



Administrative Approval Action

Case File / Name: ASR-0080-2021
DSLCL - THE SQUARE @ WAKEFIELD

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the north side of Falls of Neuse Road, west of Forest Pines Drive at 11008 Ingleside Place.

REQUEST: Development of a vacant 2.891acre/ 125,930 sf tract zoned CX-3-PK UWPOD with .019 acres/840 sf of right-of-way dedication leaving a net area of 2.872 acres/125,090 sf. Proposed site plan includes two 3-level/story, mixed-use structures, totaling 54,024 sf (27,012 gross sf for each); the ground floor will include retail/restaurant with residential multi-units apartments above on floors 2 and 3.

BOA-0066-2021: Approved 1/10/22 - Approved with the condition that 20% of the net site area shall be set aside as tree forestation area, inclusive of the existing dedicated tree conservation area.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 8, 2022 by Drye-McGlamery Engineering, PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Applicant copies & transpose the transparency text requirements, in Sec.1.5.9.B.4, onto the elevations plans set sheets in the Site Permit (SPR) plans.
2. All mechanical and HVAC units are clearly delineated on the Site Permit civil plans set, on the elevation sheets, demonstrating compliance with UDO Sec.7.2.5.D.

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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4. existing constructed wetland BM2008 pg 2106 with impervious permitted from this lot as 2.0 acres; show compliance with this

Urban Forestry

5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
2. A fee-in-lieu for 1 ft of sidewalk for 410 if along Ingleside Drive and 285 if along Forest Pines Drive shall be paid to the City of Raleigh (UDO 8.1.10).
3. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

4. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the rights of way. This development proposes 7 street trees along Ingleside Place and 6 street trees along Forest Pines Drive, for a total of 13 street trees.
6. A plat shall be recorded with metes and bounds descriptions of all UWPOD wooded areas (UDO 9.1.9.B.).

ADMINISTRATIVE SITE PLAN SUBMITTAL FOR THE SQUARE AT WAKEFIELD AT 11008 INGLESIDE PLACE

BOA #: BOA-0066-2021
ASR #: ASR-0080-2021

Administrative Site Review Application

This form is required when submitting site plans as referenced in United Development Ordinance (UDO) Section 10-2.2. Please check the appropriate building type and make the plan that the plan that the document that you are submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please refer to UDO Section 10-2.2 as amended by local change order (LCO) to determine the site plan that if applicable. Submitting a Site Plan Form is considered a Public Plan Form. A verification report must be submitted with the plan and the approved plan. (Note: There is a fee for this verification report.)

<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input type="checkbox"/> General <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Special <input type="checkbox"/> Other	Substitution Form # _____ Single or multiple units # _____ Certificate of Appropriateness # _____ Building Code # _____ Administrative #/Materials # _____
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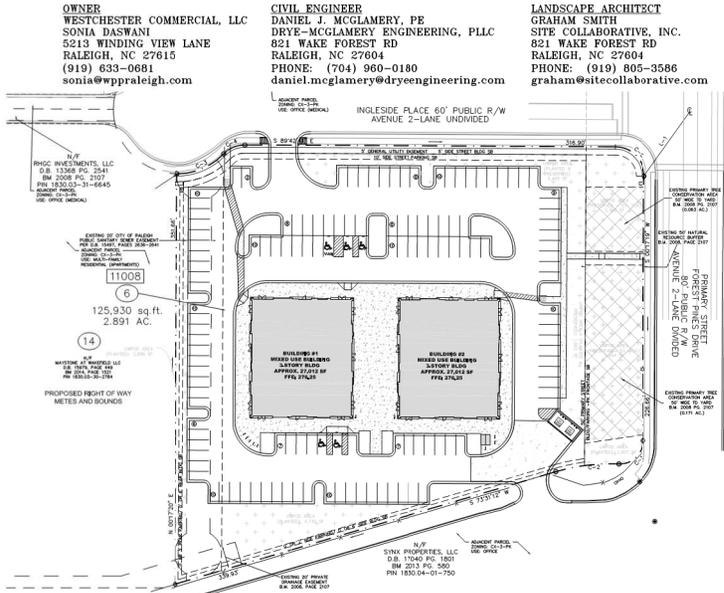
GENERAL INFORMATION

Development name: THE SQUARE AT WAKEFIELD
 Parcel ID, parcel #: 11008 Ingleside Place, Raleigh, NC 27614

I hereby describe the scope of work, include any conditions, agreements, and charges of use.
 How I will use building (1-story), First floor retail/restaurant with 12) stories of apartment or other floor.

Control Period: 0 - until the subject is sold to the owner.
NOTE: please attach purchase agreement when submitting this form.
 Company: Westchester Commercial, LLC | Title: Senior Vice President
 Address: 5015 Glenwood Dr., Cary, Raleigh, NC 27615
 Phone #: (919) 652-9621 | Email: mrodriguez@wppraleigh.com
 Applicant Name: Daniel J. McGlamery, P.E.
 Company: Drye-McGlamery Engineering, PLLC | Address: 821 Wake Forest Rd., Raleigh, NC 27604
 Phone #: (919) 805-3586 | Email: dan.mcglamery@dryemcglamery.com

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DEVELOPMENT TYPE + SITE DATE TABLE

SITE DATA (Applicable to all developments)		BUILDING DATA	
Working sheet (if more than one, please provide the address of each)	VA-3 PR	Filing given floor area first by demolition?	Filing given floor area by to be demolished?
General site acreage: 2.891		How gross floor area calculated?	
# of parking spaces required: 120		Total # of gross floor area and newly added?	
# of parking spaces proposed: 130		Proposed # of buildings:	
Overlay District (if applicable): UWPPOD		Proposed # of stories for each:	
Existing use: UDO 6.1.4 (Retail)			
Proposed use: UDO 6.1.4.1 (Residential/Multi-Family)			

STORMWATER INFORMATION

Filing Impervious Surface Area: _____ Square Feet	Proposed Impervious Surface Area: _____ Square Feet
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Approved soils: _____	Approved soils: _____
Flood study: _____	Flood study: _____
FEWA Map Phase #: _____	FEWA Map Phase #: _____
Nature: Stone Drift? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: _____	Total # of hotel units: _____
# of bedspaces: _____	Is your project a college court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK

I, Daniel J. McGlamery will serve as the agent regarding this application, and will receive and respond to administrative comments, resolve all plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I have read, acknowledge, and affirm that this project is conforming to all applicable requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing schedule and public policy which states applications will expire after 180 days of inactivity.

Signature: Daniel J. McGlamery | Date: 09/20/22
 Printed Name: Daniel J. McGlamery

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DRAWING LIST

- C-0.0 COVER SHEET
- C-0.1 VARIANCE APPROVAL (BOA-0066-2021)
- C-1.0 EXISTING CONDITIONS PLAN
- C-1.1 DEMOLITION PLAN
- C-2.0 STAKING AND MATERIALS PLAN
- C-2.1 TRANSPORTATION PLAN
- C-2.2 GRADING AND DRAINAGE PLAN
- C-2.3 EXISTING STORMWATER BM 2008, PG 2106
- C-2.4 EXISTING STORMWATER BM 2008, PG 2108
- C-3.0 UTILITY PLAN
- C-3.1 SITE DETAILS
- L-1.0 PLANTING PLAN
- L-1.1 PLANTING DETAILS
- E0.2 SITE LIGHTING PLAN
- A1.1 GROUND FLOOR ARCHITECTURAL PLAN
- A1.2 SECOND FLOOR ARCHITECTURAL PLAN
- A1.3 THIRD FLOOR ARCHITECTURAL PLAN
- A2.1 SOUTH AND EAST EXTERIOR ELEVATIONS WEST BUILDING
- A2.2 NORTH AND WEST EXTERIOR ELEVATIONS WEST BUILDING
- A2.3 SOUTH AND EAST EXTERIOR ELEVATIONS EAST BUILDING
- A2.4 NORTH AND WEST EXTERIOR ELEVATIONS EAST BUILDING

BLOCK PERIMETER

THE BLOCK PERIMETER REQUIREMENT WILL NOT BE REQUIRED FOR THIS SITE DUE TO TC-19 UDO CHANGES. REFERENCE SECTION 8.3.2.A.1.B.IV. THE CREATION OR CONTINUATION OF ANY NEW STREET OR STREET SUBWAS WOULD BE OBSTRUCTED BY A RAILROAD OR CONTROLLED ACCESS HIGHWAY AND WATERCOURSE THAT HAS ONE (1) SQUARE MILE OF DRAINAGE AREA OR MORE.

