

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan	
Building Type		Site Transaction History	
Detached	General	Subdivision case #: _____	
Attached	Mixed use	Scoping/sketch plan case #: _____	
Apartment	Open lot	Certificate of Appropriateness #: _____	
Townhouse	Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: _____			
Inside City limits? Yes No			
Property address(es): _____			
Site P.I.N.(s): _____			
Please describe the scope of work. Include any additions, expansions, and change of use. 			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company: _____		Title: _____	
Address: _____			
Phone #: _____		Email: _____	
Applicant Name: _____			
Company: _____		Address: _____	
Phone #: _____		Email: _____	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area (not to be demolished):
	Existing gross floor area to be demolished:
Gross site acreage:	New gross floor area:
# of parking spaces required:	Total sf gross (to remain and new):
# of parking spaces proposed:	Proposed # of buildings:
Overlay District (if applicable):	Proposed # of stories for each:
Existing use (UDO 6.1.4):	
Proposed use (UDO 6.1.4):	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: _____ Square Feet: _____	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Is this a flood hazard area? Yes No If yes, please provide: _____ Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
Neuse River Buffer Yes No	Wetlands Yes No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes No

SIGNATURE BLOCK	
<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, _____ will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature:	Date:
Printed Name:	

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Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>	
Building Type	
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic
Site Transaction History	
Subdivision case #: N/A	
Scoping/sketch plan case #: 575373	
Certificate of Appropriateness #: N/A	
Board of Adjustment #: BOA-0025-2020	
Zoning Case #: N/A	
Administrative Alternate #: N/A	

GENERAL INFORMATION	
Development name: THE SQUARE @ WAKEFIELD	
Inside City limits?	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Property address(es): 11008 Ingleside Place, Raleigh, NC 27614	

Site P.I.N.(s): 1830412237	
Please describe the scope of work. Include any additions, expansions, and change of use.	
New Mixed Use Building (3-Story) - First floor retail with (2) stories of apartment over retail floor.	

Current Property Owner/Developer Contact Name: Sonia Daswani	
NOTE: please attach purchase agreement when submitting this form.	
Company: Westchester Commercial, LLC	Title: Administrative Member
Address: 5213 Winding View Lane, Raleigh, NC 27615	
Phone #: (919) 633-0681	Email: sonia@wppraleigh.com
Applicant Name: Daniel J. McGlamery, PE	
Company: Drye McGlamery Engineering, PLLC	Address: PO Box19558, Raleigh, NC 27619-9558
Phone #: (704) 960-0180	Email: daniel.mcglamery@dryeengineering.com

Page 1 of 2

REVISION 02.19.21

raleighnc.gov

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-3-PK	Existing gross floor area (not to be demolished): 0 Existing gross floor area to be demolished: 0
Gross site acreage: 2.891	New gross floor area: 54,024
# of parking spaces required: 133	Total sf gross (to remain and new): 54,024
# of parking spaces proposed: 1333	Proposed # of buildings: 2
Overlay District (if applicable): UWPOD	Proposed # of stories for each: 3
Existing use (UDO 6.1.4): N/A	
Proposed use (UDO 6.1.4): MIXED USE	

STORMWATER INFORMATION			
Existing Impervious Surface: Acres: 0	Square Feet: 0	Proposed Impervious Surface: Acres: 1.990	Square Feet: 86,695
Is this a flood hazard area?	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
If yes, please provide: Alluvial soils: Flood study: FEMA Map Panel #:			
Neuse River Buffer	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS			
Total # of dwelling units: 12		Total # of hotel units: 0	
# of bedroom units: 1br 0	2br 24	3br 0	4br or more 0
# of lots: 1			Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.	
I, Daniel J. McGlamery will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: Daniel J McGlamery	Date: 09/14/2021
Printed Name: Daniel J. McGlamery	

Page 2 of 2

REVISION 02.19.21

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CONCURRENT REVIEW PLAN SUBMITTAL FOR THE SQUARE AT WAKEFIELD AT 11008 INGLESIDE PLACE

