OTHER PLAN ELEMENTS

2.4. OVERHEAD UTILITIES AND LIGHTING PLAN

IDENTIFY TREES FOR DEMOLITION AND PRESERVATION DEPICT THE REQUIRED SITE DISTANCE TRIANGLES

2.7. DEPICT TREE PROTECTION ZONES AND FENCING DETAIL

TREE SPECIES INCLUDING BOTANICAL NAME, INSTALLATION SIZE AND COUNTS URBAN TREE PIT DETAIL AND SUBSURFACE ROOT TREATMENT IF APPLICABLE

WITH 600CUFT MINIMUM SOIL REQUIREMENT. 2.10. ADHERENCE TO TREE QUALITY SPECIFICATIONS AND DETAIL

ADHERENCE TO TREE PLANTING SPECIFICATIONS AND DETAIL

2.12. TREE PROTECTION PLAN (WAIVED IF NO TREES IMPACTED WITHIN CRITICAL ROOT ZONE ON SITE)

6.18.2 TREE INFRASTRUCTURE, INSTALLATION AND MAINTENANCE STANDARDS TREES IN SIDEWALKS, PITS AND GRATES AND TREE LAWN

A TREE MAINTENANCE FEE SHALL BE ASSESSED AT THE TIME OF PERMIT ISSUANCE FOR EACH STREET TREE TO BE INSTALLED. THIS SHALL BE INCLUDED IN THE FEE SCHEDULE

TREE LAWN

a. MINIMUM 6 FEET WIDE TREE LAWN. b. TREES CENTERED IN AREA.

c. NO UTILITIES OR ELECTRICAL CONDUITS ARE PERMITTED WITHIN THE TREE LAWN (UTILITIES MAY RUN BELOW AND THROUGH THE SUBSURFACE ROOT EXPANSION INFRASTRUCTURE)

d. 600 CUBIC FEET OF ENGINEERED STRUCTURAL SOIL WITH ORGANIC MATTER IN THE SURROUNDING 200 SQUARE FOOT AREA WHERE THE TREE IS TO BE PLACED.

REQUIRED SUBSURFACE ROOT EXPANSION

SELECT ONE OR MORE OPTIONS BELOW

HIGH QUALITY TOP SOIL OR STRUCTURAL SOIL SHALL BE USED TO ACCOMPLISH THE SOIL VOLUME REQUIREMENT REQUIRE MINIMUM 600 CUBIC FEET.

EXCEPTIONS AND DESIGN ALTERNATIVES ARE ENCOURAGED TO ACHIEVE SOIL VOLUME: URBAN FORESTER REVIEW REQUIRED. DESIGNS THAT GROUP TREES AND CONNECT ROOT SPACES WILL BE FAVORED AS WELL AS THE INTRODUCTION OF LID MATERIALS AND TECHNOLOGY

STRUCTURAL SOIL PIT THAT EXTENDS BENEATH SURROUNDING PAVEMENT.

SUBSURFACE SOIL CONTAINMENT STRUCTURE MINIMUM 6 PATHS FROM EACH TREE, 3 ON EACH SIDE 20' MINIMUM EXTENSION

FOR EACH PATH. CONNECT TO ADJACENT PIT PATH. 4.4. SUSPENDED PAVEMENT

WHEN ROOT EXPANSION PATHS EXTEND UNDER SIDEWALKS, ENSURE MINIMUM

DENSITY REQUIREMENTS ARE MET. PLANTING STANDARDS

ALL PLANT MATERIAL AND INSTALLATION WORK SHALL CONFORM TO THE STANDARDS DETAILED IN THE FOLLOWING DOCUMENTS:

1.1. AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300. AMERICAN NATIONAL STANDARDS INSTITUTE, 11 WEST 42ND STREET, NEW

AMERICAN NATIONAL STANDARD FOR NURSERY STOCK, ANSI Z60.1. AMERICAN NURSERY AND LANDSCAPE ASSOCIATION, 1250 EYE STREET. NW, SUITE 500, WASHINGTON, D.C. 20005

HORTUS THIRD, THE STAFF OF THE L.H. BAILEY HORTORIUM. 1976. MACMILLAN PUBLISHING CO., NEW YORK

PLANT SCH	EDULE							
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	HEIGHT	REMARKS
TREES								
	GBA	4	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD MAIDENHAIR TREE		3" CAL MIN	10` MIN	
	MGR	14	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA		3" CAL MIN	10` MIN	
0	QNU	16	QUERCUS NUTTALLII	NUTTALL OAK		3" CAL MIN	10` MIN	
200 200	TDI	9	TAXODIUM DISTICHUM	BALD CYPRESS		3" CAL MIN	10` MIN	
S. C.	UAP	8	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM		3" CAL MIN	10` MIN	
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	HEIGHT	REMARKS
SHRUBS								
0	CSA	92	CAMELLIA SASANQUA	SASANQUA CAMELLIA		CONT	18" MIN	
•	СНА	85	CEPHALOTAXUS HARRINGTONIA 'DUKE GARDENS'	DUKE GARDENS PLUM YEW		CONT	18" MIN	
0	DMB	76	DISTYLIUM X 'PIIDIST-II'	BLUE CASCADE® DISTYLIUM		CONT	18" MIN	

EXIST TREE TRUNK

2" X 4" WOOD SLATS,

MAXIMUM 3 INCH SPACING

BETWEEN WOOD SLATS

CONSTRUCTION FENCE

WRAPPED TO A MINIMUM

OF 3 LAYERS OUTSIDE

EXIST GROUND -

WITH A MINIMUM OF 3

SLATS PER TREE

ORANGE PLASTIC

2" X 4" WOOD SLATS, -

MAXIMUM 3 INCH SPACING

NOTE: NO SLATS, ROPE, STEEL STRAPPING

OR PLASTIC CONSTRUCTION FENCE SHALL

BE ATTACHED TO, ANCHORED TO OR TIED

CITY OF RALEIGH PARKS. RECREATION AND

URBAN FORESTER: TREES@RALEIGHNC.GOV

CULTURAL RESOURCES DEPARTMENT

TO THE TREE.

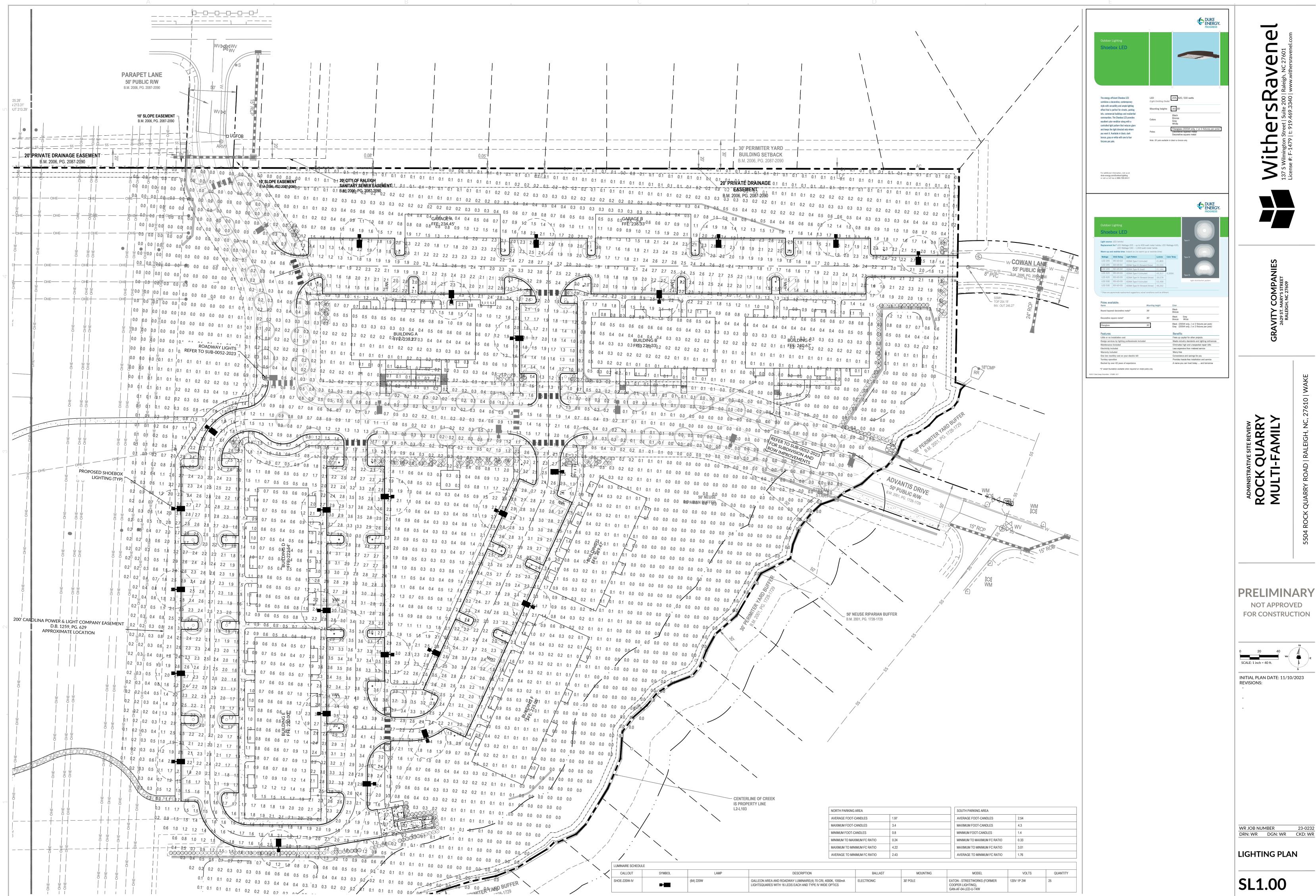
CONTACT INFORMATION:

WWW.RALEIGHNC.GOV

BETWEEN WOOD SLATS

WITH A MINIMUM OF 3

SLATS PER TREE





**PRELIMINARY** 

INITIAL PLAN DATE: 11/10/2023

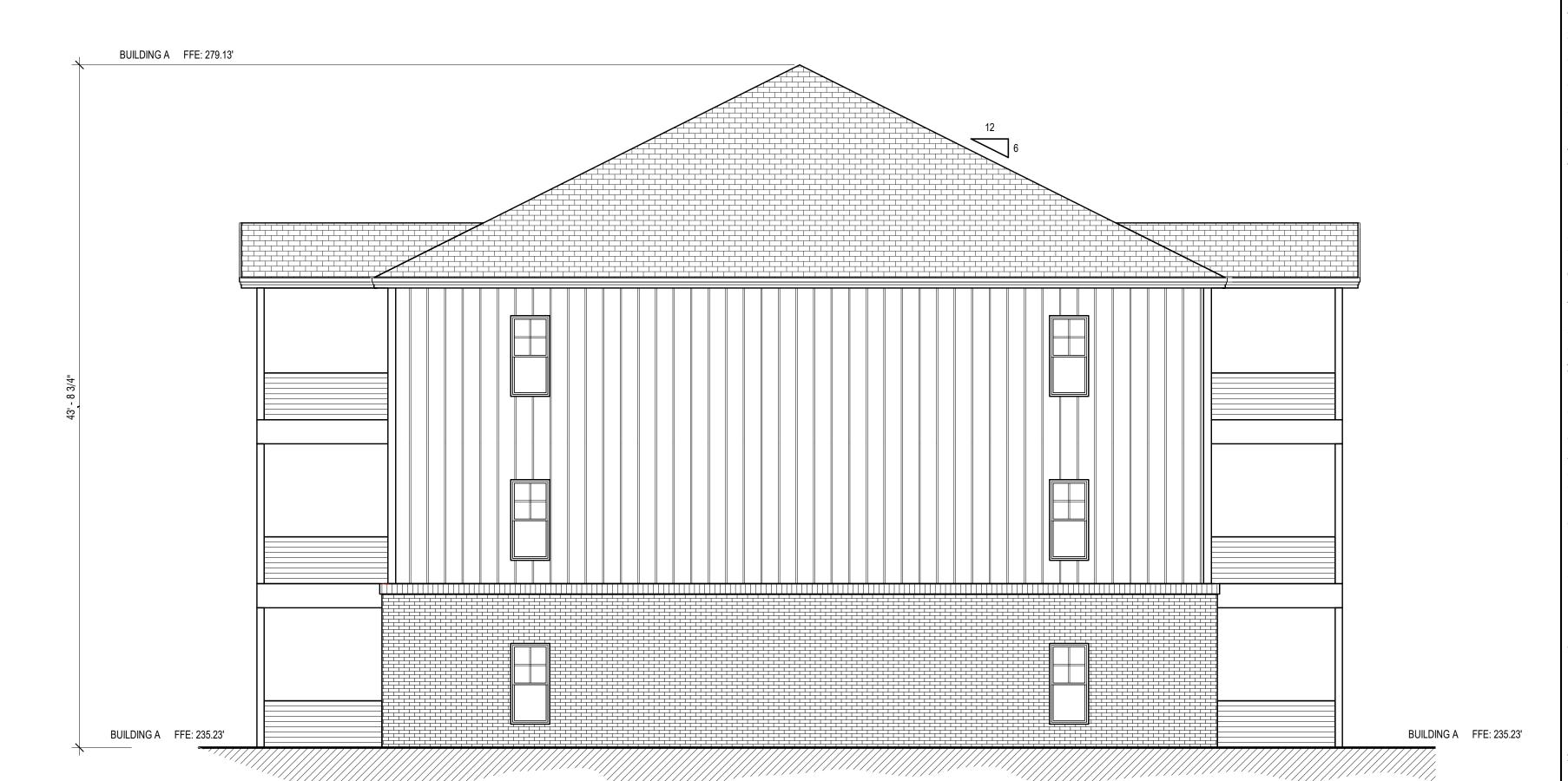
**LIGHTING PLAN** 

**SL1.00** 



FRONT ELEVATION

SCALE: 3/16" = 1'-0"



