



Administrative Approval Action

Case File / Name: ASR-0080-2022
DSLCL - SANDERFORD STORAGE

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION:

This 6.94 acre site is located between Sanderford Road and Creech Road across from Mount Calvary Word of Faith Church, north of Tryon Point Drive, south of Fox Hollow Drive at 3081 Sanderford Road. There is a greenway corridor running through middle of the property along the stream and up to the northern property line where the greenway corridor connects to Sanderford Road. The city recently annexed the property into its corporate limits.

REQUEST:

The property, zoned CX-3, is vacant except for a cell tower located near the southeast property line. The plan proposes constructing a 30,782 square foot, 3-story building to be used for self storage along with associated infrastructure, parking and site improvements.

The Raleigh Appearance Commission approved DA-24-2022 providing relief from transparency requirements described in UDO Sections 1.5.9 and 3.2.5.F. The general building type requires a minimum 33% transparency for the ground story, a minimum 20% transparency for upper stories, and a maximum 30 feet blank wall standard. DA-24-2022 allows the following:

For the Southwest Building Facade facing Sanderford Road

1) Providing 9.5% (274 SF) transparency for ground story in the 0 - 12 ft zone in lieu of the minimum 33% (951 SF), and 6% (178 SF) transparency in the 3 - 8 ft zone in lieu of the minimum 16% (475 SF) required on the southwest building facade facing Sanderford Road;

2) Providing 11% (288 SF) of transparency for the second story facade in lieu of the minimum 20% (523 SF);

3) Providing 14% (402 SF) transparency for the third story facade in lieu of the minimum 20% (574 SF) required;

Northeast Building Facade Facing Creech Road

4) Complete relief from transparency requirements.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: SPR-0186-2023: DSLCL - Site Permitting Review/Major [Signature Set]

FINDINGS:

City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 27, 2023 by Swift Partners PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.



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The following items are required prior to approval of Site Permitting Review plans:

General

1. Provide verification that the parcel referenced "N/F Maude B Inscoe DB 892 PG 387" included in this development and shown on the Existing Conditions Plan, sheet C1.00, has been recombined into the main parcel for development and is owned by the developer. Revise the plans to reflect any needed changes.

Stormwater

2. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
6. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).

Urban Forestry

7. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
8. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required
<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.



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The following items must be approved prior to recording the plat:

General

1. The greenway easement as shown on the preliminary plan shall be dedicated prior to, or in conjunction with the recording of a map in any phase affected by the greenway.

Public Utilities

2. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

3. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
5. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).

Urban Forestry

6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 1.66 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
2. A fee-in-lieu for those portions of the multi-use path not fully extended shall be paid to the City of Raleigh (UDO 8.1.10).



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3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. All street lights and street signs required as part of the development approval are installed.
3. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
4. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

5. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant



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construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: July 19, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 07/19/2023
Development Services Dir/Designee
Staff Coordinator: Jessica Gladwin

SANDERFORD STORAGE

3081 SANDERFORD ROAD RALEIGH, NC 27610

CITY OF RALEIGH SUBMITTAL ASR-0080-2022
DESIGN ALTERNATE DA-24-2022 (APPROVED 02/02/2023)

SUBMITTED ON: 06.27.2023

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Place, Suite 400 | Raleigh, NC 27601 | 919-996-2550



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case # _____ Planner (print) _____

Please review UDO Section 10.2.8, as amended by text change case [TC-14-19](#) and [TC-11-21](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Public and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan ☐ Tier Three Site Plan ☒

Building Type	General	Site Transaction History
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case # _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case # _____
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness # _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment # _____
		Zoning Case # _____
		Administrative Alternate # _____ (DA-24-2022)

GENERAL INFORMATION

Development name: SANDERFORD STORAGE

Inside City limits? ☐ Yes ☒ No

Property address(es): **3081 SANDERFORD ROAD RALEIGH, NC 27610**

Site P.I.N. (s): 1712832654

Please describe the scope of work. Include any additions, expansions, and change of use.
THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A 3 STORY SELF STORAGE FACILITY WITH ASSOCIATED INFRASTRUCTURE INCLUDING PUBLIC WATER CONNECTION, PRIVATE SANITARY SEWER FORCE MAIN, AND STORMWATER CONTROL MEASURES AND CONVEYANCE SYSTEM

Current Property Owner/Developer Contact Name: ROBERT SHANE

NOTE: please attach purchase agreement when submitting this form.

Company: 919 STORAGE SANDERFORD LLC Title: ENTITLEMENTS DIRECTOR

Address: 2310 S MAIN BLVD SUITE 238, DUMHAM NC 27705

Phone #: 919.308.2123 Email: ROBERT@SANDERDEV.COM

Applicant Name: LUKE PERKINS

Company: SWIFT PARTNERS PLLC Address: 414 FAYETTEVILLE ST, RALEIGH, NC 27601

Phone #: 828-755-1862 Email: LUKE.PERKINS@SWIFT-PARTNERS.COM

Page 1 of 2

revision 06.02.22

raleighnc.gov

SHEET INDEX	
Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.05	GENERAL NOTES
C1.00	EXISTING CONDITIONS PLAN
C2.00	CONSTRUCTION PLAN
C3.00	SITE PLAN
C5.00	GRADING AND DRAINAGE PLAN
C6.10	SCM DETAILS
C8.00	UTILITY PLAN
D0.00	SITE DETAILS
L1.00	PLANTING PLAN
L2.00	PLANTING DETAILS
A-1	ARCHITECTURAL ELEVATIONS
A-2	ARCHITECTURAL ELEVATIONS
ASBL	FRONT ELEVATION SIGHT LINES

RIGHT-OF-WAY OBSTRUCTION NOTES:

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR HIGHWAY, THE CONTRACTOR SHALL APPLY FOR A PERMIT WITH RESPECT TO ANY SERVICES PLEASE DIRECT ANY QUESTIONS TO HIGHWAYSERVICES@RALEIGHNC.GOV.
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NEAREST STREETS WITH PAVED SURF ARE AFFECTED.
- A PERMIT REQUEST WITH A TOPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE OBTAINED.
- ALL TOPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS AND INCLUDE BUT NOT BE LIMITED TO:
 - 5.1. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES;
 - 5.2. PUBLIC STREET LIGHTING REQUIREMENTS (PROHIBIT);
 - 5.3. AMERICAN DISABILITY ACT (ADA) REQUIREMENTS
 - 5.4. PUBLIC STREET DESIGN MANUAL (VIRGINIA).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE USUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROVIDING THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (PROHIBIT)).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF HIGHWAYS, TOWNSHIP AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOGGING AND SURVEY INFORMATION OBTAINED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE PROVIDER NOTICE OF EXCAVATION TO NOTIFICATION CENTERS AND FACILITY CONTACT (PER NC STATUTE NO. 136-100). IN BUSINESS DAYS AND IN WRITING, TO ADVISE THE CITY OF RALEIGH OF ANY EXCAVATION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR CONSTRUCTION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
- ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROPRIATE LOCATION BASED ON SURVEY INFORMATION OBTAINED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THE CONTRACT.
- THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALED, VALVE AND REMOVABLE CHANGES, AND RECORDS OF LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
- IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO THE CONTRACT DOCUMENTS BEING MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE CONSTRUCTION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND DEBRIS CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- SOILS AND TERRAIN OR FOUNDATION MUST BE CAPABLE OF SUPPORTING SPECIFIC EXISTING APPARATUS (80,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.