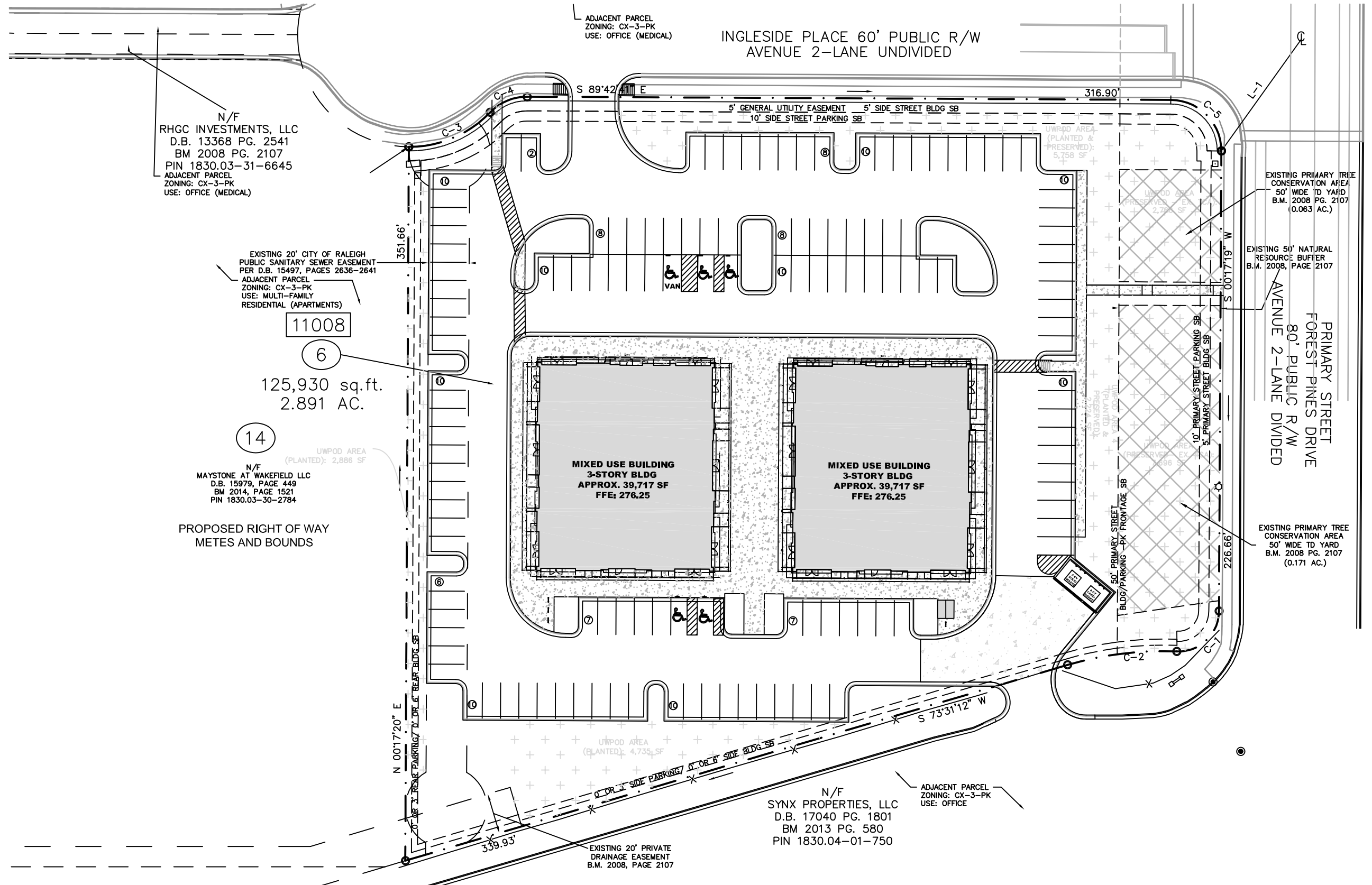
BOA #:
ASR #:

BOA-0025-2020
ASR-0xxx-2021

OWNER
WESTCHESTER COMMERCIAL, LLC
SONIA DASWANI
5213 WINDING VIEW LANE
RALEIGH, NC 27615
(919) 633-0681
sonia@wppraleigh.com

CIVIL ENGINEER
DANIEL J. MCGLAMERY, PE
DRIE-MCGLAMERY ENGINEERING, PLLC
821 WAKE FOREST RD
RALEIGH, NC 27604
PHONE: (704) 960-0180
daniel.mcglamery@dryeengineering.com

LANDSCAPE ARCHITECT
GRAHAM SMITH
SITE COLLABORATIVE, INC.
821 WAKE FOREST RD
RALEIGH, NC 27604
PHONE: (919) 805-3586
graham@sitecollaborative.com



DRAWING LIST

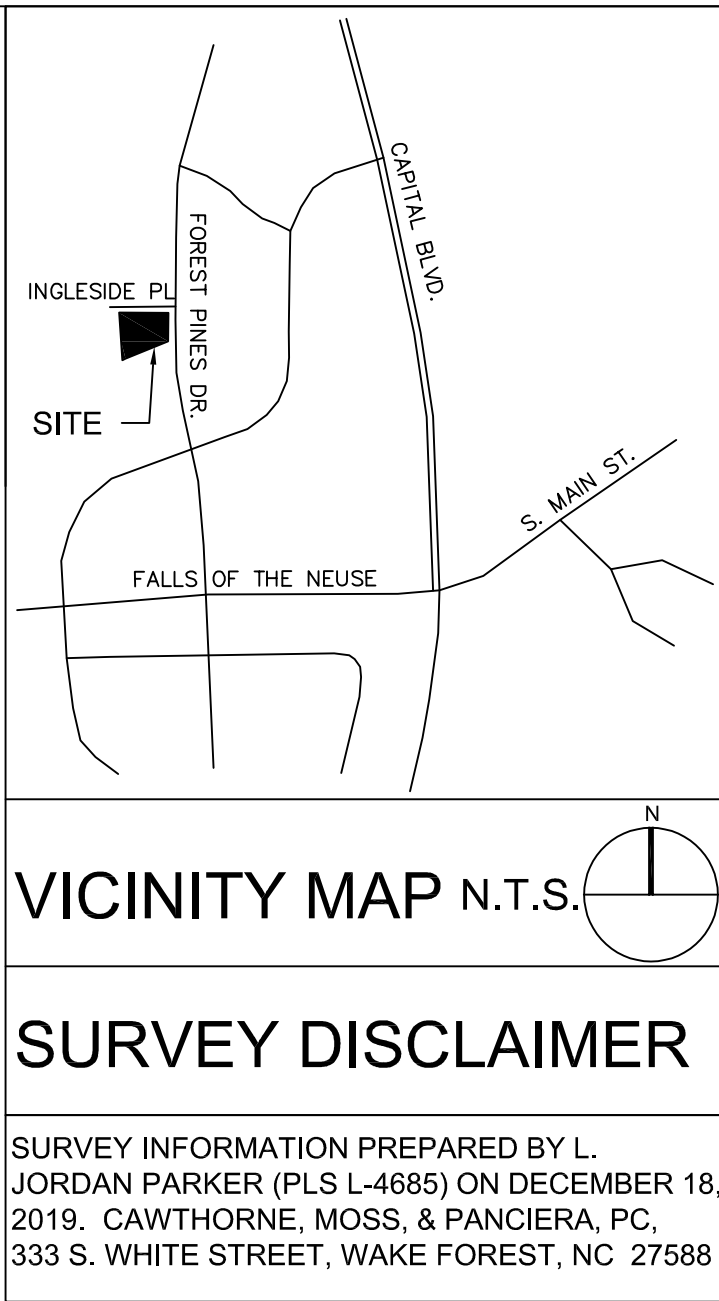
- C-0.0 COVER SHEET
- C-0.1 VARIANCE APPROVAL (BOA-0025-2020)
- C-1.0 EXISTING CONDITIONS PLAN
- C-1.1 DEMOLITION PLAN
- C-2.0 STAKING AND MATERIALS PLAN
- C-2.1 TRANSPORTATION PLAN
- C-4.0 GRADING AND DRAINAGE PLAN
- C-4.1 EXISTING STORMWATER BM 2008, PG 2106
- C-4.2 EXISTING STORMWATER BM 2008, PG 2108
- C-5.0 UTILITY PLAN
- C-6.2 SITE DETAILS
- L-1.0 PLANTING PLAN
- L-1.1 PLANTING DETAILS
- E0.2 SITE LIGHTING PLAN
- A1.1 GROUND FLOOR ARCHITECTURAL PLAN
- A1.2 SECOND FLOOR ARCHITECTURAL PLAN
- A1.3 THIRD FLOOR ARCHITECTURAL PLAN
- A2.1 EXTERIOR ELEVATIONS
- A2.2 EXTERIOR ELEVATIONS