2 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

# WOOD ROOF TRUSSES:

1. PROVIDE WOOD TRUSSES DESIGNED FOR FULL DEAD LOADS AND LIVE LOADS AS DEFINED AND REQUIRED BY THE 2012 NORTH CAROLINA BUILDING CODE.

2. PROVIDE SHOP DRAWINGS WITH DETAILS SHOWING SIZES, DESIGN VALUES, LIVE LOADS AND DEAD LOADS OF ALL CHORD MEMBERS, MATERIALS, CONNECTIONS, CONNECTORS, ANCHORS, BEARING AND ALL DIMENSIONS. DRAWINGS SHALL ALSO PROVIDE ALL STRUCTURAL CALCULATIONS AND BRACING REQUIREMENTS FOR A COMPLETE FLOOR AND ROOF SYSTEM DESIGN.

3. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF NORTH CAROLINA.

4. DESIGN, SHIPPING AND HANDLING, BRACING AND STORAGE SHALL BE IN ACCORDANCE WITH APPLICABLE PROVISIONS OF LATEST EDITION OF NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (NDS) OF THE AMERICAN FOREST AND PAPER ASSOCIATION (AF & PA), AND DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES (ANSI/TPI 1) OF THE TRUSS PLATE INSTITUTE (TPI), AND CODE OF JURISDICTION.

5. FABRICATE TRUSSES AS SHOWN ON THE DRAWINGS AND AS REQUIRED FOR STRUCTURAL DESIGN COMPLIANCE. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

6. LUMBER USED SHALL BE IDENTIFIED BY GRADE MARK OF A LUMBER INSPECTION BUREAU OR AGENCY APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE, AND SHALL BE THE SIZE, SPECIES, AND GRADE AS SHOWN ON THE TRUSS DESIGN DRAWINGS, OR EQUIVALENT AS APPROVED BY THE TRUSS DESIGN ENGINEER.

7.FIRE RETARDANT TREATED LUMBER, IF APPLICABLE, SHALL MEET THE SPECIFICATIONS
OF THE FIRE RETARDANT CHEMICAL MANUFACTURER, THE TRUSS DESIGN AND THE STANDARD
AND SHALL BE RE-DRIED AFTER TREATMENT IN ACCORDANCE WITH THE AMERICAN
WOOD-PRESERVERS' ASSOCIATION (AWPA) STANDARD C20 STRUCTURAL LUMBER FIRE RETARDANT TREATMENT BY PRESSURE PROCESSES. ALLOWABLE VALUES MUST
BE ADJUSTED IN ACCORDANCE WITH NDS. LUMBER TREATER SHALL SUPPLY CERTIFICATE

OF COMPLIANCE.

8.METAL CONNECTOR PLATES: SHALL BE MANUFACTURED BY A TRUSS PLATE INSTITUTE (TPI) MEMBER PLATE MANUFACTURER AND SHALL NOT BE LESS THAN 0.036 IN. THICK (20 GAUGE) AND SHALL MEET OR EXCEED ASTM A653/A653M GRADE 33, AND GALVANIZED COATING SHALL MEET OR EXCEED ASTM A924/924M, COATING DESIGNATION G60. WORKING STRESSES IN STEEL ARE TO BE APPLIED TO EFFECTIVENESS RATIOS FOR PLATES AS DETERMINED BY TEST AND IN ACCORDANCE WITH THE STANDARD.

9.ALL TRUSS HANGERS, HURRICANE ANCHORS, ETC. SHALL BE SPECIFIED BY THE TRUSS MANUFACTURER.

10. IN HIGHLY CORROSIVE ENVIRONMENTS, SPECIAL APPLIED COATINGS OR STAINLESS STEEL MAY BE REQUIRED.

11. APPARENT DAMAGE TO TRUSSES, IF ANY, SHALL BE REPORTED TO MANUFACTURER

PRIOR TO INSTALLATION.

12. TRUSSES SHALL BE SET AND SECURED LEVEL AND PLUMB, AND IN CORRECT LOCATION.
TRUSSES SHALL BE HELD IN CORRECT ALIGNMENT UNTIL SPECIFIED PERMANENT BRACING IS

13. CUTTING AND ALTERING OF TRUSSES IS NOT PERMITTED WITHOUT APPROVAL FROM THE ENGINEER OF RECORD.

14. CONCENTRATED LOADS SHALL NOT BE PLACED ATOP TRUSSES UNTIL ALL SPECIFIED BRACING HAS BEEN INSTALLED AND DECKING IS PERMANENTLY NAILED IN PLACE. SPECIFICALLY AVOID STACKING FULL BUNDLES OF DECKING OR OTHER HEAVY MATERIALS ONTO UNSHEATHED TRUSSES.

15.ERECTION BRACING IS ALWAYS REQUIRED. PROFESSIONAL ADVICE SHOULD ALWAYS BE SOUGHT TO PREVENT TOPPLING OR DOMINOING OF TRUSSES DURING INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FURNISHING THE MATERIALS USED FOR INSULATION AND PERMANENT BRACING

GRAVITY ROCK 1-BE
5504 Rock Quarry Road Rale

2761

SHEE

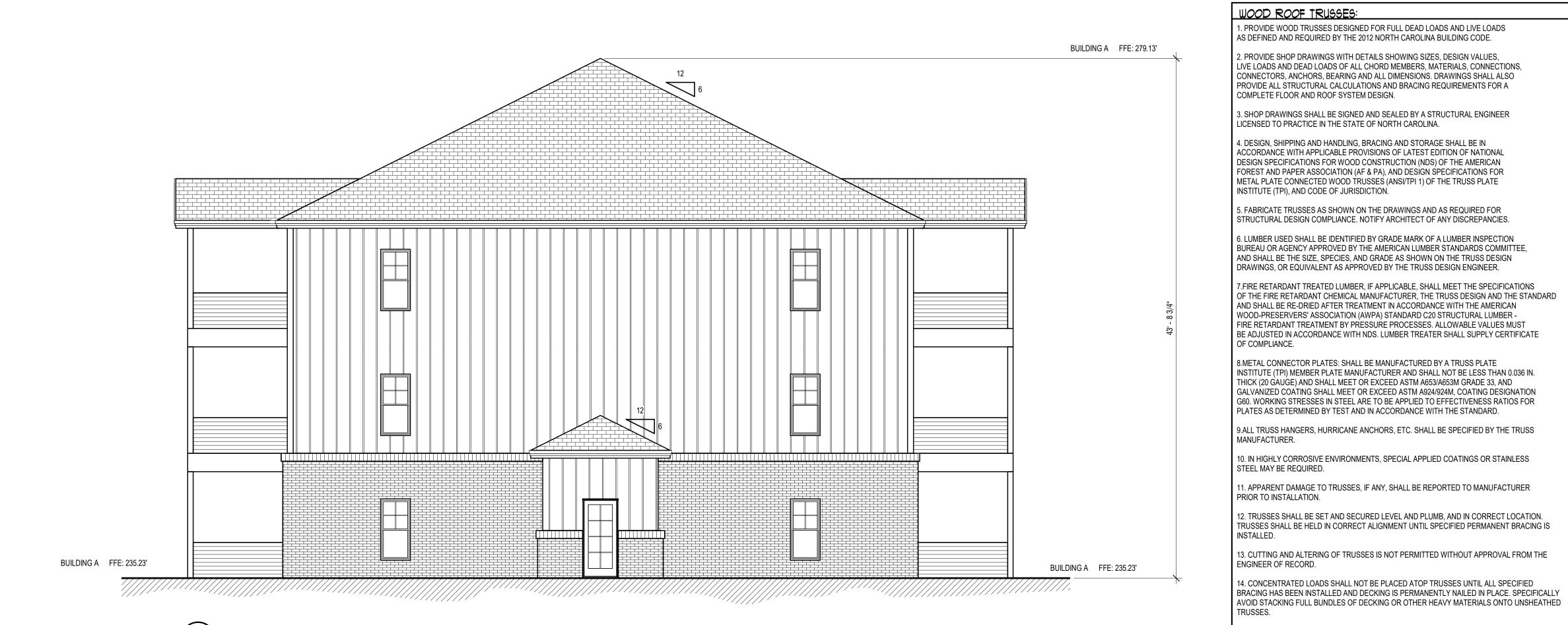
FRONT / RIGHT ELEVATIONS

SHEET NUMBER

D/



REAR ELEVATION



# WOOD ROOF TRUSSES:

1. PROVIDE WOOD TRUSSES DESIGNED FOR FULL DEAD LOADS AND LIVE LOADS AS DEFINED AND REQUIRED BY THE 2012 NORTH CAROLINA BUILDING CODE.

2. PROVIDE SHOP DRAWINGS WITH DETAILS SHOWING SIZES, DESIGN VALUES, LIVE LOADS AND DEAD LOADS OF ALL CHORD MEMBERS, MATERIALS, CONNECTIONS, CONNECTORS, ANCHORS, BEARING AND ALL DIMENSIONS. DRAWINGS SHALL ALSO PROVIDE ALL STRUCTURAL CALCULATIONS AND BRACING REQUIREMENTS FOR A COMPLETE FLOOR AND ROOF SYSTEM DESIGN.

3. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF NORTH CAROLINA.

4. DESIGN, SHIPPING AND HANDLING, BRACING AND STORAGE SHALL BE IN ACCORDANCE WITH APPLICABLE PROVISIONS OF LATEST EDITION OF NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (NDS) OF THE AMERICAN FOREST AND PAPER ASSOCIATION (AF & PA), AND DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES (ANSI/TPI 1) OF THE TRUSS PLATE INSTITUTE (TPI), AND CODE OF JURISDICTION.

5. FABRICATE TRUSSES AS SHOWN ON THE DRAWINGS AND AS REQUIRED FOR

6. LUMBER USED SHALL BE IDENTIFIED BY GRADE MARK OF A LUMBER INSPECTION BUREAU OR AGENCY APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE, AND SHALL BE THE SIZE. SPECIES. AND GRADE AS SHOWN ON THE TRUSS DESIGN DRAWINGS, OR EQUIVALENT AS APPROVED BY THE TRUSS DESIGN ENGINEER.

7.FIRE RETARDANT TREATED LUMBER, IF APPLICABLE, SHALL MEET THE SPECIFICATIONS OF THE FIRE RETARDANT CHEMICAL MANUFACTURER, THE TRUSS DESIGN AND THE STANDARD AND SHALL BE RE-DRIED AFTER TREATMENT IN ACCORDANCE WITH THE AMERICAN WOOD-PRESERVERS' ASSOCIATION (AWPA) STANDARD C20 STRUCTURAL LUMBER -FIRE RETARDANT TREATMENT BY PRESSURE PROCESSES. ALLOWABLE VALUES MUST BE ADJUSTED IN ACCORDANCE WITH NDS. LUMBER TREATER SHALL SUPPLY CERTIFICATE OF COMPLIANCE.

