



# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

**Site Plan Tier:** Tier Two Site Plan  Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: <u>S-8-2005</u>
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Certificate of Appropriateness #: _____
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #: _____
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option	Zoning Case #: <u>Z-040-2023</u>
<input type="checkbox"/> Open lot		Design Alternate #: _____

### GENERAL INFORMATION

Development name: Barton Oaks

Inside City limits? Yes  No

Property address(es): 13120 Strickland Road, Raleigh, North Carolina 27613

Site P.I.N.(s): 0788155943

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  
  
Development of six affordable multi-unit living/family apartment buildings with clubhouse

**Current Property Owner(s):** Edna Saintsing Dillard

Company: \_\_\_\_\_ Title: \_\_\_\_\_

Address: 9608 Old Leesville Road, Raleigh, North Carolina 27613

Phone #: 262-312-0216 & 919-606-1303 | Email: Noah.wagner@oppidan.com & Courtney.coble@oppidan.com

**Applicant Name (If different from owner. See "who can apply" in instructions):** Noah Wagner & Courtney Coble

Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder

Company: Oppidan Holdings, LLC | Address: 400 Water Street, Suite 200, Excelsior, MN 55331

Phone #: 262-312-0216 & 919-606-1303	Email: Noah.wagner@oppidan.com & Courtney.coble@oppidan.com
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact: Noah Wagner &amp; Courtney Coble</b>	
Company: KTJ 427 LP	Title: VP Development & Construction Manager
Address: 209 N. Salem Street, Suite 205, Apex, NC, 27502	
Phone #: 262-312-0216 & 919-606-1303	Email: Noah.wagner@oppidan.com & Courtney.coble@oppidan.com
Applicant Name: Ken Thompson	
Company: JDavis Architects	Address: 510 S. Wilmington Street, Raleigh, NC 27601
Phone #: 919-835-1500	Email: kent@jdavisarchitects.com

**DEVELOPMENT TYPE + SITE DATE TABLE**  
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-10-CU	Existing gross floor area (not to be demolished): 0 SF
Gross site acreage: 16.25 AC	Existing gross floor area to be demolished: 0 SF
# of parking spaces proposed: 241	New gross floor area: 170,806 SF
Max # parking permitted (7.1.2.C): 342	Total sf gross (to remain and new): 170,806 SF
Overlay District (if applicable): SHOD-1 & FWPOD	Proposed # of buildings: 7
Existing use (UDO 6.1.4): Vacant	Proposed # of stories for each: Bldg1-6: 3 stories, Club: 1
Proposed use (UDO 6.1.4): Multi-Family Living	Proposed # of basement levels (UDO 1.5.7.A.6) 0

**STORMWATER INFORMATION**

Imperious Area on Parcel(s):  Existing (sf) <u>0 SF</u> Proposed total (sf) <u>193,078 SF</u>	Impervious Area for Compliance (includes ROW):  Existing (sf) <u>6,677 SF</u> Proposed total (sf) <u>214,108 SF</u>
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**RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS**

Total # of dwelling units: 152 DU	Total # of hotel bedrooms: 0
# of bedroom units: 1br <u>38</u> 2br <u>76</u> 3br <u>38</u> 4br or more <u>0</u>	
# of lots: 1 Lot	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

Continue to Applicant Signature Block on Page 4.

**APPLICANT SIGNATURE BLOCK**

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

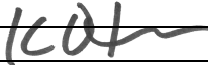
Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:



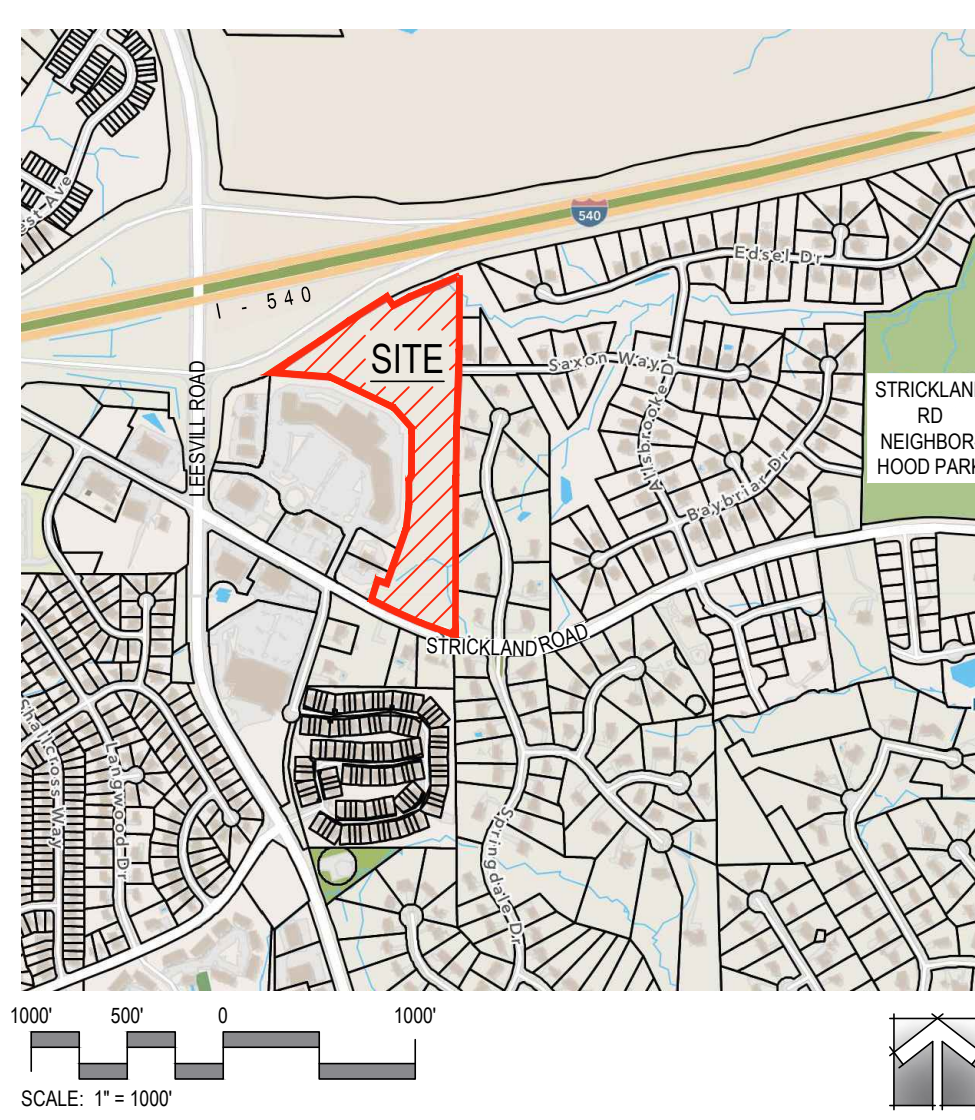
Date: 10.04.2024

Printed Name: Ken T Thompson

Signature:

Date:

Printed Name:



REFERENCE:  
SCOPE-0084-2023, S-8-2005, Z-040-2023; BM2000-PG300

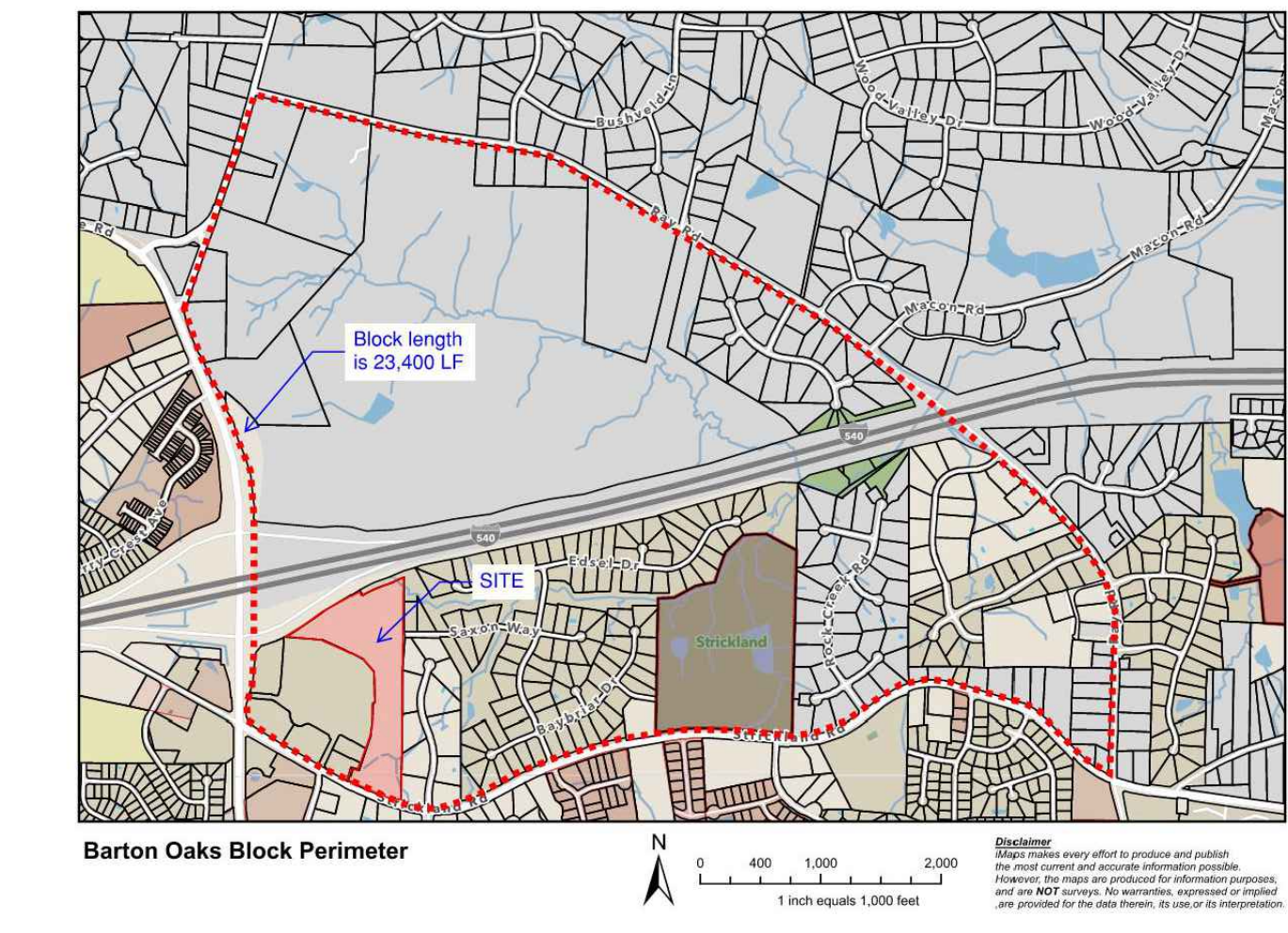
ASR-XXXX-2024

# Administrative Site Review

UDO 33rd Supplement Published August, 2024  
1st Submittal: October 09, 2024

# Barton Oaks

13120 Strickland  
Raleigh, North Carolina 27613



## Site Data

Site data table (UDO 33rd Supplement, Published August 2024 compliance)	
Project: Barton Oaks	
Date: 10/04/2024	
<b>1 Site Data</b>	<b>Zoned R-10 CU w/ SHOD-1 and FWPOD overlay</b>
2 Tract area	16.25 AC
3 Existing use	Vacant
4 Proposed use	Multi-unit living (Apartment)
5 Gross square footage	170,806 SF
6 Proposed FAR	170,806 / 15.98 = 24.5%
7 Building lot coverage	11,094 SF
8 Outdoor amenity area (UDO section 3.2.6.A3)	152 / 15.98 = 9.5 DU/AC
9 Building height	45' / 3 Stories
10 Required parking (UDO section 7.1.2.C)	241 / 152 = 1.59 SP
11 Parking provided	241 SP
12 Required bicycle parking (UDO section 7.1.2)	152 / 20 = 7.6 Bicycles
Provided	43 Bicycles
Total provided	43 Bicycles