CROSS ACCESS

EXISTING CROSS ACCESS AGREEMENT IN PLACE FOR CONNECTION TO LOT ON SOUTHERN BORDER (LOT 10) CREATED BY BM2013 PAGES 577-581. REFERENCE DEED BOOK FOR ADDITIONAL DETAILS (DB 015504, PG 01176-01180).

PRIMARY STREET

PRIMARY STREET DETERMINATION IS FOREST PINES DR PER UDO TC-5A-18. INGLESIDE DR IS A MIXED-USE STREET TYPE, HOWEVER PER TC-5A-18, THE STREET IS A CUL-DE-SAC, AND PER SEC.1.5.4.C.2.5 NO NON-RESIDENTIAL STREET CAN BE CLASSIFIED AS A PRIMARY STREET.



VICINITY MAP N.T.S.

SURVEY DISCLAIMER

SURVEY INFORMATION PREPARED BY L. JORDAN PARKER (PLS L-4685) ON DECEMBER 18, 2019. CAWTHORNE, MOSS, & PANCIERA, PC, 333 S. WHITE STREET, WAKE FOREST, NC 27588

LOT 6 FROM THE ORIGINAL PLAT WILL BE DEVELOPED UNDER THIS PROJECT

SITE DATA INFORMATION

PROJECT NAME: THE SQUARE AT WAKEFIELD
PROJECT ADDRESS: 11008 INGLESIDE PLACE
RALEIGH, NC 27614

SITE ACREAGE: 2.891 AC. / 125,930 SF
ROW DEDICATION: 0.019 AC. / 840 SF
SITE ACREAGE NET: 2.872 AC. / 125,090 SF

ZONING DISTRICT: CX-3-PK, - UWPOD
OVERLAY DISTRICT: URBAN WATERSHED PROTECTION
OVERLAY DISTRICT

PROPOSED USE: MIXED USE (ALLOWED)

PRIMARY STREET: FOREST PINES DR.

EXISTING BUILDING: N/A SF
PROPOSED BUILDING: (2) 27,012 SF BUILDINGS = 54,024 SF

8,604 SF OF RESTAURANT (FIRST FLOOR)
9,404 SF OF RETAIL SALES (FIRST FLOOR)
36,016 SF OF CONDOS (2ND & 3RD FLOORS)

AMENITY AREA REQUIREMENTS
REQUIRED AMENITY AREA = 10%
LOT AREA INSIDE RIGHT-OF-WAY: 2.87 ACRES (125,090 SF)
REQ'D AMENITY AREA= 10% * 2.87 AC = 0.287 AC. (12,509 SF)
PROVIDED AMENITY AREA = 12,594 SF = 0.289 AC.

UWPOD REQUIREMENTS
REQUIRED AMENITY AREA = 20% (PER VARIANCE)
REQ'D UWPOD AREA = 20% * 2.89 AC = 0.574 AC. (25,018 SF)
PROVIDED UWPOD AREA = 28,700 SF = 0.659 AC

BUILDING DIMENSIONAL REQUIREMENTS
PRIMARY STREET SB: 5 FT (MIN.) 119 FT (PROVIDED)
REAR SB: 0 OR 6 FT (MIN.) 81 FT (PROVIDED)
SIDE SB: 0 OR 6 FT (MIN.) 75 FT MIN. (PROVIDED)
SIDE STREET SB 5 FT (MIN.) 15 FT (PROVIDED)
ALLEY SB 5 FT (MIN.) N/A

PARKING DIMENSIONAL REQUIREMENTS
PRIMARY STREET SB: 10 FT (MIN.) 60 FT (PROVIDED)
REAR SB: 0 OR 3 FT (MIN.) 10 FT (PROVIDED)
SIDE SB: 0 OR 3 FT (MIN.) 6 FT MIN. (PROVIDED)
SIDE STREET SB 10 FT (MIN.) 15 FT (PROVIDED)
ALLEY SB 5 FT (MIN.) N/A

BUILDING HEIGHT REQUIREMENTS
BUILDING HEIGHT: 50 FT (MAX) 45.02 FT (PROVIDED)
ACCESSORY HEIGHT: 25 FT (MAX) N/A (PROVIDED)

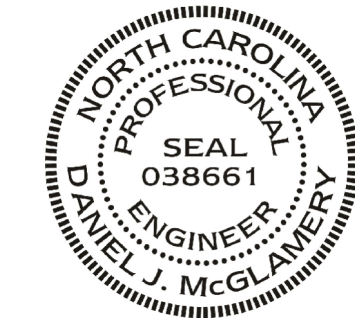
FLOOR HEIGHT REQUIREMENTS
GROUND FLOOR: 0 FT (MIN.) 0 FT (PROVIDED)
GROUND STORY HT: 13 FT (MIN.) 16 FT (PROVIDED)
UPPER STORY HT: 9 FT (MIN.) 12 FT (PROVIDED)

TRANSPARENCY REQUIREMENTS
GROUND STORY: 50% (MIN.)
UPPER STORY: 20% (MIN.)
BLANK WALL AREA: 20 FT (MAX.)

