



Administrative Approval Action

Case File / Name: ASR-0080-2023
DSLCL - CHASE BANK - NEW BERN AVE

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 1.29 acre site zoned PD (MP-1-96) is located on the southwest corner of the intersection of N. Rogers Lane and New Bern Avenue at 5160 New Bern Avenue.
REQUEST: This is a proposed 3,319 square foot bank with a drive through, ATM facility, and associated infrastructure to be constructed on this vacant parcel.

DESIGN ADJUSTMENT(S)/ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 7, 2024 by JP Morgan Chase Bank NA.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Cross Access Agreements Required

<input checked="" type="checkbox"/>	Sidewalk Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.



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The following items must be approved prior to recording the plat:

Engineering

1. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

3. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Unity of Development certification is required as per master plan MP-1-1996.

Engineering



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2. A cross access agreement for the proposed shared driveway on the west side of the site and among the lots identified as PINs 1734345171 and 1734343294 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

Stormwater

3. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

4. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 6 street trees along New Bern Ave.
5. A public infrastructure surety for 6 street trees along New Bern Ave shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right of way street trees by Urban Forestry Staff.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: August 8, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.



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4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: _____ *Michael Walters* _____ Date: 08/08/2024
Development Services Dir/Designee
Staff Coordinator: Michael Walters

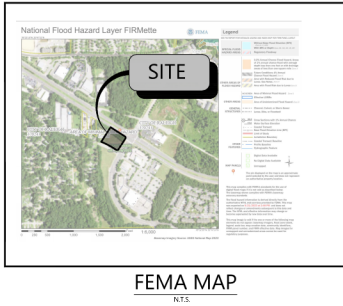
TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES:

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGH.GOV.
- ALL NEARBY STREETS WITH RALEIGH'S SIDEWALKS.
- THE STREET LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND
- ALL NEARBY STREETS WITH RALEIGH'S SIDEWALKS.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL PRIOR TO THE START OF WORK. THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN AND ENSURE ALL PERMITS ARE OBTAINED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - o MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
 - o PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG)
 - o AMERICAN DISABILITY ACT (ADA) REQUIREMENTS
 - o RALEIGH STREET DESIGN MANUAL (SDM)
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG). THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

SITE CONSTRUCTION PLANS FOR CHASE - NEW BERN AVE

5160 NEW BERN AVE
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA
PID: 1734345171

SITE AREA	
TOTAL PROPERTY AREA:	1.29 AC (56,305 S.F.)
IMPROVED AREA:	1.85 AC (81,574 S.F.)
PERVIOUS AREA:	0.64 AC (28,049 S.F.)
IMPROVED AREA:	0.65 AC (28,594 S.F.)
PARCEL IDENTIFICATION NUMBER:	RFD 1734345171
EASTING USE ALLOWED:	YES
PROPOSED USE:	FINANCIAL INSTITUTION W/ DRIVE-THRU
AMINITY AREA REQUIRED:	10% OF LOT (14,531 S.F.)
MINIMUM AREA PROVIDED:	10% OF LOT (14,531 S.F.)
TREE CONSERVATION AREA REQUIRED:	NONE (LESS THAN 2 ACRES)
ZONING CLASSIFICATION	
JURISDICTION:	CITY OF RALEIGH
ZONING:	PLANNED DEVELOPMENT (PD)
ADJACENT ZONING:	PLANNED DEVELOPMENT (PD)
COVERTING ZONING WHEN PD DOES NOT PROVIDE GUIDANCE:	COMMERCIAL MIXED USE (CM)
OVERLAY:	MP-106
BUILDING SETBACKS	
PRIMARY STREET (NORTH & EAST):	37' (UDO)
SIDE STREET (N/A):	37' (UDO)
SIDE LOT LINE (WEST):	37' (UDO)
REAR STREET (SOUTH):	37' (UDO)
FRONT YARD:	37' (MP-1-96 / ORD 10-2035.4.2)
ACC. FRONT AND REAR YARD:	37' (MP-1-96 / ORD 10-2035.4.2)
SIDE YARD:	37' (MP-1-96 / ORD 10-2035.4.2)
ACC. SIDE YARD (OTHER THAN CORNER):	37' (MP-1-96 / ORD 10-2035.4.2)
CORNER LOT SIDE YARD:	37' (MP-1-96 / ORD 10-2035.4.2)
REAR YARD:	37' (MP-1-96 / ORD 10-2035.4.2)
BUILDING SUMMARY	
PROPOSED BUILDING AREA:	3,319 SF
PROPOSED BUILDING HEIGHT:	27'-0"
MAXIMUM ALLOWED:	40' - 1" PER ADDITIONAL SETBACK (MP-1-96)
PARKING SUMMARY	
PRIMARY STREET SETBACK (NORTH & EAST):	10' (UDO)
SIDE STREET SETBACK (N/A):	10' (UDO)
SIDE LOT LINE SETBACK (WEST):	10' (UDO)
REAR STREET SETBACK (SOUTH):	10' (UDO)
BUFFER VASCS:	27' (MP-1-96 / ORD 10-2035.4.2)
DRIVE-THRU BUFFER YARD:	10' (EAST AND SOUTH PER MP-1-96)
CL BUFFER YARD:	15' (EAST AND SOUTH PER MP-1-96)
CL BUFFER YARD:	15' (EAST AND SOUTH PER MP-1-96)
PARKING REQUIREMENTS:	1 SPACE / 300 S.F. S.F.A.
TOTAL PARKING REQUIRED:	12 SPACES (UDO)
PARKING PROVIDED:	12 SPACES (MP-1-96 / ORD 10-2035.4.2)
CAR STACKING REQUIRED:	26 SPACES, 2 ADA SPACES (2 V.A.N.)
CAR STACKING PROVIDED:	26 SPACES PER LANE (UDO)
SHORT-TERM BICYCLE PARKING PROVIDED:	4 SPACES PER LANE
LONG-TERM BICYCLE PARKING PROVIDED:	4 SPACES
LONG-TERM BICYCLE PARKING PROVIDED:	4 SPACES
LONG-TERM BICYCLE PARKING PROVIDED:	4 SPACES



NOTE: BASED ON GRAPHIC DETERMINATION, THIS PROPERTY DOES NOT LIE IN A FLOOD HAZARD SPECIAL FLOOD HAZARD AREA PER COMMUNITY PANEL NO. 3720734006 DATED BY 10/09/22.

SUBMITTAL DATE
SUBMITTAL - 11/13/2023
RESUBMITTAL - 03/20/2024
RESUBMITTAL - 06/07/2024

CHASE - NEW BERN AVE
TOTAL SITE AREA: 1.29 AC
ZONING: PLANNED DEVELOPMENT (PD)

PROJECT NARRATIVE

THE SCOPE OF THIS PROJECT CONSISTS OF THE DEVELOPMENT OF A NEW +/- 3,319 SF DRIVE THROUGH CHASE BANK WITH ATM FACILITY AND SITE IMPROVEMENTS ASSOCIATED WITH THE PROPOSED DEVELOPMENT.

Sheet List Table	
Sheet Number	Sheet Title
C000	COVER
1 OF 1	ALTA SURVEY
C100	NOTES
C101	DOCUMENTS
C110	DEMOLITION PLAN
C200	SITE PLAN
C201	TRUCK TURN SITE PLAN
C202	SIGHT DISTANCE SITE PLAN
C300	GRADING PLAN - PHASE 1
C310	GRADING PLAN - PHASE 2
C400	UTILITY PLAN
C700	CIVIL DETAILS SHEET
C701	CIVIL DETAILS SHEET
C702	CIVIL DETAILS SHEET
C703	CIVIL DETAILS SHEET
C704	CIVIL DETAILS SHEET
C705	CIVIL DETAIL SHEET
C706	CIVIL DETAIL SHEET
A00.2	BUILDING RENDERINGS
A00.3	BUILDING RENDERINGS
A00.4	EXTERIOR ELEVATIONS
A00.5	EXTERIOR ELEVATIONS
E1.1	PHOTOMETRIC SITE PLAN
L100	EXISTING TREE PLAN
L110	LANDSCAPE PLAN
L120	LANDSCAPE DETAILS

LF = Linear Feet	Phase 1	Phase 2	Phase 3
Number of Lots	1	1	N/A
Lot Number(s) by Phase	1	1	-
Number of Units	0	0	-
Liveable Buildings	0	0	-
Open Space?	NO	NO	-
Number of Open Space Lots	0	0	-
Public Water (LF)	8	239	-
Private Water (LF)	0	0	-
For water mains 4" and larger	0	0	-
Public Sewer (LF)	0	0	-
Public Force Main (LF)	0	0	-
Private Sewer (LF)	0	0	-
Sewer mains and manholes as part of a collection system	0	127	-
Public Street (LF) - FULL	-	-	-
Public Street (LF) - PARTIAL	-	-	-
Public Sidewalk (LF) - FULL	-	-	-
Public Sidewalk (LF) - PARTIAL	-	-	-
Multi-Use Path (LF)	-	-	-
10 or 12 ft. wide path in lieu of sidewalk or a multi-use path as part of a development	-	-	-
Public Storm Drain (LF)	-	-	-
Street Signs (LF)	-	-	-
Water Service Shubs	2	0	-
Sewer Service Shubs	1	0	-

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2800

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.4 to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier	Tier Two Site Plan	Tier Three Site Plan	Site Transaction History
Building and Development Type (Check all that apply)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Subdivision case # _____
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	<input type="checkbox"/> Civic	Staging/leak plan case # _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	<input type="checkbox"/> Frequent Transit Development Option	Certificate of Appropriateness # _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Apartment		Board of Adjustment # _____
<input type="checkbox"/> Triplex	<input type="checkbox"/> Tiny house		Zoning Case # _____
<input type="checkbox"/> Open lot			Design Alternates # _____

GENERAL INFORMATION
Development name: Chase Bank - New Bern Ave
Inside City limits? Yes No
Property address(es): 5160 New Bern Ave Raleigh, NC 27610

Site P.I.N.(s): 1734345171
Please describe the scope of work. Include any additions, expansions, and uses (UDO § 1.4).
THE SCOPE OF THIS PROJECT CONSISTS OF THE DEVELOPMENT OF A NEW +/- 3,319 SF DRIVE THROUGH CHASE BANK WITH ATM FACILITY AND SITE IMPROVEMENTS ASSOCIATED WITH PROPOSED DEVELOPMENT.

Current Property Owner(s): BRANDON KUBLANOW
Company: TWP PCF RALEIGH LLC Title: PRINCIPAL
Address: 1962 HOWELL MILL ROAD, SUITE 210, ATLANTA, GA 30318
Phone: 770-355-9536 Email: brandon@trackwestpartners.com

Relationship to owner: Lessee or contract purchaser Owner's authorized agent Assessment holder
Company: JPMorgan Chase Bank NA Address: 11111 Pdaris Parkway, Columbus, OH, 43240

Pho	delgado@chase.com
NOV	or assessment when submitting this form.
Con	-
Add	-PRINCIPAL
Pho	NTA, GA 30318
App	trackwestpartners.com
Con	Chase Bank NA
Pho	1962 Howell Mill Road, Suite 210, Atlanta, GA 30318
Pho	delgado@chase.com

TE DATE TABLE (elements)	
g	gross floor area (not to be demolished):
g	gross floor area to be demolished:
g	gross floor area: 3,319 SF
g	(gross to remain and new): 3,319 SF
ed	# of buildings: 1
ed	# of stories for each: 1
ed	# of basement levels (UDO 1.5.7.A.6) N/A
* A	1 number of parking spaces from 17 to 26
IRM	erous Area for Compliance ludes ROW):
sting (ar)	637 Proposed total (ar) 2,573
GING DEVELOPMENTS	# of hotel bedrooms: N/A
42r or more	
our project a cottage court?	<input type="radio"/> Yes <input checked="" type="radio"/> No
equant transit development?	<input type="radio"/> Yes <input checked="" type="radio"/> No

APPLIC
Pursuant to state law (N.C. Gen. Stat. § 160D-4), the landowner, a lessee or person holding an cc of the landowner. An assessment holder may also be authorized by the assessment.

By submitting this application, the undersigned i one of the persons authorized by state law (N.C. application). The undersigned also acknowledges correct and the undersigned understands that all statements or misrepresentations made in secur 160D-403(b).

The undersigned indicates that the property own described in this application will be maintained i submitted herewith, and in accordance with the Developer Ordinance.

The undersigned hereby acknowledges that, pu is placed on hold at the request of the applicant fails to respond to questions or provide additional motions or more, then the application review is d development regulations in effect at the time of

Signature: *Mauricio Delgado*
Printed Name: MAURICIO DELGADO, VP

BLOCK PERIMETER REQUIREMENTS NOTE
THE SUBJECT PROPERTY, TOTALING 1.29 ACRES, DOES NOT MEET THE MINIMUM APPLICABLE SITE AREAS FOR PD AND/OR CM ZONING ESTABLISHED IN UDO SECTION 8.3.2.2. THEREFORE, PURSUANT TO UDO SECTION 8.3.2.3.A, THE SUBJECT PROPERTY IS EXEMPT FROM COMPLIANCE WITH THE MAXIMUM BLOCK PERIMETER STANDARDS OF UDO SECTION 8.3.2.

DEVELOPMENT TEAM

CLIENT
BDG ARCHITECTS
400 NORTH ASHLEY DR STE 600
TAMPA, FL 33602
PHONE: 813.323.3233
CONTACT: TRISH NEARHOOF-EUBANKS

OWNER
TWP PCF RALEIGH LLC
PHONE: 770.359.9636
EMAIL: BRANDON@TRACKWESTPARTNERS.COM
CONTACT: BRANDON KUBLANOW
EMAIL: PUBLICUTILITYINFO@RALEIGHNC.GOV

CIVIL ENGINEER
ATWELL, LLC
1850 PARKWAY PLACE, SUITE 700
MARIETTA, GA 30067
PHONE: (770) 423-1262
CONTACT: CARL ROMERO

SURVEYOR
ATWELL, LLC
1850 PARKWAY PLACE, SUITE 650
MARIETTA, GA 30067
PHONE: (770) 423-0807
FAX: (770) 423-1262
CONTACT: MATTHEW BISSETT

LANDSCAPE ARCH.
ATWELL, LLC
1850 PARKWAY PLACE, SUITE 510
MARIETTA, GA 30067
PHONE: (770) 423-0807
FAX: (770) 423-1262
CONTACT: CYNDI O'SHIELDS

GOVERNING AGENCIES AND UTILITY CONTACTS

CITY OF RALEIGH PLANNING AND ZONING
ONE EXCHANGE PLAZA
RALEIGH NC 27601
SUITE 300
PHONE: 919-996-2682
EMAIL: PLANNING@RALEIGHNC.GOV

CITY OF RALEIGH WATER & SEWER DEPARTMENT
ONE EXCHANGE PLAZA
RALEIGH NC 27601
PHONE: 919-996-3245
EMAIL: PUBLICUTILITYINFO@RALEIGHNC.GOV

ELECTRICITY PROVIDER: DUKE ENERGY
ADDRESS: P.O. BOX 1094
CHARLOTTE, NC 28201-1094
PHONE: (800) 655-5330
EMAIL: ROBERT.SMITH2215B@DUKE-ENERGY.COM

TELEPHONE PROVIDER: SPECTRUM
ADDRESS: 1015 OLENTANGY RIVER RD.
COLUMBUS, OH 43212
PHONE: (614) 406-3441
EMAIL: ASEF.SHEIKH@CHARTER.COM
CONTACT: SAM SHEIKH

CITY OF RALEIGH FIRE DEPARTMENT
310 WEST MARTIN ST.
RALEIGH NC 27601
SUITE 200
PHONE: 919-996-6115
CONTACT: HERBERT GRIFFIN
EMAIL: FIREPREVENTION@RALEIGHNC.GOV

Know what's below. Call before you dig.

24 HOUR EMERGENCY CONTACT
TRISH NEARHOOF-EUBANKS
813.323.0333

ATWELL
866.850.4200 www.atwell-group.com
1800 PARKWAY PLACE, SUITE 700
MARIETTA, GA 30067
770.423.1262
COLE@ATWELL.COM

TRACT C-3 (MP-1-96)
SUB-S-538-02

PID: 1734345171
5160 NEW BERN AVE
CITY OF RALEIGH
WAKE COUNTY, NORTH CAROLINA
MASTER PLAN MP-1-96

CHASE - NEW BERN AVE
BDG ARCHITECTS
SITE CONSTRUCTION PLANS
COVER
CASE NUMBER: ASH-0080-2023

DATE: 06/07/2024
3/2024 - REV 1 ASK ROUND 1
6/7/24 - REV 2 ASK ROUND 2

REVISIONS

DRAWN BY: NIA
CHECKED BY: CER
PROJECT MANAGER: KW
CB #: 2303175
FILE CODE: #4
HEET NO: C000

DEMOLITION NOTES

- 1. IN ORDER TO PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SOIL EROSION AND SEDIMENTATION, THE DEMOLITION CONTRACTOR SHALL CONSTRUCT EROSION CONTROL MEASURES WITHIN PHASE B SUCCESSIVELY PRIOR TO AND DURING DEMOLITION OPERATIONS. ADDITIONAL MEASURES MAY BE REQUIRED AS DIRECTED BY THE ENGINEER, LOCAL INSPECTOR OR THE OWNER.
2. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE OR THE ENGINEER PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION. ANY DEVIATION WITHOUT THE OWNER'S CONSENT WILL BE AT THE CONTRACTOR'S RISK.
3. THE DEMOLITION CONTRACTOR SHALL LOCATE, IDENTIFY, PROPERLY TERMINATE, AND MARK ALL EXISTING UTILITIES THAT SHALL REMAIN WITHIN THE DEMOLITION AREA TO PROTECT THEM FROM DAMAGE.
4. THE DEMOLITION CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES, ASSOCIATED GOVERNMENT DEPARTMENTS, AND THE OWNER'S REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY UTILITY SERVICE. NOTIFICATION MUST BE MADE PER THE PROJECT SPECIFICATIONS. THE DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH AND ADHERENCE TO THE REQUIREMENTS OF EACH UTILITY COMPANY AND ANY GOVERNMENT UTILITY DEPARTMENT REGARDING SERVICE INTERRUPTION.
5. THE DEMOLITION CONTRACTOR SHALL PROTECT ALL LANDSCAPING AND OTHER FEATURES DESIGNED TO REMAIN AND REPLACE/REPAIR ALL FEATS THAT ARE DESTROYED DURING DEMOLITION.
6. THE CONTRACTOR SHALL CONDUCT ALL DEMOLITION OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC AND/OR PRIVATE ACCESSES AND FACILITIES.
7. THE DEMOLITION CONTRACTOR SHALL PROTECT BENCHMARKS, PROPERTY CORNERS, AND ALL OTHER SURVEY MONUMENTS FROM DAMAGE OR DESTRUCTION. IF A MARKER IS REMOVED OR DESTROYED, IT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.
8. THE DEMOLITION CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED IN ACCORDANCE WITH THE US DEPT. OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND GOVERNING AGENCY REQUIREMENTS.
9. DEPRESSING AND VOID AREAS CAUSED BY EROSION WORK SHALL BE FILLED TO SUB-GRADE AND PROPERLY COMPACTED. THE CONTRACTOR SHALL SLOPE ALL DESTROYED AREAS TO DRAIN IN ORDER TO AVOID PONDING.
10. THE DEMOLITION CONTRACTOR SHALL ACQUIRE ALL PERMITS AND PAY ALL ASSOCIATED FEES PERTAINING TO THE DEMOLITION AND DISPOSAL REQUIREMENTS. HE SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS REGARDING THIS WORK. IF THERE ARE NO LOCAL, STATE OR FEDERAL REQUIREMENTS, THE DEMOLITION CONTRACTOR SHALL ACQUIRE AN ENGINEER'S CERTIFICATION THAT THE WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE APPROVED PLANS.
11. THE CONTRACTOR IS RESPONSIBLE FOR ON-SITE SAFETY AND SAFETY MANAGEMENT. THE CONTRACTOR SHALL PROCEED WITH THE DEMOLITION IN AN ORGANIZED MANNER FOLLOWING ALL APPLICABLE OSHA REQUIREMENTS IN ORDER TO ENSURE WORKER AND PUBLIC SAFETY.
12. THE DEMOLITION CONTRACTOR SHALL DO THE FOLLOWING:
12.1. CONFIRM THAT COPIES OF ALL PERMITS AND APPROVALS ARE KEPT ON-SITE AND THAT THEY ARE AVAILABLE FOR REVIEW UPON REQUEST.
12.2. INSTALL INITIAL PHASE SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DESTRUCTION.
12.3. REMOVE AND DISPOSAL OF ALL EXISTING UTILITIES ACCORDING TO THE OWNER.
12.4. LOCATE AND CAP/PLUG ALL WET AND DRY UTILITIES TO BE REMOVED/ABANDONED WITHIN THE LIMITS OF DISTURBANCE.
12.5. PROTECT AND KEEP IN OPERATION ALL ACTIVE SYSTEMS THAT ARE NOT TO BE REMOVED/ABANDONED.
12.6. COORDINATE WITH APPROPRIATE UTILITY SERVICE COMPANIES PRIOR TO AND DURING DEMOLITION. PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH APPLICABLE AND/OR UTILITY COMPANY REQUIREMENTS. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING DURING "OFF-HOURS" AREAS OR ON WEEKENDS TO MINIMIZE THE IMPACT ON THE PUBLIC.
12.7. ENGAGE A LICENSED ENVIRONMENTAL TESTING COMPANY TO COMPLETE A CONTAMINANT AND INSPECTION REPORT WITH REGARD TO BUILDINGS/STRUCTURES TO BE REMOVED, AND/OR ACCORDING WITH APPLICABLE LOCAL, STATE AND FEDERAL ENVIRONMENTAL REGULATIONS. CONTAMINATED/HAZARDOUS BUILDING MATERIAL AND/OR SOILS SHALL BE REMOVED AND DEPOSED OF BY EITHER A QUALIFIED LICENSED CONTRACTOR FAMILIAR WITH THE APPLICABLE REGULATIONS.
13. EXPENSES SHALL NOT BE USED WITH OR WITHOUT THE WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNING AUTHORITIES. IF PERMITS ARE GIVEN, ALL RELATED PERMITS AND FEES SHALL BE AT THE DISCRETION OF THE LOCAL EROSION AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL INSPECTIONS AND SERVICE VIBRATION TESTING REQUIRED FOR PROPER MONITORING OF LOCAL STRUCTURES IN THE AREA.
14. THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL. AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS SHOULD DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR RIGHTS-OF-WAY. STREET CLOSURES MUST BE APPROVED BY THE APPROPRIATE GOVERNMENT AUTHORITY.
15. EQUIPMENT AND OPERATION OF EQUIPMENT SHALL BE CONTROLLED WITHIN THE LIMITS OF DISTURBED ON-SITE AREA OF THE PROPERTY.