CX-ZONING LIMITED USE STANDARDS

- SELF-SERVICE STORAGE USE CATEGORY: FACILITIES PROVIDING SEPARATE STORAGE AREAS FOR PERSONAL OR BUSINESS USE DESIGNED TO ALLOW PRIVATE ACCESS BY THE TENANT, OR STORING OR REMOVING PERSONAL PROPERTY, SELF-SERVICE STORAGE INCLUDES THE FOLLOWING USES:
 1. WATERHOUSE, SELF-SERVICE;
 2. FULLY ENCLOSED INDOOR MULTISTORY STORAGE;
 3. SEMI-ENCLOSED.**PRINCIPLE USE SHALL BE FULLY ENCLOSED INDOOR MULTISTORY STORAGE. (C3.00)**
- USE STANDARDS:
 - A. SELF-SERVICE FACILITY IN AN Cx DISTRICT IS SUBJECT TO THE FOLLOWING:
 - 1. THE BUILDING SHALL BE IN AN Cx DISTRICT.
 - 2. THE SITE IS MORE THAN 2 ACRES. (C3.00)
 - 3. ALL STORAGE SHALL BE CONTAINED IN A FULLY ENCLOSED BUILDING. HOWEVER, THE STORAGE OF BOATS, RV'S OR OTHER SIMILAR VEHICLES MAY BE PERMITTED IN ACCORDANCE WITH ARTICLE 7.5 OUTDOOR DISPLAY AND STORAGE.
 - 4. ALL STORAGE UNITS MUST BE CONTAINED IN A SINGLE BUILDING AND ACCESSIBLE INTERNALLY FOR PROPERTIES WHERE AN URBAN FOOTCANDLE IS APPLIED. STORAGE UNITS ARE NOT PERMITTED ON THE GROUND FLOOR. THE OUTDOOR STORAGE OF BOATS, RV'S OR SIMILAR VEHICLES IS NOT PERMITTED.
 - 5. STORAGE UNITS ARE ACCESSIBLE INTERNALLY AND ARE CONTAINED IN THE SAME BUILDING. (C3.00)
 - 6. A TYPE A1 OR A2 TRANSITIONAL PROTECTIVE YARD (SEE SEC. 7.2.A.2.A) MUST BE ESTABLISHED ALONG ALL SHARED PROPERTY LINES. (C3.00)
 - 7. INDUSTRIAL USE, WASTE-RELATED SERVICES OR RESIDENTIAL USE.
 - 8. TYPE A1 OR A2 TRANSITIONAL PROTECTIVE YARD HAS BEEN PROPOSED ON THE NORTH SIDE OF THE SITE PER ORD AND SECTION 7.2.A.2.A.2 AND TYPE A TRANSITIONAL PROTECTIVE YARD HAS BEEN PROPOSED ON THE EAST SIDE OF THE SITE TO THE CELL TOWER ON THE EAST SIDE OF THE PROPERTY. (C3.00)
 - 9. A TYPE B1 OR B2 TRANSITIONAL PROTECTIVE YARD (SEE SEC. 7.2.A.2.A.2) MUST BE ESTABLISHED ALONG ALL PROPERTY LINES EXCEPT A RESIDENTIAL USE.
 - 10. TYPE B TRANSITIONAL PROTECTIVE YARD HAS BEEN PROPOSED. GREENWAY EASEMENT HAS BEEN PROPOSED ON NORTH SIDE OF THE SITE. (C3.00)
 - 11. A TYPE C1 OR C2 STREET PROTECTIVE YARD (SEE SEC. 7.2.A.2.A.2) MUST BE ESTABLISHED ALONG ALL PROPERTY LINES EXCEPT A PUBLIC USE.
 - 12. TYPE C3 STREET PROTECTIVE YARD HAS BEEN ESTABLISHED ALONG THE PROPERTY LINE ADJACENT TO THE PUBLIC RIGHT-OF-WAY. (C3.00)

SOLID WASTE:

SOLID WASTE TO BE HANDLED BY PRIVATE HAULER.

TRIP GENERATION ESTIMATE

LAND USE (SITE CODE)	INTENSITY	DAILY TRAFFIC	AM		PM	
			ENTER	EXIT	ENTER	EXIT
WAREHOUSE (15)	102,816	160	7	5	9	10



VICINITY MAP 1" = 200'

SITE DATA

PROJECT NAME:	SANDERFORD STORAGE
SITE ADDRESS:	3081 SANDERFORD ROAD RALEIGH, NC 27610
COUNTY:	WAKE
PARCEL P.I.N. #:	1712832654
PARCEL OWNER:	JANET P GABLE
PARCEL AREA:	6.94 AC / 302,306 SF
TOTAL SITE GROSS ACREAGE:	6.94
NET ACREAGE:	6.93 AC / 301,778 SF
CURRENT ZONING:	Cx3
PROPOSED ZONING:	Cx3
EXISTING LAND USE:	TELECOMMUNICATION TOWER
PROPOSED LAND USE:	SELF STORAGE / TELECOMMUNICATION TOWER
FLOOD PLAIN DATA:	NA
RIVER BASIN:	NEUSE
DEVELOPMENT TYPE:	GENERAL
MAX BUILDING HEIGHT:	3 STORY
PROPOSED BUILDING HEIGHT:	3 STORY
PROPOSED NUMBER OF LOTS:	1
TREE CONSERVATION AREA:	1.21 AC / 52,707 SF
TOTAL LIMITS OF DISTURBANCE:	3.36 AC / 146,632 SF
EXISTING IMPERVIOUS AREA:	0.26 AC / 11,264 SF
PROPOSED IMPERVIOUS AREA:	1.21 AC / 52,707 SF
AMENITY AREA REQUIRED:	0.89 AC / 38,291 SF
AMENITY AREA PROVIDED:	0.72 AC / 31,229 SF

PARKING DATA:

REQUIRED PARKING:	0 SPACES
PROPOSED PARKING:	0 SPACES
TOTAL PARKING:	0 SPACES

EXEMPTIONS

- BLOCK PERIMETER EXEMPTION: UDO SECTION 8.3.2.A.1.b.iv**
The new street or street slab right-of-way, including utility placement easement, would consume more than 15 percent of either the area of the impacted adjacent property or the property to be developed.
- CROSS ACCESS EXEMPTION: UDO SECTION 8.3.5.D.5.b.ii**
The creation (on the property to be developed) or continuation (on an adjacent property) of any cross access driveway or driveway stub would be obstructed by steep slopes in excess of 25% within 10 feet of the property line.



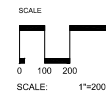
SWIFT PARTNERS PLLC
414 FAYETTEVILLE ST
RALEIGH NC 27601
LUKE PERKINS
828-755-1862
LUKE.PERKINS@SWIFT-PARTNERS.COM

SWIFT PARTNERS

FIRM LICENSE: P-2187



No.	Date	Description
1	06/27/2023	DESIGN ALTERNATE DA-24-2022
2	06/27/2023	DESIGN ALTERNATE DA-24-2022
3	06/27/2023	DESIGN ALTERNATE DA-24-2022
4	06/27/2023	DESIGN ALTERNATE DA-24-2022
5	06/27/2023	DESIGN ALTERNATE DA-24-2022
6	06/27/2023	DESIGN ALTERNATE DA-24-2022
7	06/27/2023	DESIGN ALTERNATE DA-24-2022
8	06/27/2023	DESIGN ALTERNATE DA-24-2022
9	06/27/2023	DESIGN ALTERNATE DA-24-2022
10	06/27/2023	DESIGN ALTERNATE DA-24-2022



DATE: 06/27/2023
DRAWN BY: LUK
PROJECT: SANDERFORD STORAGE
PROJECT #: C028228

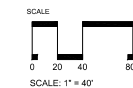
SHEET NO.

C0.00

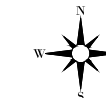
COVER SHEET

No.	Date	Description
1	10/20/2020	ISSUED FOR PERMIT
2	10/20/2020	REVISIONS
3	10/20/2020	REVISIONS
4	10/20/2020	REVISIONS
5	10/20/2020	REVISIONS
6	10/20/2020	REVISIONS
7	10/20/2020	REVISIONS
8	10/20/2020	REVISIONS
9	10/20/2020	REVISIONS
10	10/20/2020	REVISIONS
11	10/20/2020	REVISIONS
12	10/20/2020	REVISIONS
13	10/20/2020	REVISIONS
14	10/20/2020	REVISIONS
15	10/20/2020	REVISIONS
16	10/20/2020	REVISIONS
17	10/20/2020	REVISIONS
18	10/20/2020	REVISIONS
19	10/20/2020	REVISIONS