## Application

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# of bedroom units: 1br 38 2br 76 3br 38 4br or more 0  
# of lots: 1 Lot Is your project a cottage court?  Yes  No  
A frequent transit development?  Yes  No

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Signature: Date: 10/04/2024  
Printed Name: Ken T. Thompson  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Printed Name: \_\_\_\_\_

## Sheet Index

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ENLARGED SITE PLAN (WEST)	L2.01		
ENLARGED SITE PLAN (EAST)	L2.02		
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SITE DETAILS	L9.03		
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## Block Perimeter

SEC. 8.3.2  
Z-40-23 CONDITION #4  
• INCREASE BLOC PERIMETER TO 25,000 LF  
• PROHIBITS CONNECTION TO SAXON WAY

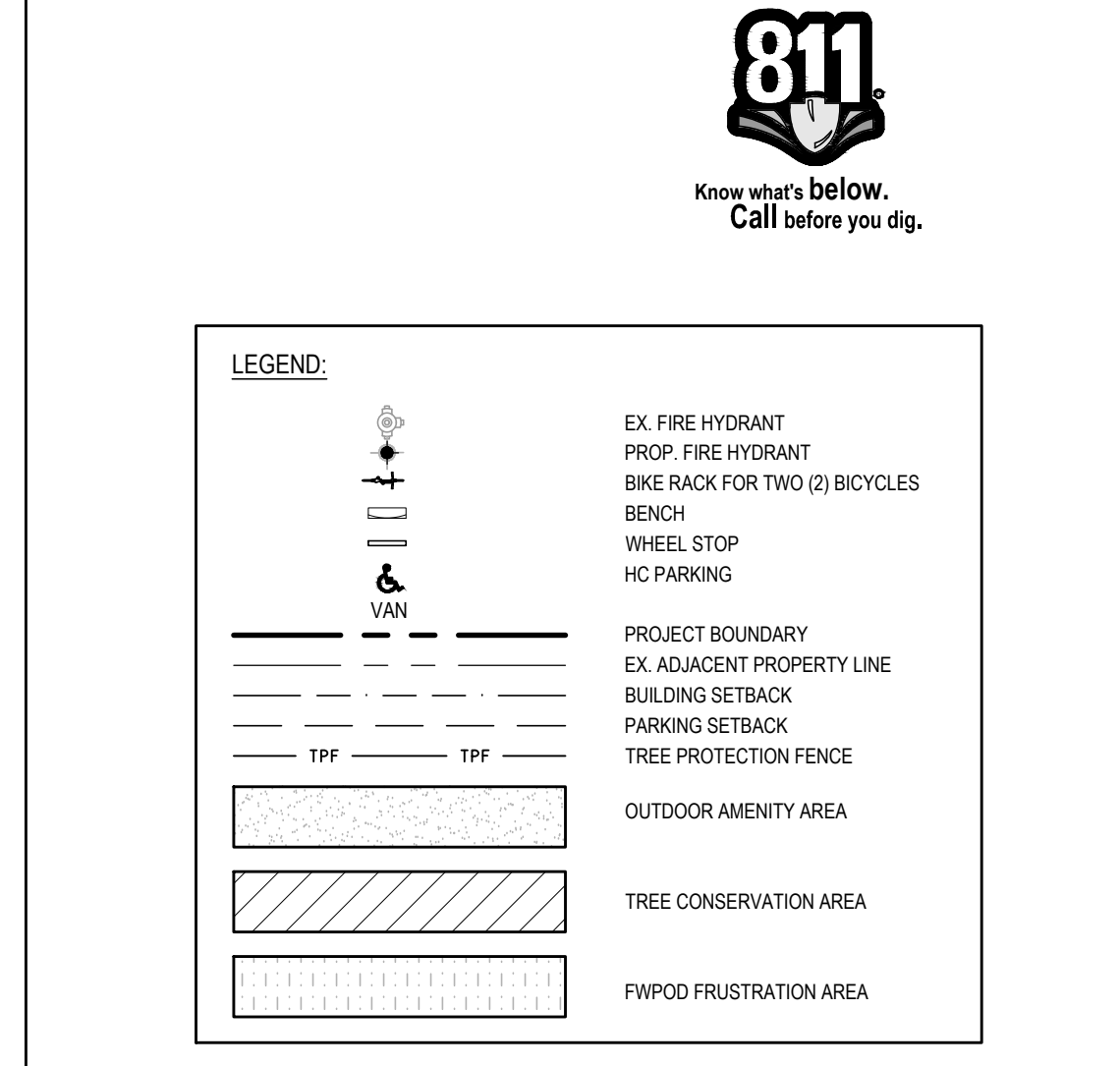
SUMMARY: THE SITE IS IN COMPLIANCE BECAUSE THE BLOCK SHOWN ABOVE IS LESS THAN 25,000 LF

## Cross Access

SEC. 8.3.5.D  
EAST PROPERTY LINE  
• Z-40-23 CONDITION #4 PROHIBITS CONNECTION TO SAXON WAY BUT ALLOWS A SIDEWALK CONNECTION  
• ALL ADJACENT PROPERTIES ARE ZONED R-1 AND DEVELOPED (8.3.5.D.5.a)

WEST PROPERTY LINE  
• PIN 0788150784 13200 STRICKLAND RD THE VALUE OF THE EXISTING BUILDINGS EXCEEDS THE VALUE OF THE PROPERTY (8.3.5.D.5.b.i)  
• PIN 0788152189 13160 STRICKLAND RD THE VALUE OF THE EXISTING BUILDINGS EXCEEDS THE VALUE OF THE PROPERTY (8.3.5.D.5.b.i)  
• PIN 0788153351 13150 STRICKLAND RD - THE SLOPE IN THE FIRST 10 IS EQUAL TO OR STEEPER THEN 3:1(8.3.5.D.5.b.ii)  
• Z-40-23 CONDITION #5 REQUIRES A SIDEWALK CONNECTION ALONG STRICKLAND RD TO THE CLOSEST DRIVEWAY LOCATED ON PIN 0788153351

SUMMARY: THE PARCEL IS EXEMPT FROM SEC 8.3.5.D VEHICULAR CONNECTION



## Project Team

<b>OWNER</b> Edna Saintsing Dillard 9608 Old Leesville Road Raleigh, North Carolina 27613 262.312.0216 / 919.606.1303 Noah.wagner@oppidan.com Courtney.coble@oppidan.com	<b>DEVELOPER</b> KTJ 427 LP 400 Water Street, Suite 200 Excelsior, MN 55331 262.312.0216 / 919.606.1303 Noah.wagner@oppidan.com Courtney.coble@oppidan.com	<b>LANDSCAPE ARCHITECT</b> JDavis Architects, PC 510 S. Wilmington Street Raleigh, North Carolina 27601 919.835.1500 919.835.1510 (fax) kent@jdvaisarchitects.com	<b>ARCHITECT</b> JDavis Architects, PC 510 S. Wilmington Street Raleigh, North Carolina 27601 919.835.1500 919.835.1510 (fax) lindal@jdvaisarchitects.com	<b>ENGINEER</b> VHB 940 Main Campus Drive, Suite 500 Raleigh, North Carolina 27606 919.829.0328 ctownsend@vhb.com	<b>SURVEYOR</b> Canoy Surveying 1154 Shonele Lane, Stem, North Carolina 27581 984.377.2626
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ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.

JDAVIS  
510 South Wilmington Street | Raleigh, NC 27601 | 919.835.1500  
1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | 215.545.0121

KTJ427 LP  
**Barton Oaks**  
13120 Strickland Road  
Raleigh, North Carolina 27613

ASR-XXXX-2024 (Admin. Site Review)  
REFERENCE: SCOPE-0084-2023, S-8-2005, Z-040-23

PROJECT:	OIC-24093	DATE
ISSUE:	Administrative Site Review	10.09.2024
REVISIONS:		
DRAWN BY:	SB	
CHECKED BY:	KT	
CONTENT:	COVER	

L0.00

10/8/2024 6:31 PM P:\24rev\24093\_24093\_Strickland\_Bldg\_Apartments\4c\_LAND\DP\DWG\24093-Strickland-Cover-Rev-01-ASR.dwg

# RESPONSE TO ZONING CONDITION Z-040-23

## ORDINANCE NO. (2024) 638 ZC 885

### AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF RALEIGH WHICH INCLUDES THE ZONING DISTRICT MAP

#### BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RALEIGH:

**Section 1.** That Part 10 of the City of Raleigh Code, which includes the Zoning District Map, be and the same it hereby amended as follows:

- Z-40-23 – 13130 Strickland Road**, located south of Interstate-540, near the Exit 7 at Leesville Road, being Wake County PIN 0788155943. Approximately 16.25 acres rezoned to Residential-10, Conditional Use (R-10-CU w/SHOD-1 and FWPOD).

Conditions dated: May 3, 2024

- The Property Owner will maintain all dwelling units on the subject property as affordable rental units for low-income households earning no more than 80% of the area median income, as adjusted by household size, for the Metropolitan Statistical Area including Raleigh, North Carolina, as determined and published annually by the U. S. Department of Housing and Urban Development (HUD) ("Raleigh AMI") for a period of thirty (30) years beginning on the date of issuance of a certificate of occupancy for each respective unit ("Term"). In addition, each dwelling unit shall have a designated imputed income limitation of 20%, 30%, 40%, 50%, 60%, 70% or 80% of Raleigh AMI as described in Section 42(g)(1)(C) of the Internal Revenue Code ("Code"), and the average of the imputed income limitations for all of the dwelling units on the subject property shall not exceed 60% of Raleigh AMI for the Term. Both income and rent restrictions shall be calculated as provided in Section 42 of the Code, including without limitation any exceptions permitted under Section 42 of the Code for tenants whose income increases after initially meeting such restrictions. An Affordable Housing Deed Restriction in a form approved by the City shall be filed with the City and recorded in the property's chain of title by the property owner in the Wake County Register of Deeds prior to the project receiving the first certificate of occupancy.

**Response: The project will comply using funds from various sources such as NCHFA, Wake County and City of Raleigh**

- There shall be a minimum building setback of fifty feet (50') from the shared boundary line with the following properties: PIN 0788-16-8450 (Deed Book 16499, Page 806, Wake County Registry), PIN 0788-16-8076 (Deed Book 9062, Page 639, Wake County Registry), PIN 0788-15-8758 (Deed Book 18768, Page 465, Wake County Registry), PIN 0788-15-8469 (Deed Book 14694, Page 169, Wake County Registry), PIN 0788-15-8291 (Deed Book 3347, Page 270, Wake County Registry), and PIN 0788-14-8972 (Deed Book 18524, Page 2661 Wake County Registry). **Response: A 50' Tree Conservation and WPOD area has been provided and all improvements are more than 50' from the listed properties**
- The property shall provide a Type B1 Protective Yard as defined by UDO Section 7.2.4 along the shared boundary lines of the following properties: PIN 0788-16-8450 (Deed Book 16499, Page 806, Wake County Registry), PIN 0788-16-8076 (Deed Book 9062, Page 639, Wake County Registry), PIN 0788-15-8758 (Deed Book 18768, Page 465, Wake County Registry) PIN 0788-15-8469 (Deed Book

14694, Page 169, Wake County Registry), PIN 0788-15-8291 (Deed Book 3347, Page 270, Wake County Registry), and PIN 0788-14-8972 (Deed Book 18524, Page 2661, Wake County Registry), except for those areas to be designated as tree conservation area (TCA), areas encumbered by road improvements, or subject to any governmental easements.