SITE NOTES

- 1. THE PROJECT BOUNDARY SURVEY HAS BEEN PROVIDED BY ATWELL LLC.
2. THE BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL BUILDINGS AND BUILDING APURTANCES WITHIN FIVE (5) FEET OF THE BUILDING WALL TO INCLUDE TRUCK BLOCKS, BERMAS, STEPS, ETC.
3. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL SITE WORK AND SITE APURTANCES (E TO FIVE) FEET OF THE BUILDING WALL TO INCLUDE TRUCK BLOCKS, BERMAS, STEPS, ETC.
4. CONTRACTOR SHALL OBTAIN ALL PERMITS FOR THE OWNER PRIOR TO CONSTRUCTION.
5. ALL EMBANKMENTS AND ROAD ARE TO THE FACE OF CURB AND TO THE END OF PARKING STRIP, UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN BY BUILDINGS ARE TO THE OUTSIDE FACE OF THE BUILDING.
6. ALL STRIPPED OR CURBED BOUNDS SHALL BE 2' UNLESS OTHERWISE NOTED.
7. PARKING LOT STRIPING SHALL HAVE TWO (2) COATS OF PAINT ONLY.
8. ALL HANDICAP ACCESSIBLE PARKING SPACES AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE AMERICAN WITH DISABILITY ACT (ADA) REQUIREMENTS. LOCAL CODES MAY GIVE ADDITIONAL DIRECTION WITH REGARD TO GEOMETRIES.
9. ALL CONCRETE WORK SHALL BE INSTALLED TO THE COMPRESSIVE STRENGTH ESTABLISHED IN THE PROJECT GEOTECHNICAL REPORT. THE REPORT SHALL BE FOLLOWED IF THERE IS A DISCREPANCY WITH THESE DRAWINGS.
10. ALL ON-SITE AND OFF-SITE CURB AND GUTTER SHALL BE INSTALLED PER CURB AND GUTTER DETAILS WITHIN THE DRAWING SET. 1/2 INCH EXPOSURE JOINTS OR PROTRUSION JOINTS SHALL BE INSTALLED PER DETAIL. STEEL SHALL BE PROVIDED AT ALL JOINTS POINTS AND INTERVALS NOT TO EXCEED 30 FEET IN THE SPAN OF THE CONCRETE CURB AND GUTTER.
11. ALL SIGNS DIRECTED ON THESE PLANS ARE SHOWN FOR INFORMATION ONLY. ALL SIGNS SHALL BE PERMITTED SEPARATELY BY OTHERS.
12. ALL TRAFFIC SIGNS SHALL CONFORM TO THE UNIFORM TRAFFIC CONTROL MANUAL AND/OR TO THE STATE DEPARTMENT OF TRANSPORTATION RULES AND REGULATIONS.
13. SITE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS UPON COMPLETION OF THE PROJECT.

ACCESSIBILITY NOTES

- 1. ALL HANDICAP ACCESSIBLE PARKING SPACES AND STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITY ACT (ADA) REQUIREMENTS. LOCAL CODES MAY GIVE ADDITIONAL DIRECTION WITH REGARD TO GEOMETRIES.
2. ALL HANDICAPPED PARKING SPACES AND ACCESSIBLE ADJACENT TO THE HANDICAP PARKING SPACES SHALL BE CONSTRUCTED TO A MAXIMUM SLOPE OF 2% IN ALL DIRECTIONS (THIS INCLUDES RUNNING SLOPE AND CROSS SLOPE).
3. IF AN ACCESSIBLE ROUTE FROM THE PUBLIC STREET OR BERMADA TO THE ENTRANCES TO BE PROVIDED IF SHALL BE CONSTRUCTED TO A MINIMUM OF 5' WIDE. THE RUNNING SLOPE OF THE ROUTE SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%.
4. SLOPES EXCEEDING 2% BUT LESS THAN 6% WILL REQUIRE A RAMP AND MUST CONFORM TO THE REQUIREMENTS FOR RAMP DESIGN (HANDRAILS, CURB, LANDINGS, NO RAMP SHALL EXCEED AN 8% RUNNING SLOPE OR 2% CROSS SLOPE).
5. IN THE CASE THAT A NEW BERMADA IS TO BE CONSTRUCTED BY THE PUBLIC ROW, THE RUNNING SLOPE OF THE BERMADA SHALL NOT EXCEED 5% AND THE CROSS SLOPE SHALL NOT EXCEED 2%. THIS STANDARD APPLIES ALSO TO CROSS WALLS WITHIN THE DRIVEWAY. SPECIAL ATTENTION SHALL BE PAID DURING STAKING TO ENSURE A 2% CROSS SLOPE IS MET.
6. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE HANDICAP PARKING SPACES, ACCESSIBLE ROUTES, AND BERMADA CROSSINGS ARE CONSTRUCTED TO MEET ADA REQUIREMENTS. INSTALLATIONS THAT ARE NON-COMPLIANT SHALL BE REMOVED AND REPAIRED AT THE CONTRACTOR'S EXPENSE.
7. ACCESSIBLE PARKING SHALL HAVE NO VERTICAL CLEARANCE.
8. DETACHABLE WARNING STRIPS SHALL BE PLACED ON ALL RAMPS.
9. ALL ADA PARKING SPACES SHALL HAVE PROPER BRANAGE POSTED TO DISSENTATE REGULAR SPACES AND VAN SPACES AS WELL AS APPLICABLE LOCAL PINS OR VEHICLES.

GRADING NOTES

- 1. THE PROJECT TOPOGRAPHIC SURVEY HAS BEEN PROVIDED BY ATWELL LLC.
2. SHOULD THE CONTRACTOR NOT ACCEPT THE EXISTING TOPOGRAPHY AS SHOWN ON THE PROJECT SURVEY OR THESE DESIGN DRAWINGS, HE MAY OPT TO HAVE A NEW TOPOGRAPHIC SURVEY PREPARED AT HIS OWN EXPENSE.
3. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL NOTES PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
4. INFORMATION CONCERNING SITE SOIL CONDITIONS SHALL BE PROVIDED BY THE OWNER'S GEOTECHNICAL ENGINEER. THE PROJECT GEOTECHNICAL REPORT AND RECORD DRAWINGS THEREIN ARE CONSIDERED PART OF THE AUTHORIZED CONSTRUCTION DOCUMENTS. IN CASE OF CONFLICT OR DISCREPANCY, THE GEOTECHNICAL REPORT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY.
5. EARROWAYS FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND ARCHITECTURAL PLANS AND SPECIFICATIONS.
6. ALL FILL USED TO RAISE THE ELEVATION OF THE FLOOR SLAB OR ANY FILL TO BE USED AS BERMADA SHALL BE CLEAN, SELECT, GRANULAR MATERIAL. PRIOR TO THE USE OF ANY GRANULAR FILL, GRAVIMETER ANALYSIS SHALL BE CONDUCTED ON REPRESENTATIVE SAMPLES OF THE FILL MATERIAL TO DETERMINE WHETHER THE MATERIAL IS SUITABLE FOR FILL. COMPACTED FILL SHALL BE PLACED IN ACCORDANCE WITH THE APPROVED GEOTECHNICAL REPORT FOR THE PROJECT.
7. ALL ROCKS, STUMPS, ROOTS, AND ORGANIC MATTER SHALL BE REMOVED TO A DEPTH OF TWO (2) FEET MINIMUM BELOW THE BOTTOM OF THE BASE COURSE. THE CONTRACTOR SHALL CONTACT THE GEOTECHNICAL ENGINEER FOR GUIDANCE BEFORE BURRING ROCK ON-SITE.
8. ALL CURB, EROSION AND SEDIMENT CONTROL SHALL BE CONFORMED TO THE APPROVED ON-SITE.
9. ALL SLOPES AND DISTURBED AREAS NOT COVERED BY BUILDING OR PAVEMENT SHALL BE GRADED UNIFORMLY AND SHALL RECEIVE A MINIMUM OF 6 INCHES OF TOPSOIL. TOPSOIL CONDITIONS SHALL BE VERIFIED BY AVAILABLE ORIGIN. OPEN AREAS SHALL BE SEEDS, MULCHED, FERTILIZED AND WATERED TO PROVIDE AN UNIFORM STAND OF GRASS.
10. THE CONTRACTOR SHALL INSTALL SLOPE STABILIZATION FABRIC TO ALL SLOPES 3:1 OR STEEPER AND SHALL MAINTAIN ALL SLOPE AREAS UNTIL THERE IS EVIDENT PERMANENT VEGETATION.
11. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDINGS.
12. THE FLOW IN ALL EXISTING STORM SEWERS, STORM DRAINS, AND WATERWAYS SHALL BE MAINTAINED.

- 13. ALL SPOT ELEVATIONS SHALL BE TAKEN TO BE THE TOP OF PAVEMENT OR FINISHED GROUND UNLESS OTHERWISE NOTED.
14. TO-PO OF CURB ELEVATION
MATCH=PROPOSED GRADE TO MATCH EXISTING GRADE
TW=TOP OF RETAINING WALL ELEVATION
RW=FINISHED GRADE AT TOP OF WALL ELEVATION
14. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
15. ALL PIPE LENGTHS SHOWN ON PLANS AND PROFILE VIEWS ARE BASED ON THE HORIZONTAL DISTANCES BETWEEN STRUCTURES. THE CONTRACTOR SHALL VERIFY THE HORIZONTAL PLANS AND PROFILE VIEWS AND PROVIDE CORRECTIONS, IF ANY, THAT THE CONTRACTOR SHALL NOTIFY THE ENGINEER FOR CLARIFICATION.
16. PRECAST CONCRETE OR BRICK STRUCTURES MAY BE USED AT THE CONTRACTOR'S OPTION.
17. ALL STORM SEWER CONNECTIONS AT MANHOLES SHALL BE MATCHED RIGHT.
18. ALL STORM SEWER MANHOLE STRUCTURES IN PAVED AREAS SHALL BE INSTALLED OR ADJUSTED WITH TRAFFIC READY IDEAS FLUSH WITH THE PAVEMENT. MANHOLES IN UNPAVED AREAS SHALL BE INSTALLED WITH HIGH GRADES TO MATCH EXISTING GRADES.
19. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM FLOWED MOSTER RUBBER FROM INVERT IN. TO KICKOUT OUT.
20. ALL SYSTEM MANHOLES AND PIPES SHALL BE FLUSHED CLEAN PRIOR TO TURNING OVER TO THE OWNER.
21. THE CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. EXISTING UNDERGROUND UTILITIES SHOWN ON THESE DRAWINGS ARE TAKEN FROM THE BEST SOURCES AVAILABLE (FIELD SURVEYS AND UTILITY MAPS) AND MAY NOT BE FULLY ACCURATE. AS SUCH, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHILE GRADING. ANY UTILITY RELOCATION DEEMED NECESSARY BUT NOT SHOWN ON THE APPROVED DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.
22. THE GRADING CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES, ASSOCIATED GOVERNMENT DEPARTMENTS, AND THE OWNER'S REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY UTILITY SERVICE. NOTIFICATION MUST BE MADE PER THE PROJECT SPECIFICATIONS. THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH AND ADHERENCE TO THE REQUIREMENTS OF EACH UTILITY COMPANY AND ANY GOVERNMENT UTILITY DEPARTMENT REGARDING SERVICE INTERRUPTION.

UTILITY NOTES

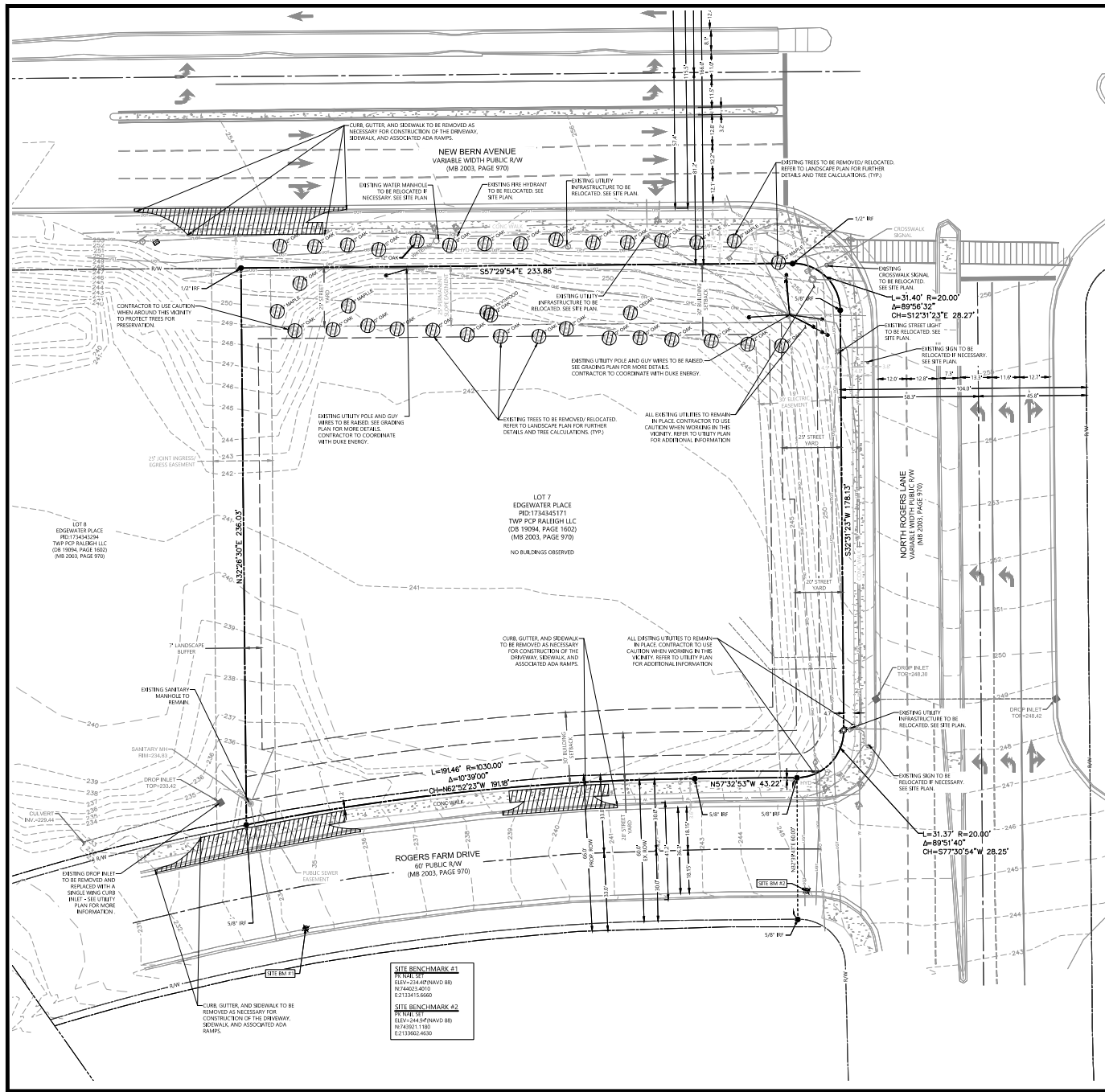
- 1. THE PROJECT UTILITY SURVEY HAS BEEN PROVIDED BY ATWELL LLC.
2. THE CONTRACTOR SHALL HAVE A COPY OF THE APPROVED PLANS, A COPY OF THE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS, AND A COPY OF ALL PERMITS AND APPROVALS ON THE JOB.
3. ALL UTILITIES SHALL BE IDENTIFIED AND MARKED PRIOR TO CONSTRUCTION. UTILITIES TO BE REMOVED OR FOR THE PROTECTION OF OTHER UTILITIES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PROJECT SAFETY INCLUDING, BUT NOT LIMITED TO, TRINCH EXCAVATION AND SHORING, TRAFFIC CONTROL AND OTHER SAFETY RELATED TO CONSTRUCTION.
5. THE CONTRACTOR SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND/OR DIRECTIVES WITH REGARD TO EXCAVATION AND TRENCHING PROCEDURES.
6. ALL FILL MATERIAL SHALL BE PLACED AND COMPACTED PRIOR TO UTILITY INSTALLATION.
7. THE CONTRACTOR SHALL PROVIDE RECORD DRAWINGS "AS-BUILT PLANS" AND "FINAL PLATS" IF APPLICABLE UPON COMPLETION OF THE PROJECT.
8. THE CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK. EXISTING UNDERGROUND UTILITIES SHOWN ON THESE DRAWINGS ARE TAKEN FROM THE BEST SOURCES AVAILABLE (FIELD SURVEYS AND UTILITY MAPS) AND MAY NOT BE FULLY ACCURATE. AS SUCH, THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHILE GRADING. ANY UTILITY RELOCATION DEEMED NECESSARY BUT NOT SHOWN ON THE APPROVED DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.
9. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY REGARDING ANY UTILITY CONFLICTS, ADDITIONAL UTILITIES ENCOUNTERED, AND/OR ANY OTHER UTILITY INFORMATION THAT MAY REQUIRE EXAMINATION.
10. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE AND IMPLEMENT THEIR SPECIFIC INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
11. THE CONTRACTOR SHALL CALL AT LEAST 72 HOURS PRIOR TO EXCAVATION, IN ORDER THAT UTILITIES BE FIELD LOCATED.
12. THE CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY INSPECTOR 72 HOURS BEFORE CONNECTING TO ANY EXISTING UTILITY.
13. THE SITE CONTRACTOR SHALL COORDINATE SERVICE ROUTING OF ALL GAS, TELEPHONE, AND ELECTRICAL LINES WITH THE APPROPRIATE UTILITY COMPANY. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH THE RESPECTIVE UTILITY STANDARDS AND SPECIFICATIONS.
14. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATION OF OR ADJUSTMENTS TO EXISTING UTILITIES DURING CONSTRUCTION. THIS WORK SHALL BE PERFORMED IN A TIMELY MANNER AND WITH A MINIMAL DISRUPTION OF SERVICE.
15. THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR THE PROPOSED LOCATION OF ALL WET AND DRY UTILITY ENTRANCES INTO THE BUILDING. CONTRACTOR SHALL COORDINATE INSTALLATION OF THE WORKS (UTILITIES TO AVOID CONFLICTS) AND ENSURE THAT THE PROPOSED DETAILS ARE ACHIEVED.
16. ALL DRY UTILITIES SHALL BE IDENTIFIED AND MARKED IN ACCORDANCE WITH THE PROPER UTILITY COMPANY STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL DRY UTILITIES BY OTHERS.
17. THE CONTRACTOR SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
18. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF WATER AND SANITARY SERVICES WITH THE LOCAL WATER AND SEWER PROVIDER. THE LOCAL WATER AND SEWER AUTHORITY STANDARD SPECIFICATIONS AND DETAILS SHALL GOVERN ALL WATER AND SANITARY SEWER CONSTRUCTION.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE EXACT LOCATION, SIZE, AND MATERIAL OF ANY EXISTING WATER AND/OR SEWER FACILITY PROPOSED FOR CONNECTION OR USE BY THE PROJECT. THE RELOCATION OF ALL WATER/SEWER FACILITIES SHALL BE COORDINATED WITH THE LOCAL UTILITY COMPANY.
20. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL TELEPHONE EXISTING SANITARY SEWER LINE FROM THE POINT OF CONNECTION THROUGH THE NEXT SUCCESSFUL DOWNSTREAM RUN OF PIPE. THE CONTRACTOR SHALL ALSO TELEPHONE ALL NEWLY INSTALLED SANITARY SEWER PIPE TO ENSURE LINES AND GRADES HAVE BEEN VERIFIED.
21. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN SANITARY, WATER, STORM, AND PRIVATE UTILITY LINES. MANHOLES SHALL BE TAKEN FROM THE NEAREST EDGE OF THE UTILITY IN QUESTION.
22. THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE WATER AND SEWER SERVICES SHALL BE THE MINIMUM VERTICAL SEPARATIONS SHALL BE 18".
23. SANITARY SEWER PIPE SLOPE SHALL BE MEASURED FROM CENTER OF MANHOLE TO CENTER OF MANHOLE.
24. ALL MANHOLES REQUIRE KON-SIAL OR EQUAL RUBBER BLOCKS.
25. TOPS FOR SANITARY SEWER MANHOLES PLACED WITHIN PAVED AREAS SHALL BE INSTALLED WITH TRAFFIC READY FRAMES AND SHALL MATCH THE FINISHED PAVEMENT ELEVATION. TOPS FOR MANHOLES PLACED WITHIN UNPAVED AREAS SHALL MATCH FINISHED GRADE ELEVATIONS. ALL EXISTING MANHOLES & UTILITY BOXES SHALL BE ADJUSTED AS NECESSARY TO MATCH FINISHED GRADING.
26. ALL SANITARY MANHOLES AND PIPES SHALL BE FLUSHED CLEAN OF DEBRIS PRIOR TO TURNING SYSTEM OVER TO OWNER.
27. ALL BEE WADERS SHALL CONFORM TO LOCAL REQUIREMENTS.
28. THRUST BLOCKS ARE REQUIRED WHEREVER PIPE CHANGES DIRECTION (TEES, BENDS, ETC.).
29. GRAVITY SEWER LINE MATERIAL SHALL BE PVC (SDR35) OR DIP (CLASS 350).
30. THE PRIMARY ELECTRIC SERVICE SHALL BE PROVIDED BY THE LOCAL POWER PROVIDER. THIS INCLUDES THE TRANSFORMER, AND TRENCHING, BACKFILL AND COMPACTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE SECONDARY SERVICE. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF BOTH SERVICES.
31. THE GAS SERVICE TO THE GAS METERS SHALL BE PROVIDED BY THE LOCAL GAS PROVIDER. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE GAS SERVICE.
32. THE GAS AND UNDERGROUND POWER LINES ARE SHOWN FOR INFORMATION PURPOSES ONLY. EXACT LOCATIONS SHALL BE FIELD DETERMINED DURING CONSTRUCTION.