VICINITY



ARROW



DATE: 10/27/2020
DRAWN BY: LAF
CHECKED BY: JAC
PROJECT # C02020

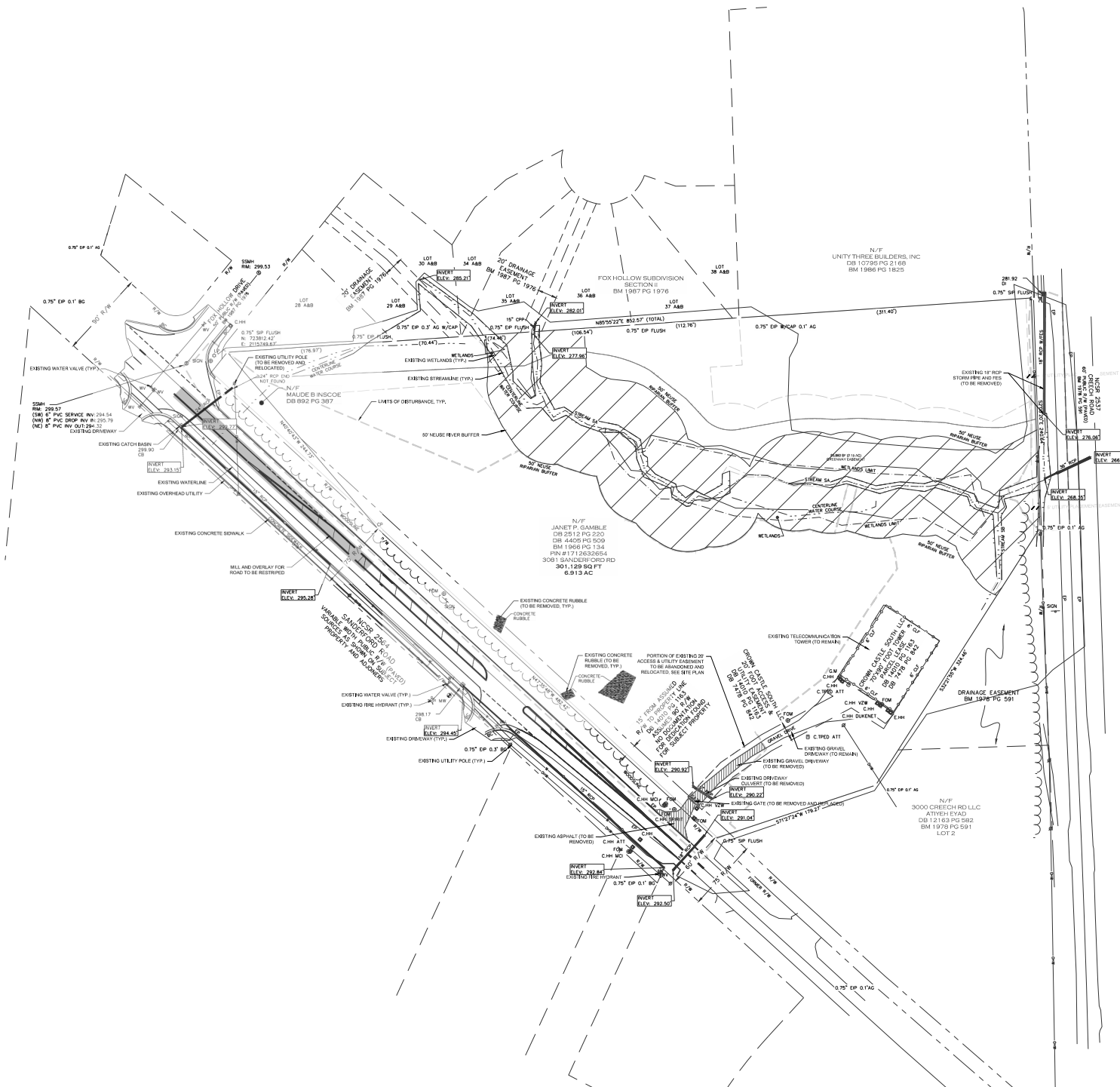
SHEET NO.
C2.00

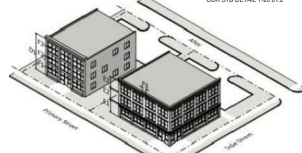
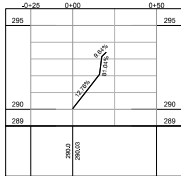
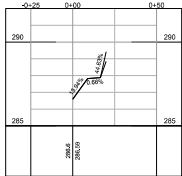
SHEET TITLE
DEMOLITION PLAN

DEMOLITION LEGEND:

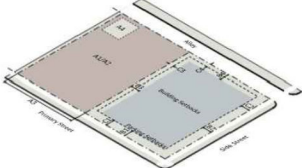
KEY	SYMBOL	DESCRIPTION
1	[Solid Black]	REMOVE BUILDING
2	[Diagonal Hatching]	REMOVE ASPHALT
3	[Dotted Pattern]	REMOVE GRAVEL
4	[Cross-hatching]	REMOVE BRICK WALKWAY
5	[Stippled Pattern]	REMOVE CONCRETE
6	[Horizontal Lines]	REMOVE FRPAP
7	[Vertical Lines]	REMOVE VEGETATION
8	[Dashed Line]	REMOVE WATER LINE
9	[Dashed Line]	REMOVE SANITARY SEWER LINE
10	[Dashed Line]	REMOVE STORM DRAINAGE
11	[Dashed Line]	REMOVE FENCE
12	[Dashed Line]	TREE PROTECTION FENCE
13	[Dashed Line]	LIMITS OF DISTURBANCE
14	[Dashed Line]	COORDINATE LIGHT POLE REMOVAL
15	[Dashed Line]	REMOVE TREE
16	[Dashed Line]	REMOVE TREELINE
17	[Dashed Line]	REMOVE WHEEL STOP
18	[Dashed Line]	REMOVE CURB & GUTTER
19	[Dashed Line]	REMOVE SIGN

NOTES:
1. SEE SHEET C01.0 FOR GENERAL AND DEMOLITION NOTES.



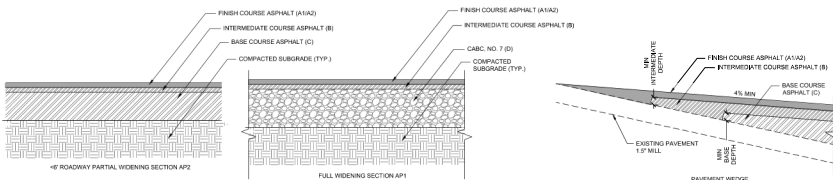


Sec. 3.2.5. General Building



		OP, CR NX, CR	DX	IX
A. Lot Dimensions				
A1	Area (min)	n/a	n/a	n/a
A2	Area (max)	10 acres (N/A)	n/a	n/a
A3	Width (min)	n/a	n/a	n/a
A4	Outdoor amenity area (min)	100%	100%	100%
B. Building/Structure Setbacks				
B1	From primary street (min)	5'	3'	3'
B2	From side street (min)	5'	3'	3'
B3	From side lot line (min)	0' or 5'	0' or 5'	0' or 5'
B4	From rear lot line (min)	5'	5'	5'
B5	From alley (min)	5'	5'	5'
C. Parking Setbacks				
C1	From primary street (min)	10'	10'	10'
C2	From side street (min)	10'	10'	10'
C3	From side lot line (min)	0' or 3'	0' or 3'	0' or 3'
C4	From rear lot line (min)	5'	5'	5'
C5	From alley (min)	5'	5'	5'

Type	Description	A1 FINAL LIFT (59.5C)	A2 (59.5C)	B (119.5C)	C (B25.0C)	D (ABC)
AP1	ROADWAY FULL WIDENING SECTION	1.5"	1.5"	4"		10"
AP2	<6' ROADWAY PARTIAL WIDENING SECTION	1.5"	1.5"	4"	5.5"	

[illegible]