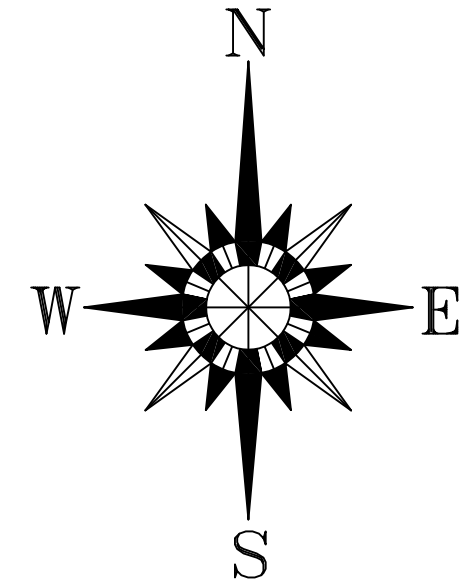
ALLOWED BUILDING ELEMENTS
BALCONY, GALLERY, AWNING



NC FIRM LICENSE #P-1305



ISSUED FOR
REVIEW
NOT FOR
CONSTRUCTION



THE SQUARE AT WAKEFIELD
11008 INGLESIDE PLACE
RALEIGH, NC 27614
WAKE COUNTY
NORTH CAROLINA

DRIE-MCGLAMERY
ENGINEERING, PLLC
821 WAKE FOREST RD
RALEIGH, NC 27604

PROJECT NO: 2021082

ISSUED FOR
REVIEW

REV	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	09-13-2021

DRAWN BY DJM
CHECKED BY HWD

SCALE: 1" = 50'
0 25 50 100

COVER SHEET

C-0.0

UWPOD AREA SUMMARY:

EXISTING LOT AREA: 2.891 ACRES (125,930 SF)
 LOT AREA DEDICATED FOR RIGHT-OF-WAY: 0.019 ACRES (840 SF)
 REMAIN LOT AREA: 2.872 ACRES (125,090 SF)
 UWPOD AREA REQUIRED BY VARIANCE: 0.574 ACRES (25,018 SF)

TRAFFIC CONTROL NOTES

1. REFER TO C-2.1 AND C-2.2 FOR TRAFFIC CONTROL NOTES.

STAKING AND MATERIAL PLAN NOTES

- SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- ALL DIMENSIONS ARE AT 90 DEGREES UNLESS NOTED OTHERWISE (U.N.O.).
- CONTRACTOR SHALL ESTABLISH POINT OF BEGINNING (P.O.B.) AND STAKE SITE AS INDICATED ON CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY DRYE-McGLAMERY ENGINEERING, PLLC IMMEDIATELY OF ANY DISCREPANCIES.
- ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING, OR CENTERLINE U.N.O.
- ALL DETAILS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THESE CONSTRUCTION DOCUMENTS.
- ALL RADII SHALL BE 4'-0" U.N.O.

PARKING CALCULATIONS

PARKING REQUIREMENTS

FIRST FLOOR (MIXED USE - RESTAURANT)

BUILDING: 1 SPACE/150 SF OR 1 SPACE/5 SEATS, WHICHEVER IS GREATER

REQUIRED PARKING: 1 SPACE/150 SF * 8,604 SF = 58 SPACES

FIRST FLOOR (MIXED USE - RETAIL SALES)

BUILDING: 1 SPACE/300 SF PLUS 1 SPACE FOR EVERY 600 SF OF OUTDOOR DISPLAY AREA

REQUIRED PARKING: 1 SPACE/300 SF * 9,404 SF = 32 SPACES

SECOND AND THIRD FLOOR (CONDOMINIUMS)

2- BEDROOM UNITS: 24

REQUIRED PARKING: 1.5 SPACES/UNITS * 24 UNITS = 36 SPACES

TOTAL REQUIRED: 58+32+36 = 126 SPACES

PARKING PROVIDED:

EXISTING PARKING: N/A
 PROPOSED PARKING: 136 SPACES

ADA SPACES

REQUIRED: 100-150 SPACES = 5
 PROVIDED: 5 TOTAL SPACES
 1 VAN SPACE REQUIRED

BICYCLE PARKING:

RESTAURANT:

SHORT TERM: 1 SP. PER 50,000 SF, MIN. 4 SPACES.
 LONG TERM: 1 SP. PER 25,000 SF, MIN. 4 SPACES.

RETAIL SALES:

SHORT TERM: 1 SP. PER 50,000 SF, MIN. 4 SPACES.
 LONG TERM: 1 SP. PER 25,000 SF, MIN. 4 SPACES.