EROSION NOTES

- 1. THE PROJECT TOPOGRAPHIC SURVEY HAS BEEN PROVIDED BY ATWELL LLC.
2. THE OWNER SHALL ALLOW AND MAINTAIN OFF-STREET PARKING FOR WORKERS ON THE SUBJECT PROPERTY THROUGHOUT CONSTRUCTION.
3. A COPY OF THE APPROVED LAND DISTURBANCE PLAN AND PERMIT SHALL BE PRESENT ON-SITE WHENEVER LAND DISTURBANCE ACTIVITIES IN PROGRESS.
4. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO THE LATEST EROSION CONTROL AND SEDIMENT CONTROL REGULATIONS FOR ASSOCIATED FEDERAL, REGIONAL, AND LOCAL REGULATORY AGENCIES.
5. ALL EROSION CONTROL MEASURES SHALL MEET THE REQUIREMENTS AND THE SPECIFICATIONS CONTAINED WITHIN THE CONSTRUCTION DETAILS UNLESS AN EQUAL PRODUCT HAS BEEN PRESENTED TO AND APPROVED BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
6. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT THE ENTIRE DURATION OF LAND DISTURBING ACTIVITIES.
7. THE CONTRACTOR SHALL PROTECT ANY EXISTING OR ADJACENT DRAINAGE COURSE AND SHALL REMOVE ANY INTRODUCING CONSTRUCTION DEBRIS OR SOIL MATERIAL IN AN EXPEDITIOUS MANNER.
8. THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY MARKED AT THE OUTSET OF CONSTRUCTION AND SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF THE CONSTRUCTION ACTIVITY. NO LAND DISTURBANCE SHALL OCCUR OUTSIDE THE APPROVED LIMITS AS INDICATED ON THE APPROVED EROSION CONTROL DRAWINGS. IF WETLANDS EXIST ON-SITE, ALL CLEARING MUST BE PERFORMED IN ACCORDANCE WITH THE FEDERAL AND STATE REGULATIONS AND THE US ARMY CORPS OF ENGINEERS WETLANDS Delineation Manual.
9. A CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED AT THE OUTSET OF CONSTRUCTION SHALL BE MAINTAINED APPROPRIATELY IN ORDER TO PREVENT TRACKING ONTO PUBLIC ROADWAYS. ALL MATERIALS SPILLED ONTO A PUBLIC ROADWAY OR INTO A PUBLIC STORAGE SEWER SHALL BE REMOVED IMMEDIATELY.
10. ONCE A CONSTRUCTION EXIT HAS BEEN APPROPRIATELY INSTALLED, APPROPRIATE PERIMETER EROSION CONTROL AND STORMWATER MEASURES SHALL BE INSTALLED PRIOR TO FURTHER CONSTRUCTION.
11. ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED WITH PERMANENT HARD SURFACE GROUND COVER VEGETATION.
12. THE CONTRACTOR SHALL REMOVE AND DEPOSED OF ACCUMULATED Silt FROM EACH RESPECTIVE EROSION CONTROL MEASURE IN ACCORDANCE WITH THE NOTES AND DETAILS ON THESE DRAWINGS.
13. ALL DISTURBED AREAS LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
14. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AS DEEMED NECESSARY BY ON-SITE INSPECTION.
15. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED SHOULD INTERIM DRAINAGE CONDITIONS DIFFER FROM THE APPROVED FINAL CONDITIONS. THE CONTRACTOR SHALL MAKE ADJUSTMENTS ACCORDINGLY IN ORDER THAT SEDIMENT NOT LEAVE THE SITE.
16. THE CONTRACTOR SHALL AVOID ANY USE OF THE MAINTENANCE OF A EROSION CONTROL MEASURES. THE LOGS SHALL BE MADE AVAILABLE FOR INSPECTION AT ALL TIMES.

DEMOLITION NOTES:
1. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXIST UTILITIES AND GRAVITY STORM AND SANITARY SEWER LINES TO DETERMINE THE ACCURACY OF SURVEY INFORMATION REFLECTED ON THESE DRAWINGS. ADDITIONALLY, THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL CONNECTIONS RELATIVE TO THOSE SHOWN ON THESE DRAWINGS. IF DISCREPANCIES ARE DETERMINED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE DRAWINGS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN BY THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION SERVICE TO VERIFY THE LOCATION OF ALL UTILITIES BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXIST UTILITIES WHICH CONFLICT WITH THE PROPOSED UTILITIES SHOWN ON THE PLANS.

ATWELL
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TEL: 919.323.9233
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TRACT: EC3 (IMP-15-05)
SUB-5-58-02
CASE NUMBER: ASH-0086-0023
NOTES:
SITE: 06/07/2024
3/2024 + REV 1 + ASH ROUND 1
4/2024 + REV 2 + ASH ROUND 2
CHASE - NEW BERN AVE
BDG ARCHITECTS
5100 NEW BERN AVE
CITY OF RALEIGH
WAKE COUNTY, NORTH CAROLINA
PI: 172945171
PLOT: 172945171
SCALE: 1"=20'-0"
DATE: 06/07/2024
REVISIONS:
DRAWN BY: NIA
CHECKED BY: CER
PROJECT MANAGER: KRW
JOB #: 2303175
PL: CODE: #4
SHEET NO: C100



LEGEND

●	BENCHMARK	⊕	TRAFFIC SIGNAL
○	IRON ROD FOUND	▭	CONCRETE PAVEMENT
○	60" IRON ROD & CAP SET, L# 7832	▭	ASPHALT PAVEMENT
○	TREE	▭	SUBJECT BOUNDARY LINE
○	SANITARY MANHOLE	▭	R/W
○	SEIN	▭	RIGHT OF WAY LINE
○	UTILITY POLE	▭	SETBACK LINE
○	GUY ANCHOR	▭	EMBEDMENT
○	UTILITY MANHOLE	▭	GROUND CONTOUR
○	TELECOM FIBER	▭	OVERHEAD UTILITY
○	WARNING POST FIBER	▭	UNDERGROUND TELECOM
○	HYDRANT	▭	UNDERGROUND WATER
○	WATER MANHOLE	▭	STORM SEWER
○	WATER VALVE	▭	SANITARY
○	DROPPLET	▭	DEMO LIMITS
○	CULVERT		

DEMOLITION NOTES

- ATWELL LLC IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE AND LOCAL REGULATIONS. ANY VIOLATIONS OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO ATWELL LLC WITHIN 10 BUSINESS DAYS OF THE ACTIVITY.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE REFERRED TO THE ENGINEER IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING LOCATION OF ALL UTILITIES AND NOTHING WHICH INTERFERES WITH DEMOLITION. ANY DAMAGES TO UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS/HER OWNERS' COST TO THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITIES BEFORE CONSTRUCTION AND VERIFYING LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND COST OF THE RELOCATION OF ALL UTILITIES ALONG THE RIGHT OF WAY AND ON THE SITE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT SUCH AS, BUT NOT LIMITED TO, SIGNAL POLES, SIGNAL CONTROLS, DRAINAGE STRUCTURES, TRAFFIC SIGNALS, UTILITY POLES, GUY WIRES, ETC.
- ALL EXISTING UTILITIES BEING REMOVED SHALL BE DONE SO BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.
- PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR:
 - REMOVAL OF ALL DEBRIS NOT ACCEPTABLE TO THE OWNER AND ENGINEER.
 - ENSURING THAT CONES OF ALL REMOVED AND APPROVALS MUST BE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
 - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
 - LOCATING ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE.
 - PROTECTING AND MAINTAINING IN OPERATION ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
- ALL MATERIALS REMOVED SHALL BE THE APPLICABLE UTILITY SERVICE PROVIDER AND BE RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
- A COMPLETE INSPECTION OF CONTAMINANTS BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED, SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL ENVIRONMENTAL REGULATIONS. ANY ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED FIBERS IS THE SOLE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO REMOVE, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIALS. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
- EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSION CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSION PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SHEAR VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- THE CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL, AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL, AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES OCCUR ON ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
- THE CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER AS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AGENCY.
- DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE WITHOUT WRITTEN PERMISSION OF THE OWNER AND APPROPRIATE GOVERNMENT AGENCY.
- USE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DEBRIS FIBES AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- THE CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
- THE DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE CREATION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL AND INFLECTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE.
- PRIOR TO THE REMOVAL OF ANY MATERIALS FROM THE AREA MUST BE SAID OUT TO PREVENT ANY DAMAGE TO THE ROADWAY.
- SOIL-GRADE SHALL BE COMPACTED TO 98% MAXIMUM DENSITY AND TEST RESULTS SHALL BE PROVIDED BEFORE INSTALLATION OF NEW STRUCTURES.
- ALL NEW FINISH ELEVATIONS SHALL MATCH EXISTING ADJACENT CONCRETE AND ASPHALT ELEVATIONS.
- TRENCHES TO BE DEMOLISHED SHALL BE CLEARED AND GABBED. NO BURNING SHALL BE ALLOWED ON OWNERS' PROPERTY.

811
Know what's below.
Call before you dig.
ATWELL LLC
1800 W. WILKINSON ST. SUITE 100
RALEIGH, NC 27601
252.734.5171
24 HOUR EMERGENCY CONTACT
252.734.5171
813.323.9333

ATWELL
1800 W. WILKINSON ST. SUITE 100
RALEIGH, NC 27601
252.734.5171
TRACT C-3 (MAY 1998)
SUS-5-58-02

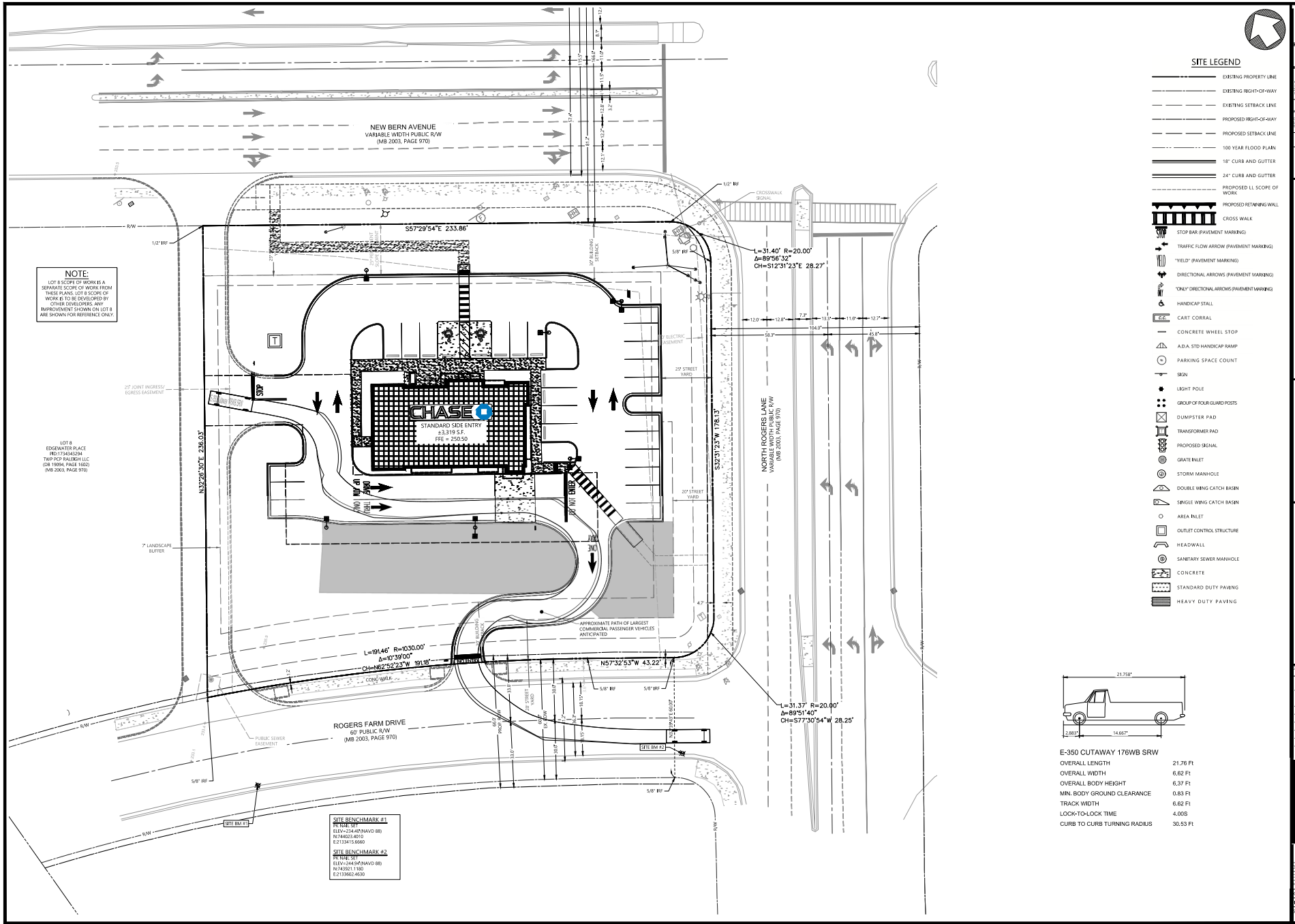
RD-1734345171
5160 NEW BERN AVE
CITY OF RALEIGH
WAKE COUNTY, NORTH CAROLINA
MASTER PLAN M-19-06

CHASE - NEW BERN AVE
BIG ARCHITECTS
SITE CONSTRUCTION PLANS
DEMOLITION PLAN
CASE NUMBER: ASP-008-0023

DATE: 06/07/2024
3/20/24 - REV 1 - ASH ROUND 1
4/17/24 - REV 2 - ASH ROUND 2

REVISIONS
SCALE: 1"=20'
DRAWN BY: WAK
CHECKED BY: CER
PROJECT MANAGER: JKW
JOB #: 23031175
FILE CODE: #4
SHEET NO.: C110

THE SOUTH PLANNING AND DESIGN CENTER, INC. HAS BEEN DESIGNATED AS THE LEAD ENGINEER OF RECORD FOR THIS PROJECT. THE SOUTH PLANNING AND DESIGN CENTER, INC. IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THIS PROJECT. THE SOUTH PLANNING AND DESIGN CENTER, INC. IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THIS PROJECT. THE SOUTH PLANNING AND DESIGN CENTER, INC. IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF THIS PROJECT.



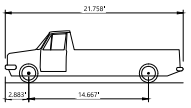
NOTE:
 LOT 8 SCOPE OF WORK IS A SEPARATE SCOPE OF WORK FROM THESE PLANS. LOT 8 SCOPE OF WORK IS TO BE DEVELOPED BY OTHER DEVELOPERS. ANY IMPROVEMENTS SHOWN ON LOT 8 ARE SHOWN FOR REFERENCE ONLY.

LOT 8 EDGEWATER PLACE
 MB172464504
 TWP RCP FALCON LLC
 USE FROM PAGES 1030
 (MB 2003, PAGE 970)

SITE BENCHMARK #1
 PR. NAD 83
 ELEV=214.67 (NAVD 88)
 N746021.4070
 E 2131415.6660

SITE BENCHMARK #2
 PR. NAD 83
 ELEV=214.67 (NAVD 88)
 N746021.1180
 E 2131862.4630

- SITE LEGEND**
- EXISTING PROPERTY LINE
 - EXISTING RIGHT-OF-WAY
 - EXISTING SETBACK LINE
 - PROPOSED HIGH-OF-WAY
 - PROPOSED SETBACK LINE
 - 100 YEAR FLOOD PLAN
 - 18" CURB AND GUTTER
 - 24" CURB AND GUTTER
 - PROPOSED LL SCOPE OF WORK
 - PROPOSED RETAINING WALL
 - CROSS WALK
 - STOP BAR (PAVEMENT MARKING)
 - TRAFFIC FLOW ARROW (PAVEMENT MARKING)
 - "YIELD" (PAVEMENT MARKING)
 - DIRECTIONAL ARROWS (PAVEMENT MARKING)
 - "ONLY" DIRECTIONAL ARROWS (PAVEMENT MARKING)
 - HANDICAP STALL
 - CART CORRAL
 - CONCRETE WHEEL STOP
 - A.D.A. STD HANDICAP RAMP
 - PARKING SPACE COUNT
 - SIGN
 - LIGHT POLE
 - GROUP OF FOUR GUARD POSTS
 - DUMPSTER PAD
 - TRANSFORMER PAD
 - PROPOSED SIGNAL
 - GRATE INLET
 - STORM MANHOLE
 - DOUBLE WING CATCH BASIN
 - SINGLE WING CATCH BASIN
 - AREA INLET
 - OUTLET CONTROL STRUCTURE
 - HEADWALL
 - SANITARY SEWER MANHOLE
 - CONCRETE
 - STANDARD DUTY PAVING
 - HEAVY DUTY PAVING



E-350 CUTAWAY 176WB SRV

OVERALL LENGTH	21.78 FT
OVERALL WIDTH	6.62 FT
OVERALL BODY HEIGHT	6.37 FT
MIN. BODY GROUND CLEARANCE	0.83 FT
TRACK WIDTH	6.62 FT
LOCK-TO-LOCK TIME	4.00S
CURB TO CURB TURNING RADIUS	30.53 FT

811
 Know what's below.
 Call before you dig.
 1-800-4-A-SHIELD

ATWELL
 ARCHITECTS
 1800 W. WILKINSON BLVD., SUITE 100
 RALEIGH, NC 27601
 (919) 873-2300
 FAX: (919) 873-2300
 CONSTRUCTION GROUP

TRACT EC3 (MPL-1-98)
 SUB-5-58-02

PROJECT NO.	1724645171
ADDRESS	5100 NEW BERN AVE
CITY	CITY OF RALEIGH
COUNTY	WAKE COUNTY, NORTH CAROLINA
MASTER PLAN	MPL-1-98