**Response: Per this condition the Type B1 Protective yard is replaced with a Tree Conservation area that meets the requirements of Article 9.1 Tree Conservation**

- The provisions of Section 8.3.2 of the UDO entitled "Blocks" shall be increased to 25,000 linear feet. In addition, the stub street standards of 8.3.4 shall be modified so that no vehicular connection shall be made from the subject property to the existing Saxon Way stub. Instead, only a sidewalk shall be required to connect to the existing sidewalk along Saxon Way to the subject property. **Response: The proposed block shown on the cover sheet shows a block less than the allowed 25,000 LF. The pedestrian connection has been provided, see plans**
- Subject to approval of the City of Raleigh Department of Transportation, a sidewalk connection to the existing sidewalk on the Leesville Towne Centre (Wake County PIN 0788 15 335 1; Deed Book 10648, Page 2330, Wake County Registry) entrance driveway closest to the subject property shall be constructed to city standards along Strickland Road prior to the issuance of the first certificate of occupancy on the subject property; provided, however, that the portion of the sidewalk located off of the subject property can be constructed within the Strickland Road right-of-way or other easements available to the public at the time of site plan approval. Nothing herein shall require the owner of the subject property to acquire any off-site easements, including slope easements or temporary construction easements, for the construction of the sidewalk if the necessary easements not available at the time of site plan approval. The precise location of the sidewalk shall be determined at site plan approval.
- Response: See plans for the connection**
- The post-development stormwater discharge peak flow rate for the property shall not exceed the pre-development peak flow rate for the 2, 10, 25 and 50 year storms. During construction, the first sentence of UDO Section 9.2.2.E.1.b shall be enforced as if it read as follows: "For any denuded areas on sites between 5 and 15 acres in size the peak stormwater runoff leaving the site at each discharge point for the two-year storm, 10-year storm and 25-year storm shall be no greater during construction than for pre-development conditions." **Response: See engineering report for peak attenuation compliance. At time of SPR submittal erosion control phases will comply for during construction peak attenuation.**

- UDO Section 9.5.2.D.1.b.i shall be applied to the subject property as if it said "Nitrogen and phosphorous loads contributed by the proposed new development activity may not exceed the unit-area mass loading rates as follows: a. Nitrogen: 2 pounds per acre per year; and b. Phosphorous: 30/100 of a pound per acre per year." **Response: Response: See engineering report for Nutrient reduction.**
- Impervious surface shall be limited to 28.5% of the subject property. **Response: See plans for compliance.**
- Buildings and parking shall be setback at least fifty feet (50') from the right-of-way of Strickland Road. **Response: See plans, all parking and building are setback 50+ feet.**
- The percentage of tree conservation area required on the subject property pursuant to UDO Section 9.1.3.A.1 shall be increased from 10 percent (10%) to twenty percent (20%). **Response: See plans for compliance.**
- The property shall be subject to the use of Green Stormwater Infrastructure ("GSI") requirements set out in Section 9.5.2.C.3 of the UDO whatever the percentage of built area, including the ability to request a design exception pursuant to 9.5.2.C.3. If a design adjustment is requested, a minimum of fifty percent (50%) the stormwater runoff that is required by the UDO to be treated on site shall be treated using GSI. **Response: See engineering report for use of GSI.**
- Sediment basins on the subject property shall be designed and constructed to meet the requirements of 15A NCAC 04B .0124 (2), (3) and (4) (Design Standards in Sensitive Watersheds). **Response: See plans for compliance.**
- For the perennial stream of the Lower Barton Creek located at the north end of the subject property only, the Watercourse Natural Resource Buffer shall be increased to a total width of 125'. **Response: See plans for compliance.**
- Prior to the issuance of any building permit on the subject property, the property owner shall cause at least 10 acres of real property located within that portion of the Falls Lake Watershed within the boundary of Wake County or Durham County and not otherwise restricted from development by private agreement, to be preserved as open space by conservation easement enforceable by the City of Raleigh and benefiting a conservation trust, governmental entity or similar entity authorized to hold an interest in property in a form approved by the City of Raleigh. For avoidance of doubt, the property to be protected need not be located in the City of Raleigh. **Response: We are currently working to secure a property and will have closed on it prior to building permit.**

## PROJECT NOTES

### GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT (919) 996-2409.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY TRANSPORTATION AND PUBLIC UTILITIES DEPARTMENTS PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY VHB IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN AUGUST 2024, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN AUGUST 2024.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
- TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL BE COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRONCH ON THIS MINIMUM CORNER CLEARANCE.
- WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS, NCDOT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS
- ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO CURRENT ANSI, NCSBC, AND ICC STANDARDS AND SPECIFICATIONS.
- GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF SEC 7.2.5.D.4 AND IS NOT ONLY LIMITED TO BEING VISIBLE FROM THE PUBLIC RIGHT OF WAY.

- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.

### FIRE DEPARTMENT NOTES

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 200 FEET (NFPA 13R) OR 250 FEET (NFPA13) TO ALL PORTIONS OF THE EXTERIOR WALL OF THE FIRST FLOOR OF THE BUILDING (NCFC 503.1.1).
- FIRE HYDRANT SHALL BE LOCATED WITHIN 400' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2018 NCFC, SECTION 507.3.
- MINIMUM INSIDE TURNING RADIUS OF 28' MUST BE MAINTAINED THROUGHOUT THE SITE FOR THE FIRE DEPARTMENT ACCESS LANE/PATH SHOWN ON THIS PLAN.
- ALL FIRE APPARATUS ACCESS ROADS/STREETS AND WASTE TRUCK ACCESS ROADS/STREET SHALL BE HEAVY DUTY ASPHALT OR CONCRETE PAVING WITH MINIMUM 90,000 LB LOAD CAPACITY.

### SOLID WASTE INSPECTION STATEMENTS

- SOLID WASTE SERVICES ARE TO BE PROVIDED BY PRIVATE VENDOR.
- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
- THIS PROJECT HAS A COMPACTOR FOR SOLID WASTE AND SINGLE-STREAM RECYCLING.

### TREE CONSERVATION NOTE

- THIS PROJECT SITE IS MORE THAN 2 ACRES. TREE CONSERVATION IS REQUIRED PER UDO SEC. 9.1.2.

### TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT

### LIMITED TO:

- MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
  - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
  - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
  - RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  - ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

# ASR-XXXX-2024

## RESPONSE TO Z-040-2023 ZONING CONDITIONS & PROJECT NOTES

ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.

PROJECT:	OIC-24093	DATE
ISSUE:	Administrative Site Review	10.09.2024
REVISIONS:		
DRAWN BY:	SB	
CHECKED BY:	KT	
CONTENT:	RESPONSE TO Z-040-2023 ZONING CONDITIONS AND PROJECT NOTES	

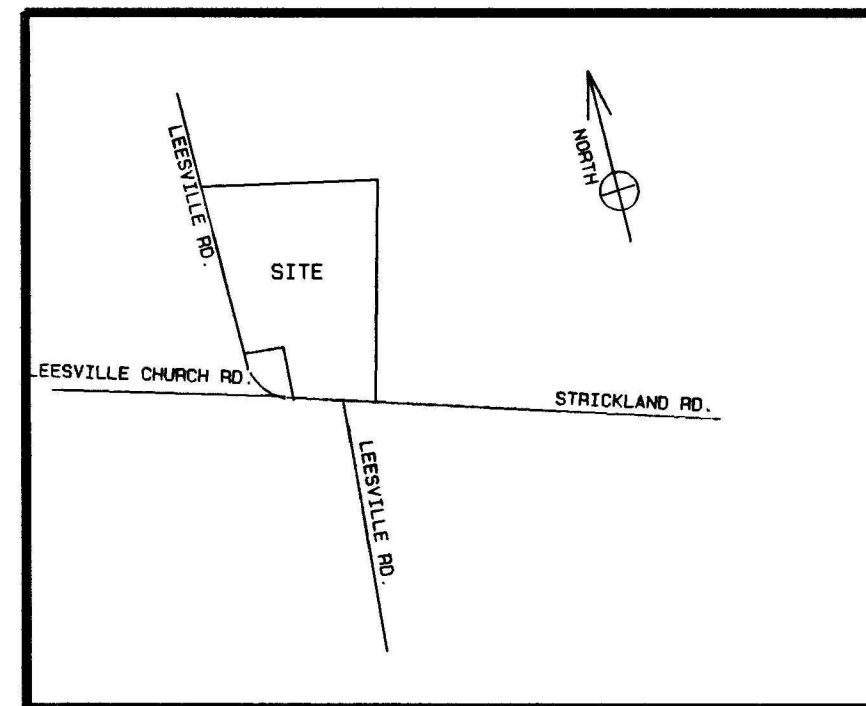
# L0.10

# JDAVIS

510 South Wilmington Street | Raleigh, NC 27601 | tel 919.835.1500  
1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | tel 215.545.0121

ASR-XXXX-2024 (Admin. Site Review)  
REFERENCE: SCOPE-0084-2023, S-8-2005, Z-040-23

KTJ427 LP  
**Barton Oaks**  
13120 Strickland Road  
Raleigh, North Carolina 27613



VICINITY MAP (NO SCALE)

- NOTES**
- 1) THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT AND THE PROPERTY MAY BE SUBJECT TO ADDITIONAL MATTERS WHICH A COMPLETE TITLE SEARCH WOULD REVEAL.
  - 2) ALL AREAS BY COORDINATE CALCULATIONS.
  - 3) THIS PROPERTY IS NOT LOCATED IN FEMA DESIGNATED FLOOD HAZARD AREA.
  - 4) PROPERTY OWNERSHIP INFORMATION TAKEN FROM WAKE COUNTY TAX RECORDS.
  - 5) NEW IRON PIPES SET AT ALL PROPERTY CORNERS.

**OWNER'S CERTIFICATE**

THIS CERTIFIES AND WARRANTS THAT THE UNDERSIGNED IS (ARE) THE SOLE OWNER(S) OF THE PROPERTY SHOWN ON THIS MAP OR PLAT AND ANY ACCOMPANYING SHEETS SUBJECT TO THE EXCEPTIONS ON RECORD, HAVING ACQUIRED THE PROPERTY IN FEET SIMPLE BY DEED OR RECORD IN THE OFFICE OF THE REGISTER OF DEEDS OF WAKE COUNTY, NORTH CAROLINA, OR OTHERWISE AS SHOWN BELOW AND AS SUCH HAS (HAVE) THE RIGHT TO CONVEY THE PROPERTY IN FEET SIMPLE, AND THAT THE DEDICATOR(S) WILL WARRANT AND DEFEND THE TITLE AGAINST THE CLAIMS OF ALL PERSONS WHOEVER UNLESS EXCEPTED HEREIN AND THAT BY SUBMISSION OF THIS PLAT OR MAP FOR APPROVAL, I (WE) DO DEDICATE TO THE CITY OF RALEIGH FOR PUBLIC USE ALL STREETS, EASEMENTS, RIGHTS-OF-WAY, PARKS AND GREENWAYS, (AS THESE INTERESTS ARE DEFINED IN THE CODES), AND AS THE SAME MAY BE SHOWN THEREON, FOR ALL LAMPA PURPOSES TO WHICH THE CITY MAY DEVOTE OR ALLOW THE SAME TO BE USED AND UPON ACCEPTANCE THEREOF IN ACCORDANCE WITH ALL CITY POLICIES, ORDINANCES, REGULATIONS OR CONDITIONS OF THE CITY OF RALEIGH FOR THE BENEFIT OF THE PUBLIC. SAID DEDICATION SHALL BE IRREVOCABLE, PROVIDED ANY DEDICATION OF EASEMENTS FOR STORM DRAINAGE ARE NOT MADE TO THE CITY OF RALEIGH BUT ARE IRREVOCABLY MADE TO THE SUBSEQUENT OWNERS OF ANY AND ALL PROPERTIES SHOWN HEREON FOR THEIR USE AND BENEFIT SUBJECT TO CONDITIONS OF SUBSECTIONS (B), (C), (D), AND (F) OF SECTION 4 AND SECTION 4 OF THE "CITY STORM DRAINAGE POLICY" (RESOLUTION 1970-742 AS THE SAME MAY BE FROM TIME TO TIME AMENDED).

STATE OF NORTH CAROLINA WAKE COUNTY

I, EDMUND H. DAVENPORT, DO HEREBY CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, FROM DEED DESCRIPTION RECORDED IN BOOK 547 PAGE 362; THAT THE ERROR OF CLOSURE AS CALCULATED BY LATITUDES AND DEPARTURES IS 1: 35,800 THAT THE BOUNDARIES NOT SURVEYED ARE AS BROKEN LINES PLOTTED FROM INFORMATION IN REFERENCE CITED; THAT THIS WAS PREPARED IN ACCORDANCE WITH G.S. AS AMENDED.