RESIDENTIAL:

SHORT TERM: 1 SP. PER 20 UNITS, MIN. 4 SPACES.
 LONG TERM: NONE

REQUIRED: 8 SHORT TERM SPACES, 4 LONG TERM SPACES
 PROVIDED: 8 SHORT TERM SPACES, 4 LONG TERM SPACES

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 RALEIGH, NC 27614

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 SIDE STREET SB: 5 FT (MIN.) 15 FT (PROVIDED)
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BUILDING HEIGHT REQUIREMENTS

BUILDING HEIGHT: 50 FT (MAX) 45.02 FT (PROVIDED)
 ACCESSORY HEIGHT: 25 FT (MAX) N/A (PROVIDED)

FLOOR HEIGHT REQUIREMENTS

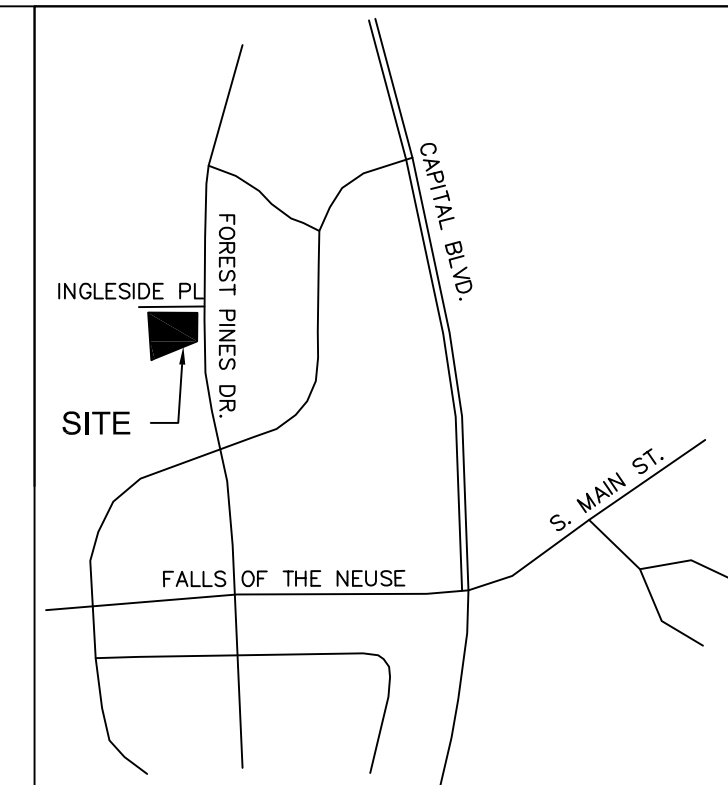
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 BLANK WALL AREA: 20 FT (MAX.)

ALLOWED BUILDING ELEMENTS

BALCONY, GALLERY, AWNING



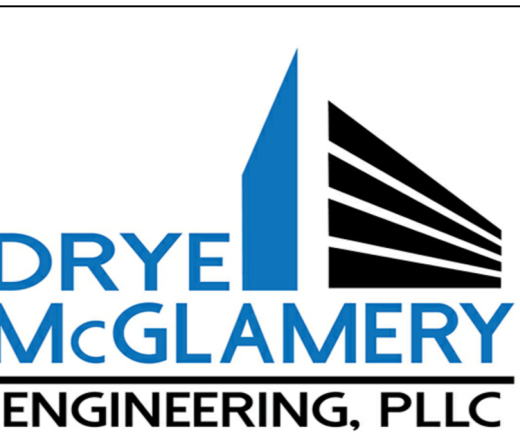
VICINITY MAP N.T.S.

SURVEY DISCLAIMER

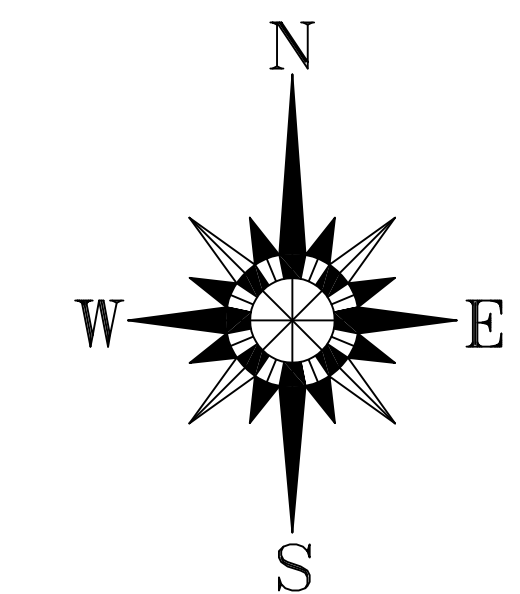
SURVEY INFORMATION PREPARED BY L. JORDAN PARKER (PLS L-4685) ON DECEMBER 18, 2019. CAWTHORNE, MOSS, & PANCIERA, PC, 333 S. WHITE STREET, WAKE FOREST, NC 27588

LEGEND

	DETAIL
	PROPOSED SIDEWALK 6/C-6.0
	PROPOSED CURB AND GUTTER 2/C-6.1
	PROPOSED CONCRETE PAVING 6/C-6.1
	PROPOSED WHEEL STOP 1/C-6.1
	EXISTING TREE CONSERVATION AREA SEE L-1.0 N/A
	PROPOSED AMENITY AREA SEE L-1.0 N/A
	PROPOSED UWPOD FORESTATION AREA N/A
	LOT NUMBER FOR EXISTING DEVELOPMENT PLAT N/A
	HVAC SCREENING FENCE 4/C-6.2