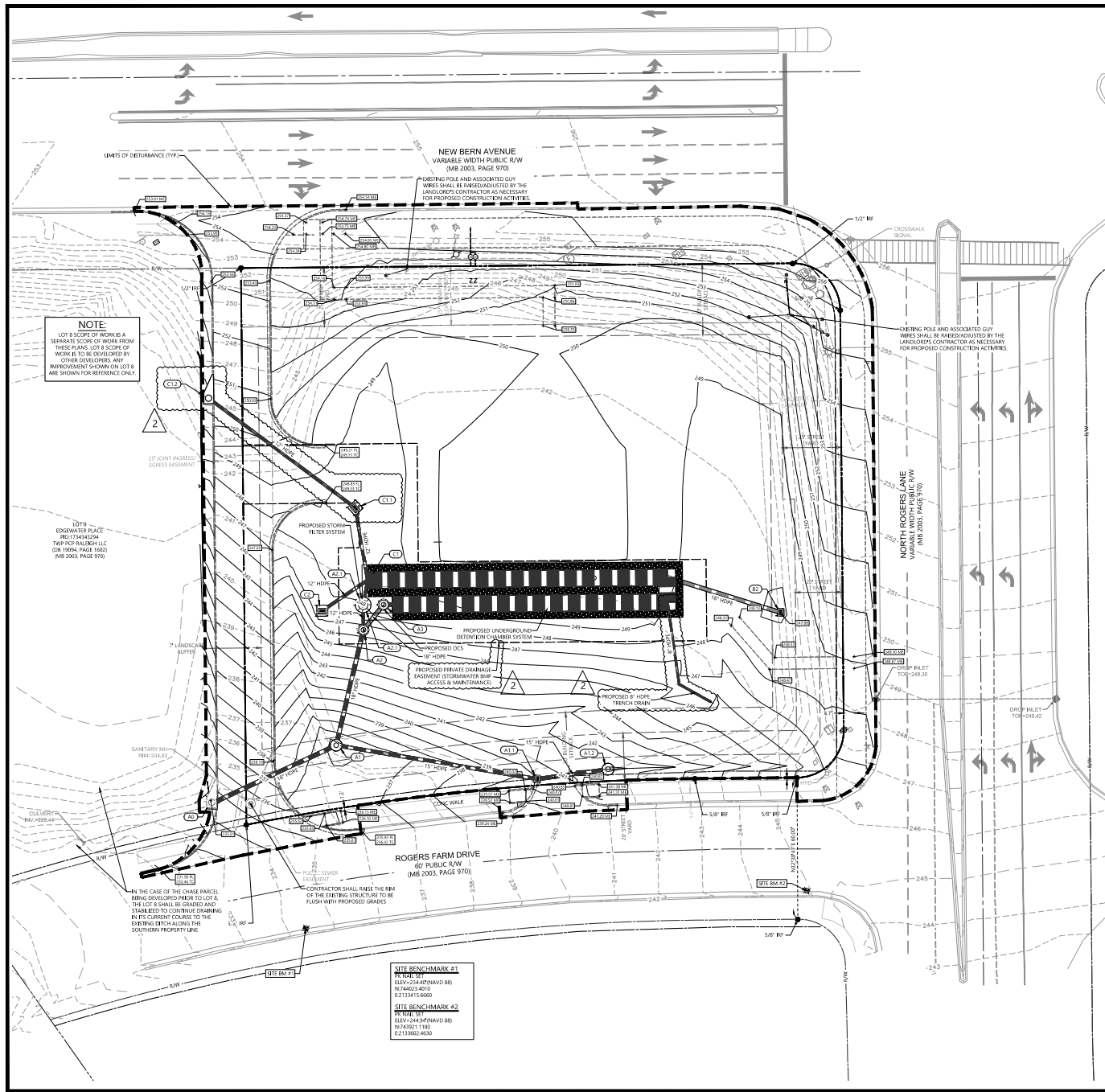
CHASE - NEW BERN AVE
 BDG ARCHITECTS
 SITE CONSTRUCTION PLANS
 TRUCK TURN SITE PLAN
 CASE NUMBER: AS4-0806-0023

DATE: 06/07/2024
 3/2024 - REV 1 - ASR ROUND 1
 6/17/24 - REV 2 - ASR ROUND 2

REVISIONS

SCALE: 1"=20'

DRAWN BY: MK
 CHECKED BY: CER
 PROJECT MANAGER: KW
 CB #: 23031175
 FILE CODE: #4
 SHEET NO. **C201**



GRADING NOTES

1. INFORMATION CONCERNING SITE SOIL CONDITIONS WILL BE PROVIDED BY THE OWNER'S GEOTECHNICAL ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DESIRE NOT ACCEPTABLE TO THE OWNER AND ENGINEER.
3. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THE CONTRACTOR SHALL MAKE A TOPOGRAPHIC SURVEY AT THEIR OWN EXPENSE AND SUBMIT TO THE OWNER FOR REVIEW.
4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITY CONDUITS BEFORE CONSTRUCTION AND VERIFYING LOCATION OF ALL UTILITIES SHOWN OR NOT SHOWN.
5. HOSE STORM PIPE SHALL BE 12" MINIMUM. THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND RECEIVE CONFIRMATION IF A SUBSTITUTE MATERIAL IS DESIRED. ALL PIPE CONNECTIONS AT MANHOLES SHALL BE WATERTIGHT. CONTRACTOR TO VERIFY ADEQUACY OF PIPE CLASSIFICATION AND MANHOLE THICKNESS FOR DEPTH WITH MATERIAL SUPPLIERS. IF BURY DEPTHS ARE GREATER THAN 4' CONTACT ATWELL ENGINEERING FOR ACCURATE DETERMINATION.
6. THE CONTRACTOR SHALL PROVIDE DRAINAGE AWAY FROM THE BUILDINGS.
7. PRECAST STRUCTURES MAY BE USED AT THE CONTRACTOR'S OPTION.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND COST OF THE RELOCATION OF ALL UTILITIES ALONG THE RIGHT OF WAY AND ON THE SITE ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT, SUCH AS BUT NOT LIMITED TO SIGNAL POLES, SIGNAL CONTROLS, DRAINAGE STRUCTURES, TRAFFIC SIGNS, TRAFFIC POLES, GUYP WIRES, ETC.
9. IN ALL AREAS WHERE NEW CURBS AND GUTTERS ARE INSTALLED, REMOVE ALL OLD CURBS AND GUTTER AND SAW CUT A STRAIGHT EDGE ALONG ASPHALT.
10. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL PLANS AND SPECIFICATIONS.
11. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
12. ALL SLOPES AND EXPOSED AREAS NOT COVERED BY BUILDING OR PAVEMENT SHALL BE GRADED SMOOTH AND RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR TO PROVIDE TOPSOIL IF NOT AVAILABLE ON SITE. THE AREAS SHALL BE SEDED, MULCHED, FERTILIZED AND WATERED TO PROVIDE A HEAVY MOVABLE STAND OF GRASS. SMALL ROCKS MUST BE REMOVED. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT AN ADDITIONAL COST TO THE OWNER.
13. SOIL FROM PROPOSED AREAS IS THE CONTRACTOR'S RESPONSIBILITY. CONTRACTOR IS TO USE THE SOIL ON SITE OR REMOVE IT FROM THE SITE.
14. EARTHWORK SHALL BE ON AN UNCLASSIFIED BASIS.
15. ANY FILL USED TO INCREASE THE ELEVATION OF THE FLOOR SLAB OR ANY FILL TO BE USED AS BACKFILL SHALL BE CLEAN, GRANULAR MATERIAL. PRIOR TO THE USE OF ANY GRANULAR FILL, GRAVIMETRIC ANALYSIS SHALL BE PROVIDED ON REPRESENTATIVE SAMPLES OF THE FILL MATERIALS TO DETERMINE WHETHER THE MATERIALS IS SUITABLE AS FILL. COMPACTED FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN 8 INCHES IN THICKNESS. AT MINIMUM, CONTRACTOR MUST PLACE THREE PERCENT OPTIMUM, AND COMPACTED TO MINIMUM DENSITY OF 98 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD, ASTM D698.
16. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GROUND UNLESS OTHERWISE NOTED.
17. ALL GRADES SHOWN REFERENCE PROPOSED ELEVATIONS AT FACE OF CURB, UNLESS OTHERWISE NOTED.
 TC=TOP OF CURB ELEVATION
 FL=BOTTOM OF CURB ELEVATION
 ML=PROPOSED GRADE TO MATCH EXISTING GRADE
 TW=TOP OF RETAINING WALL ELEVATION
 BW=BOTTOM OF RETAINING WALL ELEVATION.
18. ALL SYSTEM MANHOLES AND PIPES TO BE FLUSHED CLEAN PRIOR TO TURNING OVER TO THE OWNER.
19. ALL PIPE LENGTHS LISTED ARE BASED ON THE HORIZONTAL DISTANCE FROM CENTER OF STRUCTURE AND USED FOR BIDDING.
20. THE CONTRACTOR IS RESPONSIBLE FOR COMPARING THE STORM SEWER AND SANITARY SEWER CHARTS WITH THE PROFILES FOR THE STORM SEWER AND SANITARY SEWER LINES AND NOTIFY THE ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
21. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER BY WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
22. THE FLOW IN ALL SEWERS, DRAINS, AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED.
23. ALL SOIL, EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON-SITE.
24. ALL RETENTION AREAS SHALL BE MOUNDING. MINIMUM GRADE FOR POSITIVE DRAINAGE SHALL BE 1%.
25. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING IDS. MANHOLES IN UNPAVED AREAS SHALL BE FLUSH WITH FINISH GRADE. IDS SHALL BE LABELED PER TOWNSHIP REQUIREMENTS.
26. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL NOTES, PERMITS FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
27. ALL UNPAVED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3% OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH TOWNSHIP/PROXIMITY SPECIFICATIONS UNLESS A HEALTHY STAND OF VEGETATION IS OBTAINED.
28. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT TO INVERT OUT.
29. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
30. ALL STUMPS, ROOTS, AND ORGANIC MATTER SHALL BE REMOVED TO A DEPTH OF TWO FEET MINIMUM BELOW THE BOTTOM OF THE BASE MATERIAL. ALL ROCKS LARGER THAN 6 INCHES SHALL BE REMOVED AND ALL ROCK LARGER THAN 12 INCHES, WHICH CANNOT BE READILY BROKEN BY MEANS OPERATIONAL, SHALL BE REMOVED TO A DEPTH OF TWO FEET.
31. ADA GRADING: ALL EXTERIOR SLOPES, NEW CONSTRUCTION, SHALL BE VERIFIED TO BE IN COMPLIANCE WITH LOCALLY ADOPTED ACCESSIBILITY REGULATIONS AND SHALL BE MEASURED WITH A 24 HOUR SMART LEVEL.

INFILTRATION NOTE

THE PROPOSED INFILTRATION SYSTEM IS DESIGNED BASED ON THE ASSUMPTION THAT THE FILL BELOW AND TO THE SIDE WILL MEET OR EXCEED THE MINIMUM PERCOLATION RATES SPECIFIED IN THE ASSOCIATED DESIGN CALCULATIONS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROCURE FILL SOILS THAT MEET OR EXCEED THE DESIGN INFILTRATION RATES.

LIMITS OF DISTURBANCE = 1.65 ACRE (72,144.38 SF)

GRADING LEGEND

- EXISTING PROPERTY LINE
- EXISTING HIGH-WAY
- EXISTING SETBACK LINE
- PROPOSED HIGH-WAY
- PROPOSED SETBACK LINE
- 100 YEAR FLOOD PLAN
- 123 --- EXISTING MINOR CONTOUR
- 123 --- EXISTING MAJOR CONTOUR
- 123 --- PROPOSED MINOR CONTOUR
- 123 --- PROPOSED MAJOR CONTOUR
- --- PROPOSED BREAK LINE
- --- EXISTING STORM LINE
- --- PROPOSED LL SCOPE OF WORK
- --- PROPOSED STORM LINE
- --- PROPOSED RETAINING WALL
- --- PROPOSED SPOT ELEV
- --- SLOPE ARROW
- --- GRATE INLET
- --- STORM MANHOLE
- --- DOUBLE WING CATCH BASIN
- --- SINGLE WING CATCH BASIN
- --- AREA INLET
- --- OUTLET CONTROL STRUCTURE
- --- HEADWALL
- --- SANITARY SEWER MANHOLE

NOTE:
 LOT 5 SCOPE OF WORK IS A SEPARATE SCOPE OF WORK FROM THESE PLANS. LOT 6 SCOPE OF WORK IS A SEPARATE SCOPE OF WORK FROM THESE PLANS. LOT 7 SCOPE OF WORK IS A SEPARATE SCOPE OF WORK FROM THESE PLANS. ANY IMPROVEMENTS SHOWN ON LOT 8 ARE SHOWN FOR REFERENCE ONLY.

NEW BERN AVENUE
 VARIABLE WIDTH PUBLIC ROW
 (MB 2003, PAGE 970)

EXISTING POLE AND ASSOCIATED GUY WIRES SHALL BE REDESIGNED BY THE LANDOWNER'S CONTRACTOR AS NECESSARY FOR PROPOSED CONSTRUCTION ACTIVITIES.

NEW ROGERS FARM DRIVE
 VARIABLE WIDTH PUBLIC ROW
 (MB 2003, PAGE 970)

ROGERS FARM DRIVE
 60' PUBLIC ROW
 (MB 2003, PAGE 970)

SITE BENCHMARK #1
 POINT: 367
 ELEVATION: 244.40 (NAVD 88)
 N: 740021.4070
 E: 213141.6660

SITE BENCHMARK #2
 POINT: 367
 ELEVATION: 244.40 (NAVD 88)
 N: 740021.1180
 E: 2131862.2630



Know what's below.
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 811

24 HOUR EMERGENCY CONTACT
 813.923.9333

TRACT C-3 (MPS-198)



TRACT C-3 (MPS-198)
 RID: 1724345171
 5160 NEW BERN AVE
 CITY OF RALEIGH
 WAKE COUNTY, NORTH CAROLINA

CHASE - NEW BERN AVE
 BDG ARCHITECTS
 SITE CONSTRUCTION PLANS
 GRADING PLAN - PHASE 1
 CASE NUMBER: AS4-008-0023
 MASTER PLAN (MPS-198)

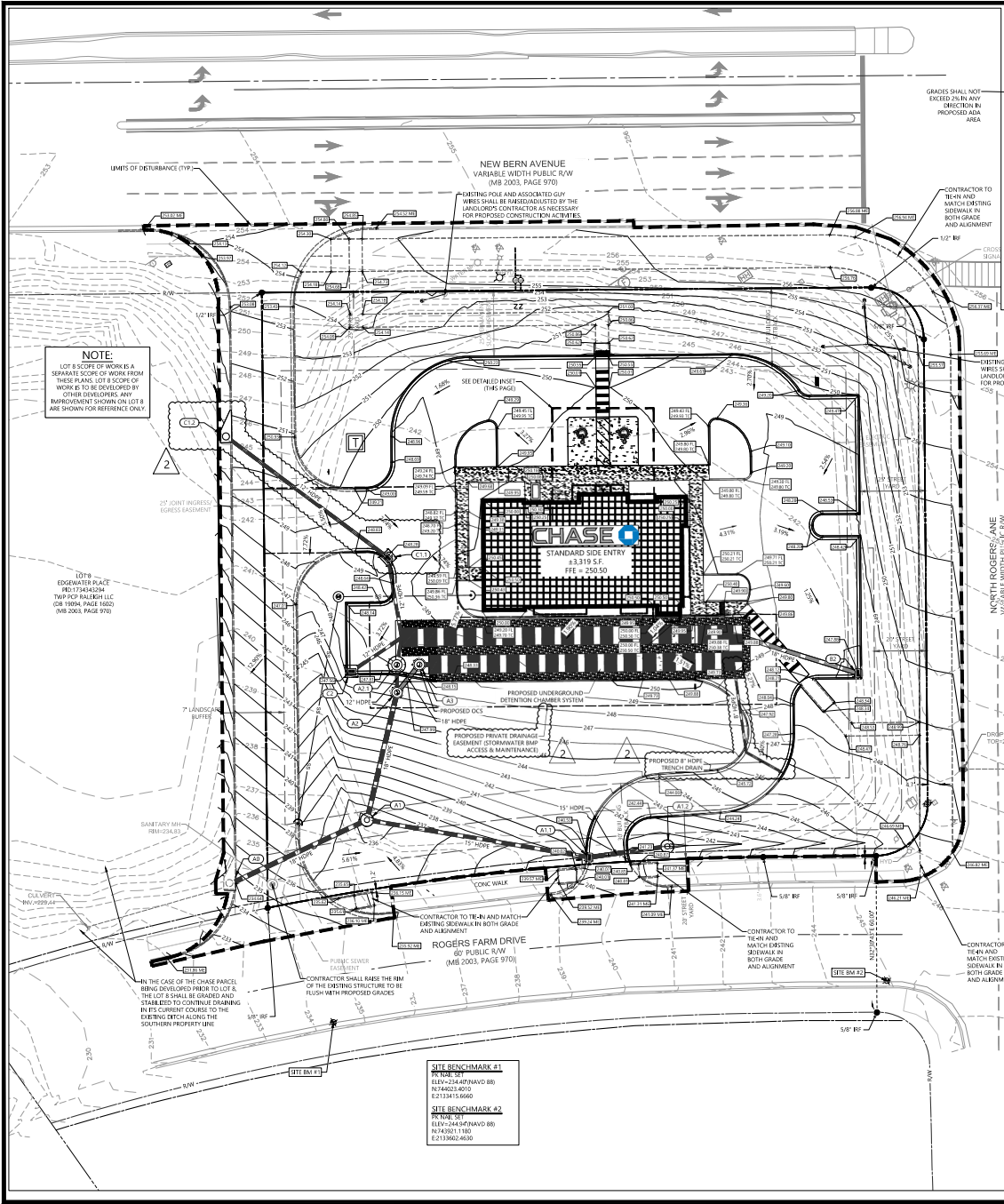
DATE: 06/07/2024
 3/2024 + REV 1 - AS4 ROUND 1
 6/7/24 + REV 2 - AS4 ROUND 2

REVISIONS

DESIGNED BY: NWA
 CHECKED BY: CER
 PROJECT MANAGER: JKW
 JOB #: 23031175
 FILE CODE: #4
 SHEET NO.