WITNESS MY HAND AND SEAL THIS 2 DAY OF Feb 2020

SIGNED: *Edmund H. Davenport*

I, EDMUND H. DAVENPORT, PROFESSIONAL LAND SURVEYOR #L-2832, DO HEREBY CERTIFY THAT THAT PLAT IS OF A SUBDIVISION OF LAND WITHIN THE AREA OF A CITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

SIGNED: *Edmund H. Davenport*

EDMUND H. DAVENPORT, PLS #L-2832

BOOK NO. \_\_\_\_\_  
PAGE NO. \_\_\_\_\_

OWNER LOT 1: REA DEVELOPMENT, LLC, BY ROBERT V. HUGHES, MANAGER  
*Robert V. Hughes*

OWNER LOT 2: EDNA S. DILLARD & JUNIUS E. DILLARD  
*Edna S. Dillard & Junius E. Dillard*

NORTH CAROLINA WAKE COUNTY

I, *Carol P. Pinner*, NOTARY PUBLIC OF WAKE COUNTY, NC, HEREBY CERTIFY THAT THE DUE EXECUTION OF THE FOREGOING CERTIFICATE WAS DULY ACKNOWLEDGED BEFORE ME THIS DAY BY ROBERT V. HUGHES, EDNA S. DILLARD AND JUNIUS E. DILLARD FOR THE PURPOSE THEREIN EXPRESSED.

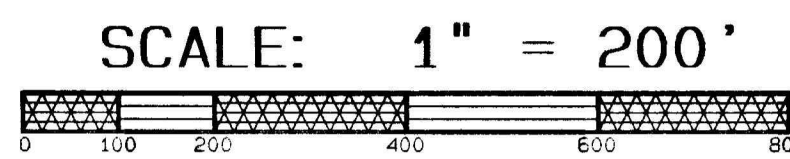
WITNESS MY HAND AND NOTARIAL SEAL THIS 2 DAY OF February 2020

*Carol Pinner*  
NOTARY PUBLIC

MY COMMISSION EXPIRES: 8/1/22

**DATA**

Δ	DELTA/BEARING	RADIUS	LEN./DIST.	TANGENT	CHORD BEARING	CHORD DIST.
1	N 38°14'52"E		70.78			
2	N 33°47'27"E		26.36			
3	N 06°38'58"E		131.83			
4	S 71°35'14"E		51.96			
5	N 17°38'09"E		107.86			
6	11°27'24"	1041.74	208.30	104.50	N 69°54'08"E	207.96
7	N 53°58'05"E		109.61			
8	11°17'14"	1432.39	282.18	141.55	N 66°06'21"E	281.72
9	N 64°52'20"E		90.09			
10	N 72°32'00"E		54.78			
11	N 74°44'14"W		50.21			
12	N 71°52'28"W		100.59			
13	N 68°57'27"W		100.17			
14	N 65°55'43"W		104.38			
15	N 62°51'27"W		102.29			
16	16°54'26"	1041.74	307.40	154.83	S 67°10'37"W	306.29
17	5°27'02"	1041.74	99.10	49.59	N 61°26'55"E	99.06



RANDALL WARD  
PIN 0788.01-05-1980  
DB 2935 PG.706

RECORDED IN BOOK OF MAPS \_\_\_\_\_, PG. \_\_\_\_\_, WAKE COUNTY REGISTRY.

EX-3-00 RA032849

JOB # _____	BOOK # _____	REV.	DATE	DESCRIPTION	<b>BASS, NIXON &amp; KENNEDY, INC.</b> CONSULTING ENGINEERS 7416 CHAPEL HILL ROAD RALEIGH, NORTH CAROLINA 27607 919-851-4422 FAX 919-851-8968	SURVEYED BY _____ DRAWN BY EHD CHECKED BY _____ DATE 01/24/00	EXEMPT SUBDIVISION PROPERTY OF REA DEVELOPMENT, LLC & EDNA S. DILLARD & JUNIUS E. DILLARD LEESVILLE TOWNSHIP, WAKE CO., N.C.	SHEET _____ OF _____
						THIS PLAT NOT TO BE RECORDED AFTER 15 DAY OF _____ CITY. THIS PLAT IS OUT OF THE CITY LIMITS.		

ASR-XXXX-2024

RECORDED MAP  
(BM 2000, PG 300)

FOR REFERENCE ONLY

KTJ427 LP  
**Barton Oaks**  
 13120 Strickland Road  
 Raleigh, North Carolina 27613

FOR REFERENCE ONLY

ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.

PROJECT:	OIC-24093	DATE	
ISSUE:	Administrative Site Review	10.09.2024	
REVISIONS:			
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	RECORDED MAP BM 2000 PG 300		



VHB Engineering NC, P.C.
940 Main Campus Drive
Suite 500
Raleigh, NC 27606
919.829.0328
Corp. # C-3705

Legend

Legend table with columns for Exist. and Prop. symbols and descriptions for various site features like property lines, pavements, curbs, catch basins, and utilities.

Abbreviations

Abbreviations table listing symbols and names for general items such as ABAN (ABANDON), ACR (ACCESSIBLE CURB RAMP), and various utility types like CB (CATCH BASIN) and CIP (CAST IRON PIPE).

Notes

- Notes 1-14 detailing construction requirements, safety protocols, utility coordination, and site preparation instructions.

Utilities

- Utilities 1-10 providing specific instructions for handling existing utilities, conflicts with proposed work, and installation standards.

Layout and Materials

- Layout and Materials 1-6 covering dimensions, curbing, architectural details, and monumentation requirements.

Demolition

- Demolition 1-5 outlining procedures for removing existing structures, utilities, and site preparation.

Erosion Control

- Erosion Control 1-7 detailing measures for preventing soil erosion during construction.

Existing Conditions Information

- Existing Conditions Information 1-3 providing details on base plan surveys and topography data.

Document Use

- Document Use 1-3 explaining the use of plans, electronic versions, and legends.

Barton Oaks Apartments

Strickland Road
Raleigh, NC

Revision table with columns for No., Revision, Date, and Appr.

Designed by KH, WS, MW Checked by CT
Issued for Review Date October 8, 2024

Not Issued for Construction

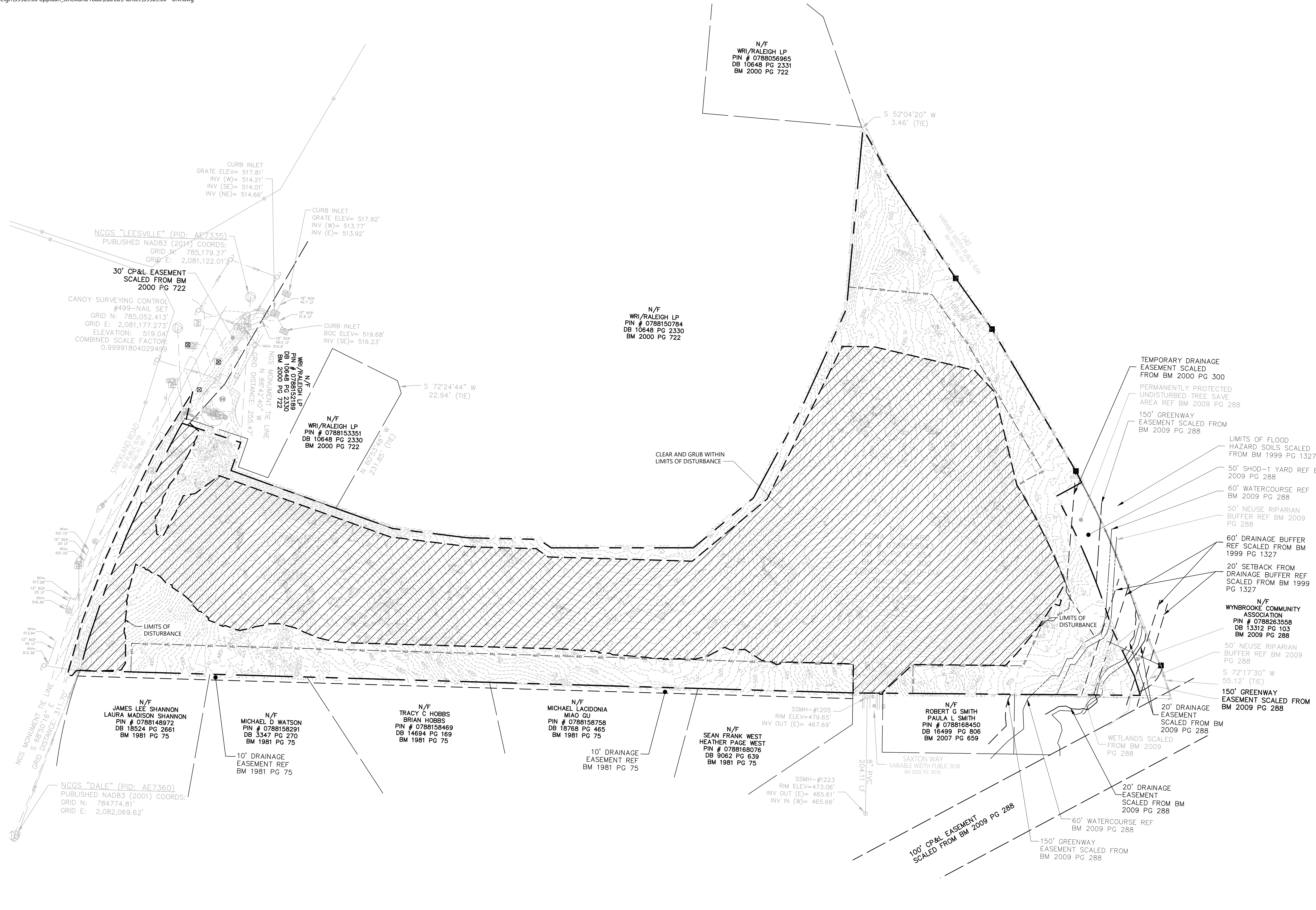
Legends & General Notes section with drawing title and sheet information.

ATTENTION CONTRACTORS notice regarding construction requirements and failure consequences.

C0.01

PRELIMINARY NOT FOR CONSTRUCTION
1 17

Project Number 39589.00



**Barton Oaks Apartments**  
Strickland Road  
Raleigh, NC

No.	Revision	Date	App'd.

Designed by: KH, WS, MW      Checked by: CT  
Issued for:      Date:      Review      October 8, 2024

Not Issued for Construction  
**Existing Conditions & Demolition Plan**

**ATTENTION CONTRACTORS**  
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.  
Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.  
Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



SEE L2.01 AND L2.02 FOR ENLARGED SITE PLANS.  
SEE L9.0 - L9.03 FOR SITE DETAILS.