ISSUED FOR REVIEW
 NOT FOR CONSTRUCTION



THE SQUARE AT WAKEFIELD
 11008 INGLESIDE PLACE
 RALEIGH, NC 27614
 WAKE COUNTY
 NORTH CAROLINA

DRYE-McGLAMERY
 ENGINEERING, PLLC
 821 WAKE FOREST RD
 RALEIGH, NC 27604

PROJECT NO: 2021082

ISSUED FOR REVIEW

REV	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	09-13-2021

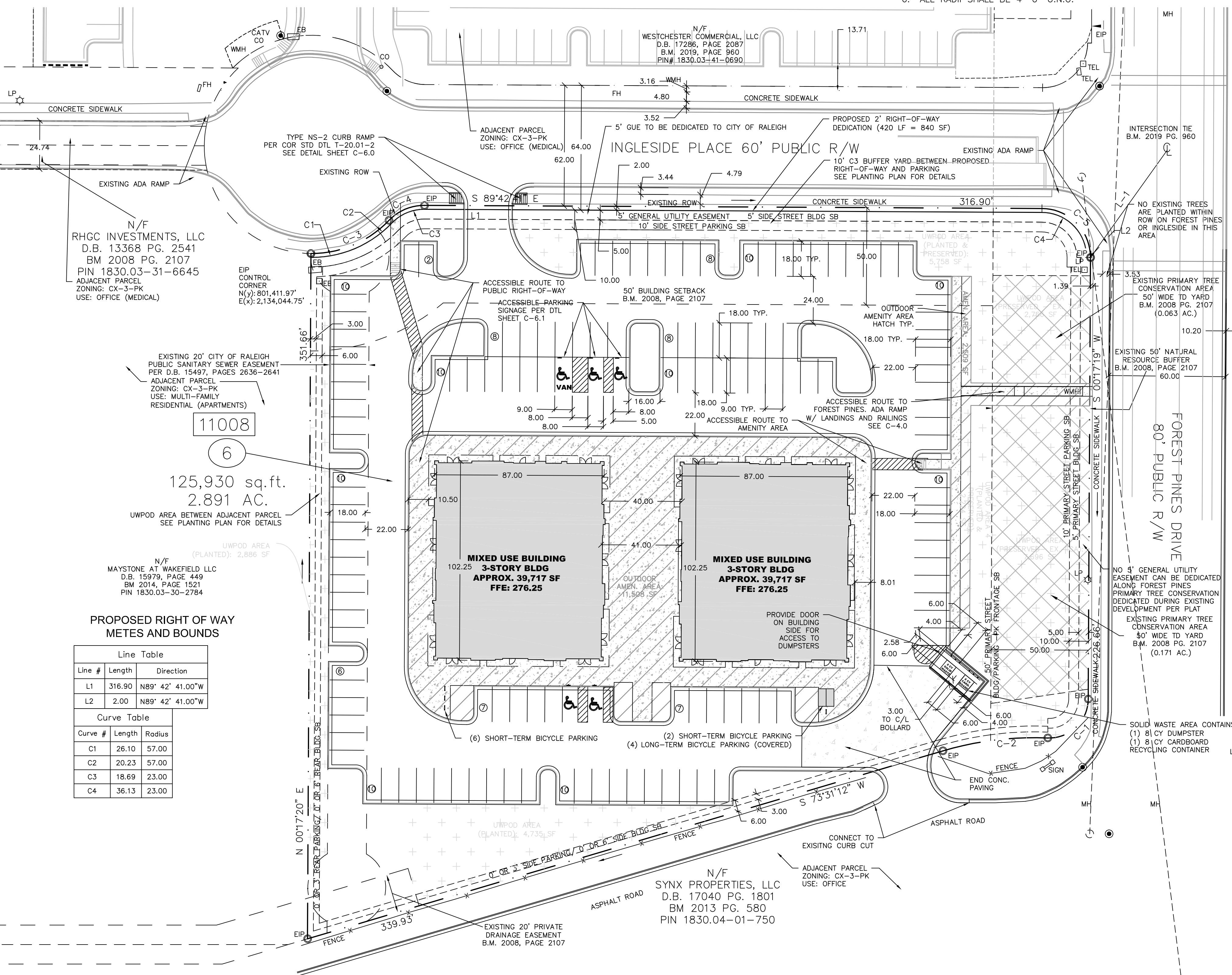
DRAWN BY DJM

CHECKED BY HWD

SCALE: 1" = 30'
 0 15 30 60

STAKING AND MATERIALS PLAN

C-2.0



PROPOSED RIGHT OF WAY METES AND BOUNDS

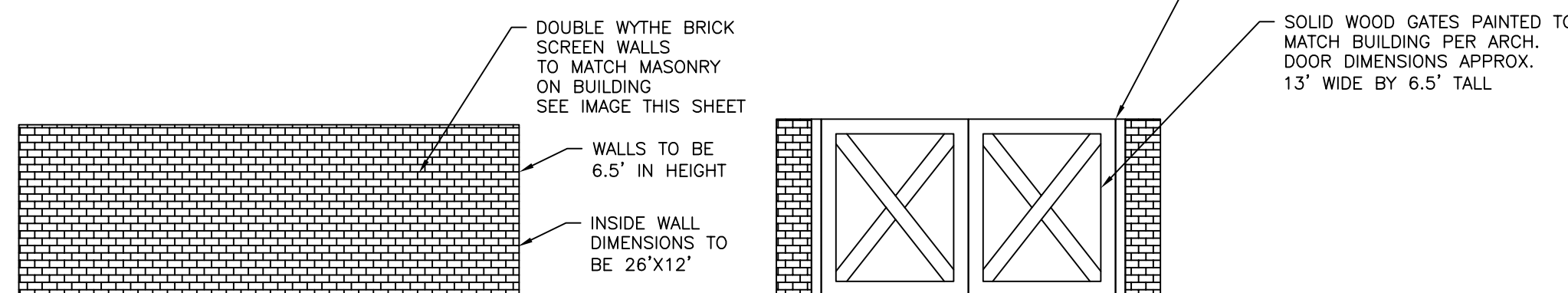
Line #	Length	Direction
L1	316.90	N89° 42' 41.00"W
L2	2.00	N89° 42' 41.00"W

Curve #	Length	Radius
C1	26.10	57.00
C2	20.23	57.00
C3	18.69	23.00
C4	36.13	23.00

NOTE: DUE TO FLAT GRADE. ALL SIDEWALK ROUTES ON SITE WILL BE ADA ACCESSIBLE.