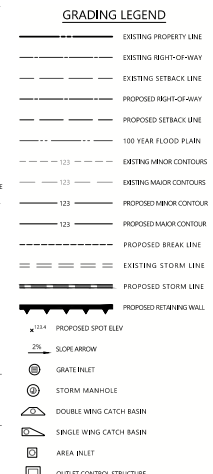


C300



GRADING NOTES

1. INFORMATION CONCERNING SITE SOIL CONDITIONS WILL BE PROVIDED BY THE GEOTECHNICAL ENGINEER.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS NOT ACCEPTABLE TO THE OWNER AND ENGINEER.
3. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THE CONTRACTOR SHALL MAKE A TOPOGRAPHIC SURVEY AT THEIR OWN EXPENSE AND SUBMIT IT TO THE ENGINEER FOR REVIEW.
4. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES BEFORE CONSTRUCTION AND VERIFYING LOCATION OF ALL UTILITIES SHOWN ON THE PLANS.
5. HOPE STORM PIPE SHALL BE 32" MINIMUM. THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD AND RECORD CONTRACTOR FOR A SUBSTITUTE MATERIAL IF DESIRED. ALL PIPE CONNECTIONS AT MANHOLES SHALL BE WATER TIGHT. CONTRACTOR TO VERIFY ADEQUACY OF PIPE CLASSIFICATION AND MANHOLE THEORIES FOR DEPTHS WITH MATERIAL SUPPLIERS. IF BURY DEPTHS ARE GREATER THAN 10' CONTACT ATWELL ENGINEERING FOR MORE SPECIFICATIONS.
6. THE CONTRACTOR SHALL PROVIDE DRAINAGE AWAY FROM THE BUILDING.
7. PRECAST STRUCTURES MAY BE USED AT THE CONTRACTOR'S OPTION.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND COST OF THE RELOCATION OF ALL UTILITIES ALONG THE FRONT OF WAY AND ON THE SITE ASSOCIATED WITH THE CONSTRUCTION OF THE PROJECT, SUCH AS, BUT NOT LIMITED TO, SIGNAL POLES, SIGNAL CONTROLS, DRAINAGE STRUCTURES, TRAFFIC SIGNALS, UTILITY POLES, GUY WIRES, ETC.
9. IN ALL AREAS WHERE NEW CURB AND GUTTER ARE INSTALLED, REMOVE ALL OLD CURB AND GUTTER AND SAW CUT A STRAIGHT EDGE ALONG ASPHALT.
10. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH ARCHITECTURAL PLANS AND SPECIFICATIONS.
11. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STORMING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
12. ALL SLOPES AND DISTURBED AREAS NOT COVERED BY PAVING OR PAVEMENT SHALL BE GRADED SMOOTH AND RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR TO PROVIDE TOPSOIL NOT AVAILABLE ON SITE. THE AREAS SHALL BE SEEDED, MULCHED, FERTILIZED AND WATERED TO PROVIDE A HEALTHY MOBILE STAND OF GRASS. SMALL ROCKS MUST BE REMOVED. ANY AREAS DESTROYED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
13. SOIL FROM FOOTINGS IS THE CONTRACTOR'S RESPONSIBILITY. CONTRACTORS TO USE THE SOIL ON SITE OR REMOVE IT FROM THE SITE.
14. EARTHWORK SHALL BE ON AN UNDESIGNED BASIS.
15. ANY FILL USED TO INCREASE THE ELEVATION OF THE FLOOR SLAB OR ANY FILL TO BE USED AS BACKFILL, SHALL BE CLEAN, GRANULAR MATERIAL. PRIOR TO THE USE OF ANY GRANULAR FILL, GRADATION ANALYSIS SHALL BE PERFORMED ON REPRESENTATIVE SAMPLES OF THE FILL MATERIAL TO DETERMINE WHETHER THE MATERIAL IS SUITABLE. ALL FILL COMPACTED FILL SHALL BE PLACED IN LAYERS OF NOT MORE THAN 8 INCHES IN THICKNESS, AT MOISTURE CONTENTS WITHIN THREE PERCENT OPTIMUM, AND COMPACTED TO MINIMUM DENSITY OF 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD, ASTM D908.
16. ALL SPOT ELEVATIONS ARE TOP OF PAVEMENT OR FINISHED GRADE UNLESS OTHERWISE NOTED.
17. ALL GRADES SHOWN REFERENCE PROPOSED ELEVATIONS AT FACE OF CURB, UNLESS OTHERWISE NOTED.
 TC-TOP OF CURB ELEVATION
 FB-BOTTOM OF CURB ELEVATION
 AH-PROPOSED GRADE TO MATCH EXISTING GRADE
 TW-TOP OF RETAINING WALL ELEVATION
 BW-BOTTOM OF RETAINING WALL ELEVATION
18. ALL SYSTEM MANHOLES AND WRES TO BE FLUSHED CLEAN PRIOR TO TURNING OVER TO THE OWNER.
19. ALL PIPE LENGTHS LISTED ARE BASED ON THE HORIZONTAL DISTANCE FROM CENTER OF STRUCTURE AND USED FOR DESIGN.
20. THE CONTRACTOR IS RESPONSIBLE FOR COMPARING THE STORM SEWER AND SANITARY SEWER CHAINS WITH THE PROFILES FOR THE STORM SEWER AND SANITARY SEWER LINES AND INFORMING THE ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
21. IF THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN THE CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE IN THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY SUCH DISCREPANCY BETWEEN GEOTECHNICAL REPORT AND PLANS, ETC.
22. THE FLOW IN ALL SEWERS, DRAINS, AND WATERCOURSES ENCOUNTERED SHALL BE MAINTAINED.
23. ALL SOIL EXPOSED AND LEFT MUST BE CONTROLLED AND CONTAINED ON-SITE.
24. ALL EXISTING BLENDS SHALL BE MOUNDING MINIMUM GRADE FOR POSITIVE DRAINAGE SHALL BE 1%.
25. ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING BGS. MANHOLES IN UNPAVED AREAS SHALL BE FLUSH WITH FINISH GRADE. BGS SHALL BE LABELED PER TOWNSHIP REQUIREMENTS.
26. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL NOTES & SPECIFICATIONS FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
27. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STAIN EATEN FABRIC TO ALL SLOPES 3:1 OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH TOWNSHIP/COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.
28. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POLISHED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
29. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING STORM SEWER STRUCTURES, PIPES, AND ALL UTILITIES PRIOR TO CONSTRUCTION.
30. ALL STORMS, ROOTS AND ORGANIC MATTER SHALL BE REMOVED TO A DEPTH OF TWO FEET MINIMUM BELOW THE BOTTOM OF THE BASE MATERIAL. ALL ROCKS LARGER THAN SIX INCHES SHALL BE REMOVED AND ALL ROCKS LARGER THAN 12 INCHES WHICH CANNOT BE BROKEN BY IMPACT OPERATIONS SHALL BE REMOVED TO A DEPTH OF TWO FEET.
31. **ADJ GRADING: ALL EXTERIOR SLOPES, NEW CONSTRUCTION, SHALL BE VERIFIED TO BE IN COMPLIANCE WITH LOCALLY ADOPTED ACCESSIBILITY REGULATIONS AND SHALL BE MEASURED WITH A 2" INCH SMART LEVEL.**



INFILTRATION NOTE

THE PROPOSED INFILTRATION SYSTEM IS DESIGNED BASED ON THE ASSUMPTION THAT THE FILL BUDGET ON THIS SITE WILL MEET OR EXCEED THE MINIMUM PERCOLATION RATES SPECIFIED IN THE ASSOCIATED DESIGN CALCULATIONS. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROCURE FILL SOLES THAT MEET OR EXCEED THE DESIGN INFILTRATION RATES.

LIMITS OF DISTURBANCE = 1.65 ACRE (72,144.38 SF)

Know what's below. Call before you dig.

ATWELL ENGINEERING, INC. 1600 PARKWAY, SUITE 700 WAKE COUNTY, NC 27709
 PH: 919.496.1200 FAX: 919.496.1201
 www.atwelleng.com

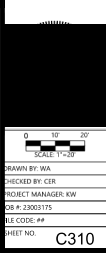
24 HOUR EMERGENCY CONTACT
 (919) 496-1200



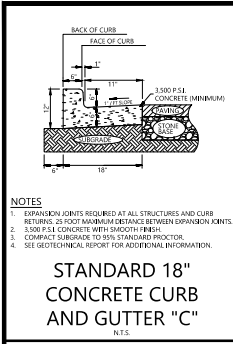
CHASE - NEW BERN AVE
 BDG ARCHITECTS
 5150 NEW BERN AVE
 CITY OF RALEIGH
 WAKE COUNTY, NORTH CAROLINA
 MASTER PLAN (MP-196)
 CASE NUMBER: AS-008-2023
 GRADING PLAN - PHASE 2

DATE: 06/07/2024
 1/2024 + REV 1 ASR ROUN 1
 6/17/24 + REV 2 ASR ROUN 2

DESIGNED BY: MIA
 CHECKED BY: CER
 PROJECT MANAGER: KW
 CB #: 2303175
 FILE CODE: #4
 SHEET NO. **C310**



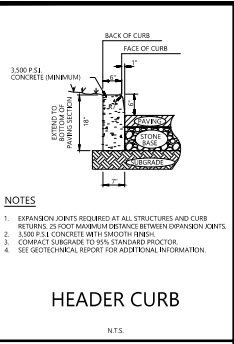
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 PLOT: 23-008-023-023\CHASE - NEW BERN AVE - GRADING PLAN - PHASE 2.dwg
 PLOT DATE: 06/07/2024 10:10:00 AM
 PLOT SCALE: 1/8" = 1'-0"
 PLOT SHEET: 1 OF 4



STANDARD 18" CONCRETE CURB AND GUTTER "C"
N.T.S.

NOTES

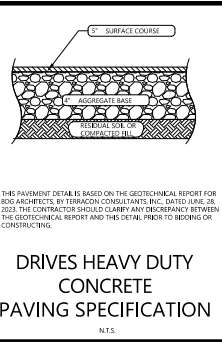
- EXPANSION JOINTS REQUIRED AT ALL STRUCTURES AND CURB RETURNS. 2" FOOT MINIMUM DISTANCE BETWEEN EXPANSION JOINTS.
- 3000 P.S.I. CONCRETE WITH SMOOTH FINISH.
- COMPACT SUBGRADE TO 95% STANDARD PROCTOR.
- SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.



HEADER CURB
N.T.S.

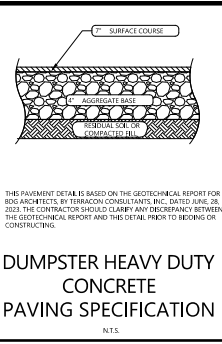
NOTES

- EXPANSION JOINTS REQUIRED AT ALL STRUCTURES AND CURB RETURNS. 2" FOOT MINIMUM DISTANCE BETWEEN EXPANSION JOINTS.
- 3000 P.S.I. CONCRETE WITH SMOOTH FINISH.
- COMPACT SUBGRADE TO 95% STANDARD PROCTOR.
- SEE GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.



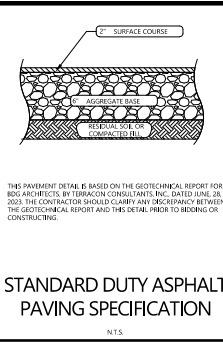
DRIVES HEAVY DUTY CONCRETE PAVING SPECIFICATION
N.T.S.

THIS PAVEMENT DETAIL IS BASED ON THE GEOTECHNICAL REPORT FOR BDG ARCHITECTS, BY TERRACON CONSULTANTS, INC., DATED JUNE 28, 2023. THE CONTRACTOR SHOULD CLARIFY ANY DISCREPANCY BETWEEN THE GEOTECHNICAL REPORT AND THIS DETAIL PRIOR TO BIDDING OR CONSTRUCTING.



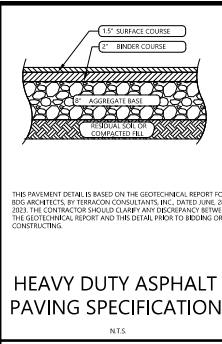
DUMPSTER HEAVY DUTY CONCRETE PAVING SPECIFICATION
N.T.S.

THIS PAVEMENT DETAIL IS BASED ON THE GEOTECHNICAL REPORT FOR BDG ARCHITECTS, BY TERRACON CONSULTANTS, INC., DATED JUNE 28, 2023. THE CONTRACTOR SHOULD CLARIFY ANY DISCREPANCY BETWEEN THE GEOTECHNICAL REPORT AND THIS DETAIL PRIOR TO BIDDING OR CONSTRUCTING.



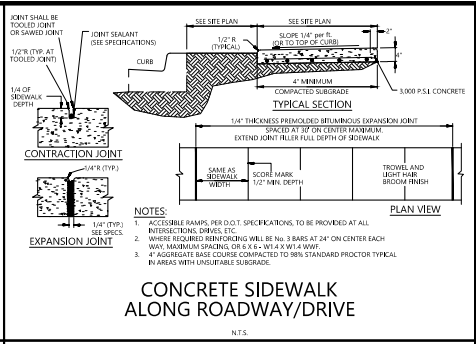
STANDARD DUTY ASPHALT PAVING SPECIFICATION
N.T.S.

THIS PAVEMENT DETAIL IS BASED ON THE GEOTECHNICAL REPORT FOR BDG ARCHITECTS, BY TERRACON CONSULTANTS, INC., DATED JUNE 28, 2023. THE CONTRACTOR SHOULD CLARIFY ANY DISCREPANCY BETWEEN THE GEOTECHNICAL REPORT AND THIS DETAIL PRIOR TO BIDDING OR CONSTRUCTING.



HEAVY DUTY ASPHALT PAVING SPECIFICATION
N.T.S.

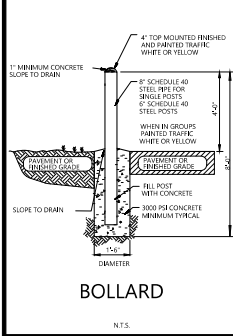
THIS PAVEMENT DETAIL IS BASED ON THE GEOTECHNICAL REPORT FOR BDG ARCHITECTS, BY TERRACON CONSULTANTS, INC., DATED JUNE 28, 2023. THE CONTRACTOR SHOULD CLARIFY ANY DISCREPANCY BETWEEN THE GEOTECHNICAL REPORT AND THIS DETAIL PRIOR TO BIDDING OR CONSTRUCTING.



CONCRETE SIDEWALK ALONG ROADWAY/DRIVE
N.T.S.

NOTES

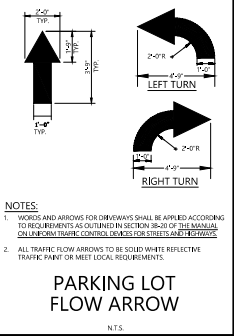
- ACCESSIBLE RAMPS, PER D.O.T. SPECIFICATIONS, TO BE PROVIDED AT ALL INTERSECTIONS. SPIRES.
- WHERE REQUIRED REINFORCING WILL BE NO. 3 BARS AT 24" ON CENTER EACH WAY. MAXIMUM SPACING OR 5" x 5" IN A MIN. 4" MIN.
- 4" AGGREGATE BASE COURSE COMPACTED TO 98% STANDARD PROCTOR TYPICAL IN AREAS WITH UNDESIRABLE SUBGRADE.



BOLLARD
N.T.S.

NOTES

- 4" TOP MOUNTED REBAR AND PAINTED TRAFFIC WHITE OR YELLOW.
- 2" CONCRETE 40 STEEL PIPE FOR SCHEDULE 40 STEEL POSTS.
- WHEN IN GROUPS PAINTED TRAFFIC WHITE OR YELLOW.
- 3000 P.S.I. CONCRETE MINIMUM TYPICAL.
- FILL POST WITH CONCRETE.
- DIAMETER.
- SLOPE TO DRAIN.



PARKING LOT FLOW ARROW
N.T.S.

NOTES

- WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 301.01 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL TRAFFIC FLOW ARROWS TO BE SOLID WHITE REFLECTIVE TRAFFIC PAINT OR MEET LEGAL REQUIREMENTS.

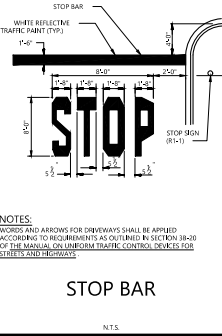


"STOP" SIGN
N.T.S.

SIGN CRITERIA

30" x 30"

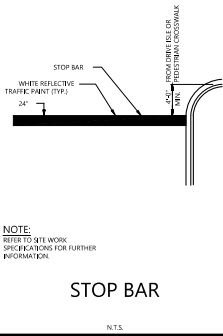
R1-1



STOP BAR
N.T.S.

NOTES

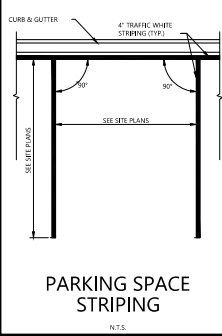
WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 301.01 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).



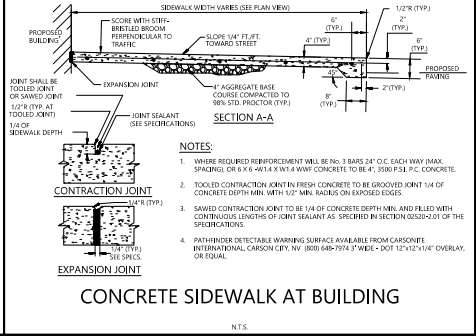
STOP BAR
N.T.S.

NOTE

REFER TO SITE WORK SPECIFICATIONS FOR FURTHER INFORMATION.



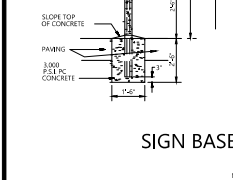
PARKING SPACE STRIPING
N.T.S.



CONCRETE SIDEWALK AT BUILDING
N.T.S.

NOTES

- WHERE REQUIRED REINFORCEMENT WILL BE NO. 3 BARS @ 24" EACH WAY MAX. SPACING OR 6" x 6" @ 14" x 14" W/M CONCRETE TO BE 4" 3000 P.S.I. CONCRETE.
- TOOLED CONTRACTION JOINT IN FRESH CONCRETE TO BE GROOVED JOINT 1/4" OF CONCRETE DEPTH MIN. WITH 1/2" MIN. RADIUS ON EXPOSED EDGES.
- SAWED CONTRACTION JOINT TO BE 48" OF CONCRETE DEPTH MIN. AND FILLED WITH CONTINUOUS LENGTHS OF JOINT SEALANT AS SPECIFIED IN SECTION 0320-02.01 OF THE SPECIFICATIONS.
- REINFORCE DETECTABLE WARNING STRIP AVAILABLE FROM CAROLITE INTERNATIONAL, CARSON CITY, NV. (800) 649-7974. WIDTH - 12" x 12" x 1/4" OVERLAY, OR EQUAL.

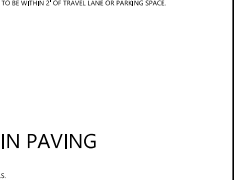


SIGN BASE IN PAVING
N.T.S.

NOTE

SIGN SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND ALL FEDERAL, STATE AND LOCAL CODES.

CONCRETE BOLLARD AROUND POST IS NECESSARY WHERE SIGN IS TO BE WITHIN 2' OF TRAVEL LANE OR PARKING SPACE.



SIGN BASE IN LANDSCAPE AREA
N.T.S.

NOTES

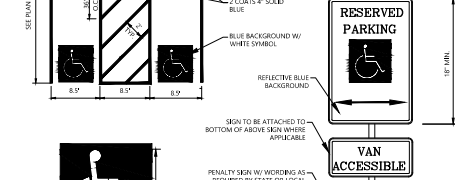
- SIGN SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS AND ALL FEDERAL, STATE AND LOCAL CODES.
- CONCRETE BOLLARD AROUND POST IS NECESSARY WHERE SIGN IS TO BE WITHIN 2' OF TRAVEL LANE OR PARKING SPACE.



ADA PARKING DETAIL
N.T.S.

NOTES

- SEE SITE PLAN FOR LAYOUT AND LOCATION.
- ALL DIMENSIONS ARE TO TOP OF STRIP UNLESS OTHERWISE INDICATED.
- 2% MAXIMUM SLOPE IN ALL DIRECTIONS WITHIN THE ACCESSIBLE SPACE.
- * CONCRETE BOLLARD AROUND POST IS NECESSARY WHERE THE SIGN IS TO BE WITHIN 2' OF THE TRAVEL LANE OR PARKING SPACE.

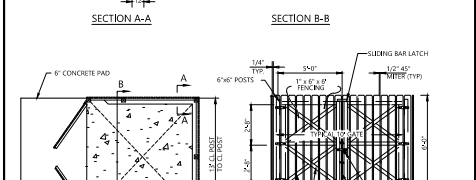


ACCESSIBLE PARKING SYMBOL

LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN ACCESSIBLE"

NOTES

- SEE SITE PLAN FOR LAYOUT AND LOCATION.
- ALL DIMENSIONS ARE TO TOP OF STRIP UNLESS OTHERWISE INDICATED.
- 2% MAXIMUM SLOPE IN ALL DIRECTIONS WITHIN THE ACCESSIBLE SPACE.
- * CONCRETE BOLLARD AROUND POST IS NECESSARY WHERE THE SIGN IS TO BE WITHIN 2' OF THE TRAVEL LANE OR PARKING SPACE.



DUMPSTER PAD AND FENCE ENCLOSURE
N.T.S.

NOTES

- ALL POST AND STRINGERS SHALL BE COMBOS TREATED PINE.
- ALL FENCE STRIPS SHALL BE UNTREATED CEDAR.
- ALL METAL FACTORIES SHALL BE HOT DIPPED GALVANIZED.
- IF DRAIN IS REQUIRED BY LOCAL CODES INSTALL DRAIN IN CENTER OF PAD AND SLOPE PAD TO DRAIN. IF NO DRAIN SLOPE PAD TO DRAIN TO ACCESS POINT.
- REFER TO GEOTECHNICAL RECOMMENDATIONS FOR THICKNESS OR APPLICATION OF STORM BASE.



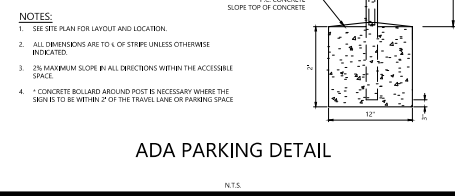
PRE-CAST CONCRETE WHEELSTOP
N.T.S.



ADA PARKING DETAIL
N.T.S.

NOTES

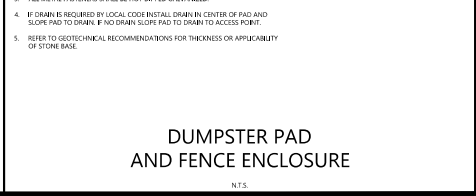
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ADA PARKING DETAIL
N.T.S.

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N.T.S.

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- REFER TO GEOTECHNICAL RECOMMENDATIONS FOR THICKNESS OR APPLICATION OF STORM BASE.