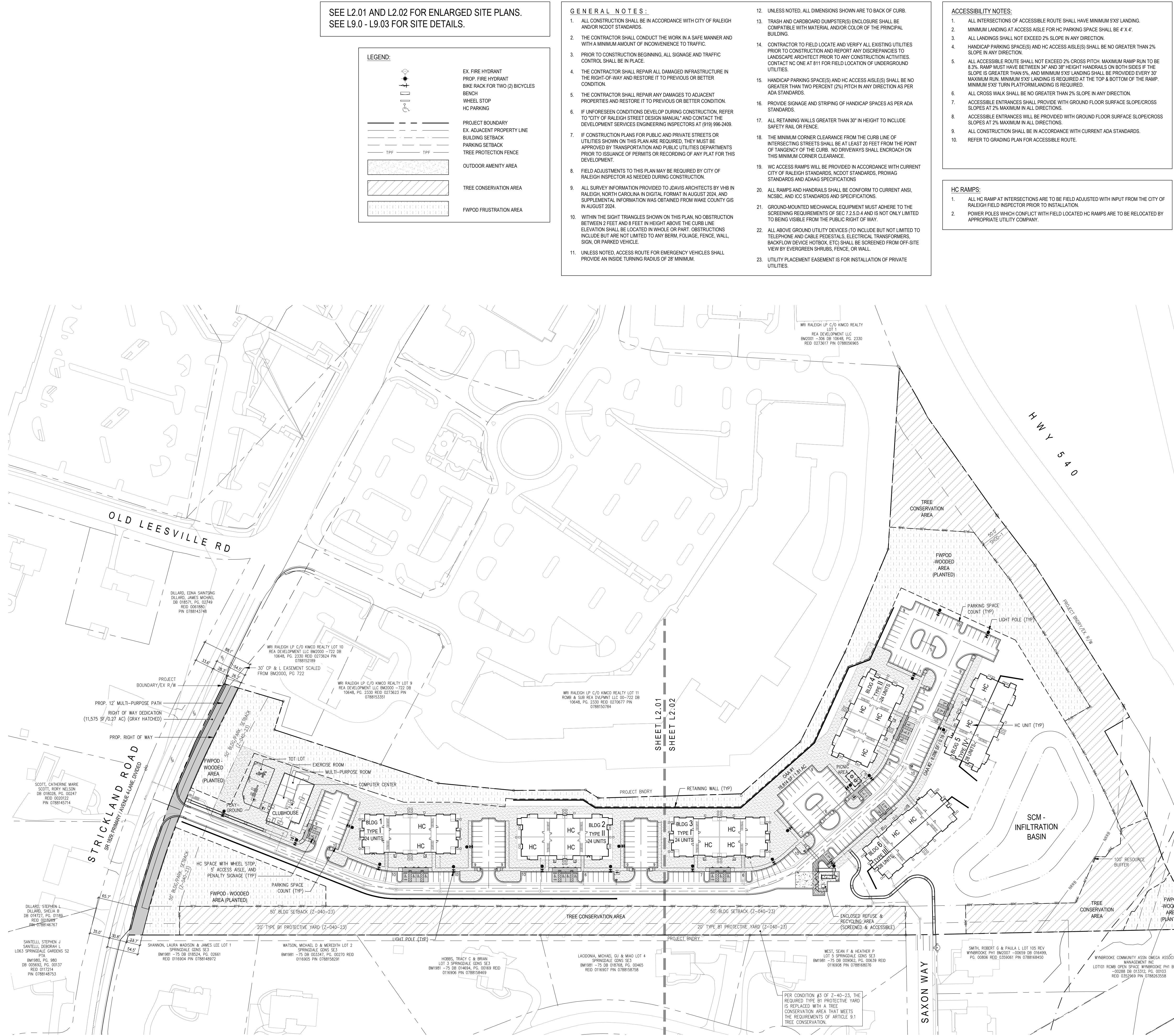
**LEGEND:**

	EX FIRE HYDRANT
	PROP. FIRE HYDRANT
	BIKE RACK FOR TWO (2) BICYCLES
	BENCH
	WHEEL STOP
	HC PARKING
	PROJECT BOUNDARY
	EX. ADJACENT PROPERTY LINE
	BUILDING SETBACK
	PARKING SETBACK
	TREE PROTECTION FENCE
	OUTDOOR AMENITY AREA
	TREE CONSERVATION AREA
	FWPOD FRUSTRATION AREA

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCOTI STANDARDS.
  - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INTERFERENCE TO TRAFFIC.
  - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
  - THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
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  - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
  - ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
  - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRUSH ON THIS MINIMUM CORNER CLEARANCE.
  - WC ACCESS RAMP(S) WILL BE PROVIDED IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS, NCOTI STANDARDS, PROWAG STANDARDS AND ADA SPECIFICATIONS.
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  - UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.

- ACCESSIBILITY NOTES:**
- ALL INTERSECTIONS OF ACCESSIBLE ROUTE SHALL HAVE MINIMUM 5'X5' LANDING.
  - MINIMUM LANDING AT ACCESS AISLE FOR HC PARKING SPACE SHALL BE 4' X 4'.
  - ALL LANDINGS SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
  - HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN 2% SLOPE IN ANY DIRECTION.
  - ALL ACCESSIBLE ROUTE SHALL NOT EXCEED 2% CROSS PITCH. MAXIMUM RAMP RUN TO BE 8.3%. RAMP MUST HAVE BETWEEN 34" AND 38" HEIGHT HANDRAILS ON BOTH SIDES IF THE SLOPE IS GREATER THAN 5% AND MINIMUM 5'X5' LANDING SHALL BE PROVIDED EVERY 30' MAXIMUM RUN. MINIMUM 5'X5' LANDING IS REQUIRED AT THE TOP & BOTTOM OF THE RAMP. MINIMUM 5'X5' TURN PLATFORM/LANDING IS REQUIRED.
  - ALL CROSS WALK SHALL BE NO GREATER THAN 2% SLOPE IN ANY DIRECTION.
  - ACCESSIBLE ENTRANCES SHALL PROVIDE WITH GROUND FLOOR SURFACE SLOPE/CROSS SLOPES AT 2% MAXIMUM IN ALL DIRECTIONS.
  - ACCESSIBLE ENTRANCES WILL BE PROVIDED WITH GROUND FLOOR SURFACE SLOPE/CROSS SLOPES AT 2% MAXIMUM IN ALL DIRECTIONS.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT ADA STANDARDS.
  - REFER TO GRADING PLAN FOR ACCESSIBLE ROUTE.
- HC RAMPS:**
- ALL HC RAMP AT INTERSECTIONS ARE TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.
  - POWER POLES WHICH CONFLICT WITH FIELD LOCATED HC RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.

Site data table (UDO 33rd Supplement, Published August 2024 compliance)	
Project: Barton Oaks	
Date: 10.04.2024	
<b>1 Site Data</b>	<b>Zoned R-10 CU w/ SHOD-1 and FWPOD overlay</b>
2 Tract area	Lot #2 BM2000-PG00300 PIN 0788155943 16.25 AC
	Less right of way dedication -0.27 AC
	Net acreage 15.98 AC
3 Existing use	Vacant
4 Proposed use	Multi-unit living (Apartment)
	1 BR 2 BR 3 BR DU
Building #1 - Type I	0 24 0 24
Building #2 - Type II	12 0 12 24
Building #3 - Type I	0 24 0 24
Building #4 - Type II	12 0 12 24
Building #5 - Type II	14 0 14 28
Building #6 - Type I	0 28 0 28
Total Units	38 76 38 152
5 Gross square footage	
Building #1 - Type I	32,407 SF
Building #2 - Type II	12,000 SF
Building #3 - Type I	32,407 SF
Building #4 - Type II	31,742 SF
Building #5 - Type II	37,844 SF
Building #6 - Type I	38,924 SF
Clubhouse	4,664 SF
Total gross square footage	170,806 SF
6 Proposed FAR	170,806 / 15.98 = 24.5%
7 Building lot coverage	
Building #1 - Type I	11,094 SF
Building #2 - Type II	10,947 SF
Building #3 - Type I	11,094 SF
Building #4 - Type II	10,947 SF
Building #5 - Type II	10,947 SF
Building #6 - Type I	11,094 SF
Clubhouse	4,769 SF
Total square footage	70,892 SF
Prop. building lot coverage	70,892 / 15.98 = 10.2%
8 Proposed density	152 / 15.98 = 9.5 DU/AC
9 Outdoor amenity area (UDO section 3.2.6.A3)	
Area required - 10% of net acreage	
Tract net acreage	696,275 SF 15.98 AC
10% required	10%
Total required	69,628 SF 1.60 AC
Provided	
Area provided - OAA #1	78,814 SF 1.81 AC
Area provided - OAA #2	8,096 SF 0.19 AC
Total	86,910 SF 12.5%
10 Building height	45' / 3 Stories
Proposed height	See elevations for building heights
11 Required parking (UDO section 7.1.2.C)	
Multi-unit living	
1 BR	38 x 1.50 = 57 SP
2 BR	76 x 2.25 = 171 SP
3 BR	38 x 3.00 = 114 SP
Total maximum parking allowed	342 SP
Parking provided	219 SP
Standard surface space	
HC surface space	22 SP
Total spaces provided	241 SP
Spaces per DU	241 / 152 = 1.59 SP
12 Required bicycle parking (UDO section 7.1.2)	
Total required	
Short term (1 space per 20 rooms, min. 4)	152 / 20 = 8 SP
Long term (1 space per 7 bedrooms)	304 / 7 = 43 SP
Total bike parking required	51 SP
Provided	
Outside - Short term	8 SP
Inside of building(s) / covered - long term	43 SP
Total provided	51 SP



**811**  
Know what's below.  
Call before you dig.

REFERENCE:  
SCOPE-0084-2023; S-8-2005; Z-040-23;  
BM 2000, PG 300

**ASR-XXXX-2024**

**OVERALL SITE PLAN**

SCALE: 1" = 80'

**JDAVIS**  
510 South Wilmington Street | Raleigh, NC 27601 | Tel: 919.835.1500  
1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | Tel: 215.545.0121

**ASR-XXXX-2024** (Admin. Site Review)  
REFERENCE: SCOPE-0084-2023; S-8-2005; Z-040-23

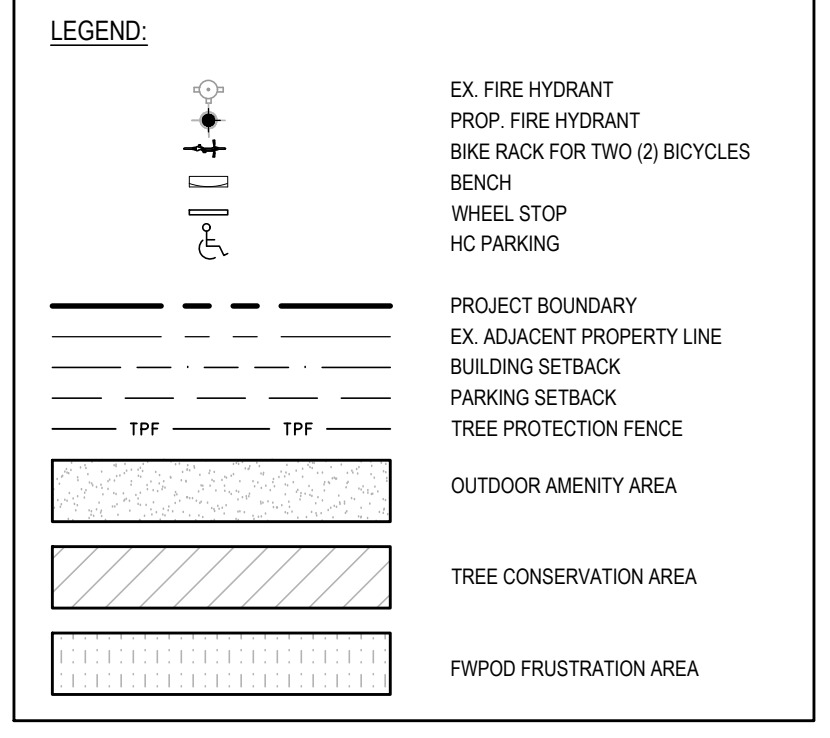
**KTJ427 LP**  
**Barton Oaks**  
13120 Strickland Road  
Raleigh, North Carolina 27613

**ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.**

PROJECT:	OIC-24093	DATE:	
ISSUE:	Administrative Site Review	DATE:	10.04.2024
REVISIONS:			
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	OVERALL SITE PLAN		

**L2.00**

SEE L2.00 FOR OVERALL SITE PLAN AND L2.02 FOR ENLARGED SITE PLAN (NORTH).  
SEE L9.0 - L9.03 FOR SITE DETAILS.



**GENERAL NOTES:**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT (919) 996-2409.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY TRANSPORTATION AND PUBLIC UTILITIES DEPARTMENTS PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION PROVIDED TO J.DAVIS ARCHITECTS BY VHB IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN AUGUST 2024, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN AUGUST 2024.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 29' MINIMUM.
- UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
- TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL BE COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCR OACH ON THIS MINIMUM CORNER CLEARANCE.
- WC ACCESS RAMP(S) WILL BE PROVIDED IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS, NCDOT STANDARDS, FROWING STANDARDS AND ADA SPECIFICATIONS.
- ALL RAMP(S) AND HANDRAILS SHALL BE CONFORM TO CURRENT ANSI, NCSBC, AND ICC STANDARDS AND SPECIFICATIONS.
- GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENTS OF SEC 7.2.5.D.4 AND IS NOT ONLY LIMITED TO BEING VISIBLE FROM THE PUBLIC RIGHT OF WAY.
- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE, NOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- UTILITY PLACEMENT EASEMENT IS FOR INSTALLATION OF PRIVATE UTILITIES.