8.METAL CONNECTOR PLATES: SHALL BE MANUFACTURED BY A TRUSS PLATE INSTITUTE (TPI) MEMBER PLATE MANUFACTURER AND SHALL NOT BE LESS THAN 0.036 IN. THICK (20 GAUGE) AND SHALL MEET OR EXCEED ASTM A653/A653M GRADE 33, AND GALVANIZED COATING SHALL MEET OR EXCEED ASTM A924/924M, COATING DESIGNATION G60. WORKING STRESSES IN STEEL ARE TO BE APPLIED TO EFFECTIVENESS RATIOS FOR PLATES AS DETERMINED BY TEST AND IN ACCORDANCE WITH THE STANDARD.

9.ALL TRUSS HANGERS, HURRICANE ANCHORS, ETC. SHALL BE SPECIFIED BY THE TRUSS MANUFACTURER.

10. IN HIGHLY CORROSIVE ENVIRONMENTS, SPECIAL APPLIED COATINGS OR STAINLESS

11. APPARENT DAMAGE TO TRUSSES, IF ANY, SHALL BE REPORTED TO MANUFACTURER PRIOR TO INSTALLATION.

12. TRUSSES SHALL BE SET AND SECURED LEVEL AND PLUMB, AND IN CORRECT LOCATION. TRUSSES SHALL BE HELD IN CORRECT ALIGNMENT UNTIL SPECIFIED PERMANENT BRACING IS

13. CUTTING AND ALTERING OF TRUSSES IS NOT PERMITTED WITHOUT APPROVAL FROM THE ENGINEER OF RECORD. 14. CONCENTRATED LOADS SHALL NOT BE PLACED ATOP TRUSSES UNTIL ALL SPECIFIED BRACING HAS BEEN INSTALLED AND DECKING IS PERMANENTLY NAILED IN PLACE. SPECIFICALLY

15.ERECTION BRACING IS ALWAYS REQUIRED. PROFESSIONAL ADVICE SHOULD ALWAYS BE SOUGHT TO PREVENT TOPPLING OR DOMINOING OF TRUSSES DURING INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FURNISHING THE MATERIALS USED FOR INSULATION AND PERMANENT BRACING

9 C

InFocus Engineering, PLLC

2702 Forest Glen Drive Greenville, NC 27858 (252) 412-8598

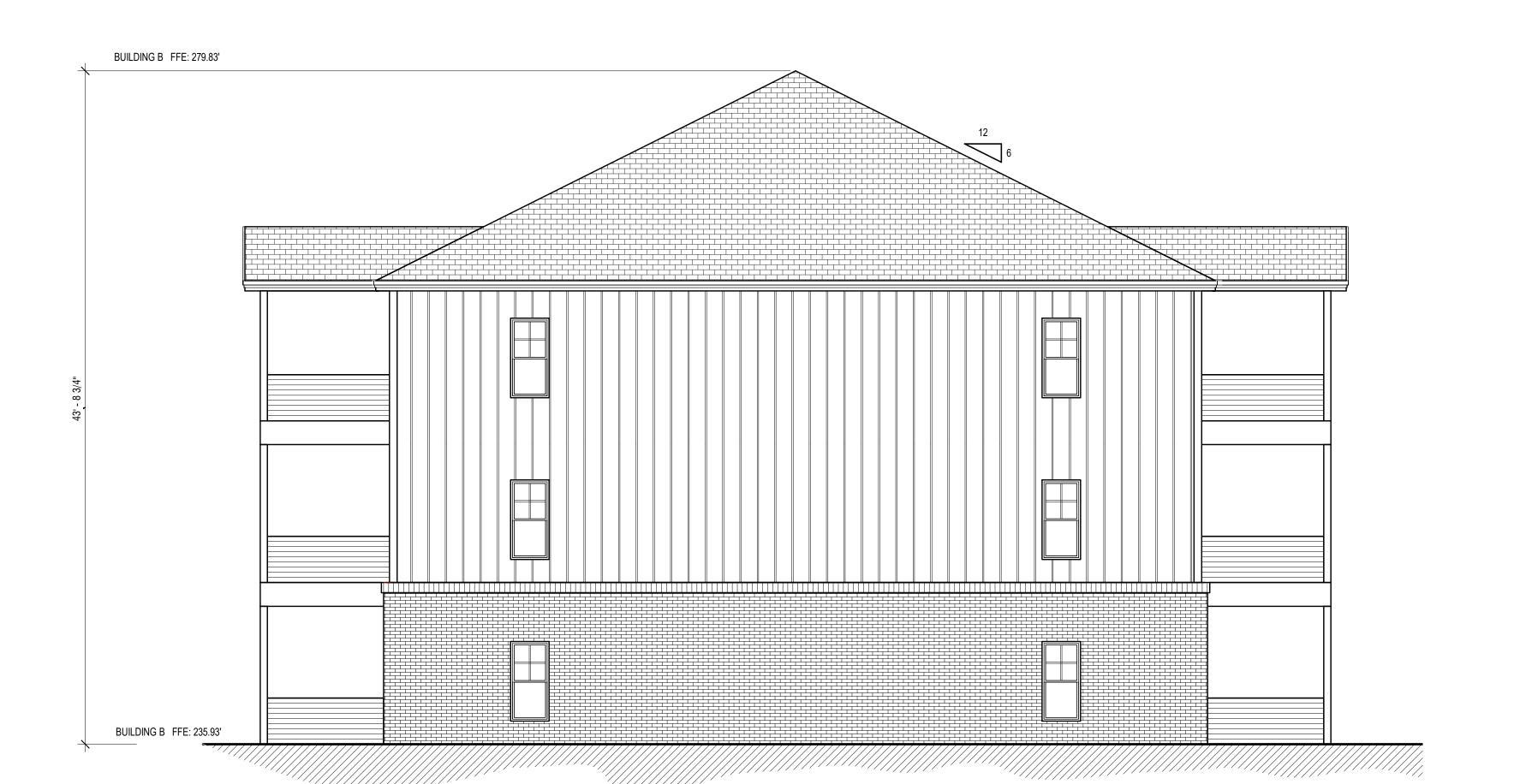
SHEET NUMBER

REAR / LEFT ELEVATIONS

ISSUE TITLE

BUILDING B FFE: 279.83' BUILDING B FFE: 235.93'

FRONT ELEVATION SCALE: 3/16" = 1'-0"



# WOOD ROOF TRUSSES:

. PROVIDE WOOD TRUSSES DESIGNED FOR FULL DEAD LOADS AND LIVE LOADS AS DEFINED AND REQUIRED BY THE 2012 NORTH CAROLINA BUILDING CODE.

2. PROVIDE SHOP DRAWINGS WITH DETAILS SHOWING SIZES, DESIGN VALUES, LIVE LOADS AND DEAD LOADS OF ALL CHORD MEMBERS, MATERIALS, CONNECTIONS, CONNECTORS, ANCHORS, BEARING AND ALL DIMENSIONS. DRAWINGS SHALL ALSO PROVIDE ALL STRUCTURAL CALCULATIONS AND BRACING REQUIREMENTS FOR A COMPLETE FLOOR AND ROOF SYSTEM DESIGN.

3. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF NORTH CAROLINA.

4. DESIGN, SHIPPING AND HANDLING, BRACING AND STORAGE SHALL BE IN ACCORDANCE WITH APPLICABLE PROVISIONS OF LATEST EDITION OF NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (NDS) OF THE AMERICAN FOREST AND PAPER ASSOCIATION (AF & PA), AND DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES (ANSI/TPI 1) OF THE TRUSS PLATE INSTITUTE (TPI), AND CODE OF JURISDICTION.

5. FABRICATE TRUSSES AS SHOWN ON THE DRAWINGS AND AS REQUIRED FOR

STRUCTURAL DESIGN COMPLIANCE. NOTIFY ARCHITECT OF ANY DISCREPANCIES. S. LUMBER USED SHALL BE IDENTIFIED BY GRADE MARK OF A LUMBER INSPECTION BUREAU OR AGENCY APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE, AND SHALL BE THE SIZE, SPECIES, AND GRADE AS SHOWN ON THE TRUSS DESIGN DRAWINGS, OR EQUIVALENT AS APPROVED BY THE TRUSS DESIGN ENGINEER.

7.FIRE RETARDANT TREATED LUMBER, IF APPLICABLE, SHALL MEET THE SPECIFICATIONS OF THE FIRE RETARDANT CHEMICAL MANUFACTURER, THE TRUSS DESIGN AND THE STANDARD AND SHALL BE RE-DRIED AFTER TREATMENT IN ACCORDANCE WITH THE AMERICAN WOOD-PRESERVERS' ASSOCIATION (AWPA) STANDARD C20 STRUCTURAL LUMBER -FIRE RETARDANT TREATMENT BY PRESSURE PROCESSES. ALLOWABLE VALUES MUST BE ADJUSTED IN ACCORDANCE WITH NDS. LUMBER TREATER SHALL SUPPLY CERTIFICATE OF COMPLIANCE.

8.METAL CONNECTOR PLATES: SHALL BE MANUFACTURED BY A TRUSS PLATE INSTITUTE (TPI) MEMBER PLATE MANUFACTURER AND SHALL NOT BE LESS THAN 0.036 IN. THICK (20 GAUGE) AND SHALL MEET OR EXCEED ASTM A653/A653M GRADE 33, AND GALVANIZED COATING SHALL MEET OR EXCEED ASTM A924/924M, COATING DESIGNATION G60. WORKING STRESSES IN STEEL ARE TO BE APPLIED TO EFFECTIVENESS RATIOS FOR PLATES AS DETERMINED BY TEST AND IN ACCORDANCE WITH THE STANDARD.

9.ALL TRUSS HANGERS, HURRICANE ANCHORS, ETC. SHALL BE SPECIFIED BY THE TRUSS MANUFACTURER.

10. IN HIGHLY CORROSIVE ENVIRONMENTS, SPECIAL APPLIED COATINGS OR STAINLESS STEEL MAY BE REQUIRED.

11. APPARENT DAMAGE TO TRUSSES, IF ANY, SHALL BE REPORTED TO MANUFACTURER PRIOR TO INSTALLATION.

12. TRUSSES SHALL BE SET AND SECURED LEVEL AND PLUMB, AND IN CORRECT LOCATION. TRUSSES SHALL BE HELD IN CORRECT ALIGNMENT UNTIL SPECIFIED PERMANENT BRACING IS

13. CUTTING AND ALTERING OF TRUSSES IS NOT PERMITTED WITHOUT APPROVAL FROM THE

ENGINEER OF RECORD. 14. CONCENTRATED LOADS SHALL NOT BE PLACED ATOP TRUSSES UNTIL ALL SPECIFIED BRACING HAS BEEN INSTALLED AND DECKING IS PERMANENTLY NAILED IN PLACE. SPECIFICALLY AVOID STACKING FULL BUNDLES OF DECKING OR OTHER HEAVY MATERIALS ONTO UNSHEATHED

15.ERECTION BRACING IS ALWAYS REQUIRED. PROFESSIONAL ADVICE SHOULD ALWAYS BE SOUGHT TO PREVENT TOPPLING OR DOMINOING OF TRUSSES DURING INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FURNISHING THE MATERIALS USED FOR INSULATION AND PERMANENT BRACING