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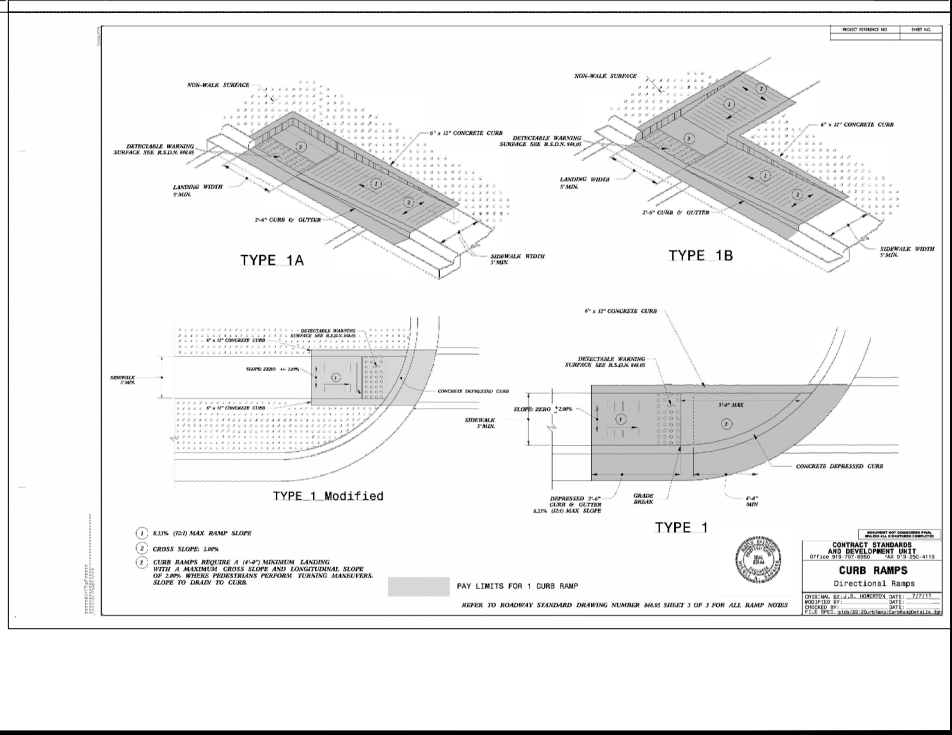
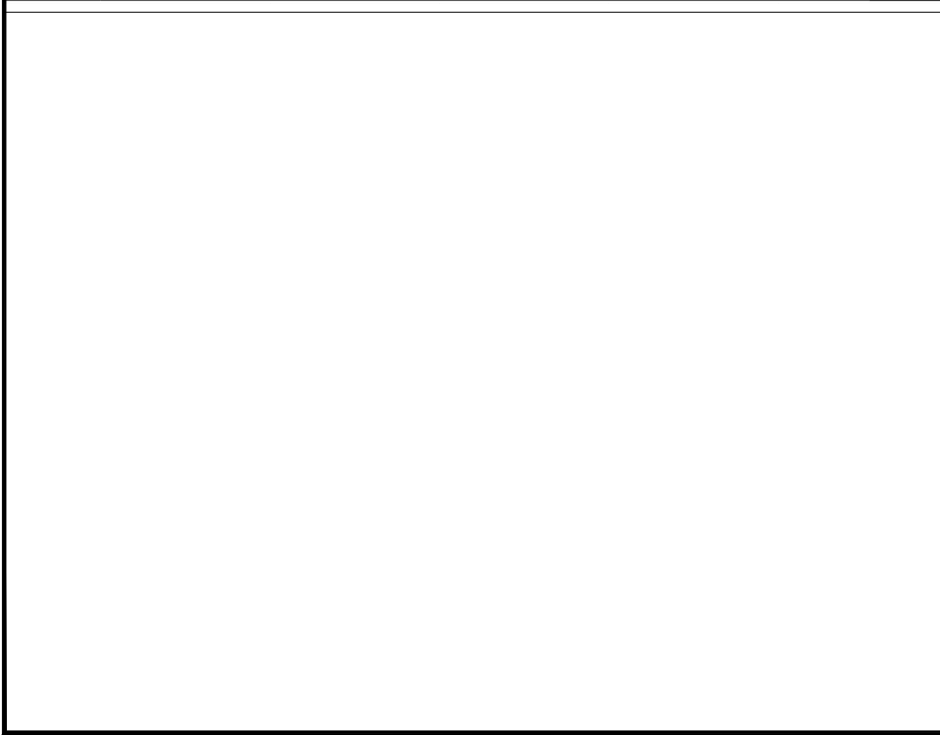
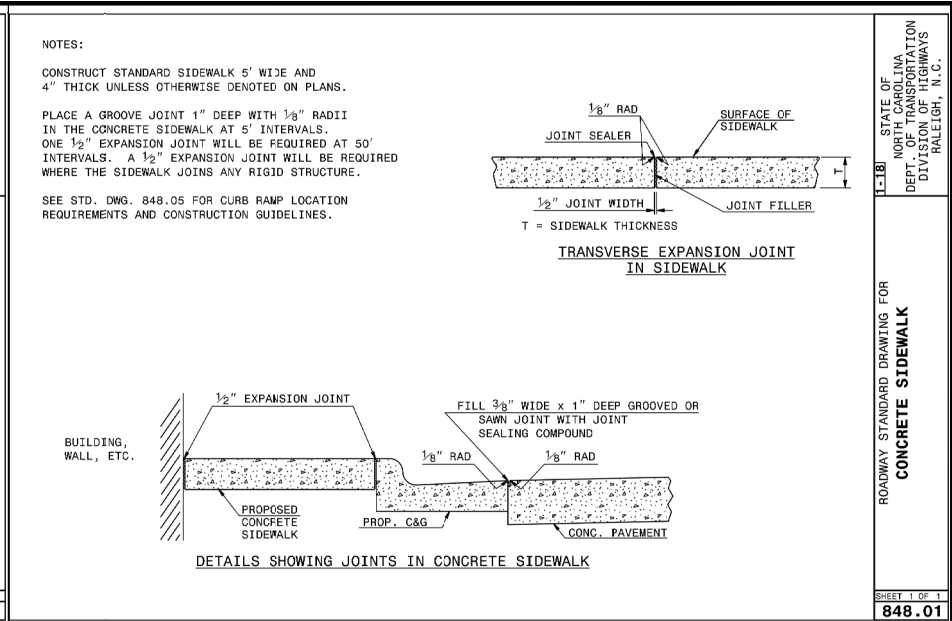
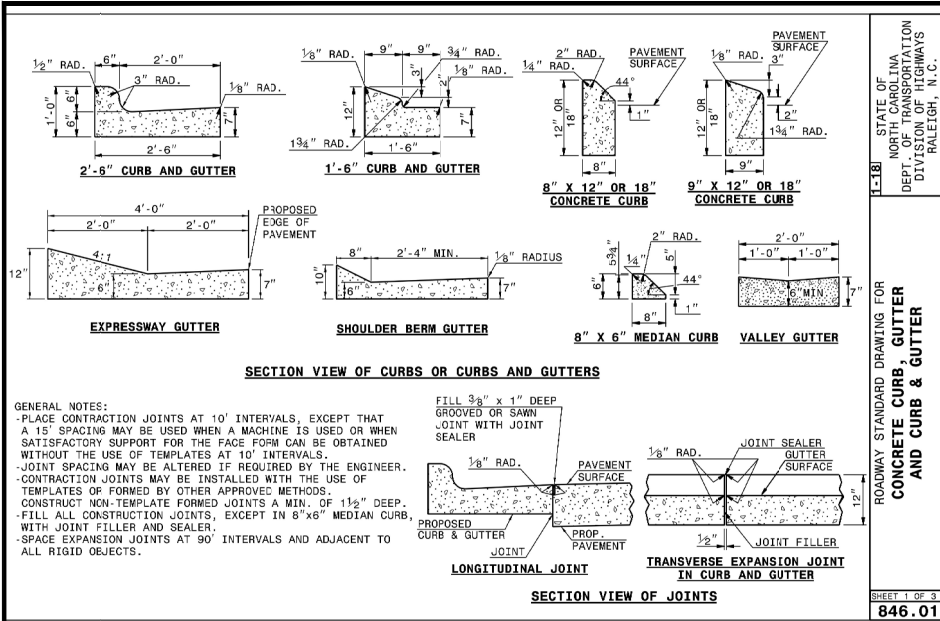
24 HOUR EMERGENCY CONTACT
TERRACON CONSULTANTS, INC.
919.323.9333

PROJECT: 1724345171
5160 NEW BERN AVE
CITY OF RALEIGH
WAKE COUNTY, NORTH CAROLINA
MASTER PLAN (MP-156)
BRACKET (EC-3) (MP-156)
SUB-5-58-02

CHASE - NEW BERN AVE
BDG ARCHITECTS
SITE CONSTRUCTION PLANS
CIVIL DETAILS SHEET
CASE NUMBER: ASH-0080-023

DATE: 06/07/2024
3/3/2024 - REV 1 - ASH ROUND 1
6/7/24 - REV 2 - ASH ROUND 2

DESIGNED BY: NIA
CHECKED BY: CER
PROJECT MANAGER: KW
JOB #: 2303175
FILE CODE: #4
SHEET NO.: C700



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CONTRACTOR'S OBLIGATION TO THE PUBLIC: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

24 HOUR EMERGENCY CONTACT
 TRIPLEX 919-329-3333

ATWELL
 1800 PARKWAY, SUITE 100
 WAKE FOREST, NC 27158
 (919) 276-2300
 FAX (919) 276-2300

TRACT EC-3 (MPS-1-98)

STATE OF NORTH CAROLINA
 DEPT. OF TRANSPORTATION
 DIVISION OF HIGHWAYS
 RALEIGH, N. C.

ROADWAY STANDARD DRAWING FOR
CONCRETE SIDEWALK

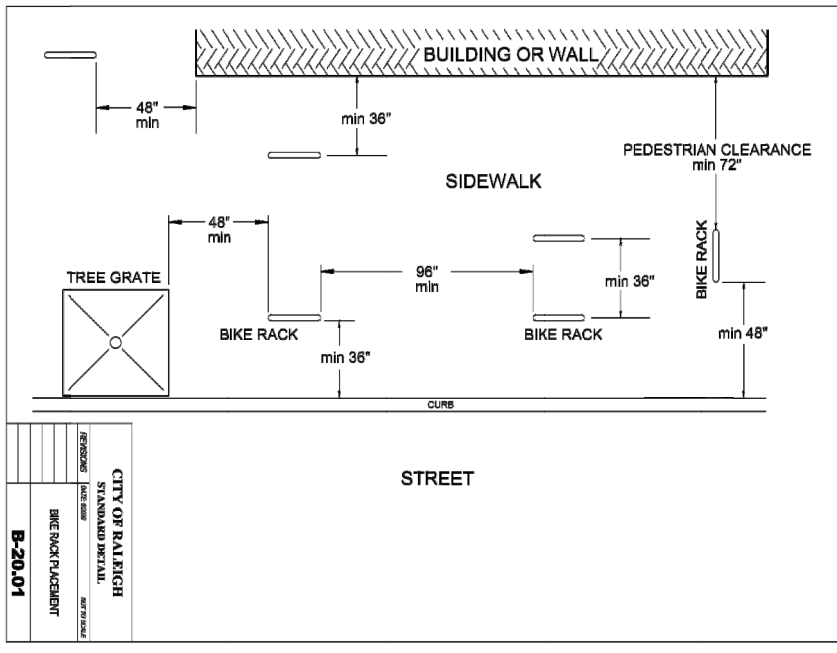
SHEET 1 OF 1
848.01

CHASE - NEW BERN AVE
 BDG ARCHITECTS
 SITE CONSTRUCTION PLANS
 CIVIL DETAILS SHEET

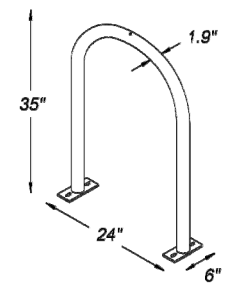
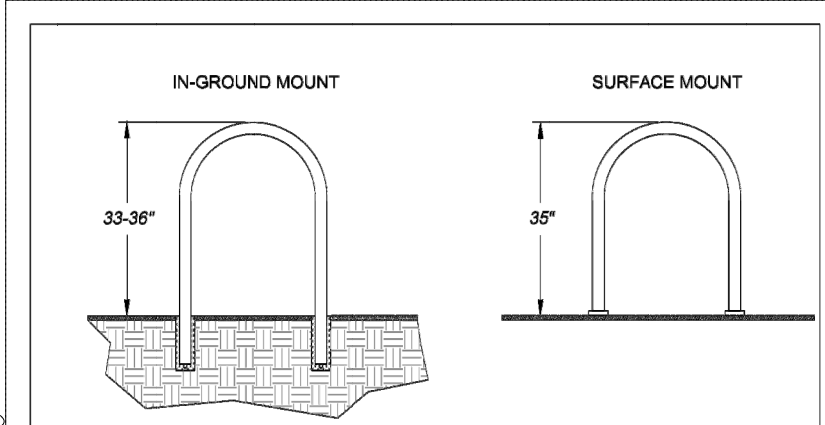
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 CITY OF RALEIGH
 WAKE COUNTY, NORTH CAROLINA
 MASTER PLAN IMP-1-98

CASE NUMBER: ASR-0806-0023

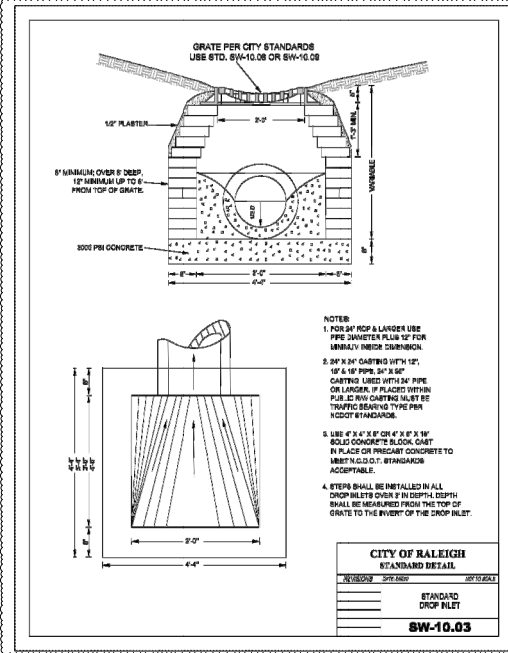
CONTRACTOR'S OBLIGATION TO THE PUBLIC: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



B-20.01	BIKE RACK PLACEMENT	REVISIONS	DATE	BY
		NO. 1		
CITY OF RALEIGH STANDARD DETAIL		DATE 07/2014		

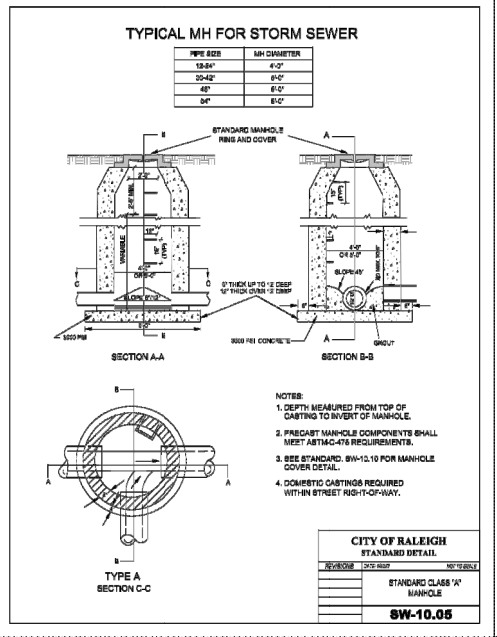


BIKE RACK INSTALLATION:
 SURFACE MOUNT - WHEN INSTALLED ON CONCRETE SURFACE, USE 3/8" ANCHORS TO PLATE MOUNT. SHIM AS NECESSARY TO ENSURE VERTICAL PLACEMENT.
 IN-GROUND MOUNT - WHEN INSTALLED ON PAVERS OR OTHER NON-STABLE SURFACES, EMBED INTO BASE. CORE HOLES NO LESS THAN 3" IN DIAMETER AND 10" DEEP.



- NOTES:**
- FOR 24\"/>

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	BY
NO. 1		
STANDARD DROP INLET		
8W-10.03		



- NOTES:**
- DEPTH MEASURED FROM TOP OF CASTING TO INVERT OF MANHOLE.
 - PRECAST MANHOLE COMPONENTS SHALL MEET ASTM C-476 REQUIREMENTS.
 - SEE STANDARD 8W-10.10 FOR MANHOLE COVER DETAIL.
 - CONCRETE CASTINGS REQUIRED WITHIN STREET RIG-ID-OF-WAY.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	BY
NO. 1		
STANDARD CLASS 14\"/>		
8W-10.05		

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
NO. 1		
BIKE RACK DETAILS		
B-20.03		

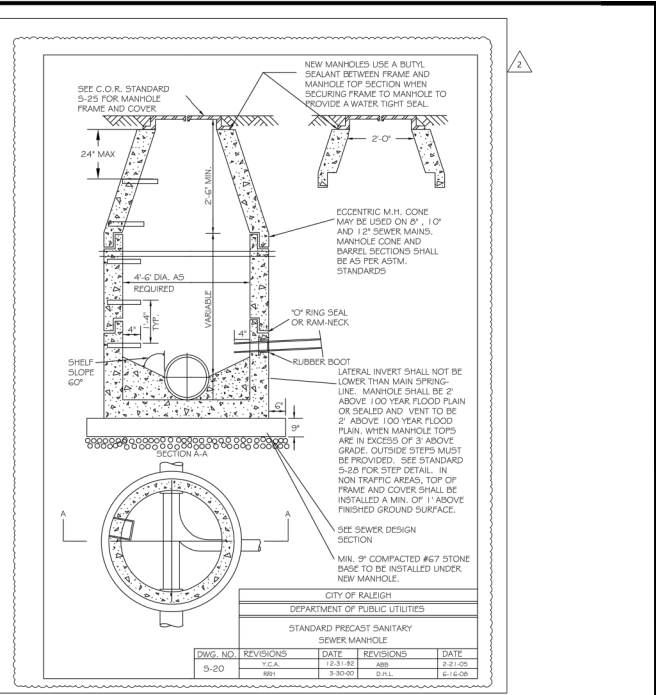
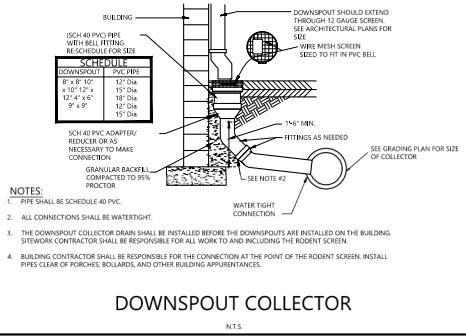
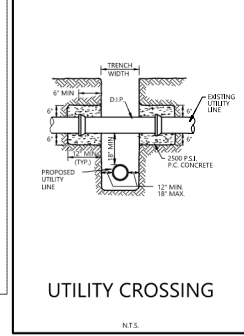
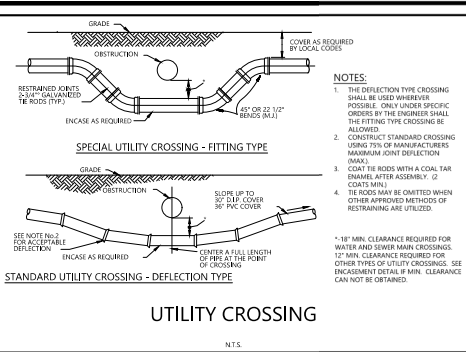
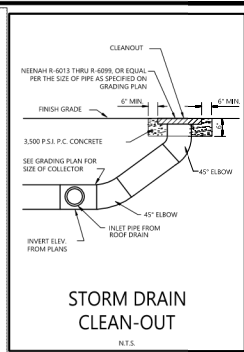
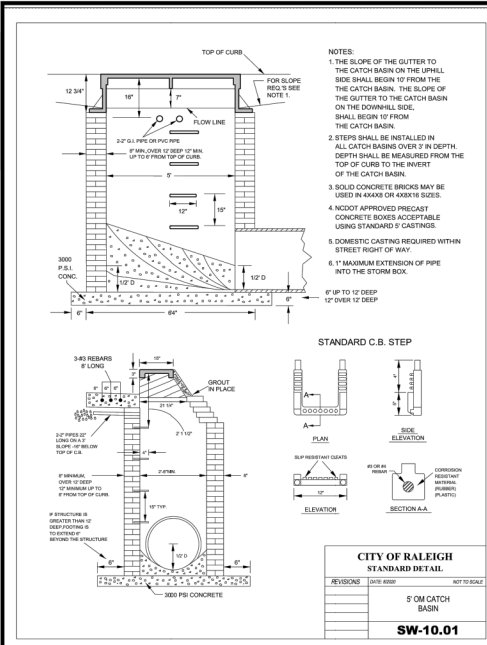
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 ARCHITECTS
 800 PARKWAY, SUITE 1700
 WAKE COUNTY, NORTH CAROLINA 27601
 (919) 236-2300

PROJECT: CHASE - NEW BERN AVE
 5160 NEW BERN AVE
 CITY OF RALEIGH
 WAKE COUNTY, NORTH CAROLINA
 MASTER PLAN (MP)-1-56

DATE: 06/07/2024
 3/2024 - REV 1 - ASR ROUND 1
 5/17/24 - REV 2 - ASR ROUND 2

DESIGNED BY: WJA
 CHECKED BY: CER
 PROJECT MANAGER: KW
 CB #: 23031175
 FILE CODE: #4
 SHEET NO: C702



ZURN Model 975XL2 Reduced Pressure Principle Assembly

Application

Ideal for use where Lead-Free valves are required. Designed for installation on potable water lines to protect against both back-siphonage and back-suction of contaminated water into the potable water supply. Assembly shall provide protection where a potential health hazard exists. The assembly can be configured with a relief valve sensor that detects and signals excessive water discharge that, if left undetected, may cause property damage from flooding.

