



Administrative Approval Action

Case File / Name: ASR-0080-2021
DSLCL - THE SQUARE @ WAKEFIELD

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the north side of Falls of Neuse Road, west of Forest Pines Drive at 11008 Ingleside Place.

REQUEST: Development of a vacant 2.891acre/ 125,930 sf tract zoned CX-3-PK UWPOD with .019 acres/840 sf of right-of-way dedication leaving a net area of 2.872 acres/125,090 sf. Proposed site plan includes two 3-level/story, mixed-use structures, totaling 54,024 sf (27,012 gross sf for each); the ground floor will include retail/restaurant with residential multi-units apartments above on floors 2 and 3.

BOA-0066-2021: Approved 1/10/22 - Approved with the condition that 20% of the net site area shall be set aside as tree forestation area, inclusive of the existing dedicated tree conservation area.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 8, 2022 by Drye-McGlamery Engineering, PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Applicant copies & transpose the transparency text requirements, in Sec.1.5.9.B.4, onto the elevations plans set sheets in the Site Permit (SPR) plans.
2. All mechanical and HVAC units are clearly delineated on the Site Permit civil plans set, on the elevation sheets, demonstrating compliance with UDO Sec.7.2.5.D.

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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4. existing constructed wetland BM2008 pg 2106 with impervious permitted from this lot as 2.0 acres; show compliance with this

Urban Forestry

5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
2. A fee-in-lieu for 1 ft of sidewalk for 410 if along Ingleside Drive and 285 if along Forest Pines Drive shall be paid to the City of Raleigh (UDO 8.1.10).
3. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

4. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the rights of way. This development proposes 7 street trees along Ingleside Place and 6 street trees along Forest Pines Drive, for a total of 13 street trees.
6. A plat shall be recorded with metes and bounds descriptions of all UWPOD wooded areas (UDO 9.1.9.B.).



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7. A public infrastructure surety for 13 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2). SWMF is existing.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: September 7, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 05/11/2022
Development Services Dir/Designee

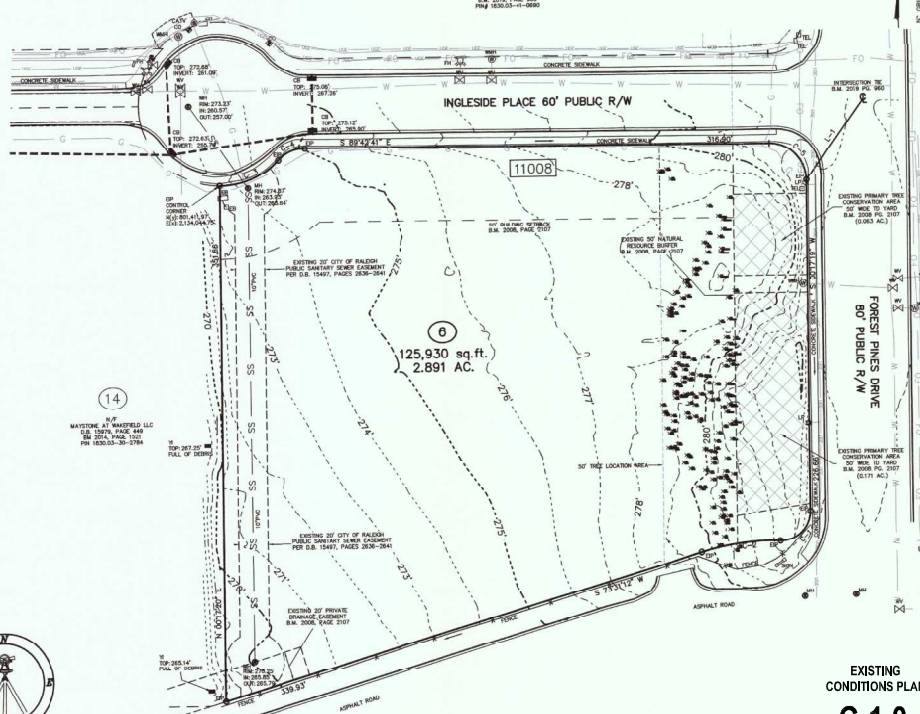
Staff Coordinator: **Jermont Purifoy**

PROFESSIONAL LAND SURVEYOR L-41485

LINE TABLE		
LINE	BEARING	DISTANCE
L-1	S 35°36'18" W	67.65'

CURVE	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING
C-1	32.15'	20.00'	28.80'	S 46°20'11" W
C-2	54.49'	165.50'	54.24'	S 82°57'08" W
C-3	44.70'	65.00'	43.48'	N 67°01'06" E
C-4	20.32'	25.00'	19.77'	N 67°00'12" E

8
N/F
WESTCHESTER COMMERCIAL, LLC
D.S. 17286, PAGE 2007
S.M. 2019, PAGE 960
PIN# 1830.03-11-0690



CMP

CAWTHORNE, MOSS & PANCIERA, P.C. PROFESSIONAL LAND SURVEYORS, C-1525, 333 S. WHITE STREET, P.O. BOX 1253, WAKE FOREST N.C., 27588, (919) 556-3148



VICINITY MAP

LEGEND:

DP - EXISTING IRON PIPE
 DB - EXISTING IRON BAR
 DOP - BENT IRON PIPE
 DOB - BENT IRON BAR
 Y - YARD INLET
 EPK - EXISTING PK NAIL
 EPC - SET PK NAIL
 NIP - NEW IRON PIPE
 R/W - RIGHT OF WAY
 CATV - CABLE TV BOX
 EB - ELECTRIC BOX
 TEL - TELEPHONE PEDESTAL
 PP - POWER POLE
 OHL - OVERHEAD LINE
 LP - LIGHT POLE
 WM - WATER METER
 WY - WATER VALVE
 CO - SEWER CLEAN-OUT
 WMH - WATER MANHOLE
 ##### - ADDRESS

NOTES:

1. THIS PLAT SUBJECT TO ALL EASEMENTS, AGREEMENTS AND RIGHTS OF WAY OF RECORD PRIOR TO THE DATE OF THIS PLAT.
2. UNDERGROUND UTILITIES HAVE BEEN MARKED OR LOCATED FOR THIS PLAT.
3. ALL BEARINGS AND DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS.
4. ALL ELEVATIONS ARE BASED ON NAVD 88.
5. ALL CONTOURS ARE AT 1' INTERVALS.

LINE TYPE LEGEND

PROPERTY LINE - LINE SURVEYED
RIGHT-OF-WAY
ADJOINING LINE - LINE NOT SURVEYED
OVERHEAD LINE
BUILDING SETBACK
EASEMENT
BUFFER
FLOOD HAZARD ZONE
ELECTRIC LINE
GAS LINE
WATER LINE
RIPARIAN ZONE

 = EXISTING PRIMARY TREE CONSERVATION AREA

TOPOGRAPHIC SURVEY FOR

LOT 6 - TRACT 82
AT WAKEFIELD PARK

11008 INGLESIDE PLACE

OWNER: SYNX PROPERTIES, LLC

REF: D.B. 17040, PAGE 1801

REF: B.M. 2008, PAGE 2107

CITY OF RALEIGH

WAKE COUNTY, NORTH CAROLINA



SCALE 1"=40'

EXISTING CONDITIONS PLAN

C-1.0

DECEMBER 18, 2019
REVISED JANUARY 16, 2020
ZONED CX-3-PK/UWPOD
PIN #1830.03-41-2237

SINGLE SIDE 11008.DWG - (C)

UWPOD AREA SUMMARY:

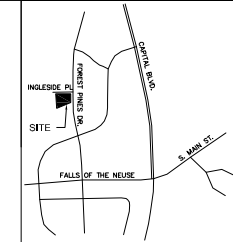
EXISTING LOT AREA: 2.891 ACRES (125,930 SF)
 LOT AREA DEDICATED FOR RIGHT-OF-WAY: 0.019 ACRES (840 SF)
 REMAIN LOT AREA: 2.872 ACRES (125,090 SF)
 UWPOD AREA REQUIRED BY VARIANCE: 0.574 ACRES (25,018 SF)

TRAFFIC CONTROL NOTES

1. REFER TO C-2.1 AND C-2.2 FOR TRAFFIC CONTROL NOTES.

STAKING AND MATERIAL PLAN NOTES

1. SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
2. ALL DIMENSIONS ARE AT 90 DEGREES UNLESS NOTED OTHERWISE (U.N.O.).
3. CONTRACTOR SHALL ESTABLISH POINT OF BEGINNING (P.O.B.) AND STAKE SITE AS INDICATED ON CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. NOTIFY DRYE-McGLAMERY ENGINEERING, PLLC IMMEDIATELY OF ANY DISCREPANCIES.
4. ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING, OR CENTERLINE U.N.O.
5. ALL DETAILS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THESE CONSTRUCTION DOCUMENTS.
6. ALL RADII SHALL BE 4'-0" U.N.O.



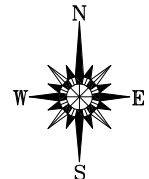
VICINITY MAP N.T.S.

SURVEY DISCLAIMER

SURVEY INFORMATION PREPARED BY L. JORDAN PARKER (P.L.S. L-4685) ON DECEMBER 16, 2019, CANTHORNE, MOSS, & PANCIERA, P.C., 333 S. WHITE STREET, WAKE FOREST, NC 27588

LEGEND

DETAIL	
PROPOSED SIDEWALK	6/C-6.0
PROPOSED CURB AND GUTTER	2/C-6.1
PROPOSED CONCRETE PAVING	6/C-6.1
PROPOSED WHEEL STOP	1/C-6.1
EXISTING TREE CONSERVATION AREA	N/A
PROPOSED AMENITY AREA	N/A
PROPOSED UWPOD FORESTATION AREA	N/A
LOT NUMBER FOR EXISTING DEVELOPMENT PLAT	N/A
HVAC SCREENING FENCE	4/C-6.2



THE SQUARE AT WAKEFIELD
 11008 INGLESIDE PLACE
 WAKE COUNTY
 NORTH CAROLINA
 DRYE-McGLAMERY
 ENGINEERING, PLLC
 333 S. WHITE STREET
 WAKE FOREST, NC 27588

PROJECT NO: 2021082

ISSUED FOR REVIEW

REV	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	04/04/2021
B	2ND ADR SUBMITTAL	04/14/2021
C	3RD ADR SUBMITTAL	04/26/2021