TREE CONSERVATION

TREE CONSERVATION ESTABLISHED BY INITIAL DEVELOPMENT PLAN. EXISTING CONDITIONS PLAN FOR LIMITS OF EXISTING TCA.

SOLID WASTE COMPLIANCE

THE SITE WILL UTILIZE A PRIVATE WASTE COLLECTION SERVICE AND USE COMMERCIAL DUMPSTERS. SITE IS COMPLIANT WITH CITY OF RALEIGH SOLID WASTE DESIGN MANUAL FOR DRIVEWAY WIDTH AND RADIUS REQUIREMENTS. SEE APPROVAL LETTER BY GFL BASED ON CURRENT SITE PLAN. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

IMPERVIOUS AREA SUMMARY

TOTAL EXISTING IMPERVIOUS AREA: 0 SF (0.00 ACRES)
 TOTAL PROPOSED IMPERVIOUS AREA: 87,865 SF (2.02 ACRES)
 TOTAL IMPERVIOUS AREA: 87,865 SF (2.02 ACRES)

PUBLIC IMPROVEMENTS QUANTITY TABLE

NUMBER OF LOTS(S)	1
LOTS NUMBER(S) BY PHASE	1
NUMBER OF UNITS	1
UNLAWFUL BUILDINGS	1
OPEN SPACE?	YES
NUMBER OF OPEN SPACE LOTS?	1
PUBLIC WATER (LF)	0
PUBLIC SEWER (LF) - FULL	0
PUBLIC STREET (LF) - PARTIAL	0
PUBLIC SIDEWALK (LF)	0
STREET SIGNS (LF)	0
WATER SERVICE STUBS	1
SEWER SERVICE STUBS	1

CROSS ACCESS

EXISTING CROSS ACCESS AGREEMENT IN PLACE FOR CONNECTION TO LOT ON SOUTHERN BORDER (LOT 10) CREATED BY BM2013 PAGES 577-581. REFERENCE DEED BOOK FOR ADDITIONAL DETAILS (DB 015504, PG 01176-01180).

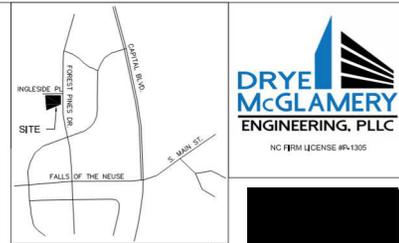
PRIMARY STREET

PRIMARY STREET DETERMINATION IS FOREST PINES DR PER UDO TC-5A-18. INGLESIDE DR IS A MIXED-USE STREET TYPE, HOWEVER PER TC-5A-18, THE STREET IS A CUL-DE-SAC AND PER SEC. 1.5.4.C.2.5 NO NON-RESIDENTIAL STREET CAN BE CLASSIFIED AS A PRIMARY STREET.

LOT 6 FROM THE ORIGINAL PLAT WILL BE DEVELOPED UNDER THIS PROJECT

SITE DATA INFORMATION

PROJECT NAME: THE SQUARE AT WAKEFIELD
 PROJECT ADDRESS: 11008 INGLESIDE PLACE, RALEIGH, NC 27614
 SITE ACREAGE: 2.891 AC. / 125,930 SF
 ROW DEDICATION: 0.019 AC. / 840 SF
 SITE ACREAGE NET: 2.872 AC. / 125,090 SF
 ZONING DISTRICT: CX-3-PK - UWPPOD
 OVERLAY DISTRICT: URBAN WATERSHED PROTECTION OVERLAY DISTRICT
 FRONTAGE REQ'D: -PK (PARKWAY)
 PARKWAY FRONTAGE SETBACK REQUIREMENTS: PRIMARY STREET BLDG SB: 50 FT (MIN.) 119 FT (PROVIDED); PRIMARY STREET PARKING SB: 50 FT (MIN.) 60 FT (PROVIDED)
 PARKWAY FRONTAGE PEDESTRIAN ACCESS REQUIREMENTS: D.1 PED. ACCESS REQUIRED (MIN. 1 PER LOT): 1 PROVIDED; D.2 PED. ACCESS WAY SPACING (MAX 300 FT): LOT FRONTAGE < 300 FT; D.3 WIDTH OF PED. ACCESS WAY (10' MIN./20' MAX.): 11.6' PROVIDED
 D.4 A ROAD OR DRIVEWAY WITH A SIDEWALK AT LEAST 6 FEET IN WIDTH MAY SUBSTITUTE FOR A REQUIRED PEDESTRIAN ACCESS WAY: N/A
 D.5 DIRECT PEDESTRIAN ACCESS IS REQUIRED FROM THE PUBLIC SIDEWALK TO THE PRIMARY ENTRANCE OF THE BUILDING: PROVIDED
 PROPOSED USE: MIXED USE (ALLOWED) RETAIL, RESTAURANT, APARTMENT
 PRIMARY STREET: FOREST PINES DR.
 EXISTING BUILDING: N/A SF
 PROPOSED BUILDING: (2) 27,012 SF BUILDINGS = 54,024 SF
 BUILDING 1: RESTAURANT: 4,302 SF (FIRST FLOOR); RETAIL: 4,702 SF (FIRST FLOOR); APARTMENT: 18,008 SF (12 TWO-BR UNITS SF ON 2ND & 3RD FLOORS)
 BUILDING 2: RESTAURANT: 4,302 SF (FIRST FLOOR); RETAIL: 4,702 SF (FIRST FLOOR); APARTMENT: 18,008 SF (12 TWO-BR UNITS SF ON 2ND & 3RD FLOORS)
 AMENITY AREA REQUIREMENTS: REQUIRED AMENITY AREA = 10% LOT AREA INSIDE RIGHT-OF-WAY: 2,87 ACRES (125,090 SF); REQ'D AMENITY AREA = 10% * 2,87 AC = 0.287 AC. (12,509 SF); PROVIDED AMENITY AREA = 0.293 AC = 0.293 AC.
 UWPPOD REQUIREMENTS: REQUIRED AMENITY AREA = 20% (PER VARIANCE); REQ'D UWPPOD AREA = 20% * 2,89 AC = 0.574 AC. (25,018 SF); PROVIDED UWPPOD AREA = 0.596 AC (25,995 SF)
 BUILDING DIMENSIONAL REQUIREMENTS: PRIMARY STREET SB: 50 FT (MIN.) - PK 119 FT (PROVIDED); REAR SB: 0 OR 6 FT (MIN.) 81 FT (PROVIDED); SIDE SB: 0 OR 6 FT (MIN.) 75 FT (MIN. PROVIDED); SIDE STREET SB 5 FT (MIN.) 15 FT (PROVIDED); ALLEY SB 5 FT (MIN.) N/A
 PARKING DIMENSIONAL REQUIREMENTS: PRIMARY STREET SB: 50 FT (MIN.) - PK 60 FT (PROVIDED); REAR SB: 0 OR 3 FT (MIN.) 10 FT (PROVIDED); SIDE SB: 0 OR 3 FT (MIN.) 6 FT (MIN. PROVIDED); SIDE STREET SB 10 FT (MIN.) 15 FT (PROVIDED); ALLEY SB 5 FT (MIN.) N/A
 BUILDING HEIGHT REQUIREMENTS: BUILDING HEIGHT: 50 FT (MAX) 45.02 FT (PROVIDED); ACCESSORY HEIGHT: 25 FT (MAX) N/A (PROVIDED)
 FLOOR HEIGHT REQUIREMENTS: GROUND FLOOR: 0 FT (MIN.) 0 FT (PROVIDED); GROUND STORY HT: 13 FT (MIN.) 16 FT (PROVIDED); UPPER STORY HT: 9 FT (MIN.) 12 FT (PROVIDED)
 TRANSPARENCY REQUIREMENTS: GROUND STORY: 50% (MIN.) N/A (PROVIDED); UPPER STORIES: NOT REQ'D (RESIDENTIAL USE)
 BLANK WALL AREA: 20 FT (MAX.) - GROUND FLOOR ONLY
 ALLOWED BUILDING ELEMENTS: BALCONY, GALLERY, AWNINGS



VICINITY MAP N.T.S.