Standards Compliance

- ASSEF Listed 1013
- cUPC Listed
- CSAB Certified 864.4
- AWWA Compliance C511
- Approved by the Foundation for Cross Connection Control and Hydraulic Research at the University of Southern California
- Meets the requirements of NSF/ANSI/CAN 61 and 572
- Less than 0.20% Weighted Average Lead Content
- ULR Classified (less shut-off valves or with CSF valves)
- CULR Classified

Options

(Sufficient can be combined)

- S with full port QT ball valves (standard)
- FT with bronze "T" type strainer
- FT with integral male 45° flare SAE seat fitting with ball lock up
- SE with street elbows (3/4" & 1")
- MS with relief valve excessive discharge sensor for flood detection and low-water warning
- U with union ball valves

Accessories

- Air Gap (Model AG)
- Repair kits (rubber only)
- Thermal separation kit (MS, XT)
- Soft sealed check valve (Model 40XL2)
- Shock arrester (Model 1260XL)
- QT SET Quick Test Fitting Set
- Relief Valve Monitoring Retrofit Kit (RFV-975XL2MS)

Materials

Main valve body: Low Lead Cast Bronze ASTM B 584
Access covers: Stainless Steel, 300 Series
Fasteners: Stainless Steel, 300 Series
Elastomers: Buna Nitrile
Polymers: Stainless Steel, 300 series
Springs: Stainless Steel
Ball valve handles: Stainless Steel

Features

Size: 3/4", 1", 1-1/4", 1-1/2", 2"
Maximum working water pressure: 150 PSI
Maximum working water temperature: 175 PSI
Hydrostatic test pressure: 350 PSI
End connections: Threaded
ANSI B1.20.1

Relief Valve discharge port:
3/4", 1", 1-1/4", 2" - 0.03 sq. in.
1-1/4", 2" - 1.19 sq. in.

Dimensions & Weights (do not include plug)

MODEL SIZE	DIMENSIONS (approximate)												WITH BALL VALVES				
	A	B	C	D	E	F	G	H	I	J	K	L					
3/4	1.25	1.30	1.30	7.34	1.97	2.18	5.4	3	76	3.12	89	5	127	16.18	410	12	5.5
1	1.25	1.30	1.30	7.34	1.97	2.18	5.4	3	76	3.12	89	5	127	17.08	441	14	6.4
1-1/4	1.25	1.30	1.30	7.34	1.97	2.18	5.4	3	76	3.12	89	5	127	17.08	441	14	6.4
1-1/2	1.25	1.30	1.30	7.34	1.97	2.18	5.4	3	76	3.12	89	5	127	17.08	441	14	6.4
2	1.25	1.30	1.30	7.34	1.97	2.18	5.4	3	76	3.12	89	5	127	17.08	441	14	6.4

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www.zurn.com

Flow Characteristics

MODEL 975XL2 3/4", 1", 1-1/4", 1-1/2" & 2" (STANDARD & METRIC)

Capacity thru Schedule 40 Pipe

Pipe size	5 f/sec	7.5 f/sec	10 f/sec	15 f/sec
1/2"	1	1	2	3
3/8"	2	2	3	5
3/4"	3	4	6	9
1"	5	7	9	14
1-1/4"	8	12	17	25
1-1/2"	13	20	27	40
2"	23	35	47	70
2-1/2"	32	48	63	95
3"	52	78	105	157

Typical Installation

Local codes shall govern installation requirements. To be installed in accordance with the manufacturer's instructions and the latest edition of the Uniform Plumbing Code. Unless otherwise specified, the assembly shall be mounted at a minimum of 12" (305mm) and a maximum of 30" (762mm) above adequate drains, with sufficient side clearance for testing and maintenance. The installation shall be made so that no part of the unit can be submerged.

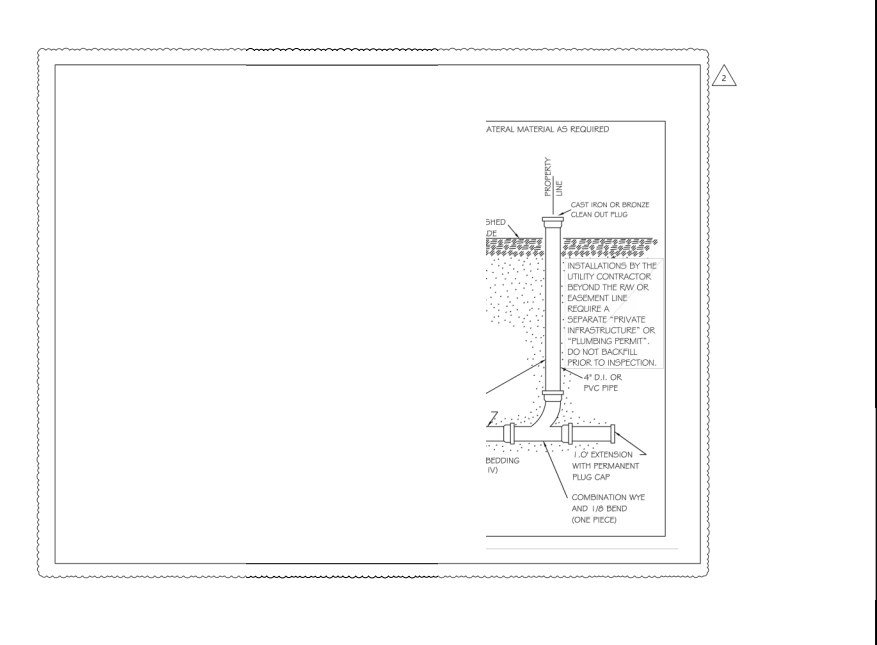
INDOOR INSTALLATION

OUTDOOR INSTALLATION

Specifications

The Reduced Pressure Principle Backflow Preventer shall be certified to NSF/ANSI/CAN 61, shall be ASSEF Listed 1013, rated to 150 PSI, and supplied with full port ball valves. The main body and access covers shall be low lead cast bronze (ASTM B584), the seal ring and all internal polymers shall be noryl™ and the seat disc elastomers shall be silicone. The first and second checks shall be acceptable for maintenance without removing the relief valve or the entire device from the line. If installed indoors, the installation shall be supplied with an air gap adapter. The assembly shall be configurable to include a sensor to monitor excessive water discharge from the relief valve for flood detection. The Reduced Pressure Principle Backflow Preventer shall be a ZURN WILKINS Model 975XL2.

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TRAJECT EC3 (IMP-1-98) SUB-5-88-02

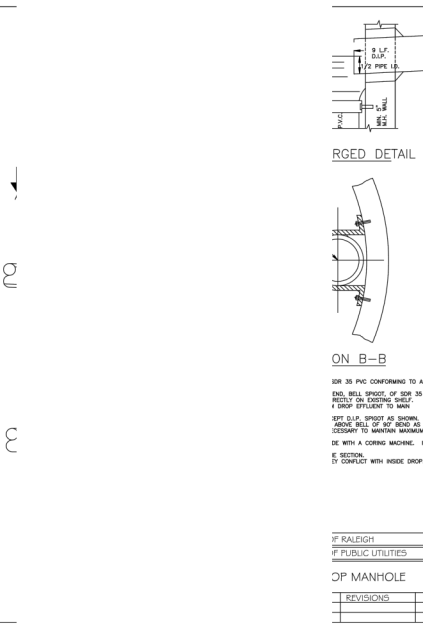
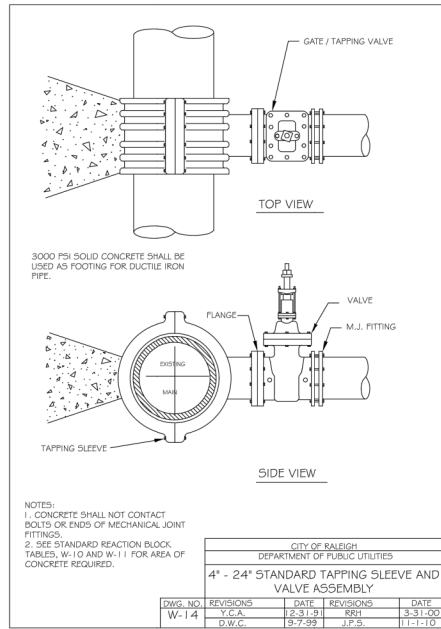
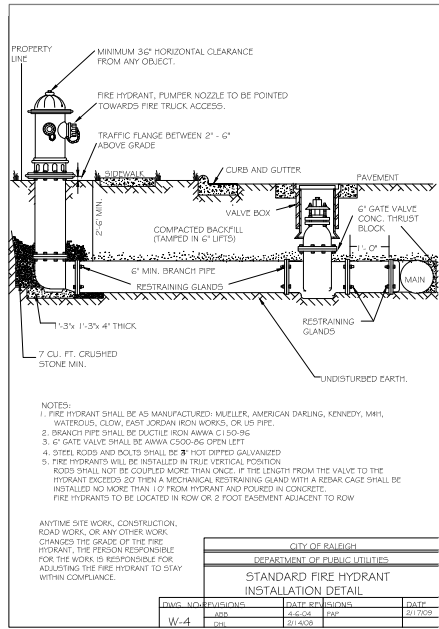
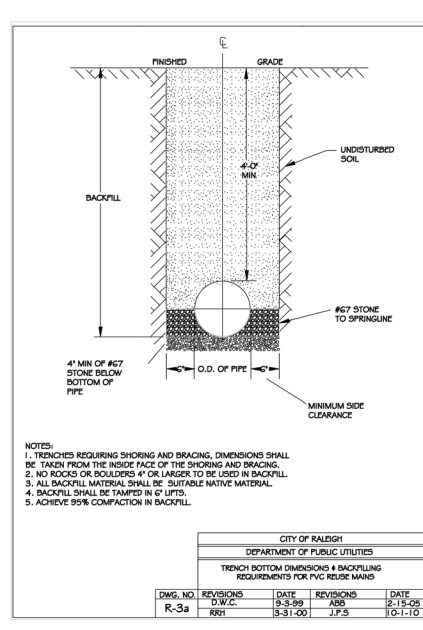
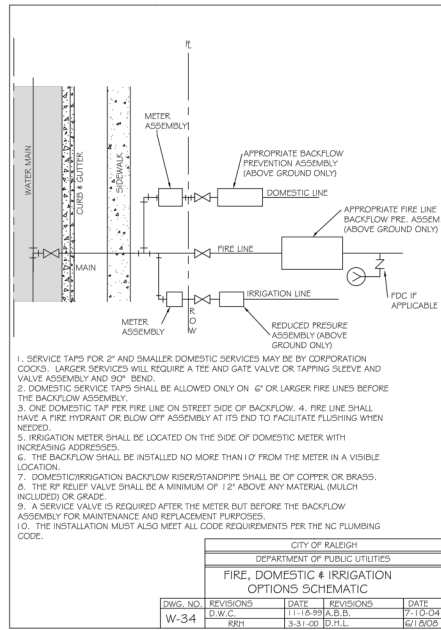
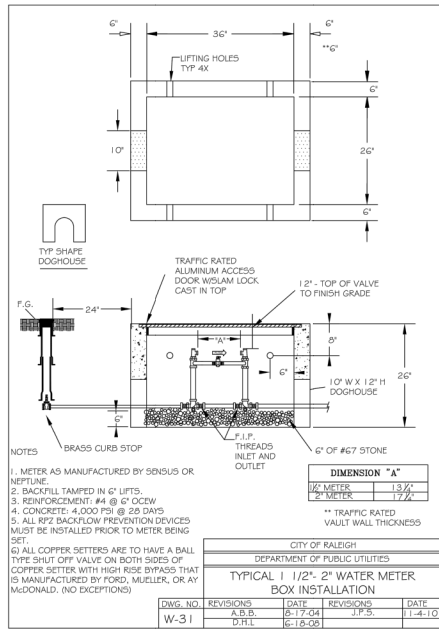
CHASE - NEW BERN AVE
BDG ARCHITECTS
5160 NEW BERN AVE
CITY OF RALEIGH
WAKE COUNTY, NORTH CAROLINA
MASTER PLAN IMP-1-98

SITE CONSTRUCTION PLANS
CIVIL DETAILS SHEET

DATE: 06/07/2024
3/20/24 - REV 1 - ASH ROUND 1
4/7/24 - REV 2 - ASH ROUND 2

REVISIONS

DESIGNED BY: MIA
CHECKED BY: CER
PROJECT MANAGER: KW
DS: P-2303175
BL CODE: #4
SHEET NO: C703



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PROJECT: CHASE - NEW BERN AVE
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 CITY OF RALEIGH
 WAKE COUNTY, NORTH CAROLINA
 MASTER PLAN, WP-156

DATE: 06/07/2024
 3/20/24 - REV 1 - ASB ROUNDED 1
 4/17/24 - REV 2 - ASB ROUNDED 2

REVISIONS

DESIGNED BY: MIA
 CHECKED BY: CER
 PROJECT MANAGER: KW
 JOB #: 2303175
 FILE CODE: #4
 SHEET NO.: C704



Determining Number of Cartridges for Volume-Based Design in NC

Design Engineer: JRG	Blue Cells = Input
Date: 6/8/2024	Black Cells = Calculation
Site Information	
Project Name: Chase Bank - New Bern Rd	
Project State: NC	
Project Location: Chase Ave, New Bern, NC	
Design Area, A_d: 0.89 ac	
Impervious Area, A_i: 0.89 ac	
Perforated Area, A_p: 0.54 ac	
% Perforated: 0.64	0.08-1.0" (AA&E)
Runoff Coefficient, R_v:	
Water Quality Volume Calculations	
Design storm rainfall depth, R_d: 4.0 in	
Water quality volume, WQV: 250.0 ft ³	0.47 R _v A _d (665/12)
Storage Component Calculations	
Detention 75% of WQV: 173.8 ft ³	0.75 WQV
Pre-treatment credit (estimated or calculated), V_{pre}: 35%	
Mass loading calculations	
Inlet Annual Runoff, I_{AR}: 44 in	
Agency required to remove: 8%	
Percent Runoff Capture (to remove): 89%	
Inlet Annual Runoff, I_{AR}: 86.874 ft ³	0.077 A _d R _v (45862/12) (Scapeflow)
Event Mean Concentration of Pollutant, EMC: 174.8 mg/l	(Scapeflow, use 100 mg/l unless this is specified, see Section 4)
Annual Mass Load, M_{AN}: 417.64 lbs	EMC * I _{AR} (200000) (2.20000) (2.20000)
Filter System	
Filtering Invert: Storm Filter	
Cartridge Height: 27 in	
Cartridge Quantity Calculations	
Mass removed by pre-treatment system, M_{pre}: 158 lbs	85% * M _{AN}
Mass load to filter after pre-treatment, M_{filter}: 259.6 lbs	M _{AN} * (1 - 85%)
Estimate the required filter efficiency, E_{req}: 79%	1 + ((M _{filter} - M _{pre}) / M _{filter}) * 100
Mass to be captured by filter, M_{cap}: 232 lbs	M _{filter} * E _{req}
Inlet Annual Cartridge Flow rate, C_{AR}: 7.5 gpm	10 * (I _{AR} / 12) (Scapeflow)
Mass load per cartridge, M_{car} (lb): 34 lbs	M _{cap} / (C _{AR} * 365)
Number of Cartridges required, N_{car}: 8	(M _{cap} / M _{car}) (Scapeflow)
Inlet Annual Treatment Capacity: 5.08	(N _{car} * C _{AR}) (365)
SUMMARY	
Minimum Treatment Filter Area, A_{ft}: 0.56	Filter Polishing: TBC 8 & 9
Cartridge Flow Rate, gpm: 7.5	Filtering:
Number of Cartridges: 8	
Cartridge Size: 7.5" H x 6"	

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Volume StormFilter Outflow & Orifice Calculation

Project Name: Chase Bank - New Bern Rd
Project State: NC
Project Location: Chase Ave, New Bern, NC

Design Engineer: JRG
Date: 6/8/2024

Input | **Calculated**

Project Name: Chase Bank - New Bern Rd
Project State: NC
Project Location: Chase Ave, New Bern, NC

Design Engineer: JRG
Date: 6/8/2024

Design Engineer: JRG
Date: 6/8/2024

Design Engineer: JRG
Date: 6/8/2024

During the worst-case scenario, there is 8.94 feet of head available on the orifice.

Flow Rate per Cartridge:
Flow, Q (cfm) 0.0157
Flow, Q (gpm) 7.04

With 8.94 ft of head available, each cartridge will discharge 7.04 gpm, or 0.0157 cfm. Since 7.04 gpm is less than the 7.5 gpm flow rate for the 27-inch cartridge, the mass loading calculations are preserved and 5 cartridges are suitable for this site.

Total Unit Outflow:
Flow, Q (cfm) per cartridge 0.0157
Flow, Q (cfm) total 0.0785 (Q = No. Cartridges x Flow per Cartridge)

With 5 cartridges, the total StormFilter discharge outflow rate is 0.0785 cfm during the worst-case scenario.



EQUIVALENT ORIFICE DIAMETER

The following equations back-calculate from the total worst-case StormFilter flow rate and head to determine an equivalent orifice diameter that can be used to represent the StormFilter when designed on a volume/mass basis.

Total Outflow (cfm) 0.0785
Orifice Coefficient 0.61
Max. Head on cartridge (ft) 8.94
Equivalent Diameter, D (ft) 0.083
Equivalent Diameter, D (in) 0.997

$$Q = C_d \sqrt{2gH}$$

$$Q = (0.61) \left(\frac{D^2}{4} \right) \sqrt{2(32.2)H}$$

$$D = \left(\frac{4Q}{0.61 \sqrt{2(32.2)H}} \right)^{0.5}$$

This equivalent orifice, however, is not a physical orifice. It is simply a method for accounting for the flow through the Volume StormFilter in routing calculations when required.