DRAWN BY: DJM

CHECKED BY: HWD

SCALE: 1" = 30'

STAKING AND MATERIALS PLAN

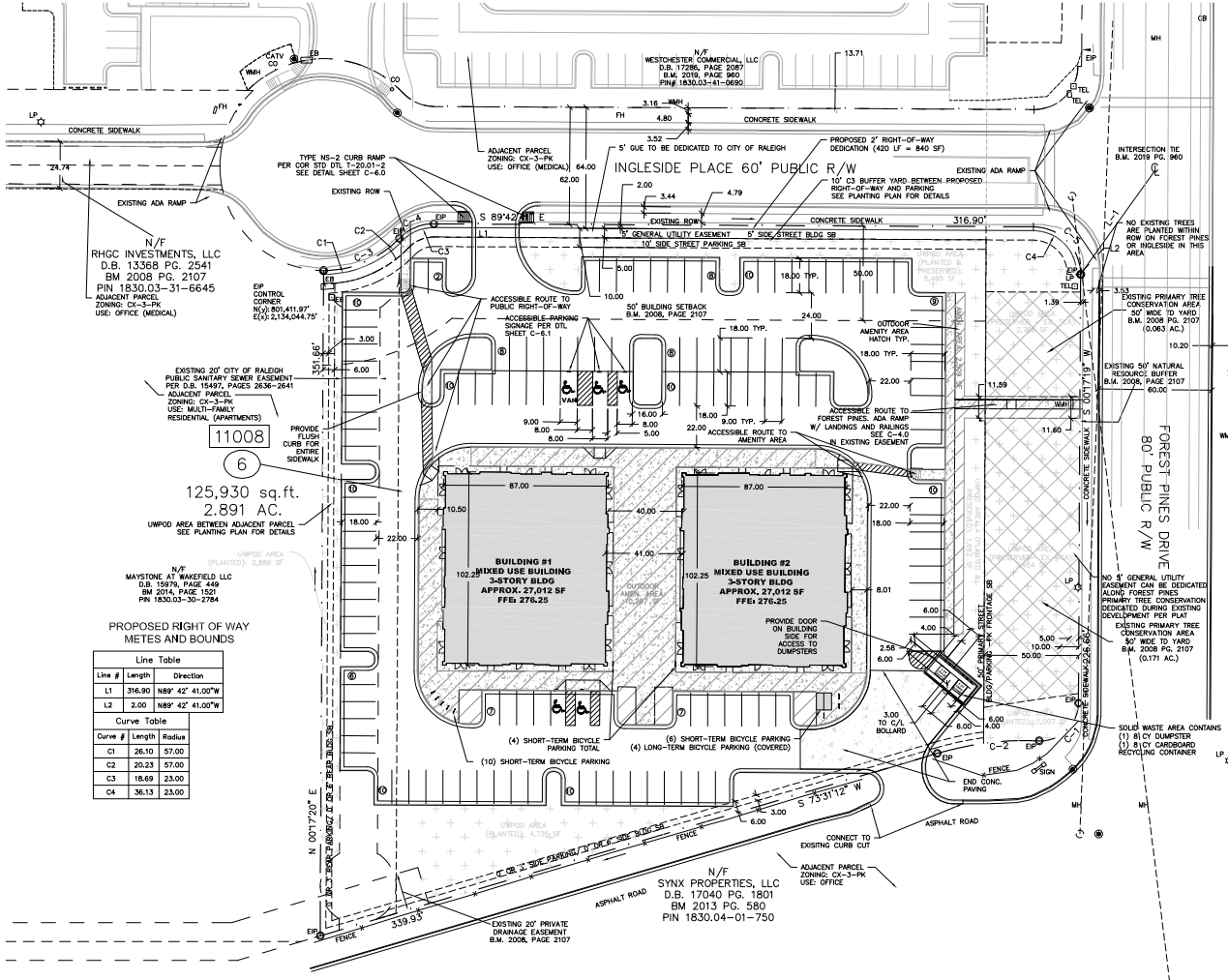
C-2.0



CITY OF RALEIGH - PLANS ALLOWED FOR CONSTRUCTION

Plans for this project have been reviewed for general compliance with applicable codes, this is not a warranty, and the contractor is responsible for obtaining all necessary permits and approvals. The project owner, design consultants, and contractors are not responsible for the accuracy of the information provided. The project owner, design consultants, and contractors are not responsible for the accuracy of the information provided. The project owner, design consultants, and contractors are not responsible for the accuracy of the information provided.

City of Raleigh's Development Approval



PROPOSED RIGHT OF WAY METES AND BOUNDS

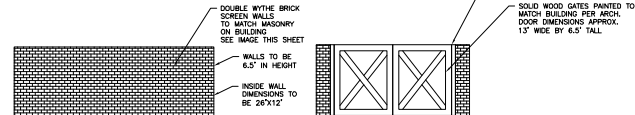
Line #	Length	Direction
L1	316.90	N89° 42' 41.00" W
L2	2.00	N89° 42' 41.00" W

Curve #	Length	Radius
C1	26.10	57.00
C2	20.23	57.00
C3	18.69	23.00
C4	36.13	23.00

NOTE: DUE TO FLAT GRADE. ALL SIDEWALK ROUTES ON SITE WILL BE ADA ACCESSIBLE.