SURVEY DISCLAIMER

SURVEY INFORMATION PREPARED BY L. JORDAN PARKER (PLS L-4685) ON DECEMBER 18, 2019. CANTHURNE MOSS & PANGIERA, PC, 333 S. WHITE STREET, WAKE FOREST, NC 27688

PARKING CALCULATIONS

FIRST FLOOR (MIXED USE - RESTAURANT)
 BUILDING: 1 SPACE/150 SF OR 1 SPACE/5 SEATS, WHICHEVER IS GREATER
 REQ'D PARKING: 1 SPACE/150 SF * 8,604 SF = 58 SPACES
 FIRST FLOOR (MIXED USE - RETAIL SALES)
 BUILDING: 1 SPACE/300 SF PLUS 1 SPACE FOR EVERY 600 SF OF OUTDOOR DISPLAY AREA
 REQ'D PARKING: 1 SPACE/300 SF * 9,404 SF = 32 SPACES
 SECOND AND THIRD FLOOR (CONDOMINIUMS)
 2-BR UNITS: 24
 REQ'D PARKING: 1.5 SPACES/UNITS * 24 UNITS = 36 SPACES
 TOTAL REQ'D: 58+32+36 = 126 SPACES*

FLOOR PLAN LAYOUT IS NOT KNOWN AT THIS TIME FOR RESTAURANT SEATING. HOWEVER, ADDITIONAL PARKING MUST BE PROVIDED IF THE ALLOWED SEATING EXCEEDS THE PROVIDED PARKING COUNT PRIOR TO BUILDING PERMIT APPROVAL AND OCCUPANCY.

TOTAL PARKING SUMMARY	
EX. PARKING:	N/A
PR. PARKING:	135 SPACES
MAX. ALLOWED:	126*1.5 = 189 SPACES
ADA SPACES REQUIRED:	100-150 SPACES = 5
PROVIDED:	5 TOTAL SPACES REQUIRED
1 VAN SPACE REQUIRED	
BICYCLE PARKING:	
RESTAURANT:	
SHORT TERM:	1 SP. PER 50,000 SF, MIN. 4 SPACES
LONG TERM:	1 SP. PER 25,000 SF, MIN. 4 SPACES
RETAIL SALES:	
SHORT TERM:	1 SP. PER 5,000 SF, MIN. 4 SPACES
LONG TERM:	NONE
RESIDENTIAL:	
SHORT TERM:	1 SP. PER 20 UNITS, MIN. 4 SPACES
LONG TERM:	NONE
REQUIRED:	20 SHORT TERM SPACES, 4 LONG TERM SPACES
PROVIDED:	20 SHORT TERM SPACES, 4 LONG TERM SPACES

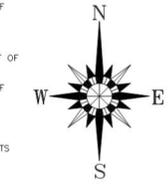
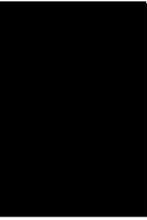
PROJECT NO: 2021092

ISSUED FOR REVIEW

REV	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	08/24/2022
B	2ND APP SUBMITTAL	08/24/2022
C	3RD APP SUBMITTAL	08/24/2022

DRAWN BY: DJM
 CHECKED BY: HWD
 SCALE: 1" = 30'

COVER SHEET
C-0.0



THE SQUARE AT WAKEFIELD
 11008 INGLESIDE PLACE
 WAKE COUNTY, NC
 WAKE COUNTY, NC
 NORTH CAROLINA
 DRYE-McGLAMERY
 ENGINEERING, PLLC
 821 WAKE FOREST RD
 RALEIGH, NC 27604

I DECLARE THAT THIS SURVEY COMPLIES WITH THE NORTH CAROLINA STANDARD OF PRACTICE FOR SURVEYING (SECTION 1600) FOR CLASS A SURVEYS AND THAT THE CALCULATED RATIO OF PRECISION BEFORE ADJUSTMENTS IS 1:10,000. FURTHERMORE, PROPERTY CORNERS SHOWN ARE PRIMARY CONTROL MONUMENTATION FOR THE RECORD. ESTABLISHMENT OF PROPERTY CORNERS IN THE ABSENCE OF GRID MONUMENTS AND OTHER SUBORDINATE PROPERTY CORNERS, THIS SURVEY IS NOT TO BE RECORDED WITHOUT THE WRITTEN AUTHORIZATION OF THE SURVEYOR.

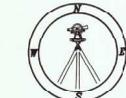
[Signature]
PROFESSIONAL LAND SURVEYOR L-14685

LINE TABLE		
LINE	BEARING	DISTANCE
L-1	S 35°36'18" W	67.85'

CURVE TABLE			
CURVE	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C-1	20.00'	20.00'	S 46°20'11" W
C-2	24.48'	185.50'	S 62°37'00" W
C-3	24.75'	156.00'	N 67°01'09" E
C-4	20.33'	25.00'	N 87°00'00" E
C-5	28.27'	25.00'	S 44°42'41" E

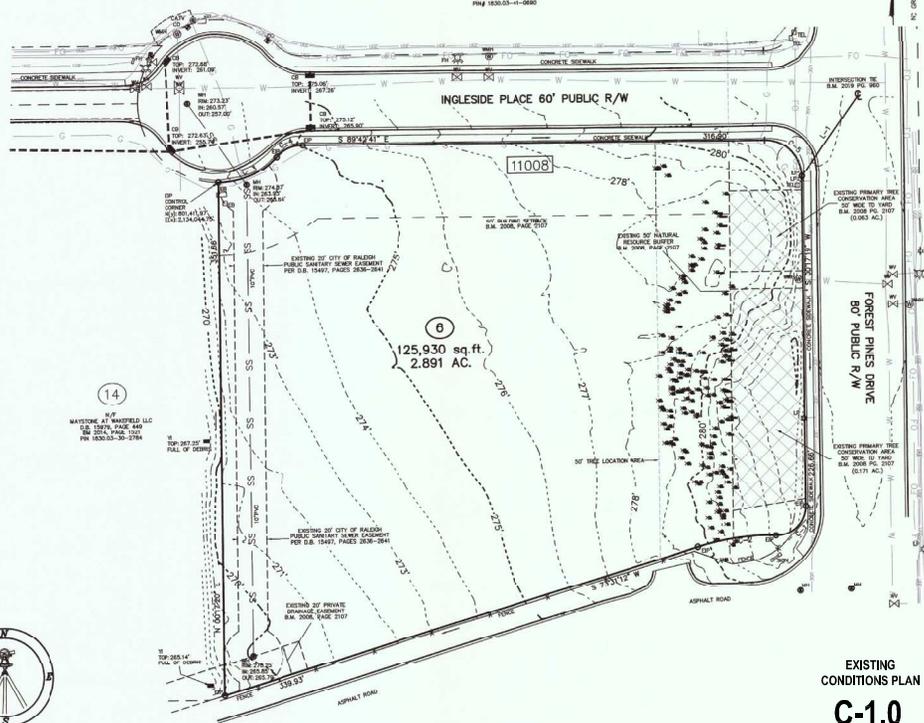
8
N/E
MICROTERRAIN CONSULTING, LLC
C.B. 17094, PAGE 2007
B.M. 2008, PAGE 2007
P.M. 1830.03-41-0660

14
N/E
WATKINS AT WAKEFIELD, LLC
C.B. 17094, PAGE 144
B.M. 2008, PAGE 1209
P.M. 1830.03-30-1094



CMP

CAWTHORNE, MOSS & PANCIERA, P.C. PROFESSIONAL LAND SURVEYORS, C-1525, 333 S. WHITE STREET, P.O. BOX 1253, WAKE FOREST N.C., 27588, (919) 556-3148



VICINITY MAP

- LEGEND:**
- EP - EXISTING IRON PIPE
 - EB - EXISTING IRON BAR
 - SBP - BENT IRON PIPE
 - BBB - BENT IRON BAR
 - IT - IRON TIE
 - SPK - EXISTING PK. NAIL
 - SPN - SPLIT PK. NAIL
 - MP - METAL POST FOR SET
 - R/W - RIGHT OF WAY
 - C/W - CABLE TV DUCT
 - EL - ELEVATION
 - TL - TELEPHONE PEDIESTAL
 - PF - POWER POLE
 - OL - OVERHEAD LINE
 - WM - WATER METER
 - WV - WATER VALVE
 - CO - SEWER CLEAN-OUT
 - MAN - MANHOLE
 - #### - ADDRESS

NOTES:

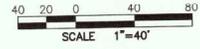
1. THIS PLAN SUBJECT TO ALL EASEMENTS, AGREEMENTS AND RIGHTS OF WAY OF RECORD PRIOR TO THE DATE OF THIS PLAT.
2. UNDERGROUND UTILITIES HAVE BEEN MARKED OR LOCATED FOR THIS PLAT.
3. ALL BEARINGS AND DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS.
4. ALL ELEVATIONS ARE BASED ON NAVD 83.
5. ALL CONTOURS ARE AT 1' INTERVALS PRIORITIZED CLOSSTO.