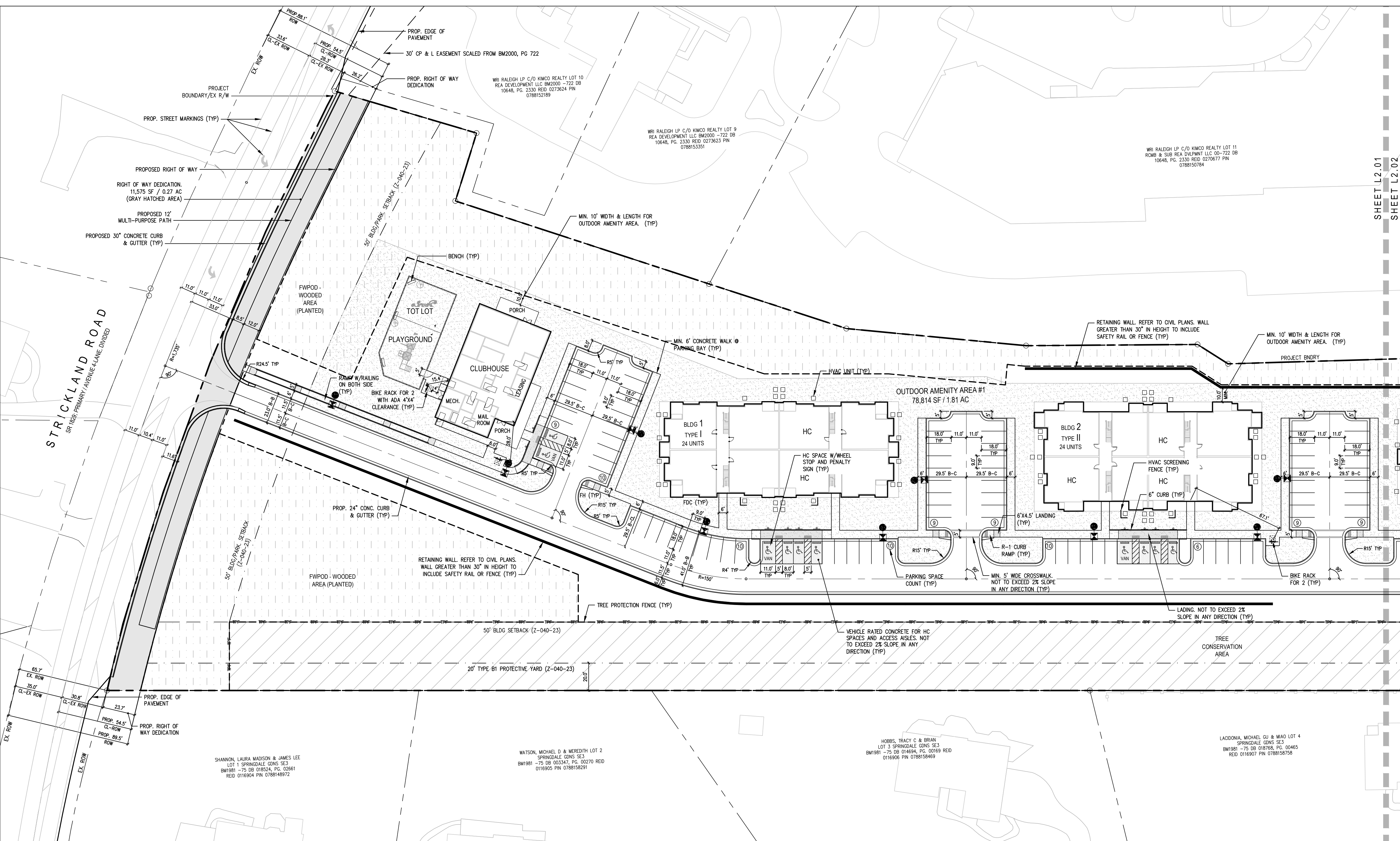
**ACCESSIBILITY NOTES:**

- ALL INTERSECTIONS OF ACCESSIBLE ROUTE SHALL HAVE MINIMUM 5'X5' LANDING.
- MINIMUM LANDING AT ACCESS AISLE FOR HC PARKING SPACE SHALL BE 4' X 4'.
- ALL LANDINGS SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN 2% SLOPE IN ANY DIRECTION.
- ALL ACCESSIBLE ROUTE SHALL NOT EXCEED 2% CROSS PITCH. MAXIMUM RAMP RUN TO BE 8.3%. RAMP MUST HAVE BETWEEN 34" AND 38" HEIGHT HANDRAILS ON BOTH SIDES IF THE SLOPE IS GREATER THAN 5% AND MINIMUM 5'X5' LANDING SHALL BE PROVIDED EVERY 30' MAXIMUM RUN. MINIMUM 5'X5' LANDING IS REQUIRED AT THE TOP & BOTTOM OF THE RAMP. MINIMUM 5'X5' TURN PLATFORM/LANDING IS REQUIRED.
- ALL CROSSWALK SHALL BE NO GREATER THAN 2% SLOPE IN ANY DIRECTION.
- ACCESSIBLE ENTRANCES SHALL PROVIDE WITH GROUND FLOOR SURFACE SLOPE/CROSS SLOPES AT 2% MAXIMUM IN ALL DIRECTIONS.
- ACCESSIBLE ENTRANCES WILL BE PROVIDED WITH GROUND FLOOR SURFACE SLOPE/CROSS SLOPES AT 2% MAXIMUM IN ALL DIRECTIONS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT ADA STANDARDS.
- REFER TO GRADING PLAN FOR ACCESSIBLE ROUTE.

**HC RAMPS:**

- ALL HC RAMP AT INTERSECTIONS ARE TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.
- POWER POLES WHICH CONFLICT WITH FIELD LOCATED HC RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.

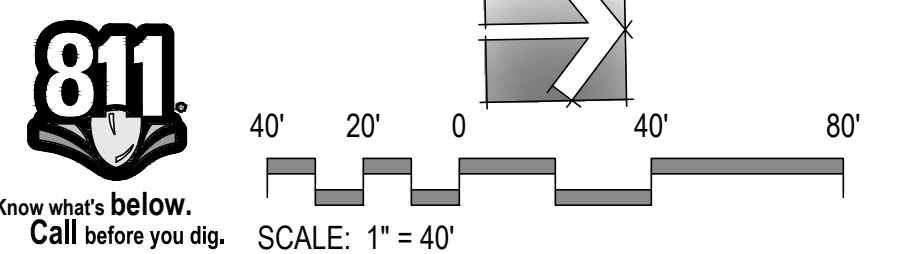
Site data table (UDO 33rd Supplement, Published August 2024 compliance)	
Project: Barton Oaks	
Date: 10.04.2024	
<b>1 Site Data</b>	<b>Zoned R-10 CU w/ SHOD-1 and FWPOD overlay</b>
2 Tract area	Lot #2 BM2000-PG00300 Less right of way dedication Net acreage
3 Existing use	Vacant
4 Proposed use	Multi-unit living (Apartment)
	1 BR 2 BR 3 BR DU
Building #1 - Type I	0 24 0 24
Building #2 - Type II	12 0 12 24
Building #3 - Type I	0 24 0 24
Building #4 - Type II	12 0 12 24
Building #5 - Type II	14 0 14 28
Building #6 - Type I	0 28 0 28
Total Units	38 76 38 152
5 Gross square footage	
Building #1 - Type I	32,407 SF
Building #2 - Type II	31,742 SF
Building #3 - Type I	32,407 SF
Building #4 - Type II	31,742 SF
Building #5 - Type II	37,844 SF
Building #6 - Type I	38,284 SF
Clubhouse	4,664 SF
Total gross square footage	170,806 SF
6 Proposed FAR	170,806 / 15.98 = 24.5%
7 Building lot coverage	
Building #1 - Type I	11,094 SF
Building #2 - Type II	10,947 SF
Building #3 - Type I	11,094 SF
Building #4 - Type II	10,947 SF
Building #5 - Type II	10,947 SF
Building #6 - Type I	11,094 SF
Clubhouse	4,769 SF
Total square footage	70,892 SF
Prop. building lot coverage	70,892 / 15.98 = 10.2%
8 Proposed density	152 / 15.98 = 9.5 DU/AC
9 Outdoor amenity area (UDO section 3.2.6.A3)	
Area required - 10% of net acreage	
Tract net acreage	696,275 SF 15.98 AC
10% required	10%
Total required	69,628 SF 1.60 AC
Provided	
Area provided - OAA #1	78,814 SF 1.81 AC
Area provided - OAA #2	8,096 SF 0.19 AC
Total	86,910 SF 12.5%
10 Building height	45' / 3 Stories
Proposed height	See elevations for building heights
11 Required parking (UDO section 7.1.2.C)	
Multi-unit living	
1 BR	38 x 1.50 = 57 SP
2 BR	76 x 2.25 = 171 SP
3 BR	38 x 3.00 = 114 SP
Total maximum parking allowed	342 SP
Parking provided	
Standard surface space	219 SP
HC surface space	22 SP
Total spaces provided	241 SP
Spaces per DU	241 / 152 = 1.59 SP
12 Required bicycle parking (UDO section 7.1.2)	
Total required	
Short term (1 space per 20 rooms, min. 4)	152 / 20 = 8 SP
Long term (1 space per 7 bedrooms)	304 / 7 = 43 SP
Total bike parking required	51 SP
Provided	
Inside of building(s) / covered - long term	8 SP
Total provided	43 SP



REFERENCE:  
SCOPE-0084-2023; S-8-2005; Z-040-23;  
BM 2000, PG 300

**ASR-XXXX-2024**

ENLARGED SITE PLAN (SOUTH)

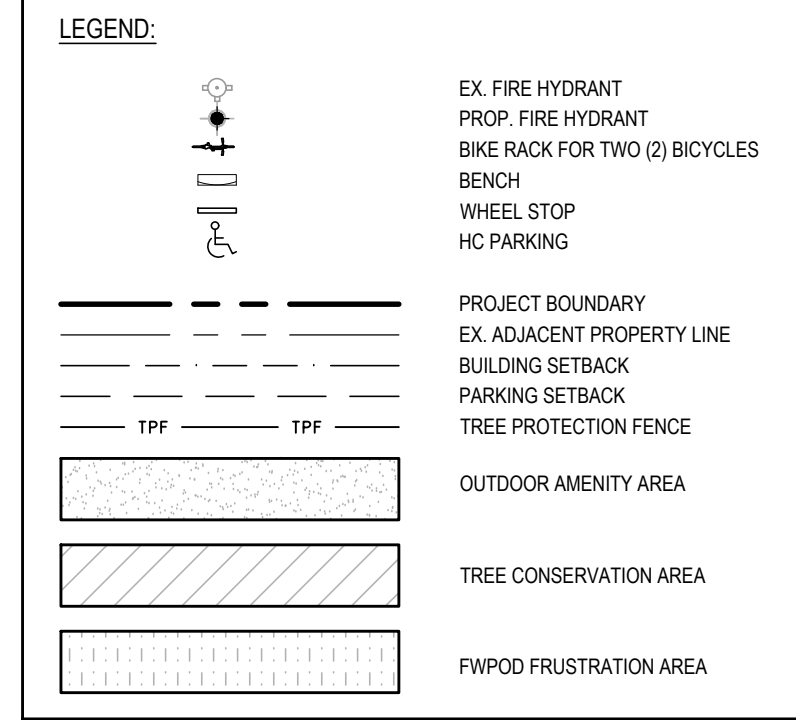


PROJECT:	OIC-24093	DATE:	
ISSUE:	Administrative Site Review	DATE:	10.04.2024
REVISIONS:			
DRAWN BY:	KT, SB		
CHECKED BY:	KT		
CONTENT:	ENLARGED SITE PLAN (SOUTH)		