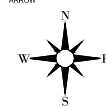
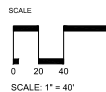
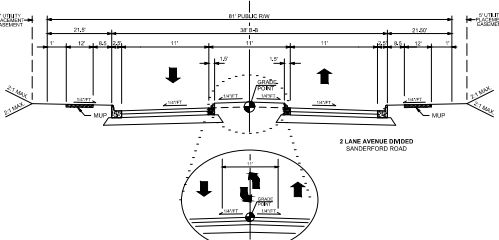
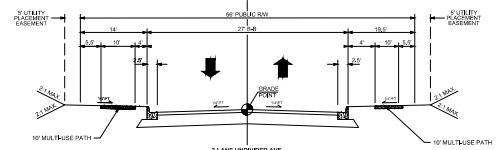
	PROPOSED CONCRETE SIDEWALK
	PROPOSED BRICK SIDEWALK
	PROPOSED HEAVY DUTY PAVEMENT
	PROPOSED CONCRETE PAVERS
	PROPOSED GRAVEL
	PROPOSED CURB & GUTTER
	PROPOSED STOP BAR
	PROPOSED CROSSWALK
	PROPOSED 6' WIDE STANDARD CROSSWALK
	PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK
	PROPOSED SIGN
	PROPOSED ADA APPROVED PARKING SPACE
	PROPOSED KEYSTONE WALL
	PROPOSED WHEEL STOP
	PROPOSED GRAVEL TRAIL
	PROPOSED ASPHALT TRAIL
	PROPOSED TREELINE
	PROPOSED FENCE
	PROPOSED VEHICLE GATE (X' WIDE)
	PROPOSED LIGHT
	PROPOSED ICE RACK
	PROPOSED BENCH
	PROPOSED ROLL-END
	PROPOSED PEDESTRIAN STEEL PLATE
	LIMITS OF DISTURBANCE
	PROPOSED GREENWAY EASEMENT AREA

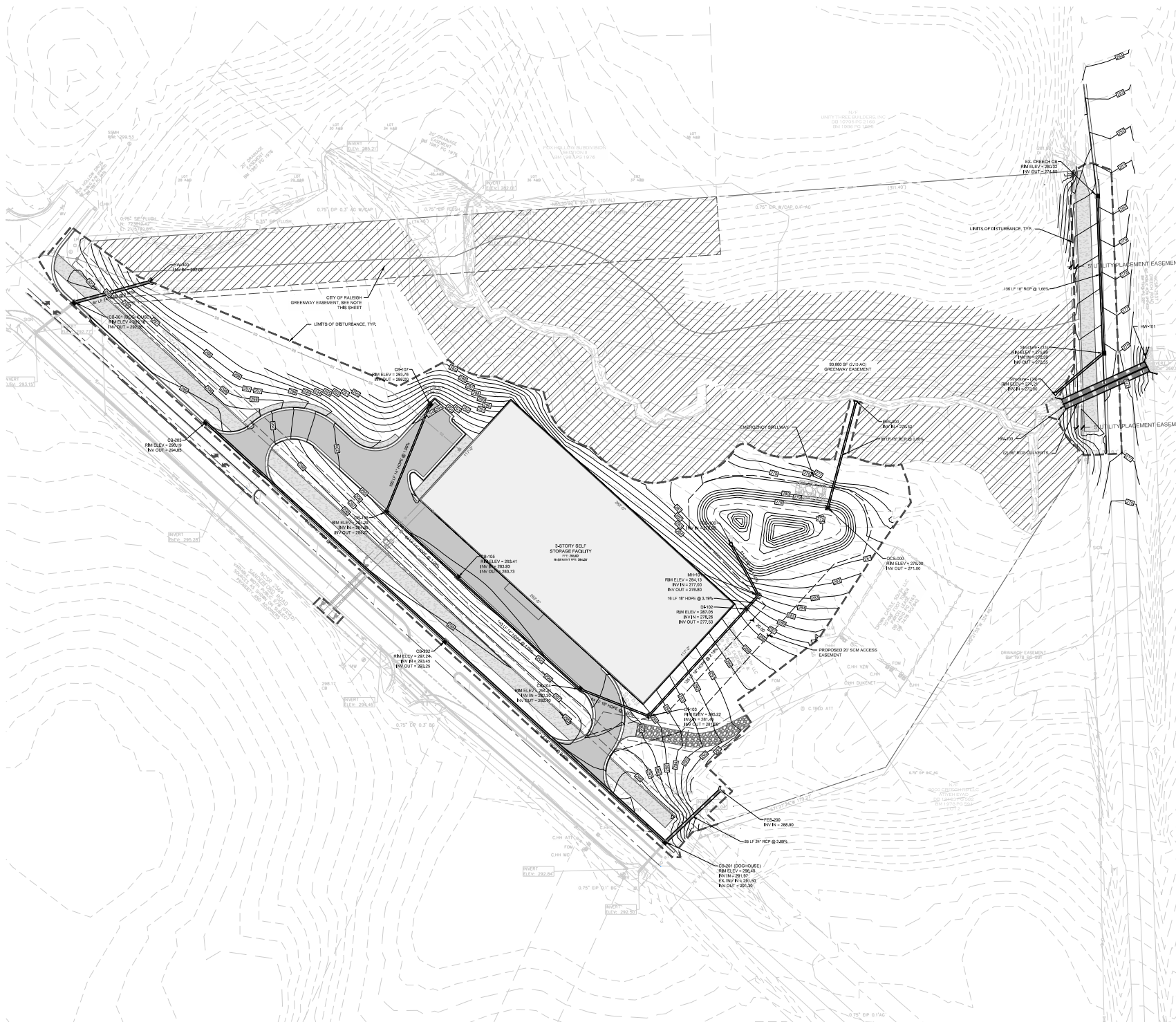
1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.
2. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
















CITY ADDRESS	3081 SANDFORD ROAD RALEIGH, NC 27610
COUNTY	WARR
PARCEL FID	171020054
PARCEL OWNER	JANET P GUMBLE
PARCEL AREA	0.83 AC / 302.00 SF
TOTAL SITE GROSS ACRES	0.83
NET ACRES	0.83 AC / 301.778 SF
CURRENT ZONING	CX-O
PROPOSED ZONING	CX-O
EXISTING LAND USE	TELECOMMUNICATION TOWER
PROPOSED LAND USE	SELF STORAGE / TELECOMMUNICATION TOWER
EXISTING PLANNED USE	HA
PERMIT BASIS	NEUSE
DEVELOPMENT TYPE	GENERAL
MAX BUILDING HEIGHT	3 STORIES
PROPOSED BUILDING HEIGHT	3 STORIES
PROPOSED NUMBER OF LOTS	1
USE CONSERVATION AREA	1.02 AC / 52,707 SF
TOTAL LIMITS OF DISTURBANCE	3.86 AC / 168,532 SF
EXISTING IMPROVEMENTS	0.82 AC / 11,204 SF
PROPOSED IMPROVEMENTS	1.01 AC / 13,981 SF
AMENITY AREA PROVIDED	0.86 AC / 30,231 SF
AMENITY AREA REQUIRED	0.72 AC / 31,239 SF

REQUIRED PARKING:
PROPOSED PARKING:
TOTAL PARKING:

AMENITY AREA PROVIDED:
AMENITY AREA #1 (22,334 SF) + AMENITY AREA #2 (8,905 SF) = 31,239 SF





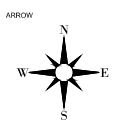
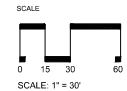
GRADING LEGEND:	
SYMBOL	DESCRIPTION
	PROPOSED GREENWAY EASEMENT AREA
	LIMITS OF DISTURBANCE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED STORM DRAINAGE
	PROPOSED JUNCTION BOX
	PROPOSED CATCH BASIN
	PROPOSED AREA DRAIN
	SLOPE INDICATOR
	FLOW DIRECTION
	PROPOSED ELEVATION
	TOP/BOTTOM OF CURB
	TOP/BOTTOM OF WALL

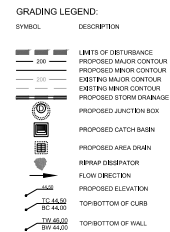
- NOTES:
1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.
 2. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

- ### ADA NOTES
1. PROPOSED ADA PARKING AND STALL STRIPING SHALL HAVE SLOPES NO STEEPER THAN 1:48 (2%).
 2. PROPOSED ACCESSIBLE ROUTE TO RIGHT-OF-WAY AND PROPOSED SIDEWALKS SHALL HAVE A RUNNING SLOPE NO STEEPER THAN 1:20 (5%) AND CROSS SLOPES NO STEEPER THAN 1:48 (2%).
 3. RAMPS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSC SECTION 1010.
 4. HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF 2012 NCSC SECTION 1012.