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MASTER PLAN (MP) 1-96

CHASE - NEW BERN AVE
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SITE CONSTRUCTION PLANS
CIVIL DETAIL SHEET

DATE: 06/07/2024
3/0/2024 - REV 1 - ASH ROUND 1
6/7/24 - REV 2 - ASH ROUND 2

REVISIONS



DESIGNED BY: JRG
CHECKED BY: CER
PROJECT MANAGER: JKW
JOB #: 2303175
FILE CODE: #4
PLOT NO.: C705



Round Pipe Stage Storage Table

Design Engineer: JRG
Date: 6/8/2024

Site Information

Project Name: Chase Bank - New Bern Rd
Project State: NC
Project Location: Raleigh

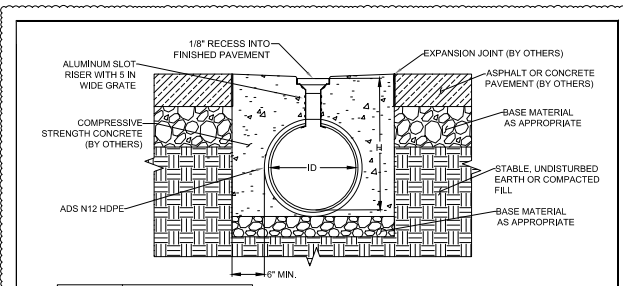
Design Engineer: JRG
Date: 6/8/2024

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Date: 6/8/2024

Inch (In)	Water Level (ft)	Inch Area (sq. ft)	Hyd Area (sq. ft)	Top Width (ft)	Volume (cu ft)	WB Elevation (ft)
1	1	0.08	0.28	1.88	0.1	228.77
2	2	0.31	0.71	2.53	0.3	228.77
3	3	0.64	1.18	2.80	0.8	228.77
4	4	1.07	1.73	3.08	1.6	228.77
5	5	1.59	2.27	3.31	2.7	228.77
6	6	2.20	2.88	3.51	4.0	228.77
7	7	2.89	3.56	3.67	5.5	228.77
8	8	3.66	4.30	3.78	7.2	228.77
9	9	4.51	5.10	3.84	9.0	228.77
10	10	5.44	5.96	3.86	10.8	228.77
11	11	6.45	6.88	3.84	12.7	228.77
12	12	7.54	7.86	3.78	14.6	228.77
13	13	8.71	8.90	3.69	16.5	228.77
14	14	9.96	1.00	3.56	18.4	228.77
15	15	11.29	1.11	3.39	20.2	228.77
16	16	12.70	1.23	3.19	22.0	228.77
17	17	14.19	1.36	2.95	23.7	228.77
18	18	15.76	1.50	2.68	25.3	228.77
19	19	17.41	1.65	2.38	26.8	228.77
20	20	19.14	1.81	2.05	28.2	228.77
21	21	20.95	1.98	1.70	29.5	228.77
22	22	22.84	2.16	1.33	30.7	228.77
23	23	24.81	2.35	0.95	31.8	228.77
24	24	26.86	2.55	0.56	32.8	228.77
25	25	28.99	2.76	0.16	33.7	228.77
26	26	31.20	2.98	-0.25	34.5	228.77
27	27	33.59	3.21	-0.65	35.2	228.77
28	28	36.16	3.45	-1.04	35.8	228.77
29	29	38.91	3.70	-1.42	36.3	228.77
30	30	41.84	3.96	-1.79	36.7	228.77
31	31	44.95	4.23	-2.14	37.0	228.77
32	32	48.24	4.51	-2.48	37.2	228.77
33	33	51.71	4.80	-2.80	37.3	228.77
34	34	55.36	5.10	-3.10	37.3	228.77
35	35	59.19	5.41	-3.38	37.2	228.77
36	36	63.20	5.73	-3.64	37.0	228.77
37	37	67.39	6.06	-3.88	36.7	228.77
38	38	71.76	6.40	-4.10	36.3	228.77
39	39	76.31	6.75	-4.30	35.8	228.77
40	40	81.04	7.11	-4.48	35.2	228.77
41	41	85.95	7.48	-4.64	34.5	228.77
42	42	91.04	7.86	-4.78	33.7	228.77
43	43	96.31	8.25	-4.90	32.8	228.77
44	44	101.76	8.65	-5.00	31.8	228.77
45	45	107.39	9.06	-5.08	30.7	228.77
46	46	113.20	9.48	-5.14	29.5	228.77
47	47	119.19	9.91	-5.18	28.2	228.77
48	48	125.36	10.35	-5.20	26.8	228.77
49	49	131.71	10.80	-5.20	25.3	228.77
50	50	138.24	11.26	-5.18	23.7	228.77
51	51	144.95	11.73	-5.14	22.0	228.77
52	52	151.84	12.21	-5.08	20.2	228.77
53	53	158.91	12.70	-5.00	18.4	228.77
54	54	166.16	13.20	-4.90	16.5	228.77
55	55	173.59	13.71	-4.78	14.6	228.77
56	56	181.20	14.23	-4.64	12.7	228.77
57	57	188.99	14.76	-4.48	10.8	228.77
58	58	196.96	15.30	-4.30	9.0	228.77
59	59	205.11	15.85	-4.09	7.2	228.77
60	60	213.44	16.41	-3.86	5.5	228.77
61	61	221.95	16.98	-3.61	4.0	228.77
62	62	230.64	17.56	-3.34	2.7	228.77
63	63	239.51	18.15	-3.05	1.6	228.77
64	64	248.56	18.75	-2.74	0.8	228.77

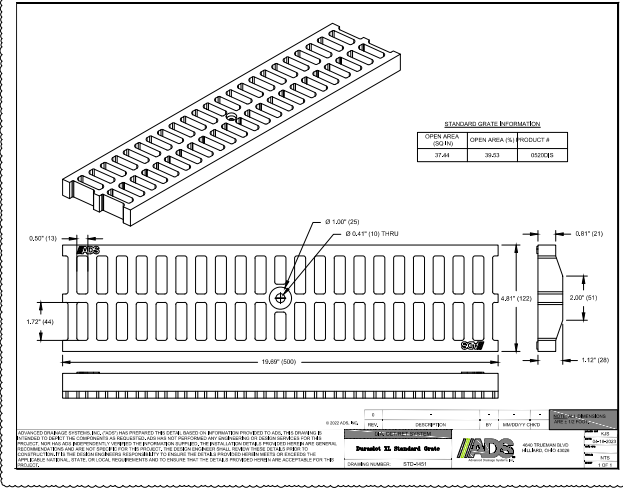
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Nominal Diameter ID, in. (mm)	Depth of Invert, H. in. (mm)	
	Minimum	Maximum
6 (150)	12.50 (315)	30.00 (762)
8 (200)	14.50 (368)	32.00 (813)
10 (250)	16.50 (419)	34.00 (864)
12 (300)	19.00 (483)	46.00 (1170)
15 (375)	22.00 (559)	51.00 (1295)
18 (450)	25.00 (635)	54.00 (1372)
24 (600)	31.25 (794)	60.00 (1524)
30 (750)	38.25 (972)	66.00 (1676)
36 (900)	44.25 (1124)	72.00 (1829)

- NOTES:**
- BACKFILL DESIGN SHOULD BE USED FOR HS-20 LOADING APPLICATIONS.
 - SITE ENGINEER TO PROVIDE SITE SPECIFIC DETAILS, SUCH AS CONCRETE STRENGTH.
 - REFER TO ADS TECH NOTE 2.11 FOR ADDITIONAL DESIGN INFORMATION.
 - SLOT RECESS IS NOT INCLUDED IN DEPTH OF INVERT TABLES.



STANDARD GRATE INFORMATION		
OPEN AREA (%)	OPEN AREA (IN)	PRODUCT #
57%	3/8\"/>	

STORMFILTER DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (7). VOLUME SYSTEM IS ALSO AVAILABLE WITH MAXIMUM 7 CARTRIDGES. 36\"/>

CARTRIDGE SELECTION

CARTRIDGE HEIGHT	27"
RECOMMENDED VOLUME (DROP 2)	3.58'
SPECIFIC FLOW RATE (PER MODEL MOD.)	1.0 GPM/FT ²
CARTRIDGE FLOW RATE	7.5 GPM

SITE SPECIFIC DATA REQUIREMENTS

CARTRIDGE HEIGHT	27"
NUMBER OF CARTRIDGES REQUIRED	5
INLET PIPE	24\"/>
OUTLET PIPE	24\"/>
ANTI-VIBRATION BALLAST	WIDTH: 2.00' HEIGHT: 1.00'
NOTES/SPECIAL REQUIREMENTS	NA

PLAN VIEW
STANDARD OUTLET RISER
FLOWKIT: 40A

SECTION A-A

FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

GENERAL NOTES:

- CONTRACTOR TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH (1) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE: www.contech.com
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL BEAT LEAST 20' BELOW FINISH ADJACENT EARTH COVER OR 2' BELOW FINISH AND GROUNDWATER ELEVATION AT OR BELOW THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET A307 AND ALL CAST WITH THE CONTECH LOGO.
- FILTER CARTRIDGE SHALL BE MEDIA-FILLED, PRESSURE-SIPHON ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE INDICATED IN THE FILTER CHECK CONTACT TIME SHALL BE AT LEAST 30 SECONDS.
- SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (GPM/FT²) DIVIDED BY THE FILTER CONTACT SURFACE AREA (A_F IN FT²).
- STORMFILTER STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C94 AND ADJUSTED LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES:

- ANY EXCESS DEPTH AND/OR ANTI-VIBRATION PROVISIONS ARE SITE SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
- CONTRACTOR TO PROVIDE INSULATION AND GROUT (IF APPLICABLE).
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLY STRUCTURE.
- CONTRACTOR TO PROVIDE INSULATION AND GROUT (IF APPLICABLE).
- CONTRACTOR TO PROVIDE AND INSTALL CONNECTOR TO THE OUTLET RISER SUB. STORMFILTER EQUIPPED WITH A DUAL DAMPER HOLE (OUTLET TIE-IN AND HAND COLLAR). IF COLLAR IS PRE-INSTALLED, CONTRACTOR TO REMOVE THE RICH DRY WAX OUTLET STOP AT MANHOLE CUT-IN. COLLARS BY BRANCH OR SQUARE AND PROVIDED BY CONTRACTOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

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SFMH72
POST DETENTION STORMFILTER
STANDARD DETAIL

PROJECT SUMMARY

DESIGNATION DETAILS

- LOADING = HS20/HS18
- APPROX. LINEAR FOOTAGE = 200 LF

STORAGE SUMMARY

- PIPE STORAGE VOLUME = 8481 CF
- MANHOLE STORAGE VOLUME = 6 CF
- TOTAL STORAGE PROVIDED = 8487 CF

PIPE DETAILS

- DIAMETER = 36"
- CONCRETE = S1
- GAUGE = 14
- CASTING = ALZ
- WALL TYPE = SOLID
- BARREL BRACING = 3B
- SYSTEM INVERT = 238.87

NOTES:

- ALL RISER AND SUB DIMENSIONS ARE TO CENTERLINE. ALL ELEVATION DIMENSIONS AND LOCATIONS OF RISERS AND INLETS SHALL BE VERIFIED BY ENGINEER OF RECORD PRIOR TO RELEASE FOR FABRICATION.
- ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A995.
- ALL RISERS AND SUBS ARE 20' x 30' CONCRETE AND SHALL BE FIELD TRIMMED TO GRADE.
- QUANTITY OF PRECAST CONCRETE DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAIL PROVIDES NOMINAL INLET AND/OR OUTLET PIPE FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- RAWD TYPE TO BE DETERMINED UPON FINAL DESIGN.
- THE PROJECT SUMMARY IS REFLECTIVE OF THE DYCOR DESIGN. QUANTITIES ARE APPROX. AND SHOULD BE VERIFIED UPON FINAL DESIGN AND APPROVAL. FOR EXAMPLE, TOTAL EXCAVATION DOES NOT CONSIDER ALL VARIABLES SUCH AS SLOPING AND ONLY PROVIDES ESTIMATED FOOTPRINT.
- THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES AND DO NOT REFLECT ANY LOCAL PREFERENCES OR REGULATIONS. PLEASE CONTACT YOUR LOCAL CONTECH REP FOR MODIFICATIONS.
- ANY SUBS, MANHOLE, OR INLET AND/OR ANTI-VIBRATION PROVISIONS ARE SITE SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.

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SCALE: 1" = 20'

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84" CMP UGDS
Raleigh, NC

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TRAJECT EC-3 (IMP-1-90)
SUS-5-538-02

PROJECT: CHASE - NEW BERN AVE
5160 NEW BERN AVE
CITY OF RALEIGH
VAKE COUNTY, NORTH CAROLINA
MASTER PLAN, MP-1-96

DATE: 06/07/2024
3/2024 - REV 1 ASK ROUND 1
6/7/24 - REV 2 ASK ROUND 2

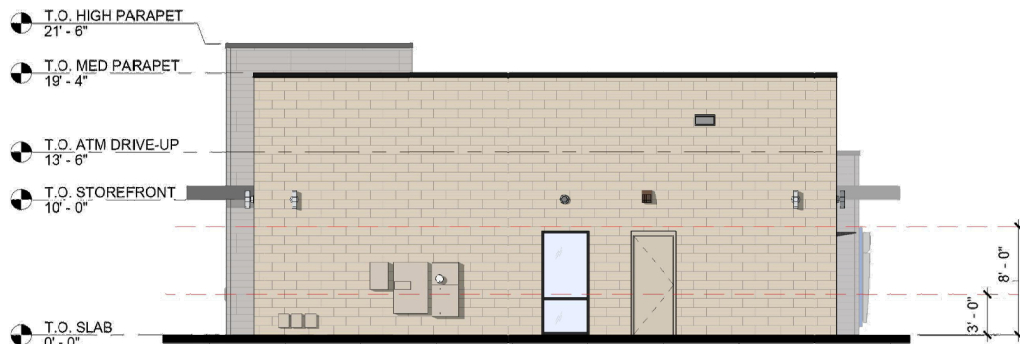
DESIGNER: BDG ARCHITECTS
CIVIL DETAIL SHEET
SITE CONSTRUCTION PLANS

DESIGNED BY: NIA
CHECKED BY: CER
PROJECT MANAGER: KW
DB P: 2303175
FILE CODE: #4
SHEET NO: C706

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**NORTHEAST ELEVATION (43%)
STREET FACING**



NORTHWEST ELEVATION (7.5%)

NICHIIHA BARK COLOR	NICHIIHA ASH COLOR
SW 7036 ACCESSIBLE BEIGE	BORAL HEWN STONE FOUNDATION COLOR
BLACK ANODIZED STOREFRONT MULLION	BLACK ANODIZED COPING
SILVER ANODIZED STOREFRONT MULLION	ACM REYNOBOND 'CHASE SILVER'
GLASS TYPICAL	SPANDREL

NEW BERN

5160 NEW BERN AVENUE
RALEIGH, NC 27610



234025 (48100R008593)
07-10-2023

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.



Architect of Record:
Christopher Gary Hirschner, AIA, LEED AP
NC License No. 10378

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PROJECT INFORMATION BLOCK	
JOB #:	234025
DATE:	03-28-2024
DRAWN BY:	EM
CHECKED BY:	TN

SHEET TITLE

BUILDING RENDERINGS

SHEET NUMBER

A00.2



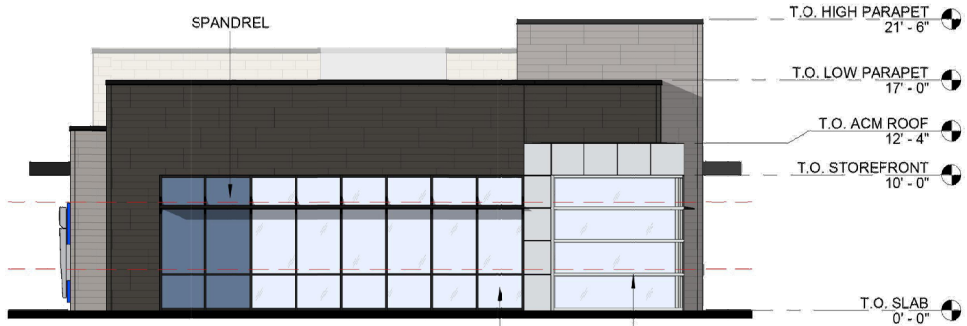
New Bern
JPM Chase Retail Banking Center
5160 New Bern Avenue,
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SOUTHWEST ELEVATION (39%)

NICHIHA BARK COLOR	NICHIHA ASH COLOR
SW 7036 ACCESSIBLE BEIGE	BORAL HEWN STONE FOUNDATION COLOR
BLACK ANODIZED STOREFRONT MULLION	BLACK ANODIZED COPING
SILVER ANODIZED STOREFRONT MULLION	ACM REYNOBOND "CHASE SILVER"
GLASS TYPICAL	SPANDREL



**SOUTHEAST ELEVATION (70%)
PEDESTRIAN ROW FACING**

NEW BERN

5160 NEW BERN AVENUE
RALEIGH, NC 27610



234025 (48100R008593)
07-10-2023

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO INK VARIATIONS AND DIFFERENCES IN PRINTERS, AN EXACT MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.



Architect of Record:
Christopher Gary Hirschler, AIA, LEED AP
NC License No. 10378

DATE	DESCRIPTION

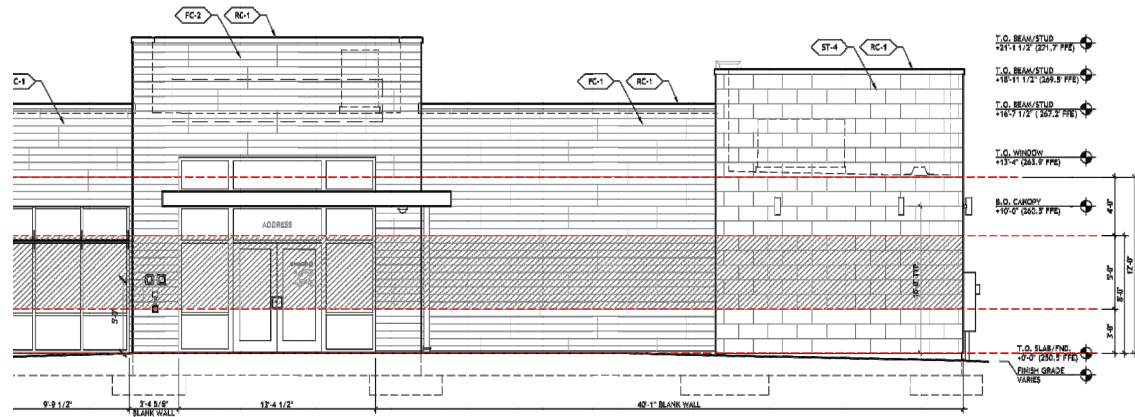
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DATE:	03-28-2024
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CHECKED BY:	TN

SHEET TITLE

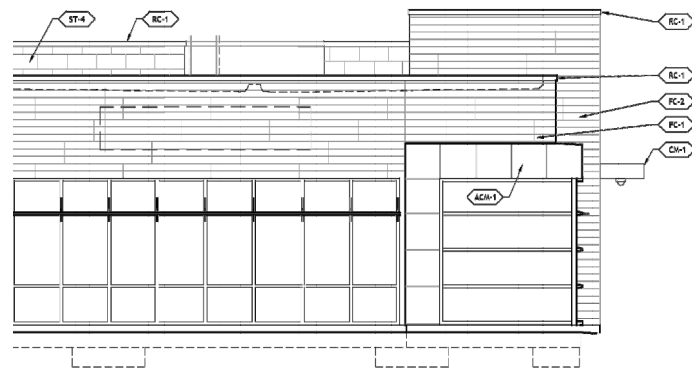
BUILDING RENDERINGS

SHEET NUMBER

A00.3



NORTHEAST ELEVATION - STREET FACING SCALE 1/4" = 1'-0"



SOUTHEAST ELEVATION - PEDESTRIAN ROW FACING SCALE 1/4" = 1'-0"

UDO SECTION 1.5.9B

1. THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER A GROUND STORY FACADE IS MEASURED BETWEEN 0 AND 10 FEET ABOVE THE ADJACENT SIDEWALK. MORE THAN 50% OF THE REQUIRED TRANSPARENCY MUST BE LOCATED BETWEEN 8 AND 9 FEET OF THE BUILDING FACADE.
2. THE MINIMUM PERCENTAGE OF WINDOWS AND DOORS THAT MUST COVER AN UPPER STORY FACADE IS MEASURED FROM TOP OF THE FINISHED FLOOR TO THE TOP OF THE FINISHED FLOOR ABOVE. WHEN THERE IS NO FLOOR ABOVE, UPPER STORY TRANSPARENCY IS MEASURED FROM THE TOP OF THE FINISHED FLOOR TO THE TOP OF THE WALL PLATE.
3. BEYOND USE BUILDING OR GENERAL BUILDING (WHERE AN UPPER FRONTAGE IS APPLIED, A MINIMUM OF 60% OF THE STREET-FACING, STREET-LEVEL WINDOW PANEL SURFACE AREA MUST ALLOW VIEWS INTO THE GROUND STORY USE FOR A DEPTH OF AT LEAST 8 FEET. WINDOWS SHALL NOT BE MADE OPAQUE BY NON-OPERABLE WINDOW TREATMENTS (EXCEPT CURTAINS, BLINDS OR SHUTTERS WITH THE CONDITIONS SPACE).
4. GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 50% AND EXTERNAL REFLECTANCE OF LESS THAN 6%. GLASS ON UPPER STORIES MAY HAVE ANY LEVEL OF TRANSPARENCY AND EXTERNAL REFLECTANCE.

PROPOSED GRADES	EXISTING GRADES
SOUTH ELEVATION: 280.0 FFE	SOUTH ELEVATION: 241.0 FFE
NORTH ELEVATION: 280.0 FFE	NORTH ELEVATION: 241.0 FFE
EAST ELEVATION: 280.0 FFE	EAST ELEVATION: 241.0 FFE
WEST ELEVATION: 280.0 FFE	WEST ELEVATION: 241.0 FFE
AVERAGE GRADE: 280.0 FFE	AVERAGE EXISTING PROPOSED/EXISTANT GRADE: 241.0 FFE

MAX BUILDING HEIGHT

BUILDING HEIGHT: 21'-0" AFF (212 FFE)

BUILDING HEIGHTS

TALLEST PARAPET HEIGHT: + 3'-0" (312 FFE)
MAX PARAPET HEIGHT: + 1'-0" (280 FFE)

TRANSPARENCY TABLE					
FLOOR LEVEL	SF OF WALL	TRANSPARENCY REQD. (50%)	TRANSPARENCY PROVIDED	3'-0" TO 8'-0" TRANSPARENCY REQD	3'-0" TO 8'-0" TRANSPARENCY PROVIDED
GROUND FLOOR-NORTHEAST	846 SF	313 SF (36%)	309 SF (36%)	185 SF (21% OF THE 876 REQD.)	186 SF
UPPER STORY-NORTHEAST	NA	NA	NA	NA	NA

* SF MEASURED PER GENERAL REQUIREMENTS NOTED IN UDO SECTION 1.8.9B NOTE BOX ABOVE.

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Architect of Record:
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NC License No. 10373

DATE	DESCRIPTION

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SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A00.4