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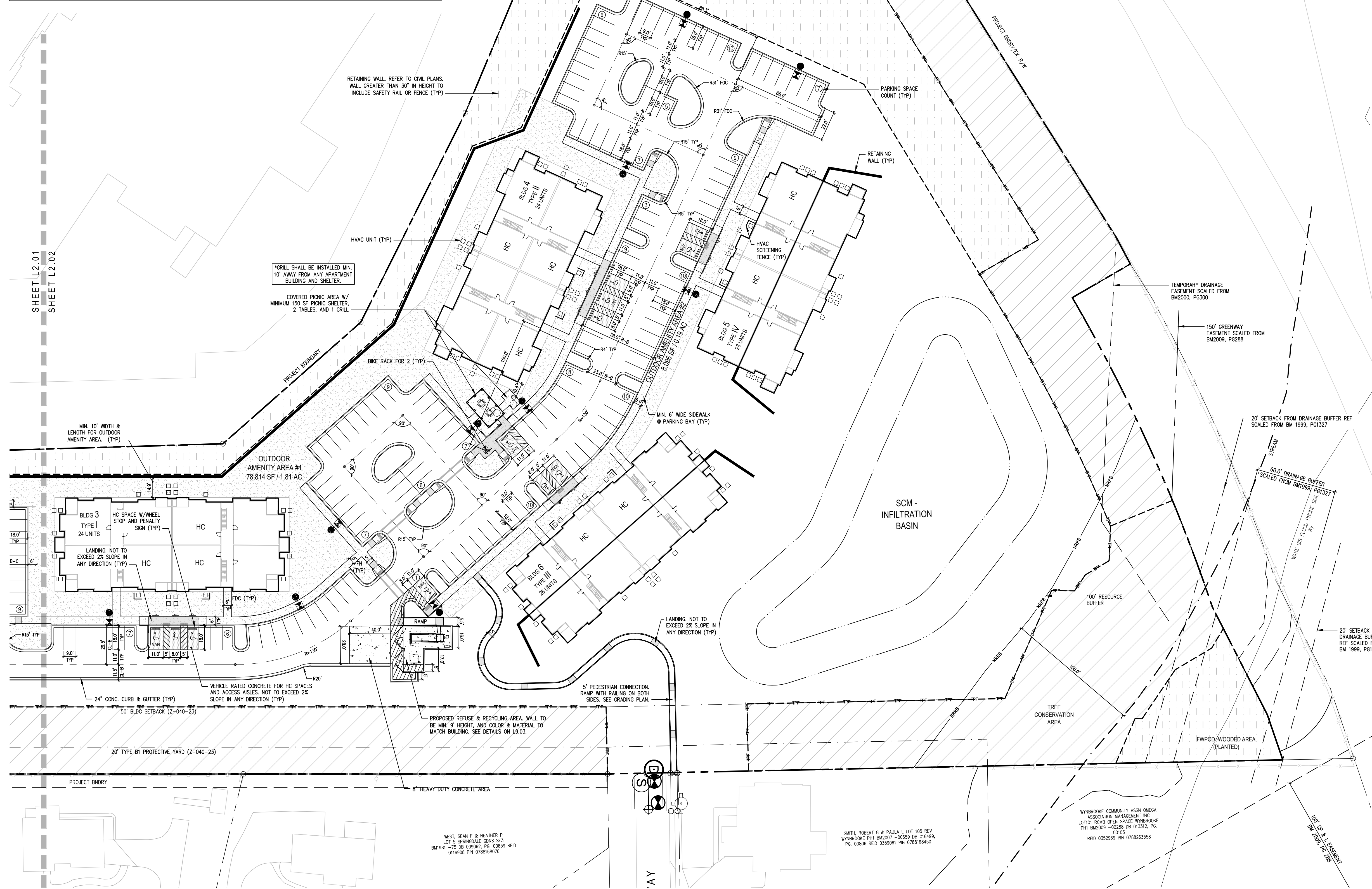
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- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS.
  - THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INTERFERENCE TO TRAFFIC.
  - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROLS SHALL BE IN PLACE.
  - THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
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  - UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
  - UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
  - TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL BE COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
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  - PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
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  - THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRUSH ON THIS MINIMUM CORNER CLEARANCE.
  - WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS, NC DOT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
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**Site data table (UDO 33rd Supplement, Published August 2024 compliance)**  
 Project: Barton Oaks  
 Date: 10.04.2024

1 Site Data	Zoned R-10 CU w/ SHOD-1 and FWPOD overlay	
2 Tract area	16.25 AC	
Lot #2 BM2000-PG00300	PIN 0788155943	
Less right of way dedication	-0.27 AC	
Net acreage	15.98 AC	
3 Existing use	Vacant	
4 Proposed use	Multi-unit living (Apartment)	
Building #1 - Type I	1 BR	2 BR
Building #2 - Type II	0	24
Building #3 - Type I	12	0
Building #4 - Type II	0	24
Building #5 - Type II	12	0
Building #6 - Type I	14	0
Clubhouse	0	28
Total Units	38	76
5 Gross square footage	170,806 SF	
Building #1 - Type I	32,407 SF	
Building #2 - Type II	31,742 SF	
Building #3 - Type I	32,407 SF	
Building #4 - Type II	31,742 SF	
Building #5 - Type II	37,844 SF	
Building #6 - Type I	36,263 SF	
Clubhouse	4,664 SF	
Total gross square footage	170,806 SF	
6 Proposed FAR	170,806 / 15.98 =	24.5%
7 Building lot coverage	11,094 SF	
Building #1 - Type I	11,094 SF	
Building #2 - Type II	10,947 SF	
Building #3 - Type I	11,094 SF	
Building #4 - Type II	10,947 SF	
Building #5 - Type II	10,947 SF	
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Clubhouse	4,769 SF	
Total square footage	70,892 SF	
Prop. building lot coverage	70,892 / 15.98 =	10.2%
8 Proposed density	152 / 15.98 =	9.5 DU/AC
9 Outdoor amenity area (UDO section 3.2.6 A3)	Area required - 10% of net acreage	
Tract net acreage	696,275 SF	15.98 AC
10% required	10%	10%
Total required	69,628 SF	1.60 AC
Area provided - OAA #1	78,814 SF	1.81 AC
Area provided - OAA #2	8,096 SF	0.19 AC
Total	86,910 SF	12.5%
10 Building height	45' / 3 Stories	
Proposed height	See elevations for building heights	
11 Required parking (UDO section 7.1.2.C)	Multi-unit living	
1 BR	38 x 1.50 =	57 SP
2 BR	76 x 2.25 =	171 SP
3 BR	38 x 3.00 =	114 SP
Total maximum parking allowed	342 SP	
Parking provided	219 SP	
Standard surface space	22 SP	
HC surface space	241 SP	
Total spaces provided	241 SP	
Spaces per DU	241 / 152 =	1.59 SP
12 Required bicycle parking (UDO section 7.1.2)	Total required	
Short term (1 space per 20 rooms, min. 4)	152 / 20 =	8 SP
Long term (1 space per 7 bedrooms)	304 / 7 =	43 SP
Total bike parking required	51 SP	
Provided	8 SP	
Outside - Short term	43 SP	
Inside of building(s) / covered - long term	51 SP	



- ACCESSIBILITY NOTES:**
- ALL INTERSECTIONS OF ACCESSIBLE ROUTE SHALL HAVE MINIMUM 5'X5' LANDING.
  - MINIMUM LANDING AT ACCESS AISLE FOR HC PARKING SPACE SHALL BE 4' X 4'.
  - ALL LANDINGS SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
  - HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN 2% SLOPE IN ANY DIRECTION.
  - ALL ACCESSIBLE ROUTE SHALL NOT EXCEED 2% CROSS PITCH. MAXIMUM RAMP RUN TO BE 0.3% RAMP MUST HAVE BETWEEN 34" AND 38" HEIGHT HANDRAILS ON BOTH SIDES IF THE SLOPE IS GREATER THAN 5%, AND MINIMUM 5'X5' LANDING SHALL BE PROVIDED EVERY 30' MAXIMUM RUN. MINIMUM 5'X5' LANDING IS REQUIRED AT THE TOP & BOTTOM OF THE RAMP. MINIMUM 5'X5' TURN PLATFORM LANDING IS REQUIRED.
  - ALL CROSS WALK SHALL BE NO GREATER THAN 2% SLOPE IN ANY DIRECTION.
  - ACCESSIBLE ENTRANCES SHALL PROVIDE WITH GROUND FLOOR SURFACE SLOPE/CROSS SLOPES AT 2% MAXIMUM IN ALL DIRECTIONS.
  - ACCESSIBLE ENTRANCES WILL BE PROVIDED WITH GROUND FLOOR SURFACE SLOPE/CROSS SLOPES AT 2% MAXIMUM IN ALL DIRECTIONS.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT ADA STANDARDS.
  - REFER TO GRADING PLAN FOR ACCESSIBLE ROUTE.

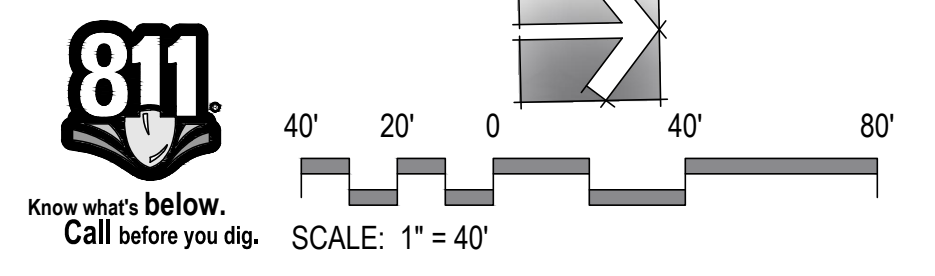
- HC RAMPS:**
- ALL HC RAMP AT INTERSECTIONS ARE TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.
  - POWER POLES WHICH CONFLICT WITH FIELD LOCATED HC RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.

SEE L2.00 FOR OVERALL SITE PLAN AND L2.01 FOR ENLARGED SITE PLAN (SOUTH).  
 SEE L9.0 - L9.03 FOR SITE DETAILS.

REFERENCE:  
 SCOPE-0084-2023; S-8-2005; Z-040-23;  
 BM 2000, PG 300

**ASR-XXXX-2024**

ENLARGED SITE PLAN  
 (NORTH)



**JDAVIS**  
 510 South Wilmington Street | Raleigh, NC 27601 | tel 919.835.1500  
 1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | tel 215.545.0121

**KTJ427 LP**  
**Barton Oaks**  
 13120 Strickland Road  
 Raleigh, North Carolina 27613

ASR-XXXX-2024 (Admin. Site Review)  
 REFERENCE: SCOPE-0084-2023; S-8-2005; Z-040-23

ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.