LINE TYPE LEGEND

- PROPERTY LINE - LINE SURVEYED
- RIGHT-OF-WAY LINE - LINE NOT SURVEYED
- - - ADJOINING LINE - LINE NOT SURVEYED
- OUTSIDE LINE
- BUILDING FOOTPRINT
- EASEMENT
- FLOOD HAZARD ZONE
- ELECTRIC LINE
- GAS LINE
- WATER LINE
- FIBER OPTIC

TOPOGRAPHIC SURVEY FOR LOT 6 - TRACT 82 AT WAKEFIELD PARK

11008 INGLESIDE PLACE
OWNER: SYNX PROPERTIES, LLC
REF: D.B. 17040, PAGE 1801
REF: B.M. 2008, PAGE 2107
CITY OF RALEIGH
WAKE COUNTY, NORTH CAROLINA



EXISTING
CONDITIONS PLAN
C-1.0

DECEMBER 18, 2019
REVISED JANUARY 16, 2020
ZONED CX-3-PK/UWPD
PIN #1830.03-41-2237

01830.03-41-2237

UWPOD AREA SUMMARY:

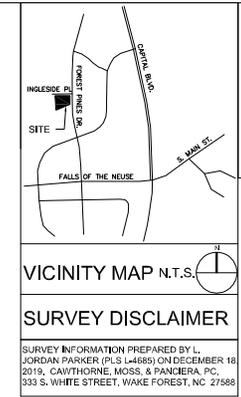
EXISTING LOT AREA: 2.891 ACRES (125,930 SF)
 LOT AREA DEDICATED FOR RIGHT-OF-WAY: 0.019 ACRES (840 SF)
 REMAIN LOT AREA: 2.872 ACRES (125,090 SF)
 UWPOD AREA REQUIRED BY VARIANCE: 0.574 ACRES (25,018 SF)

TRAFFIC CONTROL NOTES

1. REFER TO C-2.1 AND C-2.2 FOR TRAFFIC CONTROL NOTES.

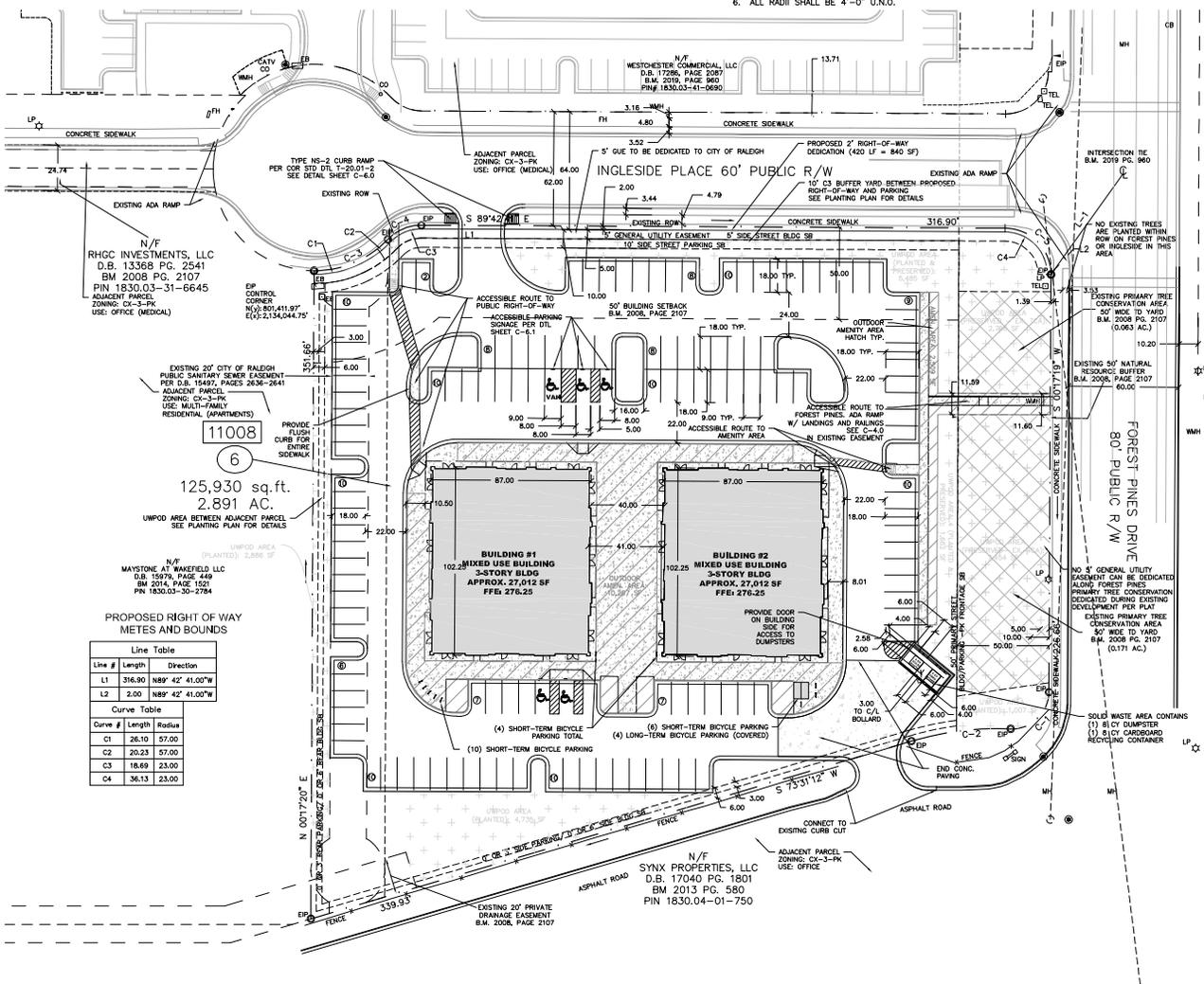
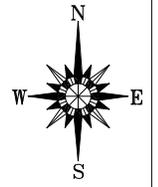
STAKING AND MATERIAL PLAN NOTES

1. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 2. ALL DIMENSIONS ARE AT 90 DEGREES UNLESS NOTED OTHERWISE (U.N.O.).
 3. CONTRACTOR SHALL ESTABLISH POINT OF BEGINNING (P.O.B.) AND STAKE SITE AS INDICATED ON CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY DRYE-McGLAMERY ENGINEERING, PLLC IMMEDIATELY OF ANY DISCREPANCIES.
 4. ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING, OR CENTERLINE U.N.O.
 5. ALL DETAILS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THESE CONSTRUCTION DOCUMENTS.
 6. ALL RADII SHALL BE 4'-0" U.N.O.



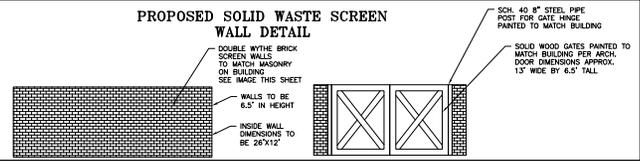
LEGEND

DETAIL	
PROPOSED SIDEWALK	6/C-6.0
PROPOSED CURB AND GUTTER	2/C-6.1
PROPOSED CONCRETE PAVING	6/C-6.1
PROPOSED WHEEL STOP	1/C-6.1
EXISTING TREE CONSERVATION AREA	N/A SEE L-1.0
PROPOSED AMENITY AREA	N/A SEE L-1.0
PROPOSED UWPOD FORESTATION AREA	N/A
LOT NUMBER FOR EXISTING DEVELOPMENT PLAT	N/A
HVAC SCREENING FENCE	4/C-6.2



NOTE: DUE TO FLAT GRADE. ALL SIDEWALK ROUTES ON SITE WILL BE ADA ACCESSIBLE.