# 2761 $\mathbf{\Omega}$

InFocus Engineering, PLLC

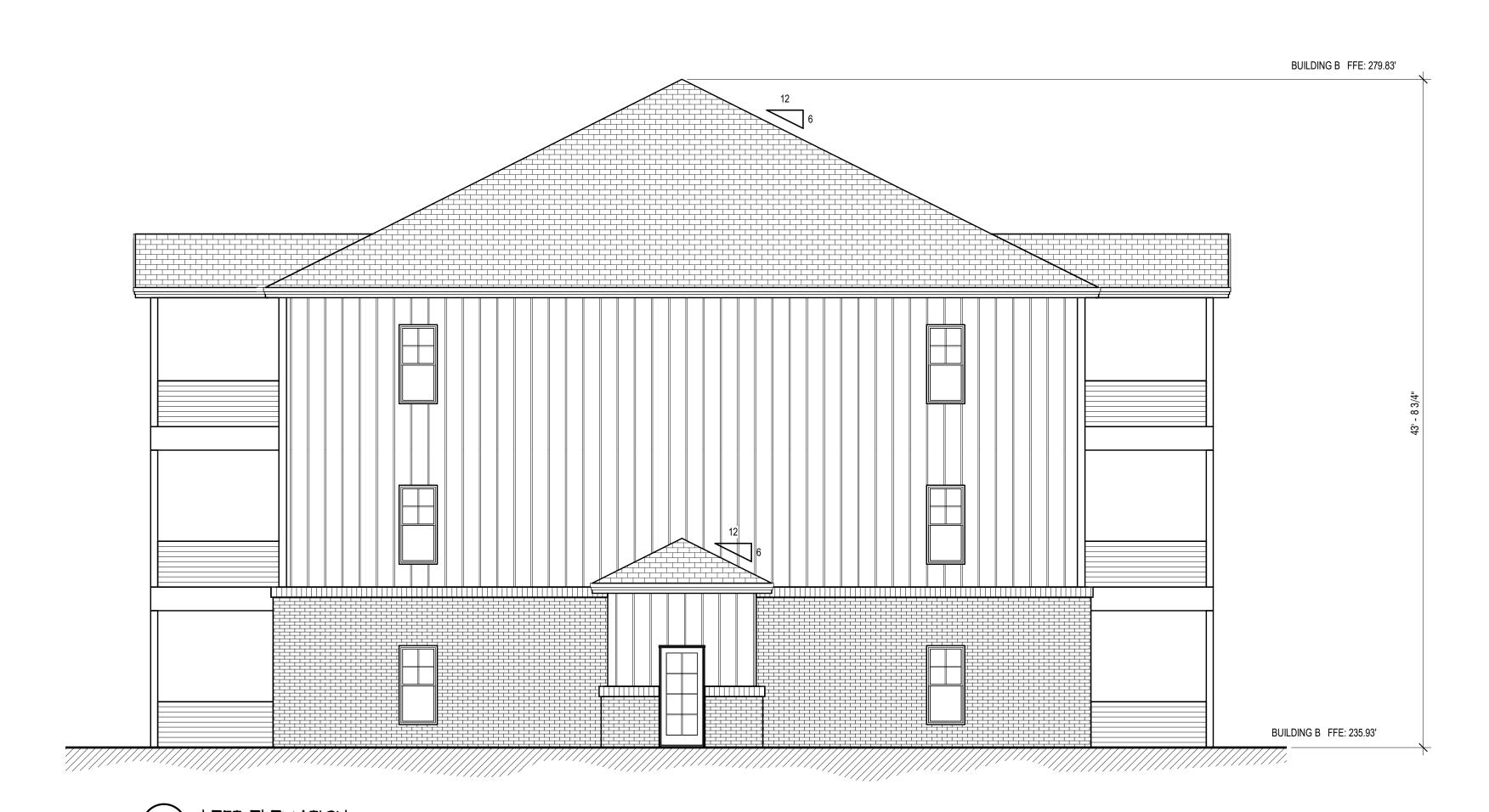
2702 Forest Glen Drive Greenville, NC 27858 (252) 412-8598

 $\mathbf{C}$ ISSUE TITLE

FRONT / RIGHT ELEVATIONS SHEET NUMBER



REAR ELEVATION



# WOOD ROOF TRUSSES:

COMPLETE FLOOR AND ROOF SYSTEM DESIGN.

1. PROVIDE WOOD TRUSSES DESIGNED FOR FULL DEAD LOADS AND LIVE LOADS

AS DEFINED AND REQUIRED BY THE 2012 NORTH CAROLINA BUILDING CODE. 2. PROVIDE SHOP DRAWINGS WITH DETAILS SHOWING SIZES, DESIGN VALUES, LIVE LOADS AND DEAD LOADS OF ALL CHORD MEMBERS, MATERIALS, CONNECTIONS, CONNECTORS, ANCHORS, BEARING AND ALL DIMENSIONS. DRAWINGS SHALL ALSO PROVIDE ALL STRUCTURAL CALCULATIONS AND BRACING REQUIREMENTS FOR A

3. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A STRUCTURAL ENGINEER

LICENSED TO PRACTICE IN THE STATE OF NORTH CAROLINA. 4. DESIGN, SHIPPING AND HANDLING, BRACING AND STORAGE SHALL BE IN ACCORDANCE WITH APPLICABLE PROVISIONS OF LATEST EDITION OF NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (NDS) OF THE AMERICAN FOREST AND PAPER ASSOCIATION (AF & PA), AND DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES (ANSI/TPI 1) OF THE TRUSS PLATE INSTITUTE (TPI), AND CODE OF JURISDICTION.

5. FABRICATE TRUSSES AS SHOWN ON THE DRAWINGS AND AS REQUIRED FOR STRUCTURAL DESIGN COMPLIANCE. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

6. LUMBER USED SHALL BE IDENTIFIED BY GRADE MARK OF A LUMBER INSPECTION BUREAU OR AGENCY APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE, AND SHALL BE THE SIZE, SPECIES, AND GRADE AS SHOWN ON THE TRUSS DESIGN DRAWINGS, OR EQUIVALENT AS APPROVED BY THE TRUSS DESIGN ENGINEER.

7.FIRE RETARDANT TREATED LUMBER, IF APPLICABLE, SHALL MEET THE SPECIFICATIONS OF THE FIRE RETARDANT CHEMICAL MANUFACTURER, THE TRUSS DESIGN AND THE STANDARD AND SHALL BE RE-DRIED AFTER TREATMENT IN ACCORDANCE WITH THE AMERICAN WOOD-PRESERVERS' ASSOCIATION (AWPA) STANDARD C20 STRUCTURAL LUMBER -FIRE RETARDANT TREATMENT BY PRESSURE PROCESSES. ALLOWABLE VALUES MUST BE ADJUSTED IN ACCORDANCE WITH NDS. LUMBER TREATER SHALL SUPPLY CERTIFICATE OF COMPLIANCE.

8.METAL CONNECTOR PLATES: SHALL BE MANUFACTURED BY A TRUSS PLATE INSTITUTE (TPI) MEMBER PLATE MANUFACTURER AND SHALL NOT BE LESS THAN 0.036 IN. THICK (20 GAUGE) AND SHALL MEET OR EXCEED ASTM A653/A653M GRADE 33, AND GALVANIZED COATING SHALL MEET OR EXCEED ASTM A924/924M, COATING DESIGNATION G60. WORKING STRESSES IN STEEL ARE TO BE APPLIED TO EFFECTIVENESS RATIOS FOR PLATES AS DETERMINED BY TEST AND IN ACCORDANCE WITH THE STANDARD.

9.ALL TRUSS HANGERS, HURRICANE ANCHORS, ETC. SHALL BE SPECIFIED BY THE TRUSS MANUFACTURER.

10. IN HIGHLY CORROSIVE ENVIRONMENTS, SPECIAL APPLIED COATINGS OR STAINLESS

11. APPARENT DAMAGE TO TRUSSES, IF ANY, SHALL BE REPORTED TO MANUFACTURER PRIOR TO INSTALLATION.

12. TRUSSES SHALL BE SET AND SECURED LEVEL AND PLUMB, AND IN CORRECT LOCATION. TRUSSES SHALL BE HELD IN CORRECT ALIGNMENT UNTIL SPECIFIED PERMANENT BRACING IS

13. CUTTING AND ALTERING OF TRUSSES IS NOT PERMITTED WITHOUT APPROVAL FROM THE ENGINEER OF RECORD.

14. CONCENTRATED LOADS SHALL NOT BE PLACED ATOP TRUSSES UNTIL ALL SPECIFIED BRACING HAS BEEN INSTALLED AND DECKING IS PERMANENTLY NAILED IN PLACE. SPECIFICALLY AVOID STACKING FULL BUNDLES OF DECKING OR OTHER HEAVY MATERIALS ONTO UNSHEATHED

15.ERECTION BRACING IS ALWAYS REQUIRED. PROFESSIONAL ADVICE SHOULD ALWAYS BE SOUGHT TO PREVENT TOPPLING OR DOMINOING OF TRUSSES DURING INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FURNISHING THE MATERIALS USED FOR INSULATION AND PERMANENT BRACING

InFocus Engineering, PLLC

2702 Forest Glen Drive Greenville, NC 27858 (252) 412-8598

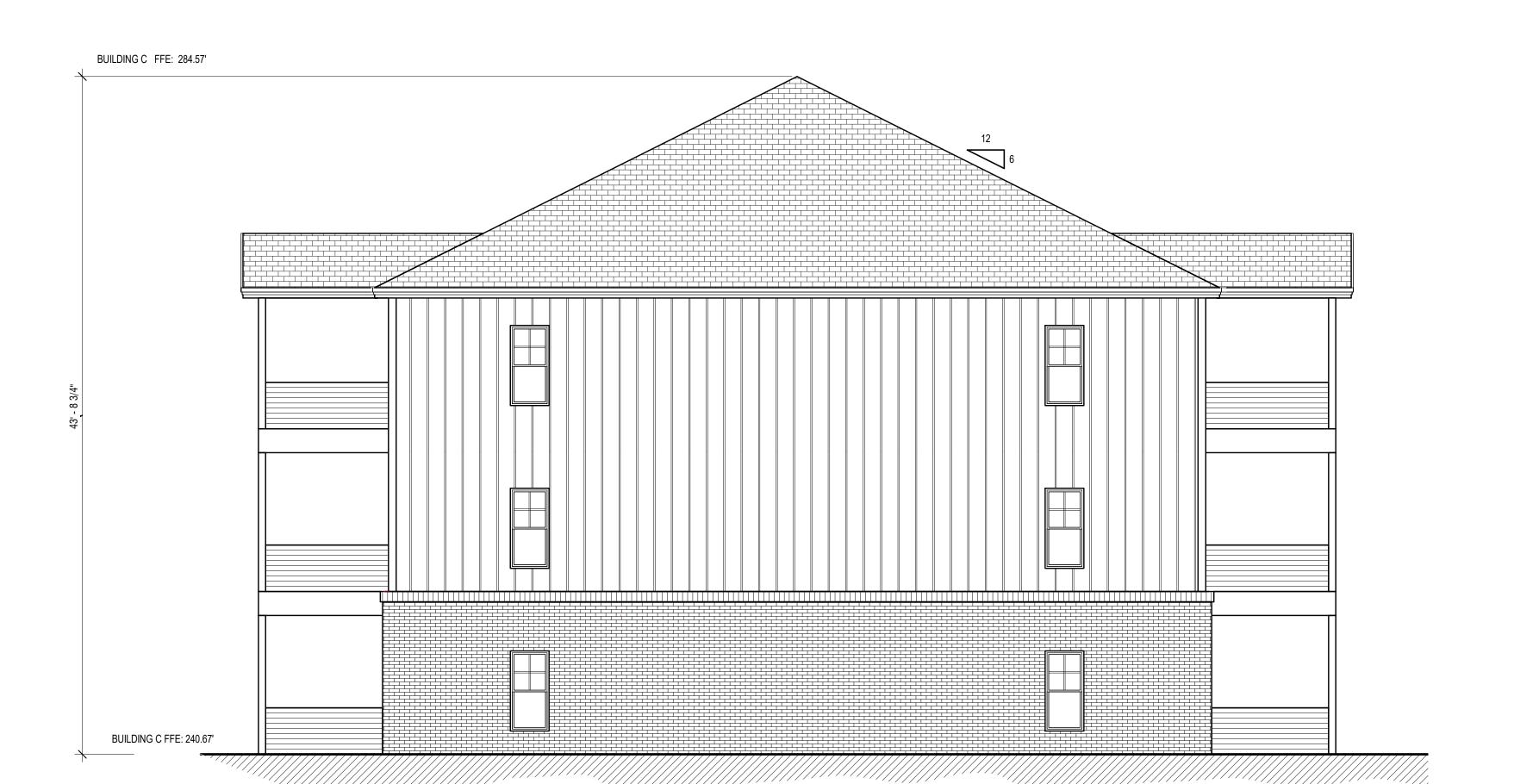
9 C

ISSUE TITLE

REAR / LEFT ELEVATIONS

SHEET NUMBER

FRONT ELEVATION SCALE: 3/16" = 1'-0"



# WOOD ROOF TRUSSES:

. PROVIDE WOOD TRUSSES DESIGNED FOR FULL DEAD LOADS AND LIVE LOADS AS DEFINED AND REQUIRED BY THE 2012 NORTH CAROLINA BUILDING CODE.