AVERAGE GRADE	
HIGHEST	295
LOWEST	295
AVERAGE	295

No.	Date	Description
1.	11/17/2022	ASR COMMENTS 1ST ROUND
2.	01/23/2023	ASR COMMENTS 2ND ROUND
3.	05/22/2023	ASR COMMENTS 3RD ROUND
4.	06/27/2023	ASR COMMENTS 4TH ROUND



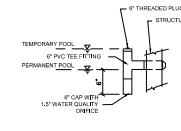


GENERAL NOTES:

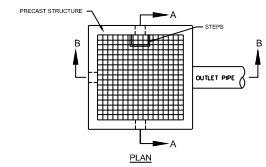
1. PRECAST STRUCTURES SHALL CONFORM TO LATEST ASTM C913 SPEC FOR "REINFORCED CONCRETE WATER AND WASTE WATER STRUCTURES".
2. SHOP DRAWINGS MUST BE SUBMITTED AND APPROVED BY THE ENGINEER BEFORE CONSTRUCTION.
3. GEOTECHNICAL ENGINEER SHALL MONITOR DAM AND OUTLET STRUCTURE INSTALLATION. ALL FILL AREAS SHALL BE COMPACTED TO 95% OF THE MATERIALS MAXIMUM DRY CWT, UNLESS OTHERWISE INDICATED BY GEOTECHNICAL ENGINEER.
4. DRAINAGE AREA MUST BE STABILIZED PRIOR TO INSTALLATION PERMANENT STORMWATER CONTROL MEASURE.
5. PRIOR TO FINAL CERTIFICATE OF OCCUPANCY, SURVEYOR SHALL SUBMIT DRAWINGS OF WATER QUALITY DAMEN AND OUTLET STRUCTURE SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL AND WET POND TO PASS INSPECTION.

NOTES:

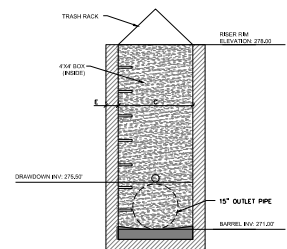
1. SEE SHEET 02.10 FOR GENERAL SITE, GRADING AND PLANTING NOTES.



WATER QUALITY ORIFICE DETAIL



SECTION A-A



SECTION A-A

DIMENSION CHART

DESCRIPTION	DIMENSION
Inside Dimension of Outlet Structure (ft) (Square Box)	4'x4'
Width of Outlet Structure Walls (in)	6.00
Outlet Pipe Diameter (in)	15.00
Emergency Weir Width (ft)	20.00
Anti-seep Collar Length and Width (ft)	7.00
Clearance between Outlet Structure and Anti-seep Collar (ft)	10.00
Additional Anti-seep Collar Spacing Downstream (O.C.) (ft)	20.00

**SWIFT
PARTNERS**

FIRM LICENSE: P-2187



FIRM LICENSE: P-2187

[illegible]

VICINITY



SCALE



SCALE: 1" = 10'

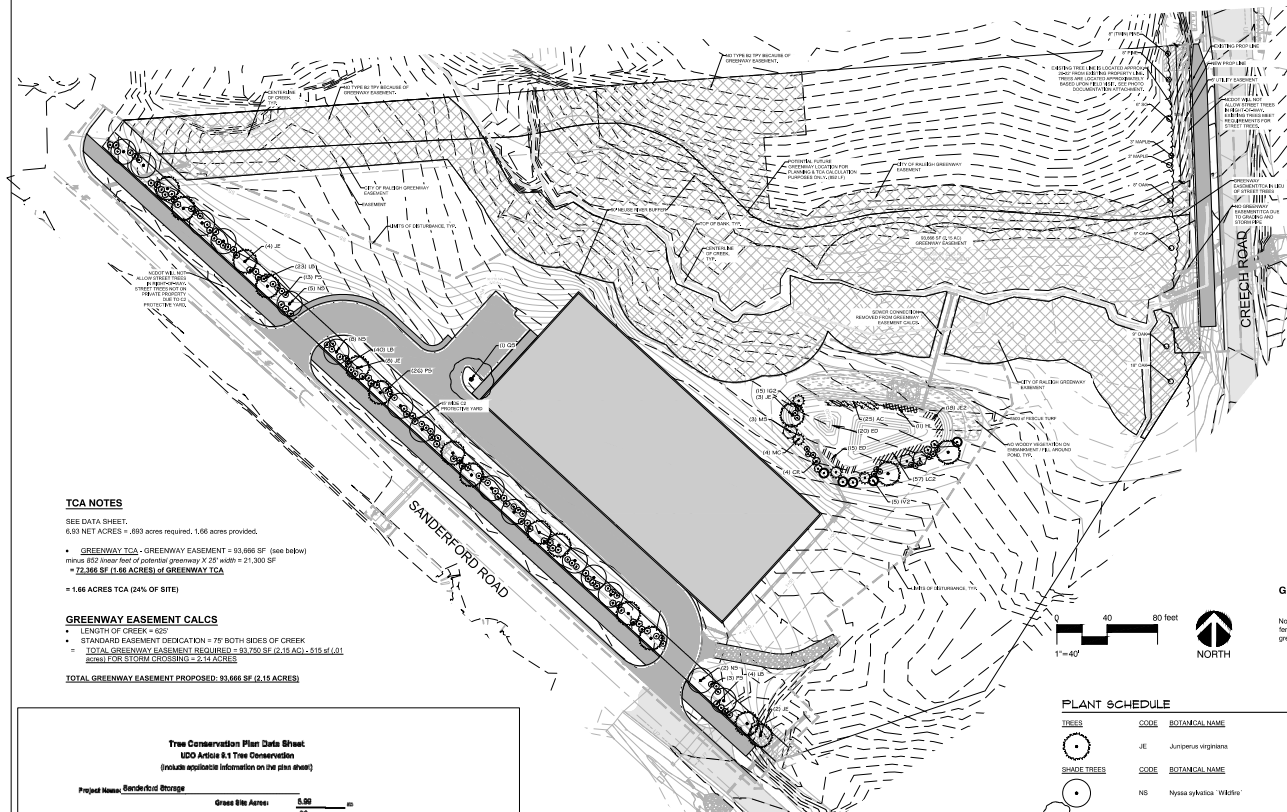


DATE: 06.27.2023
CHECKED BY: LAP
DRAWN BY: LAP
PROJECT: SANDERFORD STORAGE
PROJECT #: C202225

SHEET NO.

C5.10

C5.10



TCA NOTES

- SEE DATA SHEET:
6.93 NET ACRES ± .693 acres required, 1.66 acres provided.
- GREENWAY TCA - GREENWAY EASEMENT = 93,666 SF (see below)
minus 852 linear feet of potential greenway X 25' width = 21,300 SF
= 72,364 SF (1.66 ACRES) AT GREENWAY TCA
- = 1.66 ACRES TCA (24% OF SITE)

GREENWAY EASEMENT CALCS

- LENGTH OF GREEN = 425'
 - STANDARD EASEMENT DEDICATION = 75' BOTH SIDES OF CREEK
 - TOTAL GREENWAY EASEMENT REQUIRED = 93,750 SF (2.15 AC) ± 515 SF (0.01 AC) FOR EIGHT EXCESSING = 2.15 ACRES
- TOTAL GREENWAY EASEMENT PROPOSED: 93,666 SF (2.15 ACRES)

CODE REQUIRED PLANTING NOTES

ZONING - Cx-3

NEIGHBORHOOD TRANSITIONS REQUIRED FOR MIXED USE ZONING
ADJACENT TO R-1 ZONING WITH EXISTING DETACHED HOUSES:
ADDITIONAL REQUIREMENTS FOR STORAGE BUILDING IN Cx ZONING:

C1 OR C2 STREET PROTECTIVE YARD ALONG RIGHT-OF-WAY TYPE C2 PROVIDED WITH 15' WIDTH

- SHADE TREES AND 15 SHRUBS (2 MATURE HEIGHT) REQUIRED PER 100 LF
- 725 LF ALONG RIGHT OF WAY = 28 TREES REQUIRED; 28 PROVIDED, 109 SHRUBS REQUIRED; 109 PROVIDED.

CREECH ROAD: PER LDO SECTION 7.3.8.3, A required street protective yard may be reduced with a tree conservation area that meets the requirements of Article 8.1. Tree Conservation TCA ALONG THE CREEK MEETS THIS REQUIREMENT TO SCREEN DEVELOPMENT FROM ROAD.

B1 OR B2 TRANSITIONAL PROTECTIVE YARD ALONG ABUTTING RESIDENTIAL PARCELS

NORTHERN PARCEL LINE:
TYPE B2 PROTECTIVE YARD: 8 SHADE TREES, 8 UNDERSTORY TREES AND 80 SHRUBS (2 MATURE HEIGHT) REQUIRED PER 100 LF.