NOTE: REFER TO TRANSPORTATION PLAN C-2.1 FOR EXISTING STREET AND RIGHT-OF-WAY DIMENSIONS

PROPOSED SOLID WASTE SCREEN WALL DETAIL



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations. This approval of this electronic document is only valid if the document has not been modified and the digital signature below is valid:

City of Raleigh Development Approval

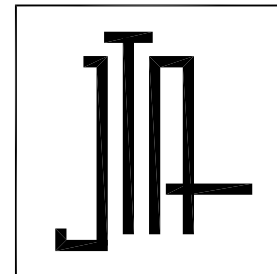


1 SOUTH ELEVATION
A2.1 SCALE - 1" = 60'

WPP2 MIXED USE PROJECT
11008 INGLESIDE PLACE, RALEIGH NC

ELEVATION KEY NOTES

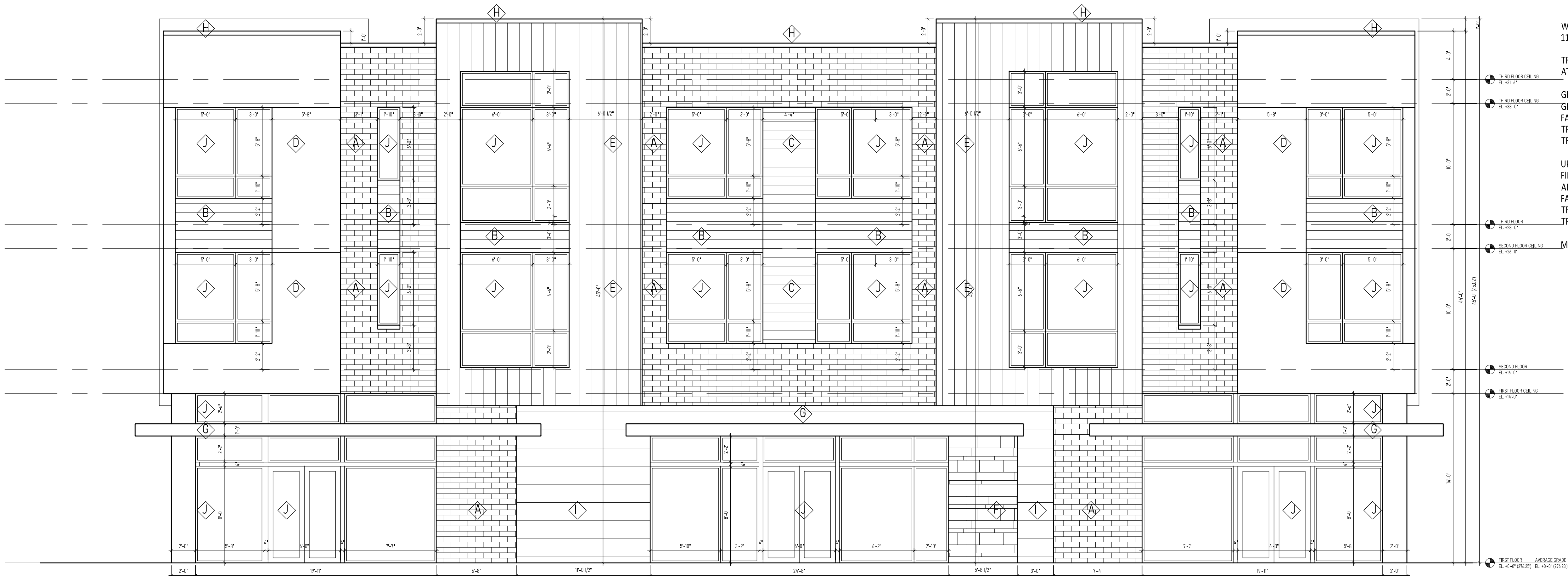
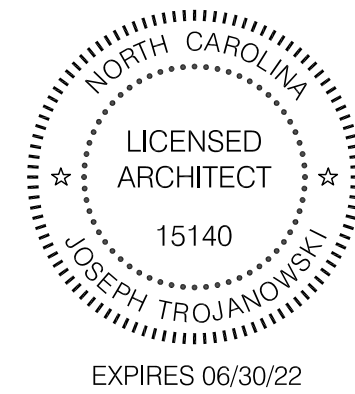
- ◆ BRICK VENEER WITH RUNNING BOND AND CONCAVE JOINTS
- ◆ FIBER CEMENT LAP SIDING WITH 7" EXPOSURE, PAINTED
- ◆ FIBER CEMENT PLANK SIDING, WOODGRAIN FINISH
- ◆ THREE COAT STUCCO ON LATH, SAND FINISH, PAINTED
- ◆ METAL SIDING PANELS, VERTICAL PATTERN, CONCEALED FAS
- ◆ THIN VENEER STONE
- ◆ WINDOW AWNING WITH ALUMINUM FASCIA
- ◆ ALUMINUM COPING WITH DRIP
- ◆ LARGE FORMAT PORCELAIN TILE CLADDING
- ◆ INSULATED GLASS WINDOW WITH CLAD EXTERIOR
- ◆ INSULATED FLUSH METAL DOOR AND FRAME, PAINTED
- ◆ ALUMINUM INSULATED GLASS STOREFRONT DOORS AND WI



JOSEPH
TROJANOWSKI
ARCHITECT
PC

DISTINCTIVE
ARCHITECTURAL
DESIGN

WWW.JTA-ARCH.COM



2 EAST ELEVATION
A2.1 SCALE - 1" = 60'

WPP2 MIXED USE PROJECT
11008 INGLESIDE PLACE, RALEIGH NC

TRANSPARENCY CALCULATIONS
AT EAST ELEVATION:

GROUND STORY (MEASURED FROM
GRADE TO 12' ABOVE GRADE):
FACADE AREA : 1227 SF
TRANSPARENT AREA : 534 SF
TRANSPARENCY : 43.5%

UPPER STORY (MEASURED FROM
FINISH FLOOR TO FINISH FLOOR
ABOVE):
FACADE AREA : 1243 SF
TRANSPARENT AREA : 365 SF
TRANSPARENCY : 29.4%

MAX. BLANK WALL : 11' 0-1/2"