2. PROVIDE SHOP DRAWINGS WITH DETAILS SHOWING SIZES, DESIGN VALUES, LIVE LOADS AND DEAD LOADS OF ALL CHORD MEMBERS, MATERIALS, CONNECTIONS, CONNECTORS, ANCHORS, BEARING AND ALL DIMENSIONS. DRAWINGS SHALL ALSO PROVIDE ALL STRUCTURAL CALCULATIONS AND BRACING REQUIREMENTS FOR A COMPLETE FLOOR AND ROOF SYSTEM DESIGN.

3. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF NORTH CAROLINA.

4. DESIGN, SHIPPING AND HANDLING, BRACING AND STORAGE SHALL BE IN ACCORDANCE WITH APPLICABLE PROVISIONS OF LATEST EDITION OF NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (NDS) OF THE AMERICAN FOREST AND PAPER ASSOCIATION (AF & PA), AND DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES (ANSI/TPI 1) OF THE TRUSS PLATE INSTITUTE (TPI), AND CODE OF JURISDICTION.

5. FABRICATE TRUSSES AS SHOWN ON THE DRAWINGS AND AS REQUIRED FOR

STRUCTURAL DESIGN COMPLIANCE. NOTIFY ARCHITECT OF ANY DISCREPANCIES. S. LUMBER USED SHALL BE IDENTIFIED BY GRADE MARK OF A LUMBER INSPECTION BUREAU OR AGENCY APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE, AND SHALL BE THE SIZE, SPECIES, AND GRADE AS SHOWN ON THE TRUSS DESIGN DRAWINGS, OR EQUIVALENT AS APPROVED BY THE TRUSS DESIGN ENGINEER.

7.FIRE RETARDANT TREATED LUMBER, IF APPLICABLE, SHALL MEET THE SPECIFICATIONS OF THE FIRE RETARDANT CHEMICAL MANUFACTURER, THE TRUSS DESIGN AND THE STANDARD AND SHALL BE RE-DRIED AFTER TREATMENT IN ACCORDANCE WITH THE AMERICAN WOOD-PRESERVERS' ASSOCIATION (AWPA) STANDARD C20 STRUCTURAL LUMBER -FIRE RETARDANT TREATMENT BY PRESSURE PROCESSES. ALLOWABLE VALUES MUST BE ADJUSTED IN ACCORDANCE WITH NDS. LUMBER TREATER SHALL SUPPLY CERTIFICATE

OF COMPLIANCE. 8.METAL CONNECTOR PLATES: SHALL BE MANUFACTURED BY A TRUSS PLATE INSTITUTE (TPI) MEMBER PLATE MANUFACTURER AND SHALL NOT BE LESS THAN 0.036 IN. THICK (20 GAUGE) AND SHALL MEET OR EXCEED ASTM A653/A653M GRADE 33, AND GALVANIZED COATING SHALL MEET OR EXCEED ASTM A924/924M, COATING DESIGNATION G60. WORKING STRESSES IN STEEL ARE TO BE APPLIED TO EFFECTIVENESS RATIOS FOR PLATES AS DETERMINED BY TEST AND IN ACCORDANCE WITH THE STANDARD.

9.ALL TRUSS HANGERS, HURRICANE ANCHORS, ETC. SHALL BE SPECIFIED BY THE TRUSS MANUFACTURER.

10. IN HIGHLY CORROSIVE ENVIRONMENTS, SPECIAL APPLIED COATINGS OR STAINLESS STEEL MAY BE REQUIRED.

11. APPARENT DAMAGE TO TRUSSES, IF ANY, SHALL BE REPORTED TO MANUFACTURER PRIOR TO INSTALLATION.

12. TRUSSES SHALL BE SET AND SECURED LEVEL AND PLUMB, AND IN CORRECT LOCATION. TRUSSES SHALL BE HELD IN CORRECT ALIGNMENT UNTIL SPECIFIED PERMANENT BRACING IS

13. CUTTING AND ALTERING OF TRUSSES IS NOT PERMITTED WITHOUT APPROVAL FROM THE

ENGINEER OF RECORD. 14. CONCENTRATED LOADS SHALL NOT BE PLACED ATOP TRUSSES UNTIL ALL SPECIFIED BRACING HAS BEEN INSTALLED AND DECKING IS PERMANENTLY NAILED IN PLACE. SPECIFICALLY AVOID STACKING FULL BUNDLES OF DECKING OR OTHER HEAVY MATERIALS ONTO UNSHEATHED

15.ERECTION BRACING IS ALWAYS REQUIRED. PROFESSIONAL ADVICE SHOULD ALWAYS BE SOUGHT TO PREVENT TOPPLING OR DOMINOING OF TRUSSES DURING INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FURNISHING THE MATERIALS USED FOR INSULATION AND PERMANENT BRACING

# $\mathbf{\Omega}$

InFocus Engineering, PLLC

2702 Forest Glen Drive Greenville, NC 27858 (252) 412-8598

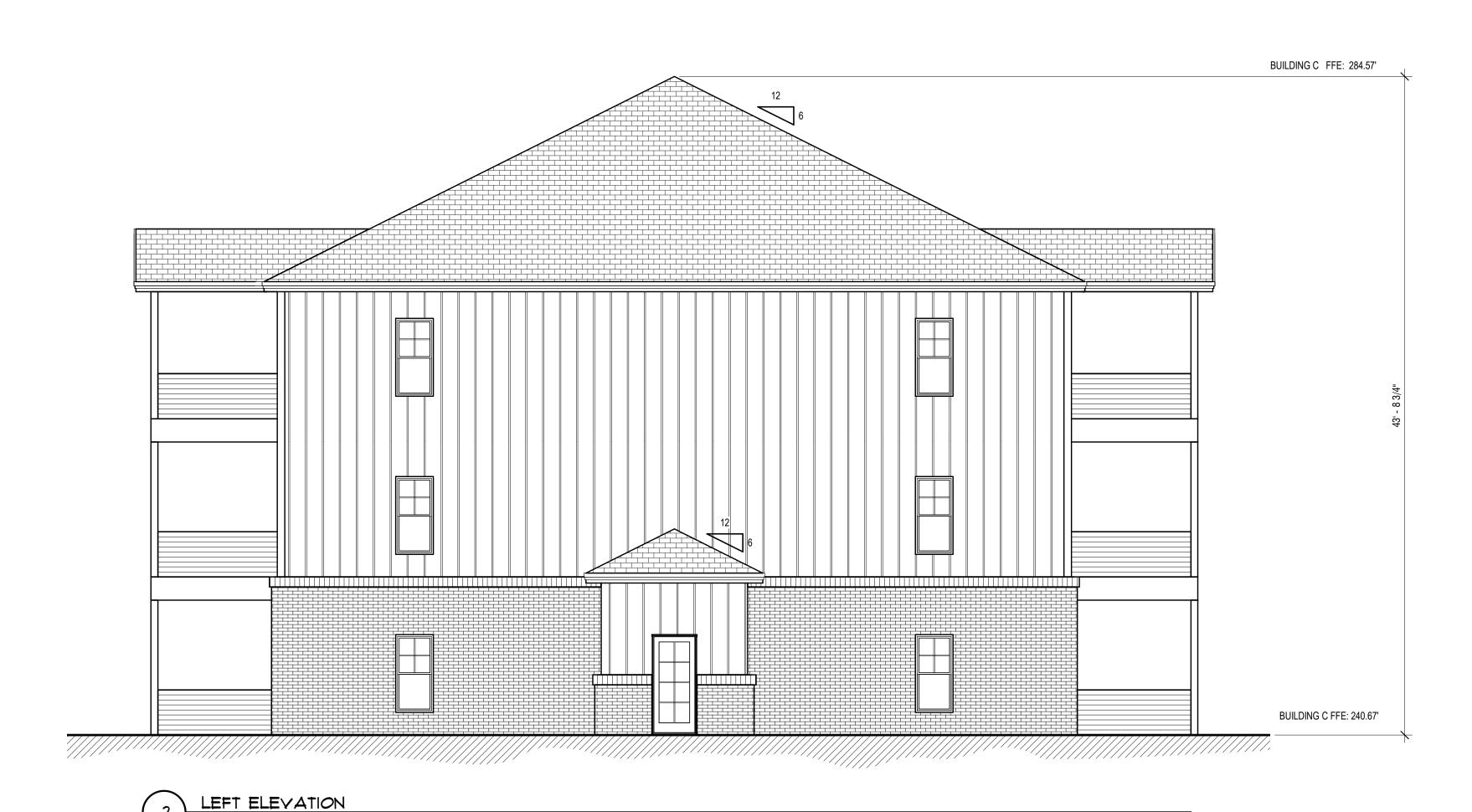
761  $\mathbf{C}$ 

FRONT / RIGHT ELEVATIONS SHEET NUMBER

ISSUE TITLE







# WOOD ROOF TRUSSES:

1. PROVIDE WOOD TRUSSES DESIGNED FOR FULL DEAD LOADS AND LIVE LOADS

AS DEFINED AND REQUIRED BY THE 2012 NORTH CAROLINA BUILDING CODE.

2. PROVIDE SHOP DRAWINGS WITH DETAILS SHOWING SIZES, DESIGN VALUES, LIVE LOADS AND DEAD LOADS OF ALL CHORD MEMBERS, MATERIALS, CONNECTIONS, CONNECTORS, ANCHORS, BEARING AND ALL DIMENSIONS. DRAWINGS SHALL ALSO PROVIDE ALL STRUCTURAL CALCULATIONS AND BRACING REQUIREMENTS FOR A COMPLETE FLOOR AND ROOF SYSTEM DESIGN.

3. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A STRUCTURAL ENGINEER

LICENSED TO PRACTICE IN THE STATE OF NORTH CAROLINA.

4. DESIGN, SHIPPING AND HANDLING, BRACING AND STORAGE SHALL BE IN ACCORDANCE WITH APPLICABLE PROVISIONS OF LATEST EDITION OF NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (NDS) OF THE AMERICAN FOREST AND PAPER ASSOCIATION (AF & PA), AND DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES (ANSI/TPI 1) OF THE TRUSS PLATE INSTITUTE (TPI), AND CODE OF JURISDICTION.

5. FABRICATE TRUSSES AS SHOWN ON THE DRAWINGS AND AS REQUIRED FOR STRUCTURAL DESIGN COMPLIANCE. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

6. LUMBER USED SHALL BE IDENTIFIED BY GRADE MARK OF A LUMBER INSPECTION BUREAU OR AGENCY APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE, AND SHALL BE THE SIZE, SPECIES, AND GRADE AS SHOWN ON THE TRUSS DESIGN DRAWINGS, OR EQUIVALENT AS APPROVED BY THE TRUSS DESIGN ENGINEER.

7.FIRE RETARDANT TREATED LUMBER, IF APPLICABLE, SHALL MEET THE SPECIFICATIONS OF THE FIRE RETARDANT CHEMICAL MANUFACTURER, THE TRUSS DESIGN AND THE STANDARD AND SHALL BE RE-DRIED AFTER TREATMENT IN ACCORDANCE WITH THE AMERICAN WOOD-PRESERVERS' ASSOCIATION (AWPA) STANDARD C20 STRUCTURAL LUMBER - FIRE RETARDANT TREATMENT BY PRESSURE PROCESSES. ALLOWABLE VALUES MUST BE ADJUSTED IN ACCORDANCE WITH NDS. LUMBER TREATER SHALL SUPPLY CERTIFICATE OF COMPLIANCE.

8.METAL CONNECTOR PLATES: SHALL BE MANUFACTURED BY A TRUSS PLATE INSTITUTE (TPI) MEMBER PLATE MANUFACTURER AND SHALL NOT BE LESS THAN 0.036 IN. THICK (20 GAUGE) AND SHALL MEET OR EXCEED ASTM A653/A653M GRADE 33, AND GALVANIZED COATING SHALL MEET OR EXCEED ASTM A924/924M, COATING DESIGNATION G60. WORKING STRESSES IN STEEL ARE TO BE APPLIED TO EFFECTIVENESS RATIOS FOR PLATES AS DETERMINED BY TEST AND IN ACCORDANCE WITH THE STANDARD.