NOTE: REFER TO TRANSPORTATION PLAN C-2.1 FOR EXISTING STREET AND RIGHT-OF-WAY DIMENSIONS

PROPOSED SOLID WASTE SCREEN WALL DETAIL

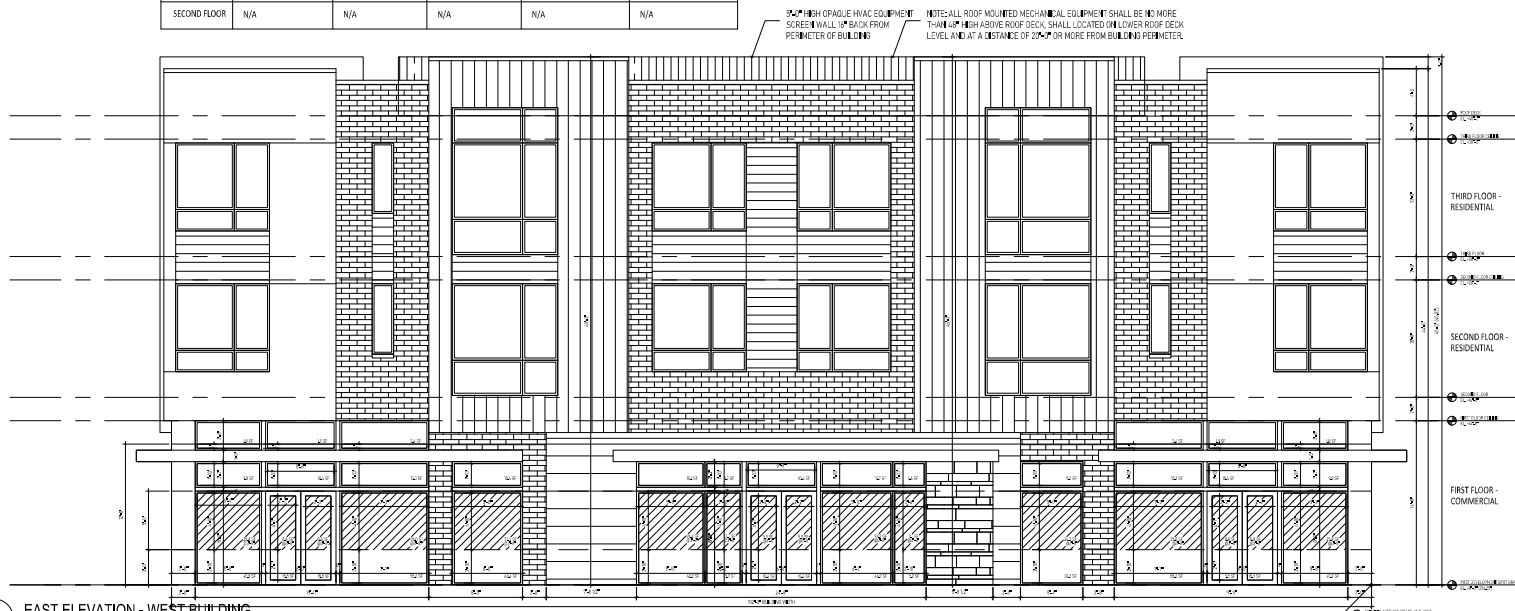




1 SOUTH ELEVATION - WEST BUILDING
SCALE - 1" = 60'

EAST ELEVATION

FLOOR LEVEL	TOTAL WALL AREA BETWEEN 0'-0" AND 12'-0"	TRANSPARENCY REQUIRED BETWEEN 0'-0" AND 12'-0"	TRANSPARENCY PROVIDED	TRANSPARENCY REQUIRED BETWEEN 12'-0" AND 8'-0"	TRANSPARENCY PROVIDED
FIRST FLOOR	1227 SF (102'-3" X 12'-0")	613.5 SF (50%)	635.4 SF (51.5%)	306.75 SF	308.8 SF
SECOND FLOOR	N/A	N/A	N/A	N/A	N/A



2 EAST ELEVATION - WEST BUILDING
SCALE - 1" = 60'

NOTE - PER RALEIGH U.D.O. 1.5.9.8.1,
THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER
A GROUND STORY FACADE IS MEASURED BETWEEN 0 AND 12 FEET ABOVE
THE SURFACE OF THE FINISHED GROUND FLOOR FOR ALL ABOVE-GRADE
PORTIONS OF THE FACADE. A MINIMUM OF 50% OF THE REQUIRED
TRANSPARENCY MUST BE LOCATED BETWEEN 3 AND 8 FEET FROM THE
SURFACE OF THE FINISHED GROUND FLOOR.

NOTE - PER RALEIGH U.D.O. 1.5.9.8.2,
THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER
AN UPPER STORY FACADE IS MEASURED FROM TOP OF THE FINISHED FLOOR
TO THE TOP OF THE FINISHED FLOOR ABOVE. WHEN THERE IS NO FLOOR
ABOVE, UPPER STORY TRANSPARENCY IS MEASURED FROM THE TOP OF THE
FINISHED FLOOR TO THE TOP OF THE WALL PLATE.