NOTE: REFER TO TRANSPORTATION PLAN C-2.1 FOR EXISTING STREET AND RIGHT-OF-WAY DIMENSIONS



CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plan for this proposed use has been reviewed for general compliance with applicable codes. This is not a final review and does not constitute an endorsement or approval. The property owner, design consultants, and contractors are each responsible for their own work and compliance with applicable codes, rules and regulations. This approval does not constitute a warranty or endorsement of any product or service. The City of Raleigh is not responsible for any errors or omissions in this plan. The City of Raleigh is not responsible for any errors or omissions in this plan.

SCALE: 1" = 30'

STAKING AND MATERIAL PLAN

C-2.0

PROJECT NO: 2021092

ISSUED FOR REVIEW

REV	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	04/24/21
B	2ND RFR SUBMITTAL	04/24/21
C	3RD RFR SUBMITTAL	04/24/21

DRAWN BY: DJM
 CHECKED BY: HWD

THE SQUARE AT WAKEFIELD
 11008 INGLESIDE PLACE
 WAKE COUNTY, NC
 NORTH CAROLINA

DRYE-McGLAMERY
 ENGINEERING, PLLC
 333 S. WHITE STREET
 RALEIGH, NC 27604

CITY OF RALEIGH STANDARD UTILITY NOTES

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
 - A) A DISTANCE OF 100 SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR
 - B) WHEN INSTALLING WATER A/R OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, SEPARATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR
 - C) ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
 - D) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIAL OR STEEL ENCASUREMENT EXTENDED 10 ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
 - E) 5.0 MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
 - F) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS

3. CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
4. F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
5. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
6. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
7. 3.0 MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS.
8. 4.0 MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
9. IF THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT, THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
10. INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2' X 2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
11. INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MINIMUM
12. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0 ABOVE THE NEXT UPSTREAM

- MANHOLE**
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOT, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 11. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
 12. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGH.GOV FOR MORE INFORMATION
 13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS; THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN

UNDERGROUND NOTES

1. CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
2. CONTRACTOR IS RESPONSIBLE FOR FLAGGING BARRICADES, USING FLAG MEN, ETC., AS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC
3. ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO STANDARDS OF THE NCDOT.
4. SHORING WILL BE ACCORDING TO OSHA TRENCHING STANDARDS PART 1926, SUBPART P, OR AS AMENDED.
5. ALL CONSTRUCTION MUST CONFORM TO THE UNDERGROUND UTILITY PROTECTION ACT. BEFORE YOU DIG CALL THE CONTACT ONE-CALL CENTER AT 1-800-632-4949.

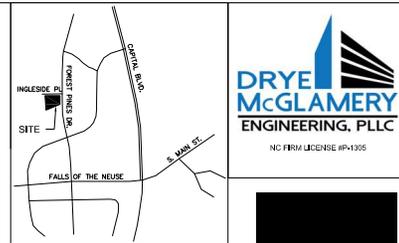
TRAFFIC CONTROL NOTES

1. ALL WORK IN RIGHT-OF-WAY FOR WATERLINE SERVICE SHALL BE IN ACCORDANCE WITH NCDOT, MUTCD, AND CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

NOTE: REFER TO DETAIL SHEET C-6.6 FOR TYPICAL CITY OF RALEIGH WATER INSTALLATION DETAILS

NOTE: REFER TO DETAIL SHEET C-6.7 FOR TYPICAL CITY OF RALEIGH SANITARY SEWER INSTALLATION DETAILS

NOTE: REFER TO DETAIL SHEET C-6.8 FOR TYPICAL CITY OF RALEIGH FIRE HYDRANT INSTALLATION DETAILS

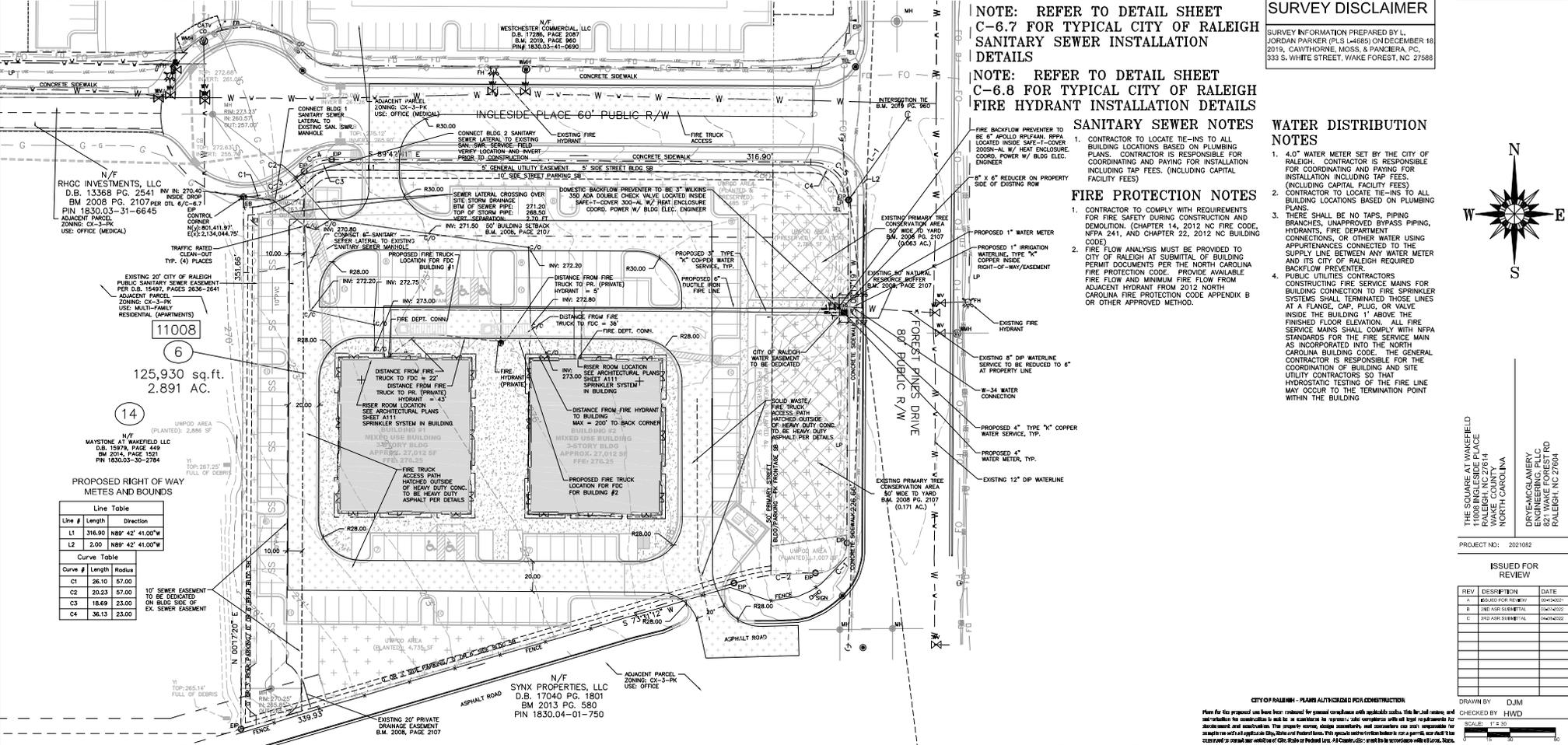


SURVEY DISCLAIMER

SURVEY INFORMATION PREPARED BY L. JORDAN PARKER (P.L.S. L-4865) ON DECEMBER 16 2019, CANTYHORNE, MOSS, & PANCIERA, P.C. 333 S. WHITE STREET, WAKE FOREST, NC 27888