GREENWAY TCA AND EXISTING VEGETATION INSTEAD OF B2 PROTECTIVE YARD AS SHOWN ON PLAN.

STREET TREES 1:1 CANOPY TREE EVERY 40' ± 1 UNDERSTORY TREE 20'

- NCDOT HAS DENIED STREET TREES IN RIGHT-OF-WAY FOR BOTH CREECH ROAD AND SANDFORD ROAD. LETTER ATTACHED.
- SANDFORD ROAD - C2 PROTECTIVE YARD PRECLUDED STREET TREES ON PRIVATE PROPERTY. LDO 8.4.1.0.7
- CREECH ROAD: EXISTING TREES MEET REQUIREMENT OF MIN. 3' DBH TREE EVERY 40'. SEE APPROX. PLAN LAYOUT AND PHOTO DOCUMENTATION ATTACHMENT.

PARKING LOT PLANTING

SHADE TREES: 1 TREE EVERY 10 SPACES (ONLY 5 SPACES PROVIDED, AND 1 TREE / 2,000 SF PARKING AREA = APPROX. 1,700 SF PARKING AREA (INC. PARALLEL AND PARKING AISLE) = (1) TREE REQUIRED; 1 PROVIDED.

TCA - 10% OF SITE

TCA REQUIREMENT IS MET WITH PRIMARY TREE CONSERVATION AREA AND TCA - GREENWAY, AS SHOWN ON PLAN AND DATA SHEET.

AMENITY AREA - 10% OF SITE (SEE SITE PLAN FOR LOCATIONS)

STORMWATER POND

SHELF PLANTED WITH APPROPRIATE PERENNIALS PER DEC MANUAL. EVERGREEN SCREENING - MIN. 75% PLANTED WITH EVERGREEN SPECIES. 34 TOTAL SHRUBS AND TREES AROUND POND, NO WOODY VEGETATION ON EMBANKMENT.

15 K2 (E)

5 K2 (E)

4 CR

3 MS (E)

3 E (E)

4 MC (E)

30 TOTAL EVERGREEN = 88%

GREENWAY EASEMENT

No temporary or permanent encroachments (including, but not limited to: clearing, grading, fencing, and the installation of retaining walls or other structures) are permitted within the greenway easement area, without prior approval by the City of Raleigh.

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	INSTALL HEIGHT	MATURE HEIGHT	QTY	REMARKS
	JE	Juniperus virginiana	Eastern Redcedar	—	Pot	6'	40-50'	17	
SHADE TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	INSTALL HEIGHT	MATURE HEIGHT	QTY	REMARKS
	NB	Nyssa sylvatica 'Widow's'	Black Gum	3" Cal.	B&B	8' min	35-40'	15	
	QS	Quercus shumardii	Shumard Oak	3" Cal.	B&B	10' min.	35-40'	1	10' tall min. at installation
UNDERSTORY TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	INSTALL HEIGHT	MATURE HEIGHT	QTY	REMARKS
	MS	Magnolia virginiana	Sweet Bay	1.5" Cal.	Pot	6' minimum	25'	3	Evergreen
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	INSTALL HEIGHT	MATURE SIZE	QTY	REMARKS
	CR	Claytonia arborea 'Ruby Spice'	Ruby Spice Summerweet	3 gal.	Pot	5' x5'		4	
	B22	Ilex glabra	Indeberry Holly	3 gal.	Pot	36"	5' x5'	15	Evergreen
	V22	Ilex vomitoria	Yaupon Holly	3 gal.	Pot	36"	10' x8'	5	Evergreen
	LB	Lonicera chrysantha 'Blush'	Blush Fringe Flower	5 gal.	Pot	36"	6' x6'	67	
	MC	Myrica cerifera	Wax Myrtle	5 gal.	Pot	36"	10' x10'	4	Evergreen
	PS	Prunus laurocerasus 'Schipkaensis'	Schipka English Laurel	5 gal.	Pot	36"	5' x8'	42	
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER		SPACING		
	AC	Asclepias incarnata 'Cinderella'	Cinderella Swamp Milkweed	1 gal.	Plug		36" o.c.	25	
	ED	Eupatorium alpinum dubius	Dear Joe Pine Weed	4"	Pot		40" o.c.	15	
	HL	Hibiscus coccineus 'Lord Baltimore'	Lord Baltimore Swamp Maline	4"	Pot		42" o.c.	11	
	J22	Juniperus effusa	Soft Rush	1 gal.	Plug		32" o.c.	18	
	L22	Lobelia cardinalis 'Compliment Red'	Cardinal Flower	4"	Pot		24" o.c.	67	

General Notes	
4	SITE PLAN SUBMITTAL 2023/05/15
3	ASR SUBMITTAL 3 2023/01/16
2	ASR SUBMITTAL 2 2022/11/16
1	ASR SUBMITTAL-DRAFT 2022/08/08
No.	Revision/Issue Date
Designed By: PROSPECT LANDSCAPE ARCHITECTURE 227 GLASCOCK STREET RALEIGH, NC 27604 919-405-0025 james@prospect-ls.com www.prospect-ls.com	
Project/Client: STACKHOUSE LLO SANDFORD RD STORAGE 3681 SANDFORD ROAD RALEIGH, NC	
Project SANDFORD RD	Sheet PLANTING
Date 2023/05/15	L100
Scale 1:40	

STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

BOY COOPER
Consultant

J. ERIC BOYETTE
REGISTERED

November 15, 2022

Jon Wagner
Principal Landscape Architect, PLLC
227 GLASCOCK STREET
RALEIGH, NORTH CAROLINA 27604

Subject: Planting Permit for the Sandford Road Storage

To whom it may concern:

Please be advised that the planting plans have been deemed for the Sandford Road Storage located at 3681 Sandford Road in Wake County, North Carolina.

If you have further questions, please let us know.

Sincerely,

Jon Wagner
Roadside Environmental Engineer

Working Address:
10000 SANDFORD ROAD
SANDFORD, NC 27604

Telephone: 919.557.4742
Fax: 919.557.4742

Location:
200 SANDFORD ROAD
SANDFORD, NC 27604



DETAIL 5 - PLANTING NOTES

200

TRANSPARENCY SANDERFORD ROAD ELEVATION

TOTAL S.F. FRONT ELEVATION (FACING SANDERFORD ROAD) - 9,972 S.F.

S.F. EACH FLOOR FACING SANDERFORD ROAD- FIRST FLOOR-2881 S.F. / SECOND FLOOR-2616 S.F. / THIRD FLOOR-2868 S.F.(NOTE THIRD FLOOR WITH PARAPET 4407 S.F.) FIRST FLOOR (GROUND FLOOR LEVEL)-2881 S.F. X .33 = 951 S.F. OF TRANSPARENCY REQUIRED. 274 S.F. TRANSPARENCY PROVIDED (9.5% PROVIDED AND APPROVED) (12%) BETWEEN 3' AND 8' FIRST FLOOR, 178 S.F. OF THE PROVIDED TRANSPARENCY THIS LEVEL. THIS EXCEEDS 50% OF THE TRANSPARENCY PROVIDED (APPROVED)

SECOND FLOOR-2616 S.F. X .20 = 523 S.F. OF TRANSPARENCY REQUIRED. 288 S.F. TRANSPARENCY PROVIDED (11% PROVIDED AND APPROVED)

THIRD FLOOR-2868 S.F. X .20 = 574 S.F. OF TRANSPARENCY REQUIRED. 402 S.F. PROVIDED (14% PROVIDED AND APPROVED)

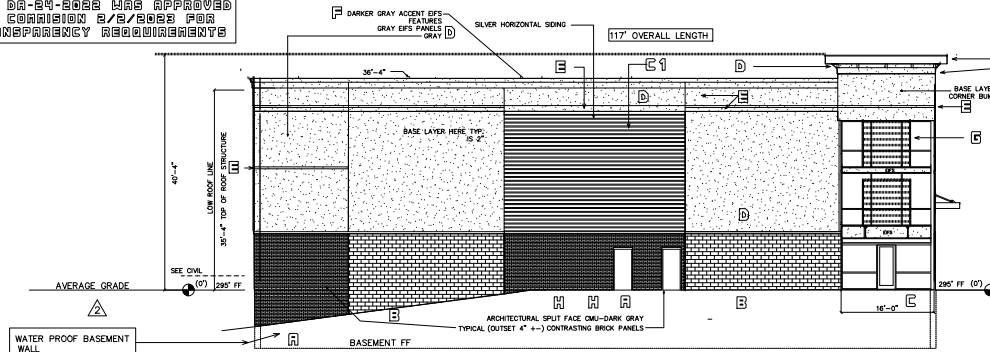
NOTE ON RIGHT SIDE OF GLAZING TOWER TURNS CORNER W/254 S.F. OF TRANSPARENCY
NOTE ON LEFT SIDE OF GLAZING TOWER TURNS CORNER W/260 S.F. OF TRANSPARENCY
THESE FEATURE CORNERS ON EACH END ARE PROMINENT FROM BOTH DIRECTIONS ON SANDERFORD RD. & THOUGH TURN THE CORNER TO SIDES AND NOT "FRONT" ELEVATION GLASS THEY GREATLY ENHANCE THE ELEVATION APPEARANCE. WE BELIEVE THEY PROVIDE MORE IMPACT ON BUILDING APPROACH THAN MORE GLASS CONCENTRATED ON THE FRONT ELEVATION ALONE.