AVERAGE POST DEVELOPMENT GRADE CALCULATIONS:

ELEV	EXISTING / PROPOSED	WALL - HIGH / LOW
274.25'	PROPOSED	HIGH
274.25'	PROPOSED	LOW
274.25'	PROPOSED	PROPOSED AVERAGE GRADE



JOSEPH
TROJANOWSKI
ARCHITECT
PC

DISTINCTIVE
ARCHITECTURAL
DESIGN

WWW.JTA-ARCH.COM

WPP2 MIXED USE PROJECT
BY SHAL CONSTRUCTION
1008 INGLESDALE PLACE
RALEIGH NC 27614

PROJECT #	DATE	BY	CHECKED
WPP2	10/1/2023	JT	JS

BY SHAL CONSTRUCTION

MECHANICAL NOTES

SOUTH AND EAST
EXTERIOR
ELEVATIONS

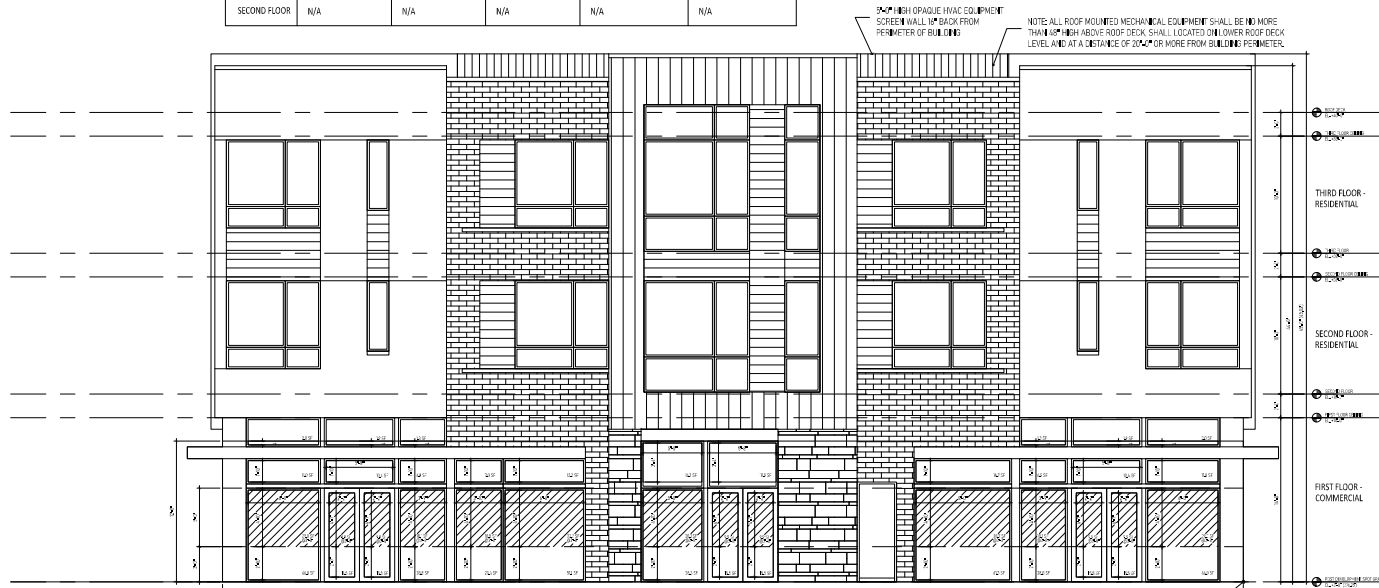
WEST BUILDING

SHEET NUMBER

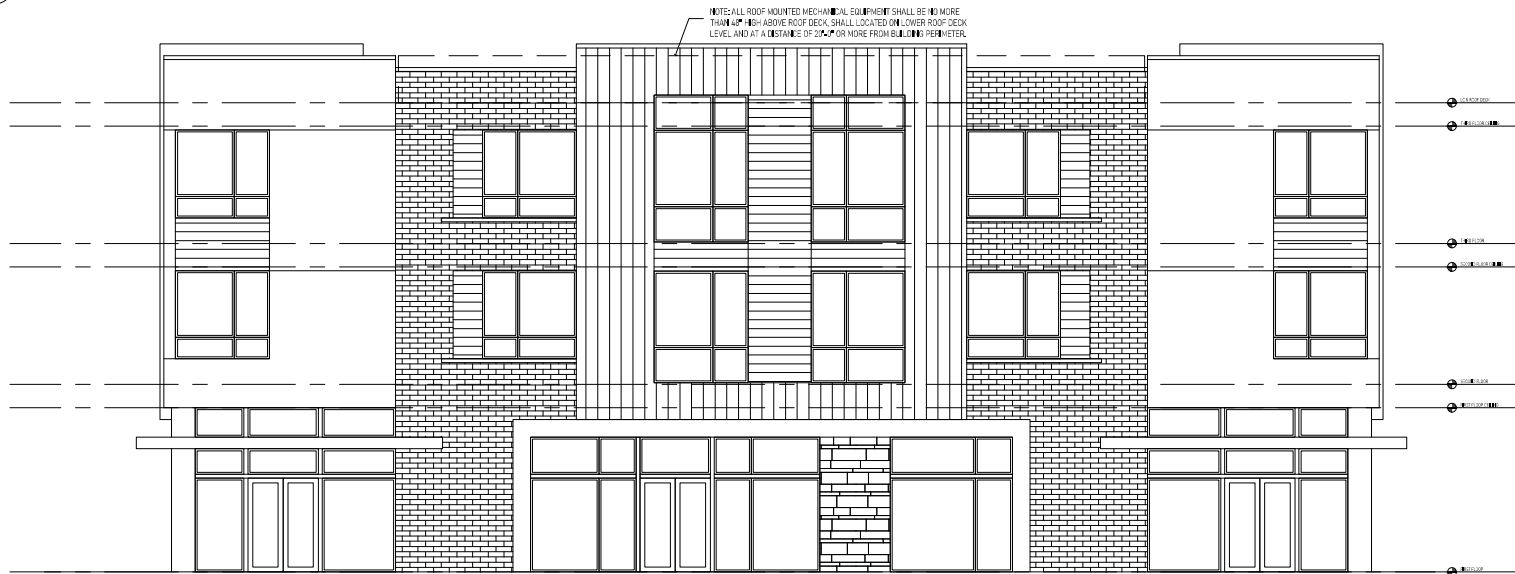
A2.1

NORTH ELEVATION

FLOOR LEVEL	TOTAL WALL AREA BETWEEN 0'-0" AND 12'	TRANSPARENCY REQUIRED BETWEEN 0'-0" AND 12'-0"	TRANSPARENCY PROVIDED	TRANSPARENCY REQUIRED BETWEEN 12'-0" AND 8'-0"	TRANSPARENCY PROVIDED BETWEEN 12'-0" AND 8'-0"
FIRST FLOOR	1044 SF (87'-0" X 12'-0")	522 SF (50%)	559.2 SF (53.3%)	261 SF	267.2 SF
SECOND FLOOR	N/A	N/A	N/A	N/A	N/A



1
A2.2 NORTH ELEVATION - WEST BUILDING
SCALE - 1" = 60'



2