NC FIRM LICENSE #P-1305



WATER DISTRIBUTION NOTES

1. 4.0" WATER METER SET BY THE CITY OF RALEIGH. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR INSTALLATION INCLUDING TAP FEES. (INCLUDING CAPITAL FACILITY FEES)
2. CONTRACTOR TO LOCATE TIE-INS TO ALL BUILDING LOCATIONS BASED ON PLUMBING PLANS.
3. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTIONS, OR OTHER WATER USING APPLIANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CITY OF RALEIGH REQUIRED BACKFLOW PREVENTER.
4. PUBLIC UTILITIES CONTRACTORS CONSTRUCTING FIRE SERVICE MAINS FOR BUILDING CONNECTION TO FIRE SPRINKLER SYSTEMS SHALL TERMINATED THOSE LINES AT A FLANGE, CAP, PLUG, OR VALVE INSIDE THE BUILDING 1' ABOVE THE FINISHED FLOOR ELEVATION. ALL FIRE SERVICE MAINS SHALL COMPLY WITH NFPA STANDARDS FOR THE FIRE SERVICE MAIN AS INCORPORATED INTO THE NORTH CAROLINA BUILDING CODE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF BUILDING AND SITE. UTILITY CONTRACTORS SO THAT HYDROSTATIC TESTING OF THE FIRE LINE MAY OCCUR TO THE TERMINATION POINT WITHIN THE BUILDING

SANITARY SEWER NOTES

1. CONTRACTOR TO LOCATE TIE-INS TO ALL BUILDING LOCATIONS BASED ON PLUMBING PLANS. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PAYING FOR INSTALLATION INCLUDING TAP FEES. (INCLUDING CAPITAL FACILITY FEES)

FIRE PROTECTION NOTES

1. CONTRACTOR TO COMPLY WITH REQUIREMENTS FOR FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION. (CHAPTER 14, 2012 NC FIRE CODE, NFPA 241, AND CHAPTER 22, 2012 NC BUILDING CODE)
2. FIRE FLOW ANALYSIS MUST BE PROVIDED TO CITY OF RALEIGH AT SUBMITTAL OF BUILDING PERMIT DOCUMENTS PER THE NORTH CAROLINA FIRE PROTECTION CODE. PROVIDE AVAILABLE FIRE FLOW AND MINIMUM FIRE FLOW FROM ADJACENT HYDRANT FROM 2012 NORTH CAROLINA FIRE PROTECTION CODE APPENDIX B OR OTHER APPROVED METHOD.



Line	Length	Direction
L1	316.80	N89° 42' 41.00"W
L2	2.00	N89° 42' 41.00"W

Curve	Length	Radius
C1	26.10	57.00
C2	20.23	57.00
C3	18.69	23.00
C4	36.13	23.00

THE SQUARE AT WAKEFIELD
1100 INNESIDE PLACE
WAKE COUNTY, NC
NORTH CAROLINA

DRYE-McGLAMERY
ENGINEERING, PLLC
RALEIGH, NC 27604

PROJECT NO: 2021082

ISSUED FOR REVIEW

REV	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	05/04/2021
B	2ND RFR SUBMITTAL	06/10/2021
C	3RD RFR SUBMITTAL	06/24/2021

DRAWN BY: DJM
CHECKED BY: HWD
SCALE: 1" = 30'

NOTE: ALL ADJACENT LOTS ARE SERVED BY PUBLIC WATER AND PUBLIC SEWER

Plan for this proposed use has been reviewed for general compliance with applicable codes. This is not a final review and distribution of this construction is not to be undertaken until the applicant's plan complies with all local regulations for development and construction. The preparer, design consultants, and contractors are not responsible for compliance with all applicable City, State and Federal laws. This approval does not constitute a permit. Any other laws, codes, ordinances, or regulations that may apply to this project shall be the responsibility of the applicant. All applicable codes shall be in accordance with the City, State, and Federal laws and regulations. This approval does not constitute a warranty. If the contractor is not a member of the City of Raleigh, the contractor shall be responsible for obtaining all necessary permits and approvals from the City of Raleigh.

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

City of Raleigh Development Approval



UTILITY PLAN
C-5.0

VICINITY MAP N.T.S.
SURVEY DISCLAIMER
SURVEY INFORMATION PREPARED BY L. JORDAN PARKER (P.L.S. L-4685) ON DECEMBER 18, 2019. CAWTHORNE, MOSS, & FANCIERA, P.C. 333 S. WHITE STREET, WAKE FOREST, NC 27788



THE SQUARE AT WAKEFIELD
INGLESIDE PLACE
RALEIGH, NORTH CAROLINA
DRYE McGLAMERY, PLLC
ENGINEERING, PLLC
821 WAKE FOREST RD
RALEIGH, NC 27604

PROJECT NO: 2019103

ISSUED FOR REVIEW

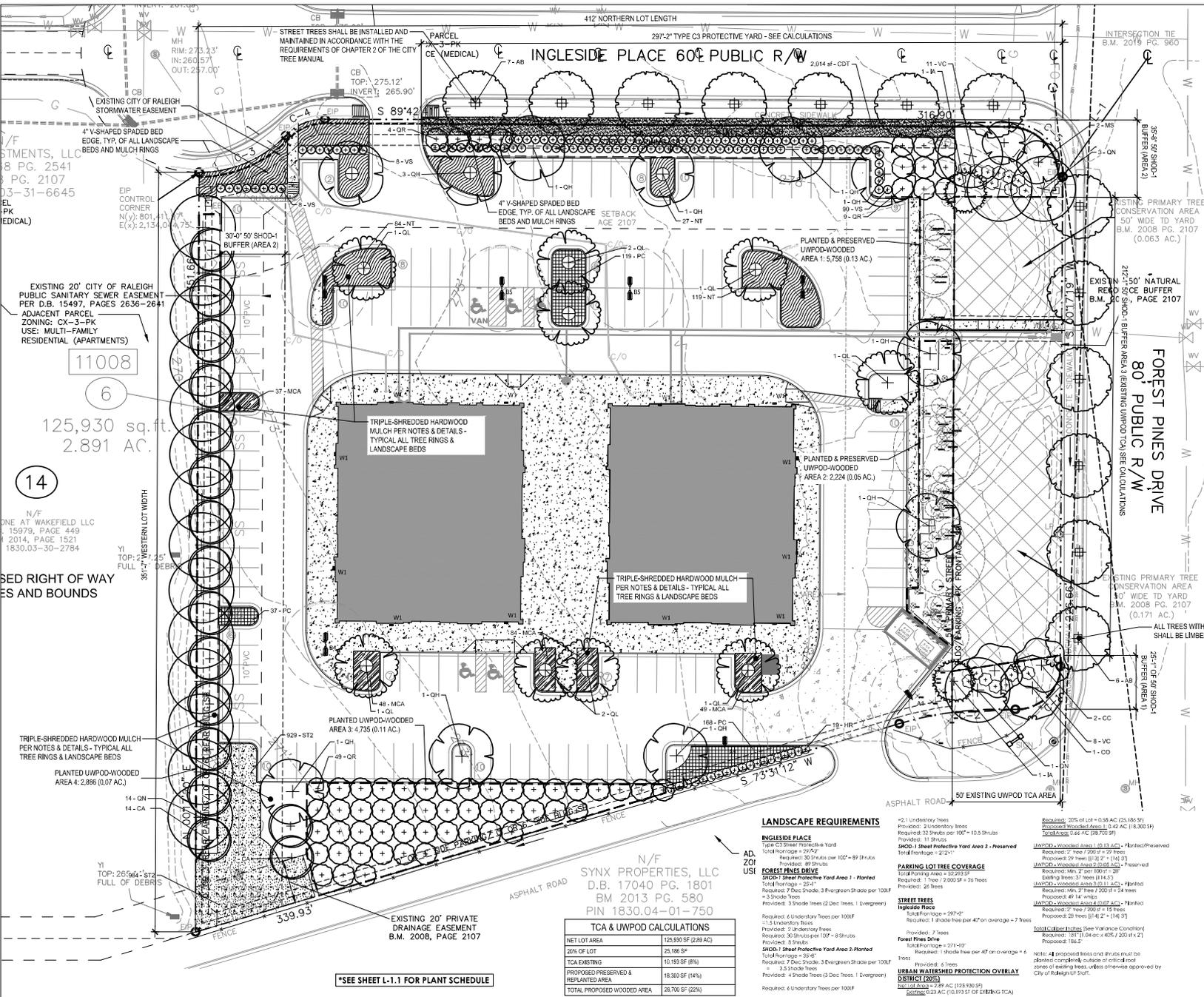
REV	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	09/02/20
B	DESIGN FOR REVIEW	02/02/20
C	ISSUED FOR REVIEW	04/02/20



DRAWN BY: DCB
CHECKED BY: GHS
SCALE: 1" = 10'

PLANTING PLAN

L-1.0



STREETS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL

EXISTING CITY OF RALEIGH STORMWATER EASEMENT

4" V-SHAPED SPADED BED EDGE, TYP. OF ALL LANDSCAPE BEDS AND MULCH RINGS

EIP CONTROL CORNER (N)(X): 801-1 (E)(X): 2,130.00

EXISTING 20' CITY OF RALEIGH PUBLIC SANITARY SEWER EASEMENT PER D.B. 15497, PAGES 2636-2641 ADJACENT PARCEL USE: MULTI-FAMILY RESIDENTIAL (APARTMENTS)

11008
6
125,930 sq. ft.
2.891 AC.