NOTE: ADDING TRANSPARENCY THESE LOCATIONS, NOT REQUIRED BUT SUBSTANTIALLY INCLUDING GLAZING AT THE PROMINENT CORNERS WAS PART OF THE PRESENTATION AND THE APPROVAL PROCESS

MATERIAL/COLOR KEY:

- A BRICK-MERIDIAN RED WIRE CUT FLASHED
- B ARCHITECTURAL SPLIT FACE ADAMS 4104 (THIS IS DARK GRAY W/LIGHTER CHIPS)
- C ALUMINUM STOREFRONT & CANOPIES SILVER CLEAR ANODIZED
- C1 ARCHITECTURAL GRADE MTL. PANEL HORIZONTAL CORRUGATION. KYNAR SILVER GRAY FINISH.
- D EIFS GRAY DARKER CUSTOM COLOR SIM. TO DRYVIT 131 GULL GRAY
- E EIFS GRAY LIGHTER CUSTOM COLOR SIM TO HYBRID BETWEEN DRYVIT 413B OVERCAST & 132 MOUNTAIN FOG
- F EIFS CHARCOAL
- G FAUX DOORS (INTERIOR BEHIND GLASS) & BUILDING SIGNAGE (SEPARATE APPROVAL) TO BE PUBLIC ORANGE
- H EIFS CHARCOAL MATCH

TRANSPARENCY DA-24-0000 HAS APPROVED BY APPROPRIATE COMMISSION S/2022 FOR RELIEF OF TRANSPARENCY REQUIREMENTS



NORTHWEST ELEVATION

8/22' = 1'-0"

STORY HEIGHT COMPLIANCE

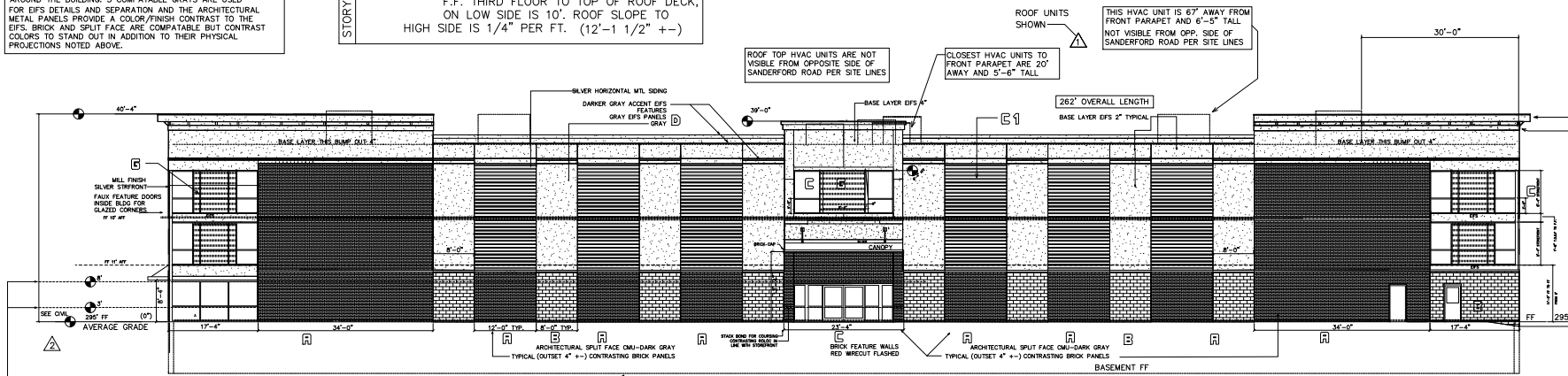
3 STORIES- HIGHEST POINT MEASURED FROM WORST CASE AVG. GRADE IS: LESS THAN 50' (SEE ELEV. MAX. HTS)

FLOOR HTS: F.F. FIRST FLOOR TO F.F. SECOND FLOOR; 11'-0"
F.F. SECOND FLOOR TO F.F. THIRD FLOOR; 10'-0"
F.F. THIRD FLOOR TO TOP OF ROOF DECK, ON LOW SIDE IS 10'. ROOF SLOPE TO HIGH SIDE IS 1/4" PER FT. (12'-1 1/2" +/-)

SECTIONS PER MATERIAL TYPES ARE SIMILAR TO FRONT ELEVATION

NOTE: HVAC UNITS ARE SYMMETRICAL ON ROOF & CONFIGURED SAME AS OPPOSITE END. NO SIDE ROAD ACCESS TO BLDG EITHER END

BLANK WALL COMPLIANCE IS HANDLED BY BUMP OUTS, CHANGE IN MATERIALS, AND COLOR THROUGHOUT ELEVATIONS.
NOTE ARCHITECTURAL SPLIT FACE LOWER LEVELS WITH ADJACENT BRICK PANELS OUTSET 4" FOR SPLITFACE. EIFS PANELS ARE 2" MIN. BASE LAYER SEPARATED BY ARCHITECTURAL GRADE HORIZ GROOVE PANELS. THERE IS A PLANE CHANGE HERE AS THE METAL PANEL IS APPROX 1 1/4" THICK. EIFS ON EACH SIDE AND ABOVE PROJECT BEYOND THE METAL PANELS. MASONRY PROJECTS BEYOND OTHER MATERIALS. CORNER TOWER FEATURES AND CENTER TOWER FEATURES INCORPORATE A MIN. 4" EIFS LAYER TO OUTSET FROM OTHER FEATURES. NOTE BANDING ON ADDITIONAL 1" MIN. AND CAPS AT PARAPETS USE THICKER ELEMENTS AND PROJECT BEYOND THE STANDARD FEATURES AROUND THE BUILDING. 3 COMPATIBLE GRAYS ARE USED FOR EIFS DETAILS AND SEPARATION AND THE ARCHITECTURAL METAL PANELS PROVIDE A COLOR/FINISH CONTRAST TO THE EIFS. BRICK AND SPLIT FACE ARE COMPATIBLE BUT CONTRAST COLORS TO STAND OUT IN ADDITION TO THEIR PHYSICAL PROJECTIONS NOTED ABOVE.