A2.2 WEST ELEVATION - WEST BUILDING
SCALE - 1" = 60'

AVERAGE POST DEVELOPMENT GRADE CALCULATIONS

ELEV	EXISTING / PROPOSED	WALL - HIGH / LOW
276.21'	PROPOSED	HIGH
276.21'	PROPOSED	LOW
276.21'	PROPOSED	PROPOSED AVERAGE GRADE



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WPP2 MIXED USE PROJECT
BY SHAL CONSTRUCTION
11008 INGLESIDE PLACE
RALEIGH NC 27614

PROJECT #	11008
DATE	11/11/2014
BY	SHAL CONSTRUCTION
CHECKED	SHAL CONSTRUCTION
DATE	11/11/2014

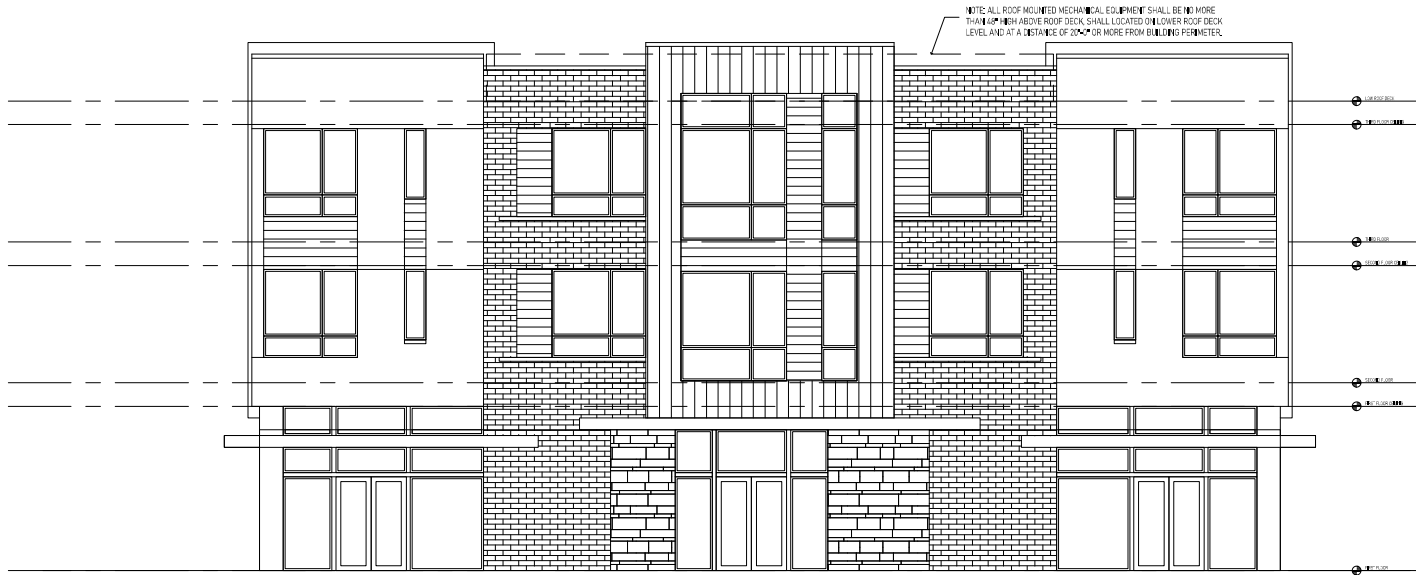
REVISIONS
REVISION NUMBER
REVISION DESCRIPTION

WORK
NORTH AND WEST
EXTERIOR
ELEVATIONS

WEST BUILDING

SHEET NUMBER

A2.2



NOTE - PER RALEIGH U.D.O. 1.5.9.B.1, THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER A GROUND STORY FACADE IS MEASURED BETWEEN 0 AND 12 FEET ABOVE THE SURFACE OF THE FINISHED GROUND FLOOR FOR ALL ABOVE-GRADE PORTIONS OF THE FACADE. A MINIMUM OF 50% OF THE REQUIRED TRANSPARENCY MUST BE LOCATED BETWEEN 3 AND 8 FEET FROM THE SURFACE OF THE FINISHED GROUND FLOOR.