9.ALL TRUSS HANGERS, HURRICANE ANCHORS, ETC. SHALL BE SPECIFIED BY THE TRUSS MANUFACTURER.

10. IN HIGHLY CORROSIVE ENVIRONMENTS, SPECIAL APPLIED COATINGS OR STAINLESS STEEL MAY BE REQUIRED.

11. APPARENT DAMAGE TO TRUSSES, IF ANY, SHALL BE REPORTED TO MANUFACTURER PRIOR TO INSTALLATION.

12. TRUSSES SHALL BE SET AND SECURED LEVEL AND PLUMB, AND IN CORRECT LOCATION. TRUSSES SHALL BE HELD IN CORRECT ALIGNMENT UNTIL SPECIFIED PERMANENT BRACING IS INSTALLED.

13. CUTTING AND ALTERING OF TRUSSES IS NOT PERMITTED WITHOUT APPROVAL FROM THE ENGINEER OF RECORD.

14. CONCENTRATED LOADS SHALL NOT BE PLACED ATOP TRUSSES UNTIL ALL SPECIFIED BRACING HAS BEEN INSTALLED AND DECKING IS PERMANENTLY NAILED IN PLACE. SPECIFICALLY AVOID STACKING FULL BUNDLES OF DECKING OR OTHER HEAVY MATERIALS ONTO UNSHEATHED TRUSSES

15.ERECTION BRACING IS ALWAYS REQUIRED. PROFESSIONAL ADVICE SHOULD ALWAYS BE SOUGHT TO PREVENT TOPPLING OR DOMINOING OF TRUSSES DURING INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FURNISHING THE MATERIALS USED FOR INSULATION AND PERMANENT BRACING

# GRAVIIY ROCK 1-BEDROOM UNI

InFocus Engineering, PLLC

2702 Forest Glen Drive Greenville, NC 27858 (252) 412-8598

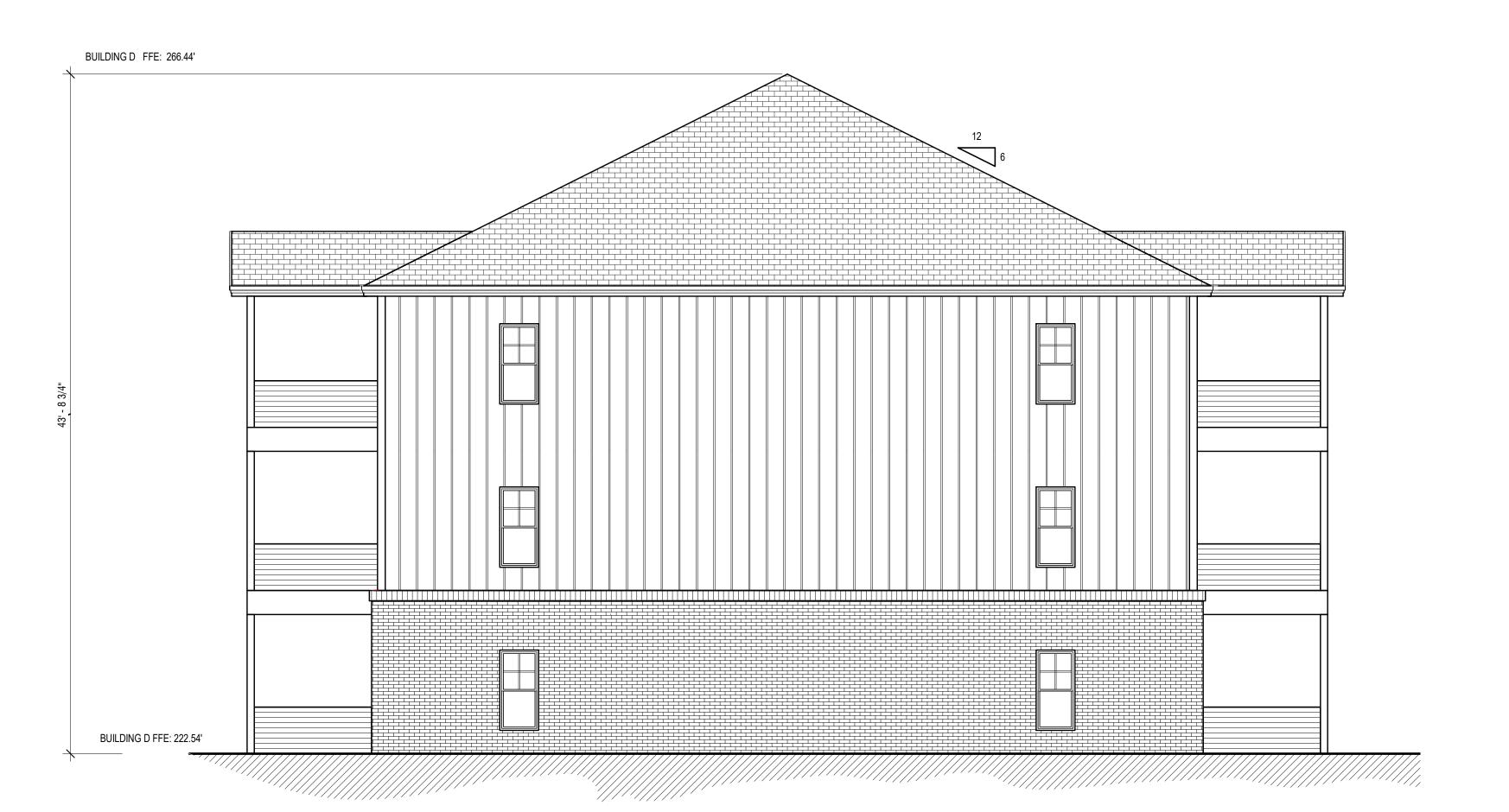
5504 Rock Quarry Road Raleigh, NC 2761

REAR / LEFT ELEVATIONS
SHEET NUMBER

ISSUE TITLE



SCALE: 3/16" = 1'-0"



# WOOD ROOF TRUSSES:

. PROVIDE WOOD TRUSSES DESIGNED FOR FULL DEAD LOADS AND LIVE LOADS AS DEFINED AND REQUIRED BY THE 2012 NORTH CAROLINA BUILDING CODE.

2. PROVIDE SHOP DRAWINGS WITH DETAILS SHOWING SIZES, DESIGN VALUES, LIVE LOADS AND DEAD LOADS OF ALL CHORD MEMBERS, MATERIALS, CONNECTIONS, CONNECTORS, ANCHORS, BEARING AND ALL DIMENSIONS. DRAWINGS SHALL ALSO PROVIDE ALL STRUCTURAL CALCULATIONS AND BRACING REQUIREMENTS FOR A COMPLETE FLOOR AND ROOF SYSTEM DESIGN.

3. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF NORTH CAROLINA.

4. DESIGN, SHIPPING AND HANDLING, BRACING AND STORAGE SHALL BE IN ACCORDANCE WITH APPLICABLE PROVISIONS OF LATEST EDITION OF NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (NDS) OF THE AMERICAN FOREST AND PAPER ASSOCIATION (AF & PA), AND DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES (ANSI/TPI 1) OF THE TRUSS PLATE INSTITUTE (TPI), AND CODE OF JURISDICTION.

5. FABRICATE TRUSSES AS SHOWN ON THE DRAWINGS AND AS REQUIRED FOR

STRUCTURAL DESIGN COMPLIANCE. NOTIFY ARCHITECT OF ANY DISCREPANCIES. S. LUMBER USED SHALL BE IDENTIFIED BY GRADE MARK OF A LUMBER INSPECTION BUREAU OR AGENCY APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE, AND SHALL BE THE SIZE, SPECIES, AND GRADE AS SHOWN ON THE TRUSS DESIGN DRAWINGS, OR EQUIVALENT AS APPROVED BY THE TRUSS DESIGN ENGINEER.

7.FIRE RETARDANT TREATED LUMBER, IF APPLICABLE, SHALL MEET THE SPECIFICATIONS OF THE FIRE RETARDANT CHEMICAL MANUFACTURER, THE TRUSS DESIGN AND THE STANDARD AND SHALL BE RE-DRIED AFTER TREATMENT IN ACCORDANCE WITH THE AMERICAN WOOD-PRESERVERS' ASSOCIATION (AWPA) STANDARD C20 STRUCTURAL LUMBER -FIRE RETARDANT TREATMENT BY PRESSURE PROCESSES. ALLOWABLE VALUES MUST BE ADJUSTED IN ACCORDANCE WITH NDS. LUMBER TREATER SHALL SUPPLY CERTIFICATE OF COMPLIANCE.

8.METAL CONNECTOR PLATES: SHALL BE MANUFACTURED BY A TRUSS PLATE INSTITUTE (TPI) MEMBER PLATE MANUFACTURER AND SHALL NOT BE LESS THAN 0.036 IN. THICK (20 GAUGE) AND SHALL MEET OR EXCEED ASTM A653/A653M GRADE 33, AND GALVANIZED COATING SHALL MEET OR EXCEED ASTM A924/924M, COATING DESIGNATION G60. WORKING STRESSES IN STEEL ARE TO BE APPLIED TO EFFECTIVENESS RATIOS FOR PLATES AS DETERMINED BY TEST AND IN ACCORDANCE WITH THE STANDARD.

9.ALL TRUSS HANGERS, HURRICANE ANCHORS, ETC. SHALL BE SPECIFIED BY THE TRUSS MANUFACTURER.

10. IN HIGHLY CORROSIVE ENVIRONMENTS, SPECIAL APPLIED COATINGS OR STAINLESS STEEL MAY BE REQUIRED.

11. APPARENT DAMAGE TO TRUSSES, IF ANY, SHALL BE REPORTED TO MANUFACTURER PRIOR TO INSTALLATION.

12. TRUSSES SHALL BE SET AND SECURED LEVEL AND PLUMB, AND IN CORRECT LOCATION. TRUSSES SHALL BE HELD IN CORRECT ALIGNMENT UNTIL SPECIFIED PERMANENT BRACING IS

13. CUTTING AND ALTERING OF TRUSSES IS NOT PERMITTED WITHOUT APPROVAL FROM THE ENGINEER OF RECORD.

14. CONCENTRATED LOADS SHALL NOT BE PLACED ATOP TRUSSES UNTIL ALL SPECIFIED BRACING HAS BEEN INSTALLED AND DECKING IS PERMANENTLY NAILED IN PLACE. SPECIFICALLY AVOID STACKING FULL BUNDLES OF DECKING OR OTHER HEAVY MATERIALS ONTO UNSHEATHED

15.ERECTION BRACING IS ALWAYS REQUIRED. PROFESSIONAL ADVICE SHOULD ALWAYS BE SOUGHT TO PREVENT TOPPLING OR DOMINOING OF TRUSSES DURING INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FURNISHING THE MATERIALS USED FOR INSULATION AND PERMANENT BRACING