14
N/F WAKEFIELD LLC 15979, PAGE 449 2014, PAGE 1521 1830.03-30-2784

RIGHT OF WAY LINES AND BOUNDS

TRIPLE-SHREDDED HARDWOOD MULCH PER NOTES & DETAILS - TYPICAL ALL TREE RINGS & LANDSCAPE BEDS

PLANTED UWPOD-WOODDED AREA 4: 2,886 (0.07 AC.)

14-ON
14-CA

YI TOP: 265.964 ± ST2 FULL OF DEBRIS

EXISTING 20' PRIVATE DRAINAGE EASEMENT B.M. 2008, PAGE 2107

N/F SYNX PROPERTIES, LLC
D.B. 17040 PG. 1801
BM 2013 PG. 580
PIN 1830.04-01-750

TCA & UWPOD CALCULATIONS	
NET LOT AREA	125,930 SF (2.89 AC)
20% OF LOT	25,186 SF
TCA EXISTING	10,193 SF (8%)
PROPOSED PRESERVED & REPLANTED AREA	18,300 SF (14%)
TOTAL PROPOSED WOODDED AREA	28,700 SF (22%)

LANDSCAPE REQUIREMENTS

INGLESIDE PLACE
Type C3 Street Protective Yard
Total Frontage = 295' ±
Required: 30 Shrubs per 100' = 89 Shrubs
Provided: 90 Shrubs

FOREST PINES DRIVE
SHOD-1 Street Protective Yard Area 1 - Planted
Total Frontage = 250' ±
Required: 7 Dec Shade, 3 Evergreen Shade per 100' = 8 Shade Trees
Provided: 3 Shade Trees (2 Dec Trees, 1 Evergreen)
Required: 6 Understory Trees per 1000' = 15 Understory Trees
Provided: 7 Understory Trees
Required: 30 Shrubs per 100' = 8 Shrubs
Provided: 8 Shrubs

SHOD-1 Street Protective Yard Area 2-Planted
Total Frontage = 304' ±
Required: 7 Dec Shade, 3 Evergreen Shade per 100' = 8.5 Shade Trees
Provided: 4 Shade Trees (3 Dec Trees, 1 Evergreen)
Required: 4 Understory Trees per 1000'

PARKING LOT TREE COVERAGE
Total Parking Area = 2,224 SF
Required: 1 Tree / 2,000 SF = 26 Trees
Provided: 26 Trees

STREET TREES
Ingressives
Total Frontage = 297' ±
Required: 1 Shade Tree per 40' on average = 7 Trees
Provided: 7 Trees

Forest Pines Drive
Total Frontage = 231' ±
Required: 1 Shade Tree per 40' on average = 6 Trees
Provided: 6 Trees

Urbanshed Protection Overlay District (2005)
Total Lot Area = 289 AC (125,930 SF)
Required: 0.3 AC (124,930 SF) of planting TCA

UWPOD-Woodded Areas (0.13 AC.) - Planted/Preserved
Required: 7 Tree / 200 SF = 24 Trees
Provided: 29 Trees (11 3" ± (16) 3" Sapling Trees, 5" Trees (11) 4" ±)
UWPOD-Woodded Areas (0.05 AC.) - Planted
Required: Min 2" Tree / 200 SF = 24 Trees
Provided: 49 Trees
UWPOD-Woodded Areas (0.07 AC.) - Planted
Required: 1 Tree / 200 SF = 14 Trees
Provided: 28 Trees (11 4" ± (14) 3")

Total City Tree Credits (See Variance Condition)
Required: 1871 (94 Dec + 406 / 200 ± x 9.2)
Provided: 184 ±

Note: 4 proposed trees and shrubs must be planted completely outside of critical root zones of existing trees, unless otherwise approved by City of Raleigh Urban Dept.

*SEE SHEET L-1.1 FOR PLANT SCHEDULE



NOTE - PER RALEIGH U.D.O. 1.5.9.B.1.
 THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER A GROUND STORY FACADE IS MEASURED BETWEEN 0 AND 11 FEET ABOVE THE SURFACE OF THE FINISHED GROUND FLOOR FOR ALL ABOVE-GRADE PORTIONS OF THE FACADE. A MINIMUM OF 50% OF THE REQUIRED TRANSPARENCY MUST BE LOCATED BETWEEN 3 AND 8 FEET FROM THE SURFACE OF THE FINISHED GROUND FLOOR.

NOTE - PER RALEIGH U.D.O. 1.5.9.B.2.
 THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER AN UPPER STORY FACADE IS MEASURED FROM TOP OF THE FINISHED FLOOR TO THE TOP OF THE FINISHED FLOOR ABOVE. WHEN THERE IS NO FLOOR ABOVE, UPPER STORY TRANSPARENCY IS MEASURED FROM THE TOP OF THE FINISHED FLOOR TO THE TOP OF THE WALL PLATE.

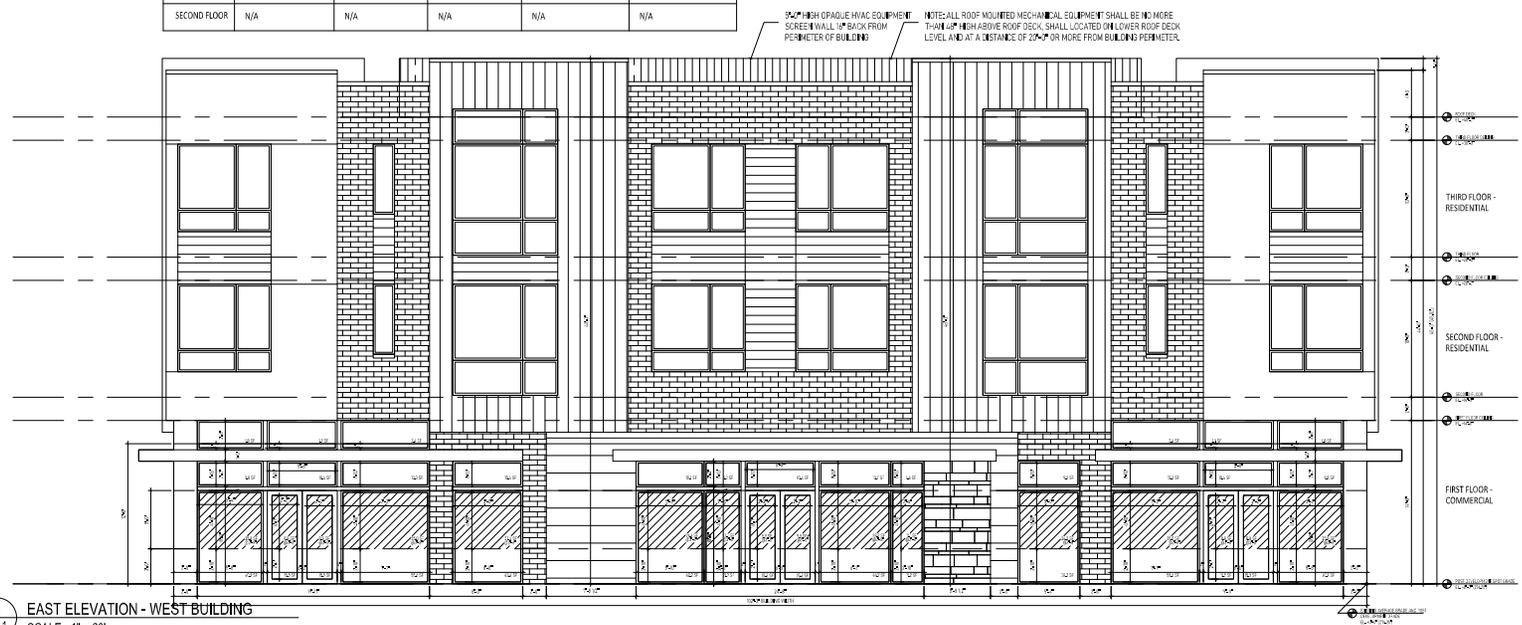
AVERAGE POST DEVELOPMENT GRADE CALCULATIONS:

ELEV	EXISTING / PROPOSED	WALL - HIGH / LOW
274.25'	PROPOSED	HIGH
274.25'	PROPOSED	LOW
274.25'	PROPOSED	PROPOSED AVERAGE GRADE

1 SOUTH ELEVATION - WEST BUILDING
 SCALE - 1" = 60'

EAST ELEVATION

FLOOR LEVEL	TOTAL WALL AREA BETWEEN 0'-0" AND 12'	TRANSPARENCY REQUIRED BETWEEN 0'-0" AND 12'-0"	TRANSPARENCY PROVIDED	TRANSPARENCY REQUIRED BETWEEN 3'-0" AND 8'-0"	TRANSPARENCY PROVIDED BETWEEN 3'-0" AND 8'-0"
FIRST FLOOR	1227 SF (102'-3" X 12'-0")	613.5 SF (50%)	635.4 SF (51.5%)	306.75 SF	308.8 SF
SECOND FLOOR	N/A	N/A	N/A	N/A	N/A



2 EAST ELEVATION - WEST BUILDING
 SCALE - 1" = 60'



JOSEPH
 TROJANSKI
 ARCHITECT
 PC
 DISTINCTIVE
 ARCHITECTURAL
 DESIGN
 WWW.JTA-ARCH.COM

WPP2 MIXED USE PROJECT
 BY SHAL CONSTRUCTION
 1008 INGLESDALE PLACE
 RALEIGH, NC 27614

NO.	DATE	REVISION

SHAL CONSTRUCTION
 SCHEMATIC NOTES
 SHEET 18 OF 18
 SOUTH AND EAST
 EXTERIOR
 ELEVATIONS
 WEST BUILDING

SHEET NUMBER

A2.1

NORTH ELEVATION					
FLOOR LEVEL	TOTAL WALL AREA BETWEEN 0'-0" AND 12'	TRANSPARENCY REQUIRED BETWEEN 0'-0" AND 12'-0"	TRANSPARENCY PROVIDED	TRANSPARENCY REQUIRED BETWEEN 12'-0" AND 8'-0"	TRANSPARENCY PROVIDED BETWEEN 12'-0" AND 8'-0"
FIRST FLOOR	1044 SF (87'-0" X 12'-0")	522 SF (50%)	559.2 SF (53.3%)	261 SF	267.2 SF
SECOND FLOOR	N/A	N/A	N/A	N/A	N/A



1 NORTH ELEVATION - WEST BUILDING
SCALE - 1" = 60'



2 WEST ELEVATION - WEST BUILDING
SCALE - 1" = 60'

AVERAGE POST DEVELOPMENT GRADE CALCULATIONS:

ELEV	EXISTING / PROPOSED	WALL - HIGH / LOW
276.21'	PROPOSED	HIGH
276.21'	PROPOSED	LOW
276.21'	PROPOSED	PROPOSED AVERAGE GRADE



JOSEPH
TROJANSKI
ARCHITECT
PC

DISTINCTIVE
ARCHITECTURAL
DESIGN

WWW.JTA-ARCH.COM

WPP2 MIXED USE PROJECT

BY SHAL CONSTRUCTION
1008 INGLESDIE PLACE
RALEIGH, NC 27614

PROJECT #	DATE	BY

BY SHAL CONSTRUCTION
SCALE: AS SHOWN

PROJECT # 18-001
DATE 10/20/2018
BY SHAL CONSTRUCTION
SCALE: AS SHOWN

WEST BUILDING

SHEET NUMBER

A2.2



NOTE - PER RALEIGH U.D.D. 1.5.9.B.1, THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER A GROUND STORY FACADE IS MEASURED BETWEEN 0 AND 12 FEET ABOVE THE SURFACE OF THE FINISHED GROUND FLOOR FOR ALL ABOVE-GRADE PORTIONS OF THE FACADE. A MINIMUM OF 50% OF THE REQUIRED TRANSPARENCY MUST BE LOCATED BETWEEN 3 AND 8 FEET FROM THE SURFACE OF THE FINISHED GROUND FLOOR.

NOTE - PER RALEIGH U.D.D. 1.5.9.B.2, THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER AN UPPER STORY FACADE IS MEASURED FROM TOP OF THE FINISHED FLOOR TO THE TOP OF THE FINISHED FLOOR ABOVE. WHEN THERE IS NO FLOOR ABOVE, UPPER STORY TRANSPARENCY IS MEASURED FROM THE TOP OF THE FINISHED FLOOR TO THE TOP OF THE WALL PLATE.

AVERAGE POST DEVELOPMENT GRADE CALCULATIONS:

ELEV	EXISTING / PROPOSED	WALL - HIGH / LOW
274.25'	PROPOSED	HIGH
274.25'	PROPOSED	LOW
274.25'	PROPOSED	PROPOSED AVERAGE GRADE

1 SOUTH ELEVATION - EAST BUILDING
SCALE - 1" = 60'

EAST ELEVATION

FLOOR LEVEL	TOTAL WALL AREA BETWEEN 0'-0" AND 12'	TRANSPARENCY REQUIRED BETWEEN 0'-0" AND 12'-0"	TRANSPARENCY PROVIDED	TRANSPARENCY REQUIRED BETWEEN 3'-0" AND 8'-0"	TRANSPARENCY PROVIDED BETWEEN 3'-0" AND 8'-0"
FIRST FLOOR	3227 SF (100'-3" X 12'-0")	613.5 SF (50%)	635.4 SF (51.5%)	306.75 SF	308.8 SF
SECOND FLOOR	N/A	N/A	N/A	N/A	N/A



2 EAST ELEVATION - EAST BUILDING
SCALE - 1" = 60'



JOSEPH
TROJANOWSKI
ARCHITECT
PC
DISTINCTIVE
ARCHITECTURAL
DESIGN
WWW.JTA-ARCH.COM

WPP2 MIXED USE PROJECT
BY SHAL CONSTRUCTION
11008 INGLESDIE PLACE
RALEIGH NC 27614

PROJECT #:

NO.	DATE	REVISION

BY FOR CONSTRUCTION
SCALE AS NOTED
SHEET #:

SOUTH AND EAST
EXTERIOR
ELEVATIONS
EAST BUILDING

SHEET #:

A2.3

NORTH ELEVATION					
FLOOR LEVEL	TOTAL WALL AREA BETWEEN 0'-0" AND 12'	TRANSPARENCY REQUIRED BETWEEN 0'-0" AND 12'-0"	TRANSPARENCY PROVIDED	TRANSPARENCY REQUIRED BETWEEN 12'-0" AND 6'-0"	TRANSPARENCY PROVIDED BETWEEN 12'-0" AND 6'-0"
FIRST FLOOR	1044 SF (87'-0" X 12'-0")	522 SF (50%)	559.2 SF (53.3%)	261 SF	267.2 SF
SECOND FLOOR	N/A	N/A	N/A	N/A	N/A



AVERAGE POST DEVELOPMENT GRADE CALCULATIONS:

ELEV.	EXISTING / PROPOSED	WALL - HIGH / LOW
276.21'	PROPOSED	HIGH
276.21'	PROPOSED	LOW
276.21'	PROPOSED	PROPOSED AVERAGE GRADE

1 NORTH ELEVATION - EAST BUILDING
SCALE - 1" = 60'



2 WEST ELEVATION - EAST BUILDING
SCALE - 1" = 60'



JOSEPH
TROJANSKI
ARCHITECT
PC
DISTINCTIVE
ARCHITECTURAL
DESIGN
WWW.JTA-ARCH.COM

WPP2 MIXED USE PROJECT
BY SHAL CONSTRUCTION
1008 INGLESDALE PLACE
RALEIGH, NC 27614

NO.	DATE	BY	CHKD.
1	10/20/2021	SHAL	SHAL
2	10/20/2021	SHAL	SHAL
3	10/20/2021	SHAL	SHAL
4	10/20/2021	SHAL	SHAL

BY SHAL CONSTRUCTION
SCHAL WPP2
SHEET 11-11
NORTH AND WEST
EXTERIOR
ELEVATIONS
EAST BUILDING

SHEET NUMBER

A2.4