NOTE - PER RALEIGH U.D.O. 1.5.9.B.2, THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER AN UPPER STORY FACADE IS MEASURED FROM TOP OF THE FINISHED FLOOR TO THE TOP OF THE FINISHED FLOOR ABOVE. WHEN THERE IS NO FLOOR ABOVE, UPPER STORY TRANSPARENCY IS MEASURED FROM THE TOP OF THE FINISHED FLOOR TO THE TOP OF THE WALL PLATE.

AVERAGE POST DEVELOPMENT GRADE CALCULATIONS

ELEV	EXISTING / PROPOSED	WALL - HIGH / LOW
276.29'	PROPOSED	HIGH
276.29'	PROPOSED	LOW
276.29'	PROPOSED	PROPOSED AVERAGE GRADE

1 SOUTH ELEVATION - EAST BUILDING
SCALE - 1" = 60'

EAST ELEVATION

FLOOR LEVEL	TOTAL WALL AREA BETWEEN 0'-0" AND 12'	TRANSPARENCY REQUIRED BETWEEN 0'-0" AND 12'-0"	TRANSPARENCY PROVIDED	TRANSPARENCY REQUIRED BETWEEN 3'-0" AND 8'-0"	TRANSPARENCY PROVIDED BETWEEN 3'-0" AND 8'-0"
FIRST FLOOR	1227 SF (102'-3" X 12'-0")	613.5 SF (50%)	635.4 SF (51.5%)	306.75 SF	308.8 SF
SECOND FLOOR	N/A	N/A	N/A	N/A	N/A

NOTE: 48" HIGH OPAQUE HVAC EQUIPMENT SCREEN WALL 12" BACK FROM PERIMETER OF BUILDING

NOTE: ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE NO MORE THAN 48" HIGH ABOVE ROOF DECK, SHALL BE LOCATED ON LOWER ROOF DECK LEVEL AND AT A DISTANCE OF 20' OR MORE FROM BUILDING PERIMETER.



2 EAST ELEVATION - EAST BUILDING
SCALE - 1" = 60'



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WPP2 MIXED USE PROJECT
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11008 INGLESDIE PLACE
RALEIGH NC 27614

PROJECT #	DATE
1	10/1/2023
2	10/1/2023
3	10/1/2023
4	10/1/2023
5	10/1/2023
6	10/1/2023
7	10/1/2023
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95	10/1/2023
96	10/1/2023
97	10/1/2023
98	10/1/2023
99	10/1/2023
100	10/1/2023