WPP2 MIXED USE PROJECT
BY SHALL CONSTRUCTION
11008 INGLESIDE PLACE
RALEIGH NC 27614

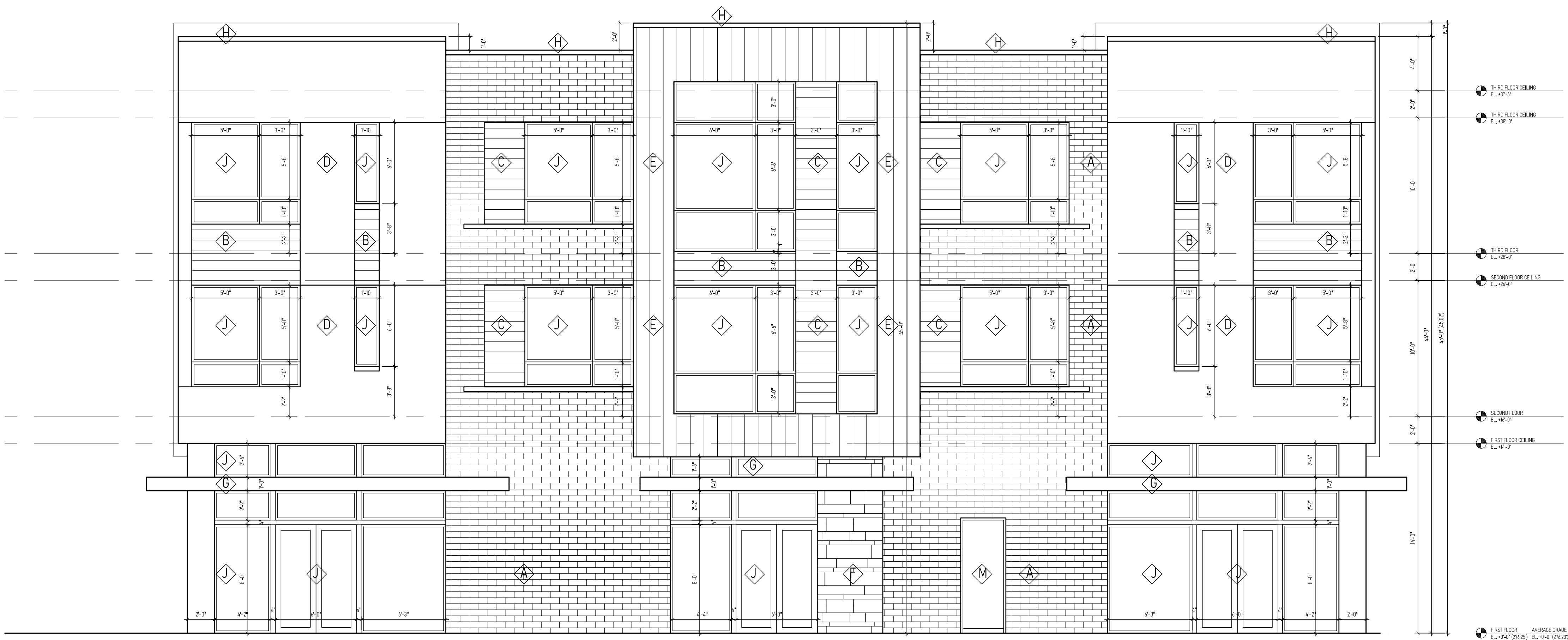
PROJECT NO.	REV	DATE	ISSUE
	09.07.21		FOR REVIEW

NOT FOR CONSTRUCTION
SCALE: AS NOTED

SHEET TITLE:
EXTERIOR
ELEVATIONS

SHEET NUMBER:

A2.1

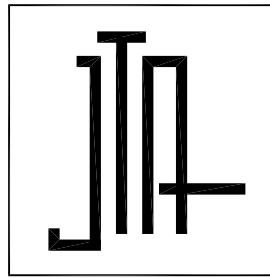


1 NORTH ELEVATION
A2.2 SCALE - 1" = 60'



2 WEST ELEVATION
A2.2 SCALE - 1" = 60'

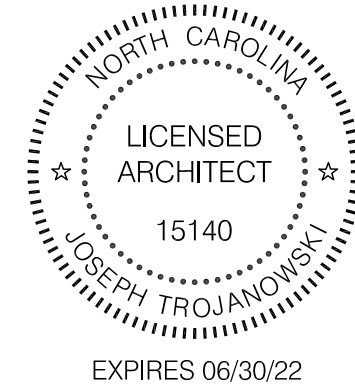
- WPP2 MIXED USE PROJECT
11008 INGLESIDE PLACE, RALEIGH NC
- ELEVATION KEY NOTES
- BRICK VENEER WITH RUNNING BOND AND CONCAVE JOINTS
 - FIBER CEMENT LAP SIDING WITH 7" EXPOSURE, PAINTED
 - FIBER CEMENT PLANK SIDING, WOODGRAIN FINISH
 - THREE COAT STUCCO ON LATH, SAND FINISH, PAINTED
 - METAL SIDING PANELS, VERTICAL PATTERN, CONCEALED FASTENERS
 - THIN VENEER STONE
 - WINDOW AWNING WITH ALUMINUM FASCIA
 - ALUMINUM COPING WITH DRIP
 - LARGE FORMAT PORCELAIN TILE CLADDING
 - INSULATED GLASS WINDOW WITH CLAD EXTERIOR
 - INSULATED FLUSH METAL DOOR AND FRAME, PAINTED
 - ALUMINUM INSULATED GLASS STOREFRONT DOORS AND WINDOWS
 - FLUSH METAL DOOR



JOSEPH
TROJANOWSKI
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PC

DISTINCTIVE
ARCHITECTURAL
DESIGN

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SHEET TITLE:
EXTERIOR
ELEVATIONS

SHEET NUMBER:

A2.2