# $\mathbf{\Omega}$

InFocus Engineering, PLLC

2702 Forest Glen Drive Greenville, NC 27858 (252) 412-8598

761  $\mathbf{C}$ 

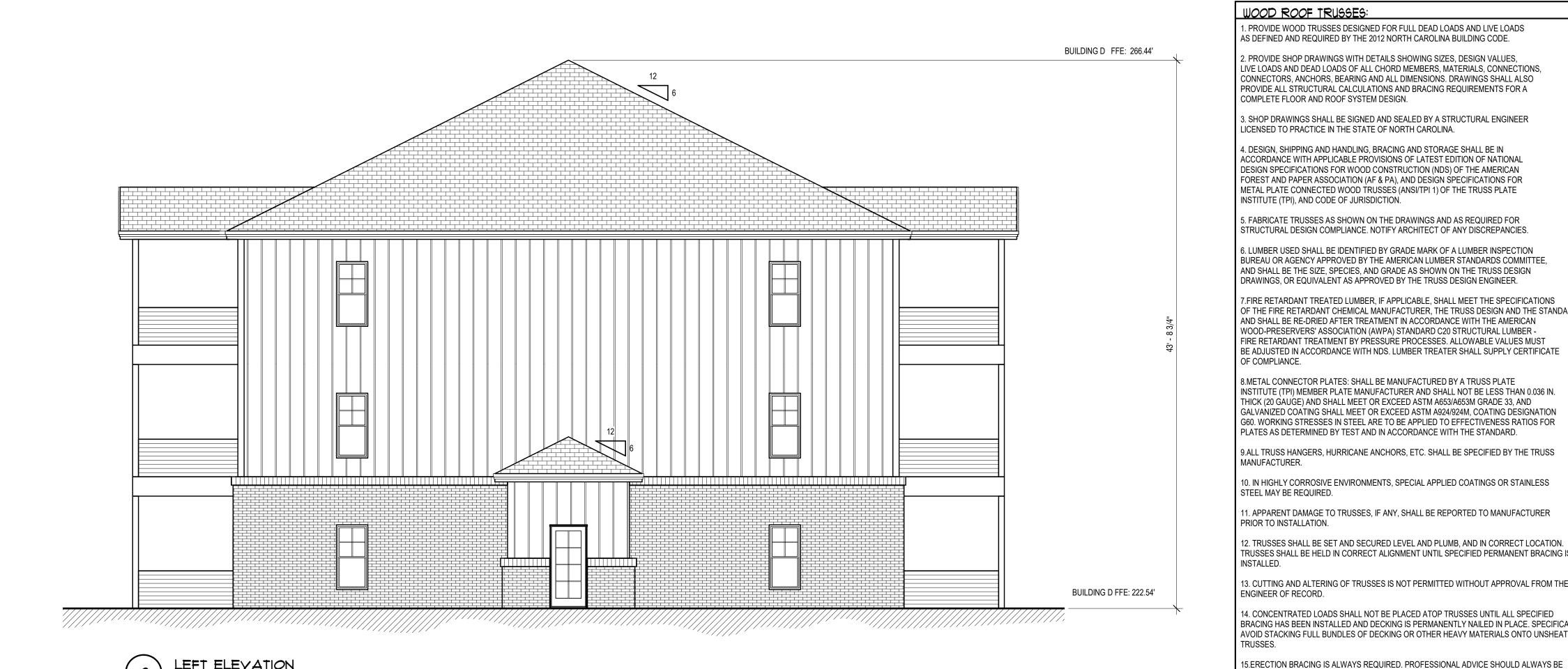
FRONT / RIGHT ELEVATIONS

ISSUE TITLE

SHEET NUMBER



REAR ELEVATION



# WOOD ROOF TRUSSES:

1. PROVIDE WOOD TRUSSES DESIGNED FOR FULL DEAD LOADS AND LIVE LOADS

AS DEFINED AND REQUIRED BY THE 2012 NORTH CAROLINA BUILDING CODE. 2. PROVIDE SHOP DRAWINGS WITH DETAILS SHOWING SIZES, DESIGN VALUES, LIVE LOADS AND DEAD LOADS OF ALL CHORD MEMBERS, MATERIALS, CONNECTIONS, CONNECTORS, ANCHORS, BEARING AND ALL DIMENSIONS. DRAWINGS SHALL ALSO PROVIDE ALL STRUCTURAL CALCULATIONS AND BRACING REQUIREMENTS FOR A

3. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A STRUCTURAL ENGINEER

LICENSED TO PRACTICE IN THE STATE OF NORTH CAROLINA. 4. DESIGN, SHIPPING AND HANDLING, BRACING AND STORAGE SHALL BE IN ACCORDANCE WITH APPLICABLE PROVISIONS OF LATEST EDITION OF NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (NDS) OF THE AMERICAN FOREST AND PAPER ASSOCIATION (AF & PA), AND DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES (ANSI/TPI 1) OF THE TRUSS PLATE INSTITUTE (TPI), AND CODE OF JURISDICTION.

5. FABRICATE TRUSSES AS SHOWN ON THE DRAWINGS AND AS REQUIRED FOR

6. LUMBER USED SHALL BE IDENTIFIED BY GRADE MARK OF A LUMBER INSPECTION BUREAU OR AGENCY APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE, AND SHALL BE THE SIZE. SPECIES. AND GRADE AS SHOWN ON THE TRUSS DESIGN DRAWINGS, OR EQUIVALENT AS APPROVED BY THE TRUSS DESIGN ENGINEER.

7.FIRE RETARDANT TREATED LUMBER, IF APPLICABLE, SHALL MEET THE SPECIFICATIONS OF THE FIRE RETARDANT CHEMICAL MANUFACTURER, THE TRUSS DESIGN AND THE STANDARD AND SHALL BE RE-DRIED AFTER TREATMENT IN ACCORDANCE WITH THE AMERICAN WOOD-PRESERVERS' ASSOCIATION (AWPA) STANDARD C20 STRUCTURAL LUMBER -FIRE RETARDANT TREATMENT BY PRESSURE PROCESSES. ALLOWABLE VALUES MUST BE ADJUSTED IN ACCORDANCE WITH NDS. LUMBER TREATER SHALL SUPPLY CERTIFICATE OF COMPLIANCE.

8.METAL CONNECTOR PLATES: SHALL BE MANUFACTURED BY A TRUSS PLATE INSTITUTE (TPI) MEMBER PLATE MANUFACTURER AND SHALL NOT BE LESS THAN 0.036 IN. THICK (20 GAUGE) AND SHALL MEET OR EXCEED ASTM A653/A653M GRADE 33, AND GALVANIZED COATING SHALL MEET OR EXCEED ASTM A924/924M, COATING DESIGNATION G60. WORKING STRESSES IN STEEL ARE TO BE APPLIED TO EFFECTIVENESS RATIOS FOR PLATES AS DETERMINED BY TEST AND IN ACCORDANCE WITH THE STANDARD.

9.ALL TRUSS HANGERS, HURRICANE ANCHORS, ETC. SHALL BE SPECIFIED BY THE TRUSS MANUFACTURER.

10. IN HIGHLY CORROSIVE ENVIRONMENTS, SPECIAL APPLIED COATINGS OR STAINLESS

11. APPARENT DAMAGE TO TRUSSES, IF ANY, SHALL BE REPORTED TO MANUFACTURER PRIOR TO INSTALLATION.

TRUSSES SHALL BE HELD IN CORRECT ALIGNMENT UNTIL SPECIFIED PERMANENT BRACING IS 13. CUTTING AND ALTERING OF TRUSSES IS NOT PERMITTED WITHOUT APPROVAL FROM THE

ENGINEER OF RECORD. 14. CONCENTRATED LOADS SHALL NOT BE PLACED ATOP TRUSSES UNTIL ALL SPECIFIED BRACING HAS BEEN INSTALLED AND DECKING IS PERMANENTLY NAILED IN PLACE. SPECIFICALLY AVOID STACKING FULL BUNDLES OF DECKING OR OTHER HEAVY MATERIALS ONTO UNSHEATHED

15.ERECTION BRACING IS ALWAYS REQUIRED. PROFESSIONAL ADVICE SHOULD ALWAYS BE SOUGHT TO PREVENT TOPPLING OR DOMINOING OF TRUSSES DURING INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FURNISHING THE MATERIALS USED FOR INSULATION AND PERMANENT BRACING

# ISSUE TITLE

InFocus Engineering, PLLC

2702 Forest Glen Drive Greenville, NC 27858 (252) 412-8598

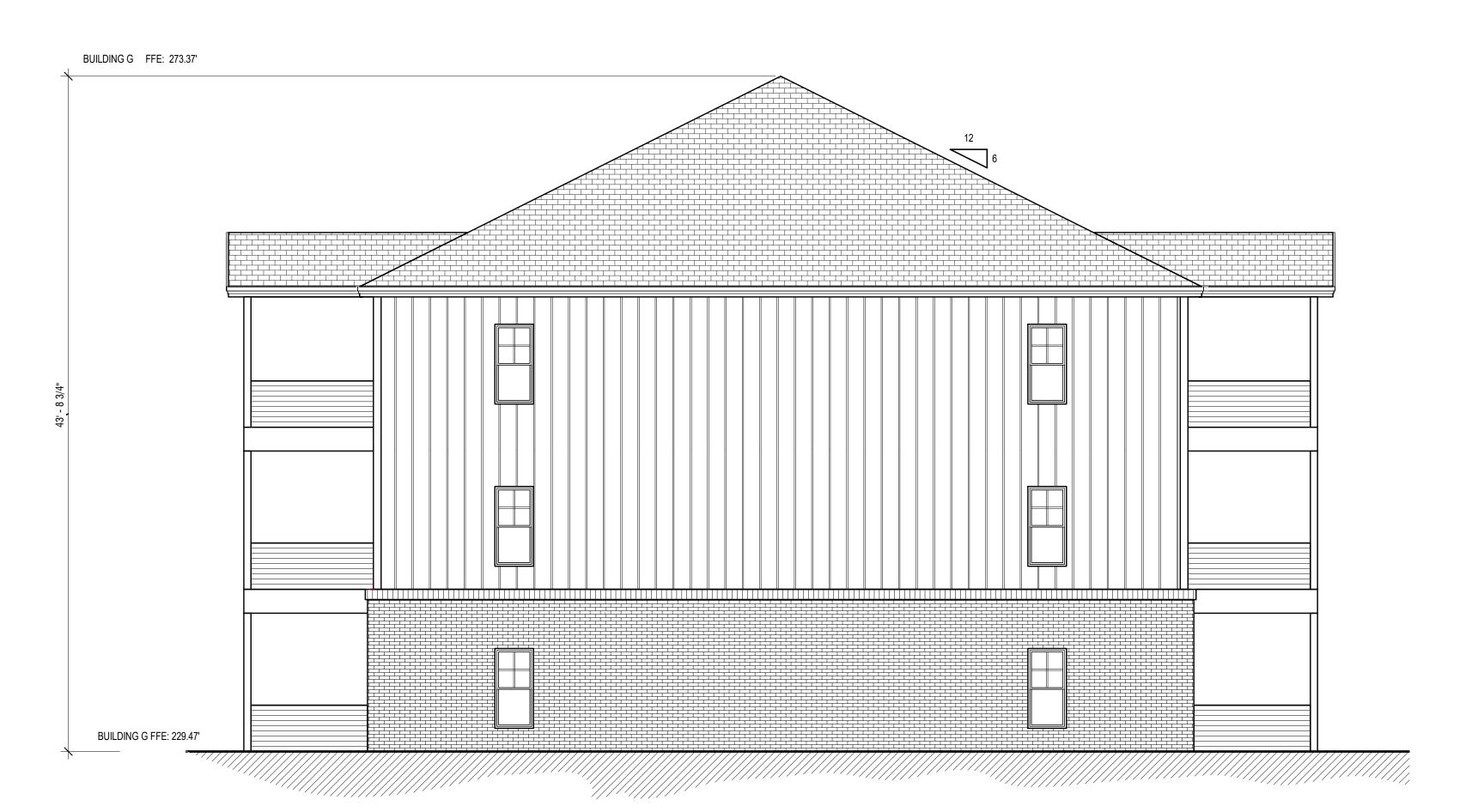
9 C

SHEET NUMBER

REAR / LEFT ELEVATIONS



FRONT ELEVATION SCALE: 3/16" = 1'-0"



# WOOD ROOF TRUSSES:

. PROVIDE WOOD TRUSSES DESIGNED FOR FULL DEAD LOADS AND LIVE LOADS AS DEFINED AND REQUIRED BY THE 2012 NORTH CAROLINA BUILDING CODE.

2. PROVIDE SHOP DRAWINGS WITH DETAILS SHOWING SIZES, DESIGN VALUES, LIVE LOADS AND DEAD LOADS OF ALL CHORD MEMBERS, MATERIALS, CONNECTIONS, CONNECTORS, ANCHORS, BEARING AND ALL DIMENSIONS. DRAWINGS SHALL ALSO PROVIDE ALL STRUCTURAL CALCULATIONS AND BRACING REQUIREMENTS FOR A COMPLETE FLOOR AND ROOF SYSTEM DESIGN.

3. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF NORTH CAROLINA.

4. DESIGN, SHIPPING AND HANDLING, BRACING AND STORAGE SHALL BE IN ACCORDANCE WITH APPLICABLE PROVISIONS OF LATEST EDITION OF NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (NDS) OF THE AMERICAN FOREST AND PAPER ASSOCIATION (AF & PA), AND DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES (ANSI/TPI 1) OF THE TRUSS PLATE INSTITUTE (TPI), AND CODE OF JURISDICTION.