SOUTHWEST ELEVATION-SANDERFORD ROAD

8/22' = 1'-0"

MASONRY CONTROL JOINTS: ALL MATERIAL CHANGE LOCATIONS TYP. AND BRICK TO BLOCK TRANSITIONS. INSTALL CONTROL JOINTS WHERE MASONRY TRANSITIONS IN HT. (VERTICALLY) OVER 8" JTS: BACKER ROD AND 2 PART MIN SEALANT (3/8" TO 1/2"). CONSISTANT COLOR TO MATCH SPLIT FACE COLOR TYP. MAX C/J SPACING 30'

3081 SANDERFORD ROAD
RALEIGH NC 27610
SELF STORAGE CENTER

262' X 117'

ASR 0080-2022

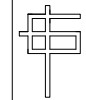
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GENERAL NOTES:

1. SEE CIVIL DOE AVERAGE GRADE CALCULATIONS & BASEMENT CALCULATIONS. SEE TABLE THIS SHEET.

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5/17/23	DEV. SRV. COMMENTS
6/27/23	DEV. SRV. COMMENTS



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SEALS:

ELEVATIONS

GCP	GCP	SHEET
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GCP	GCP	
CHECKED BY:	APPROVED BY:	OF:
SAND22	A0ND22A	4/21/23
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GENERAL NOTES:

1. SEE CIVIL DOE AVERAGE GRADE CALC. & BASEMENT CALC. SEE TABLE A-1

REV. DATE: REVISION DESCRIPTION

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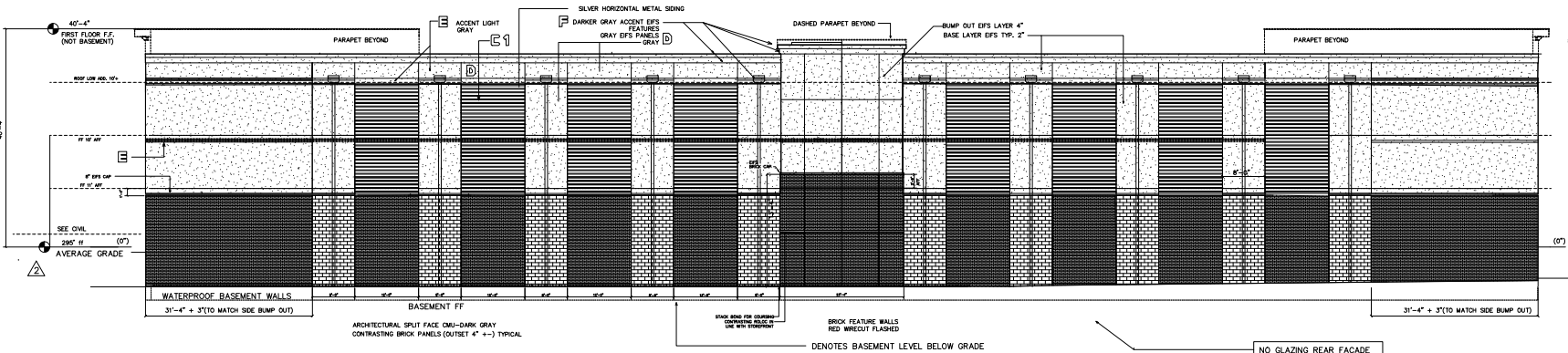
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ELEVATIONS

GCP	GCP	SHEET
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GCP	GCP	
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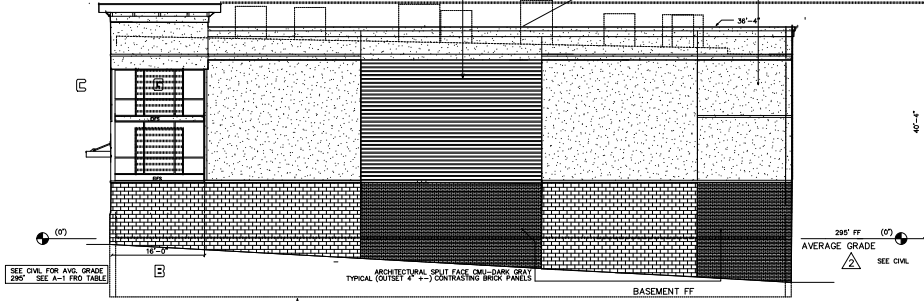
1 NORTHEAST ELEVATION

A-B 8/82' = 1'-0"

NO SIDE ROADS THIS LOCATION
30' FROM BLDG EDGE
60' FROM BLDG EDGE
ALL OTHER UNITS
APPROX 115' FROM
BLDG EDGE
117' OVERALL LENGTH

SEE SITE LINE DRAWING ASSL

SILVER HORIZONTAL SIDING
DARKER GRAY ACCENT EIFS
FEATURES
GRAY EIFS PANELS
GRAY



2 SOUTHEAST ELEVATION

A-B 8/82' = 1'-0"

MASONRY CONTROL JOINTS: ALL MATERIAL CHANGE LOCATIONS TYP.
AND BRICK TO BLOCK TRANSITIONS. INSTALL CONTROL JOINTS
WHERE MASONRY TRANSITIONS IN HT. (VERTICALLY) OVER 8"
JTS: BACKER ROD AND 2 PART MIN SEALANT (3/8" TO 1/2").
CONSISTANT COLOR TO MATCH SPLIT FACE COLOR TYP.
MAX C/J SPACING 30'

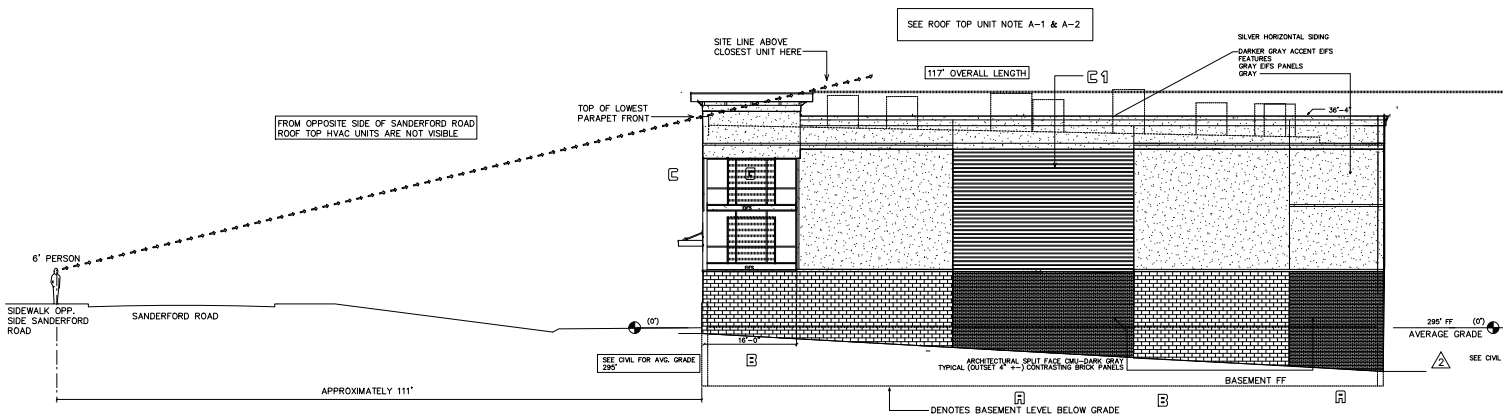
STORY HEIGHT COMPLIANCE

3 STORIES- HIGHEST POINT MEASURED
FROM WORST CASE AVG. GRADE IS:
LESS THAN 50' (SEE ELEV. MAX. HTS)

FLOOR HTS: F.F. FIRST FLOOR TO F.F. SECOND FLOOR;
11'-0"
F.F. SECOND FLOOR TO F.F. THIRD FLOOR;
10'-0"
F.F. THIRD FLOOR TO TOP OF ROOF DECK,
ON LOW SIDE IS 10'. ROOF SLOPE TO
HIGH SIDE IS 1/4" PER FT. (12'-1 1/2" +/-)

MATERIAL/COLOR KEY:

- A BRICK-MERIDIAN RED WIRE CUT FLASHED
- B ARCHITECTURAL SPLIT FACE ADAMS 4104
(THIS IS DARK GRAY W/LIGHTER CHIPS)
- C ALUMINUM STOREFRONT & CANOPIYS
SILVER CLEAR ANODIZED
- C1 ARCHITECTURAL GRADE MTL. PANEL
HORIZONTAL CORRUGATION. KYNAR
SILVER GRAY FINISH.
- D EIFS GRAY DARKER
CUSTOM COLOR SIM. TO DRYVIT 131
GULL GRAY
- E EIFS GRAY LIGHTER
CUSTOM COLOR SIM TO HYBRID BETWEEN
DRYVIT 413B OVERCAST & 132 MOUNTAIN FOG
- F EIFS CHARCOAL
- G FAUX DOORS (INTERIOR BEHIND GLASS)
& BUILDING SIGNAGE (SEPARATE APPROVAL)
TO BE PUBLIC ORANGE
- H EIFS CHARCOAL MATCH



△ 1
A3SL
SOUTHEAST ELEVATION
8/82" = 1'-0"

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GENERAL NOTES:
1. SEE CIVIL FOR AVERAGE GRADE CALC. & BASEMENT CALC.

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SEALS:

FRONT ELEV.
SITE LINES

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