NOT FOR CONSTRUCTION
SCHEDULED

SOUTH AND EAST
EXTERIOR
ELEVATIONS

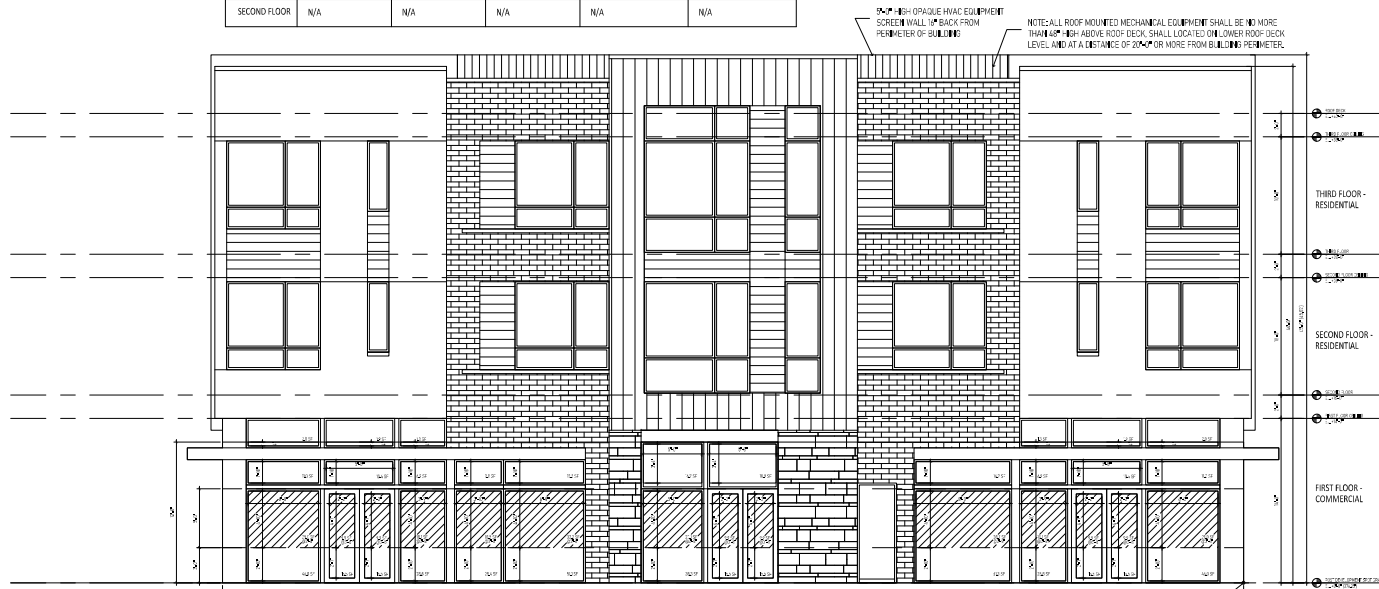
EAST BUILDING

SHEET 0010

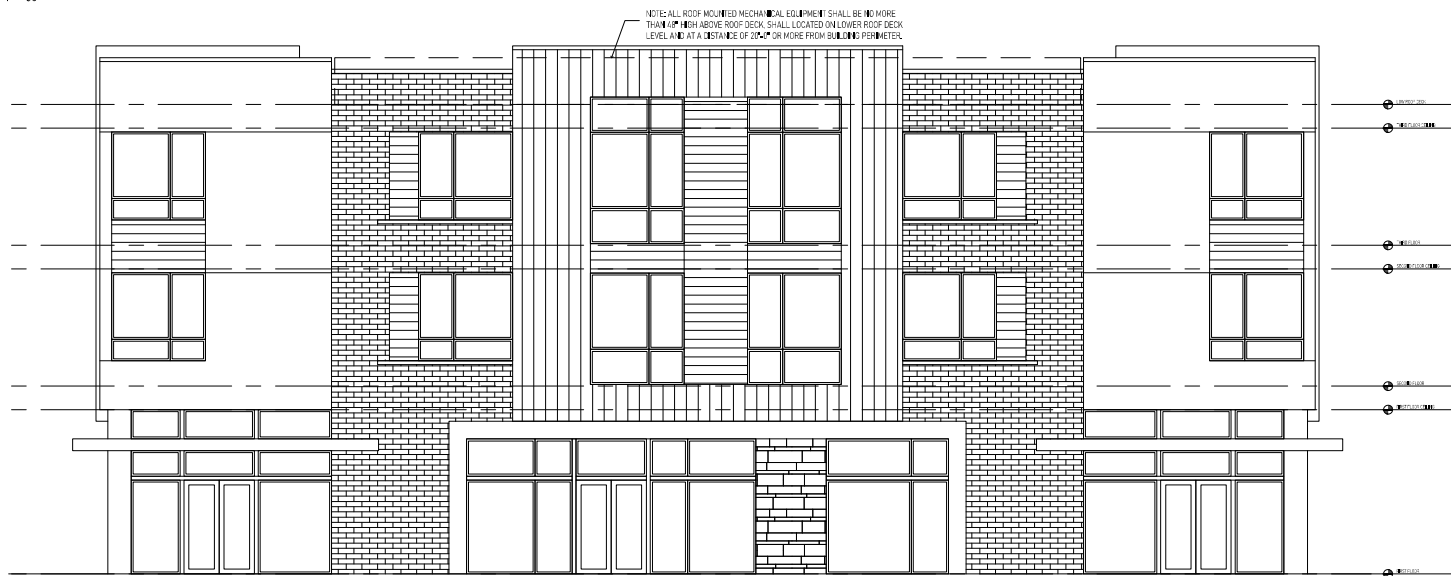
A2.3

NORTH ELEVATION

FLOOR LEVEL	TOTAL WALL AREA BETWEEN 0'-0" AND 12'	TRANSPARENCY REQUIRED BETWEEN 0'-0" AND 12'-0"	TRANSPARENCY PROVIDED	TRANSPARENCY REQUIRED BETWEEN 12'-0" AND 8'-0"	TRANSPARENCY PROVIDED BETWEEN 12'-0" AND 8'-0"
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SECOND FLOOR	N/A	N/A	N/A	N/A	N/A



1
A2.4 NORTH ELEVATION - EAST BUILDING
SCALE - 1" = 60'



2
A2.4 WEST ELEVATION - EAST BUILDING
SCALE - 1" = 60'

AVERAGE POST DEVELOPMENT GRADE CALCULATIONS

ELEV	EXISTING / PROPOSED	WALL - HIGH / LOW
276.27'	PROPOSED	HIGH
276.27'	PROPOSED	LOW
276.27'	PROPOSED	PROPOSED AVERAGE GRADE



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WPP2 MIXED USE PROJECT
BY SHAL CONSTRUCTION
1008 INGLESHIDE PLACE
RALEIGH NC 27614

NO.	DATE	BY	CHKD
1	10/1/2014	JT	JT
2	10/1/2014	JT	JT
3	10/1/2014	JT	JT
4	10/1/2014	JT	JT
5	10/1/2014	JT	JT
6	10/1/2014	JT	JT
7	10/1/2014	JT	JT
8	10/1/2014	JT	JT
9	10/1/2014	JT	JT
10	10/1/2014	JT	JT

REVISIONS
REVISIONS

PROJECT
NORTH AND WEST
EXTERIOR
ELEVATIONS

EAST BUILDING

SHEET NUMBER

A2.4