5. FABRICATE TRUSSES AS SHOWN ON THE DRAWINGS AND AS REQUIRED FOR

STRUCTURAL DESIGN COMPLIANCE. NOTIFY ARCHITECT OF ANY DISCREPANCIES. S. LUMBER USED SHALL BE IDENTIFIED BY GRADE MARK OF A LUMBER INSPECTION BUREAU OR AGENCY APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE, AND SHALL BE THE SIZE, SPECIES, AND GRADE AS SHOWN ON THE TRUSS DESIGN DRAWINGS, OR EQUIVALENT AS APPROVED BY THE TRUSS DESIGN ENGINEER.

7.FIRE RETARDANT TREATED LUMBER, IF APPLICABLE, SHALL MEET THE SPECIFICATIONS OF THE FIRE RETARDANT CHEMICAL MANUFACTURER, THE TRUSS DESIGN AND THE STANDARD AND SHALL BE RE-DRIED AFTER TREATMENT IN ACCORDANCE WITH THE AMERICAN WOOD-PRESERVERS' ASSOCIATION (AWPA) STANDARD C20 STRUCTURAL LUMBER -FIRE RETARDANT TREATMENT BY PRESSURE PROCESSES. ALLOWABLE VALUES MUST BE ADJUSTED IN ACCORDANCE WITH NDS. LUMBER TREATER SHALL SUPPLY CERTIFICATE

OF COMPLIANCE. 8.METAL CONNECTOR PLATES: SHALL BE MANUFACTURED BY A TRUSS PLATE INSTITUTE (TPI) MEMBER PLATE MANUFACTURER AND SHALL NOT BE LESS THAN 0.036 IN. THICK (20 GAUGE) AND SHALL MEET OR EXCEED ASTM A653/A653M GRADE 33, AND GALVANIZED COATING SHALL MEET OR EXCEED ASTM A924/924M, COATING DESIGNATION G60. WORKING STRESSES IN STEEL ARE TO BE APPLIED TO EFFECTIVENESS RATIOS FOR PLATES AS DETERMINED BY TEST AND IN ACCORDANCE WITH THE STANDARD.

9.ALL TRUSS HANGERS, HURRICANE ANCHORS, ETC. SHALL BE SPECIFIED BY THE TRUSS MANUFACTURER.

10. IN HIGHLY CORROSIVE ENVIRONMENTS, SPECIAL APPLIED COATINGS OR STAINLESS STEEL MAY BE REQUIRED.

11. APPARENT DAMAGE TO TRUSSES, IF ANY, SHALL BE REPORTED TO MANUFACTURER PRIOR TO INSTALLATION.

12. TRUSSES SHALL BE SET AND SECURED LEVEL AND PLUMB, AND IN CORRECT LOCATION. TRUSSES SHALL BE HELD IN CORRECT ALIGNMENT UNTIL SPECIFIED PERMANENT BRACING IS

13. CUTTING AND ALTERING OF TRUSSES IS NOT PERMITTED WITHOUT APPROVAL FROM THE ENGINEER OF RECORD.

14. CONCENTRATED LOADS SHALL NOT BE PLACED ATOP TRUSSES UNTIL ALL SPECIFIED BRACING HAS BEEN INSTALLED AND DECKING IS PERMANENTLY NAILED IN PLACE. SPECIFICALLY AVOID STACKING FULL BUNDLES OF DECKING OR OTHER HEAVY MATERIALS ONTO UNSHEATHED

15.ERECTION BRACING IS ALWAYS REQUIRED. PROFESSIONAL ADVICE SHOULD ALWAYS BE SOUGHT TO PREVENT TOPPLING OR DOMINOING OF TRUSSES DURING INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FURNISHING THE MATERIALS USED FOR INSULATION AND PERMANENT BRACING

# 761

InFocus Engineering, PLLC

2702 Forest Glen Drive Greenville, NC 27858 (252) 412-8598

 $\mathbf{C}$ 

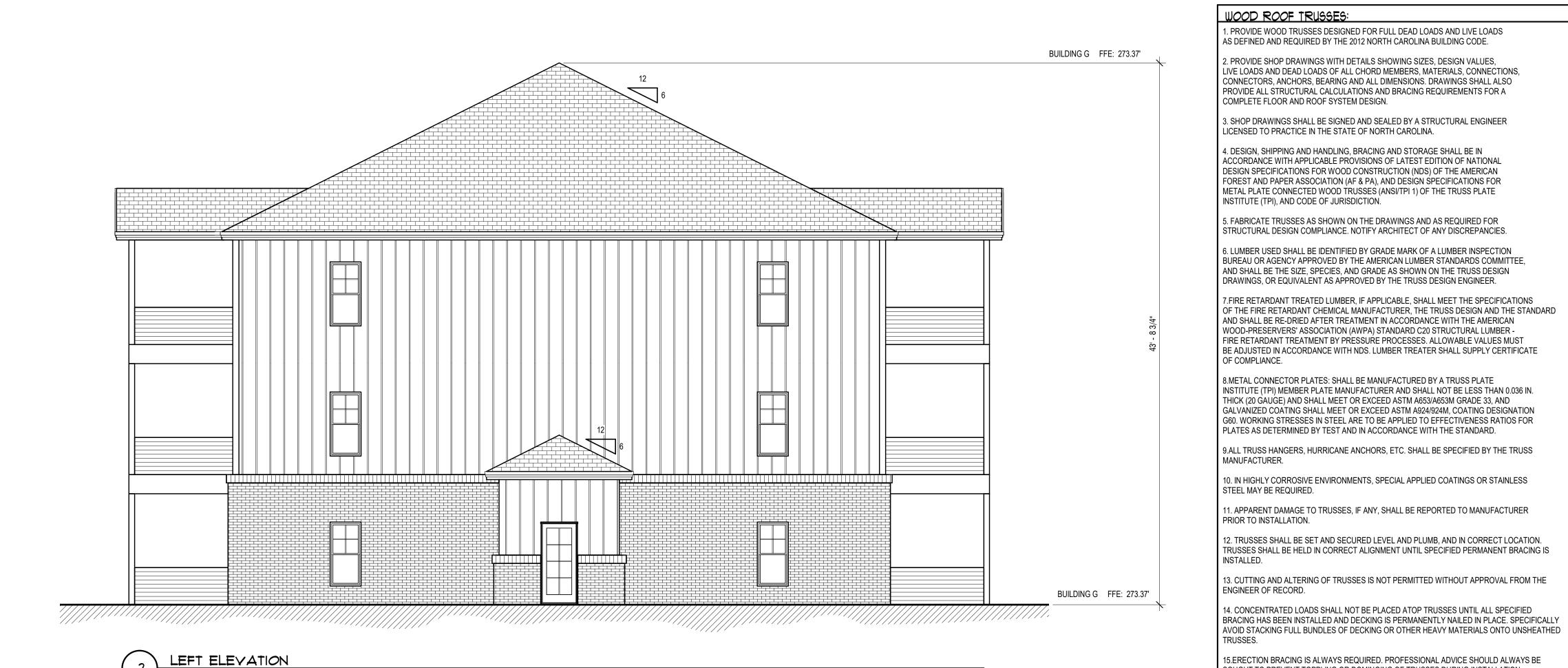
ISSUE TITLE

FRONT / RIGHT ELEVATIONS

SHEET NUMBER



REAR ELEVATION



# WOOD ROOF TRUSSES:

1. PROVIDE WOOD TRUSSES DESIGNED FOR FULL DEAD LOADS AND LIVE LOADS

AS DEFINED AND REQUIRED BY THE 2012 NORTH CAROLINA BUILDING CODE. 2. PROVIDE SHOP DRAWINGS WITH DETAILS SHOWING SIZES, DESIGN VALUES, LIVE LOADS AND DEAD LOADS OF ALL CHORD MEMBERS, MATERIALS, CONNECTIONS, CONNECTORS, ANCHORS, BEARING AND ALL DIMENSIONS. DRAWINGS SHALL ALSO PROVIDE ALL STRUCTURAL CALCULATIONS AND BRACING REQUIREMENTS FOR A COMPLETE FLOOR AND ROOF SYSTEM DESIGN.

3. SHOP DRAWINGS SHALL BE SIGNED AND SEALED BY A STRUCTURAL ENGINEER

LICENSED TO PRACTICE IN THE STATE OF NORTH CAROLINA. 4. DESIGN, SHIPPING AND HANDLING, BRACING AND STORAGE SHALL BE IN ACCORDANCE WITH APPLICABLE PROVISIONS OF LATEST EDITION OF NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION (NDS) OF THE AMERICAN FOREST AND PAPER ASSOCIATION (AF & PA), AND DESIGN SPECIFICATIONS FOR METAL PLATE CONNECTED WOOD TRUSSES (ANSI/TPI 1) OF THE TRUSS PLATE INSTITUTE (TPI), AND CODE OF JURISDICTION.

5. FABRICATE TRUSSES AS SHOWN ON THE DRAWINGS AND AS REQUIRED FOR

6. LUMBER USED SHALL BE IDENTIFIED BY GRADE MARK OF A LUMBER INSPECTION BUREAU OR AGENCY APPROVED BY THE AMERICAN LUMBER STANDARDS COMMITTEE, AND SHALL BE THE SIZE, SPECIES, AND GRADE AS SHOWN ON THE TRUSS DESIGN DRAWINGS, OR EQUIVALENT AS APPROVED BY THE TRUSS DESIGN ENGINEER.

7.FIRE RETARDANT TREATED LUMBER, IF APPLICABLE, SHALL MEET THE SPECIFICATIONS OF THE FIRE RETARDANT CHEMICAL MANUFACTURER, THE TRUSS DESIGN AND THE STANDARD AND SHALL BE RE-DRIED AFTER TREATMENT IN ACCORDANCE WITH THE AMERICAN WOOD-PRESERVERS' ASSOCIATION (AWPA) STANDARD C20 STRUCTURAL LUMBER -FIRE RETARDANT TREATMENT BY PRESSURE PROCESSES. ALLOWABLE VALUES MUST BE ADJUSTED IN ACCORDANCE WITH NDS. LUMBER TREATER SHALL SUPPLY CERTIFICATE OF COMPLIANCE.

8.METAL CONNECTOR PLATES: SHALL BE MANUFACTURED BY A TRUSS PLATE INSTITUTE (TPI) MEMBER PLATE MANUFACTURER AND SHALL NOT BE LESS THAN 0.036 IN. THICK (20 GAUGE) AND SHALL MEET OR EXCEED ASTM A653/A653M GRADE 33, AND GALVANIZED COATING SHALL MEET OR EXCEED ASTM A924/924M, COATING DESIGNATION G60. WORKING STRESSES IN STEEL ARE TO BE APPLIED TO EFFECTIVENESS RATIOS FOR PLATES AS DETERMINED BY TEST AND IN ACCORDANCE WITH THE STANDARD.

9.ALL TRUSS HANGERS, HURRICANE ANCHORS, ETC. SHALL BE SPECIFIED BY THE TRUSS MANUFACTURER.

10. IN HIGHLY CORROSIVE ENVIRONMENTS, SPECIAL APPLIED COATINGS OR STAINLESS

11. APPARENT DAMAGE TO TRUSSES, IF ANY, SHALL BE REPORTED TO MANUFACTURER PRIOR TO INSTALLATION.

12. TRUSSES SHALL BE SET AND SECURED LEVEL AND PLUMB, AND IN CORRECT LOCATION. TRUSSES SHALL BE HELD IN CORRECT ALIGNMENT UNTIL SPECIFIED PERMANENT BRACING IS

13. CUTTING AND ALTERING OF TRUSSES IS NOT PERMITTED WITHOUT APPROVAL FROM THE ENGINEER OF RECORD. 14. CONCENTRATED LOADS SHALL NOT BE PLACED ATOP TRUSSES UNTIL ALL SPECIFIED BRACING HAS BEEN INSTALLED AND DECKING IS PERMANENTLY NAILED IN PLACE. SPECIFICALLY

15.ERECTION BRACING IS ALWAYS REQUIRED. PROFESSIONAL ADVICE SHOULD ALWAYS BE SOUGHT TO PREVENT TOPPLING OR DOMINOING OF TRUSSES DURING INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FURNISHING THE MATERIALS USED FOR INSULATION AND PERMANENT BRACING

9 ISSUE TITLE

InFocus Engineering, PLLC

2702 Forest Glen Drive Greenville, NC 27858 (252) 412-8598

C

REAR / LEFT ELEVATIONS SHEET NUMBER