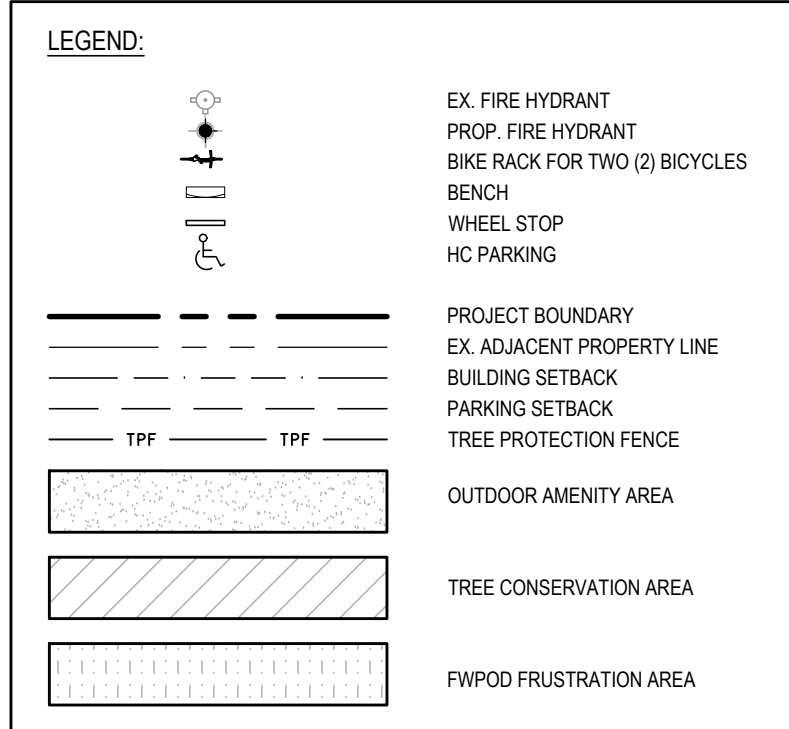
PROJECT:	OIC-24093	DATE:	
ISSUE:	Administrative Site Review	10.04.2024	
REVISIONS:			
DRAWN BY:	KT, SB		
CHECKED BY:	KT		
CONTENT:	ENLARGED SITE PLAN (NORTH)		

**L2.02**

**LANDSCAPE NOTES:**

- CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION
- THE PLAN DEPICTS REQUIRED PLANTINGS REQUIRED BY THE CITY OF RALEIGH.
- ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.
- LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
- ALL PLANTING BEDS ARE TO BE MULCHED TO A DEPTH OF 3 INCHES, WITH AGED TRIPLE SHREDED HARDWOOD MULCH FROM A SINGLE SOURCE COMMERCIAL VENDOR WITH A MAXIMUM PARTICLE SIZE OF 2 INCHES, FREE OF WEED SEED AND WASTE MATERIALS. NO PINE STRAW PERMITTED. KEEP MULCH 4 TO 6 INCHES AWAY FROM TREE TRUNKS OR STEMS.
- ALL LAWN AREAS TO BE SEEDED OR/AND SODDED AS PER MANUFACTURER'S SPECIFICATIONS. REFER TO LANDSCAPE PLAN(S). ALL DISTURBED AREA SHALL EITHER BE MULCH OR LAWN.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
- HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW-DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE OR WALL.
- ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS.
- ALL STREET TREES SHALL BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TYP-03 AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.
- MIN. 20' DISTANCE SHALL BE PROVIDED BETWEEN LIGHT POLES AND TREE TRUNKS.
- MIN. 10' DISTANCE SHALL BE PROVIDED BETWEEN FIRE HYDRANT/FIRE DEPARTMENT CONNECTION AND TREE TRUNKS.
- TREES SHALL BE 30' MIN FROM STOP SIGNS AND 10' MIN FROM DRIVEWAYS AND UTILITY POLES.
- TREES SHALL NOT BE IN THE CURVE TRANSITIONING FROM ONE STREET TO ANOTHER.
- TREES WITHIN 20 FT. OF OVERHEAD POWER LINE(S) SHOULD BE UNDERSTORY TREES.
- CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIANS EXITING AUTOS PARKED IN PARALLEL SPACES.
- A TREE IMPACT PERMIT IS REQUIRED FOR TREES INSTALLED IN THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
- THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).

P L A N T L I S T - All Tree to be Single Stem				MINIMUM INSTALL		MATURE SIZE		REMARKS
QTY	SYM	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	HEIGHT	SPREAD	
<b>T R E E S</b>								
All Tree to be Single Stem								
14	AS	Acer saccharum subsp. Floridanum	Southern Sugar Maple	3" MIN	10' MIN	50'	40'	VPL/Deciduous Shade Tree
11	MG	Metasequoia glyptostroboides	Dawn Redwood	3" MIN	10' MIN	50'-60'	30'	Street Tree/Deciduous Shade Tree
14	QT	Quercus texana	Nuttall Oak	3" MIN	10' MIN	75'	55'	VPL/Deciduous Shade Tree
5	UP	Ulmus parvifolia 'Dynasty'	Dynasty Lacebark Elm	3" MIN	10' MIN	40'	40'	VPL/Deciduous Shade Tree
<b>S H R U B S</b>								
51	BT	Berberis thunbergii 'Sunjoy Fast Neo'	Sunjoy Fast Neo Barbery		24" MIN	3'-5'	3'-4'	Screening/Evergreen Shrub
94	DP	Distylium 'PIDIST-II PP#25, 304'	Copperstone Distylium		24" MIN	3'-4'	4'-5'	Screening/Evergreen Shrub
82	IBN	Ilex cornuta 'Dwarf Burford'	Dwarf Burford Holly		24" MIN	6'-8'	8'-10'	Screening/Evergreen Shrub



City of Raleigh UDO Landscape & Screening Requirements  
 UDO 33rd Supplement, Published August, 2024  
 Project: Barton Oaks  
 Date: 10.04.2024 (Revised: xx.xx.2024)

SHOD -1 Protective Yard - HWY 540			
Length of Right of Way			0
Provided by Tree Conservation Areas			LF
<b>Street Trees &amp; Street Protective Yard - Strickland Road</b>			
Length of Right of Way			464
Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average; round down)	464	1	40
Shade Tree Required; Round Down			11
Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average)			11
<b>Vehicle Parking Lot</b>			
Vehicle Parking Lot Area			97,724
Shade Trees Required (3" cal. 10' ht. per 2,000 sf)	97,724	1	2000
Shade Trees Provided (3" cal. 10' ht)			49

SEE L4.20 AND L4.21 FOR LANDSCAPE DETAILS.

**PLANT LEGEND**

STREET TREE - SINGLE STEM DECIDUOUS LARGE SHADE TREES

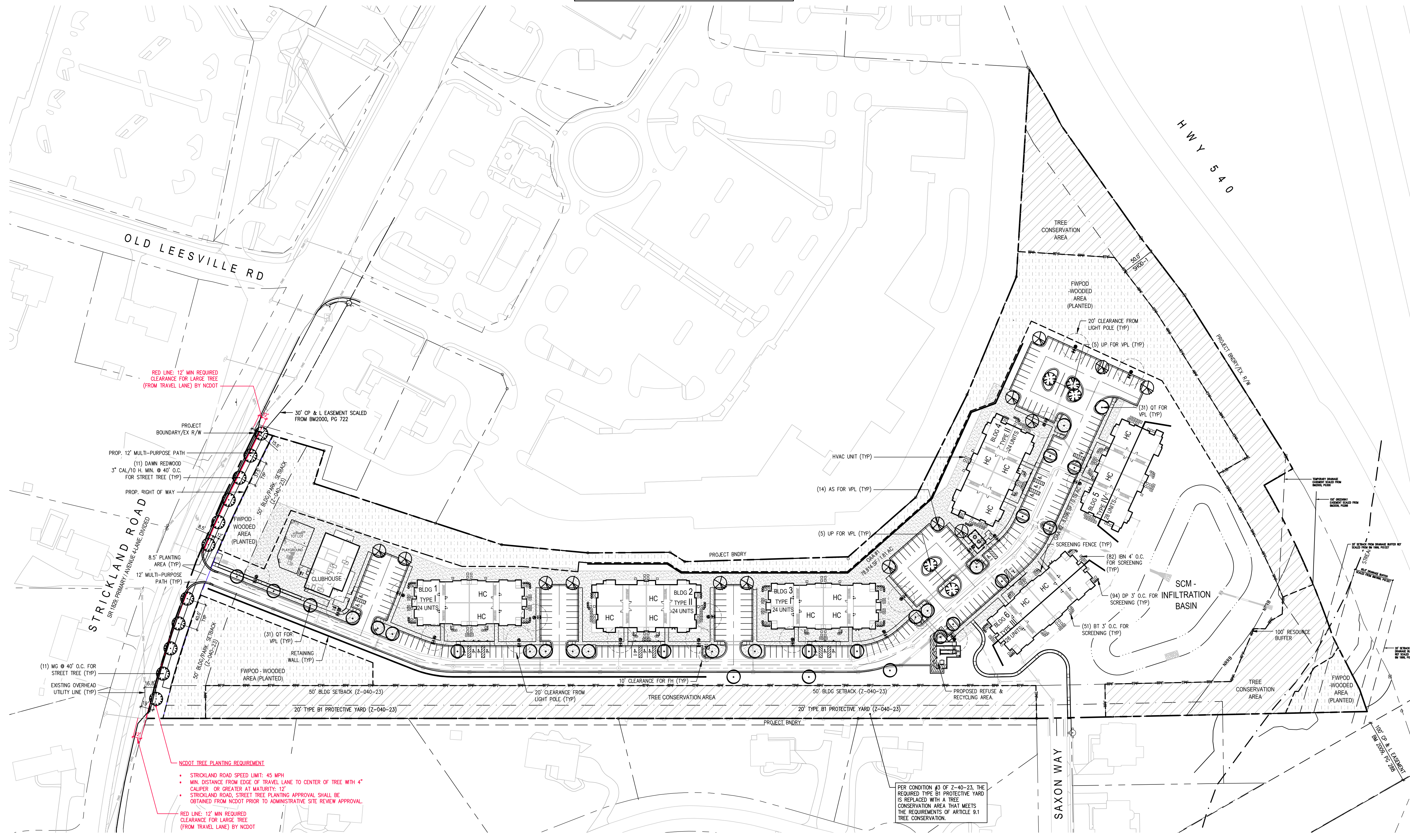
- (MG) Metasequoia glyptostroboides  
DAWN REDWOOD

VEHICULAR PARKING LOT TREE - SINGLE STEM DECIDUOUS SHADE TREES:

- (QF) QUERCUS FALCATA  
SOUTHERN RED OAK
- (UA) ULMUS AMERICANA 'PRINCETON'  
PRINCETON AMERICAN ELM
- (UA) ULMUS AMERICANA 'PRINCETON'  
PRINCETON AMERICAN ELM

HVAC UNIT SCREENING - EVERGREEN SHRUB:

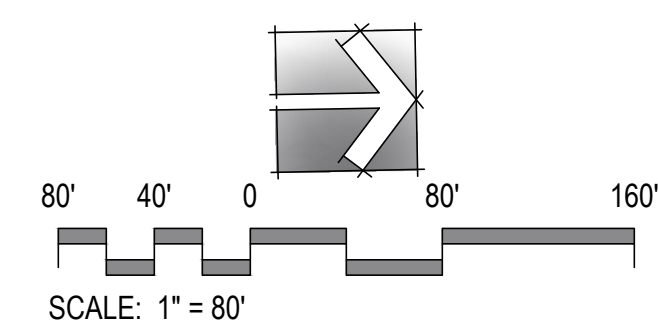
- (BT) BERBERIS THUNBERGII 'SUNJOY FAST NEO'  
SUNJOY FAST NEO BARBERRY
- (DP) Distylium 'PIDIST-II PP#25, 304'  
COPPERSTONE DISTYLIUM
- (ICB) ILEX CORNUTA 'DWARF BURFORD'  
DWARF BURFORD HOLLY



REFERENCE:  
 SCOPE-0084-2023; S-8-2005; Z-040-23;  
 BM 2000, PG 300

**ASR-XXXX-2024**

**LANDSCAPE PLAN**



ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.

PROJECT:	OIC-24093	DATE:	
ISSUE:	Administrative Site Review	10.04.2024	
REVISIONS:			
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	CODE COMPLIANCE LANDSCAPE PLAN		

**L4.00**

**KTJ427 LP**  
**Barton Oaks**  
 13120 Strickland Road  
 Raleigh, North Carolina 27613

**JDAVIS**  
 510 South Wilmington Street | Raleigh, NC 27601 | Tel: 919.835.1500  
 1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | Tel: 215.545.0121  
**ASR-XXXX-2024** (Admin. Site Review)  
 REFERENCE: SCOPE-0084-2023; S-8-2005; Z-040-23



<b>TITLE</b> SCALE: NTS	<b>11</b>

<b>TITLE</b> SCALE: NTS	<b>8</b>

<b>TITLE</b> SCALE: NTS	<b>4</b>

<b>LANDSCAPE NOTES</b> SCALE: NTS	<b>4</b>

<b>TITLE</b> SCALE: NTS	<b>10</b>

<b>TITLE</b> SCALE: NTS	<b>7</b>

<b>TITLE</b> SCALE: NTS	<b>3</b>

<b>BED EDGING</b> SCALE: NTS	<b>3</b>

<b>TITLE</b> SCALE: NTS	<b>9</b>

<b>TITLE</b> SCALE: NTS	<b>6</b>

<b>TITLE</b> SCALE: NTS	<b>2</b>

<b>B &amp; B SHRUB INSTALLATION</b> SCALE: NTS	<b>2</b>

<b>TITLE</b> SCALE: NTS	<b>5</b>

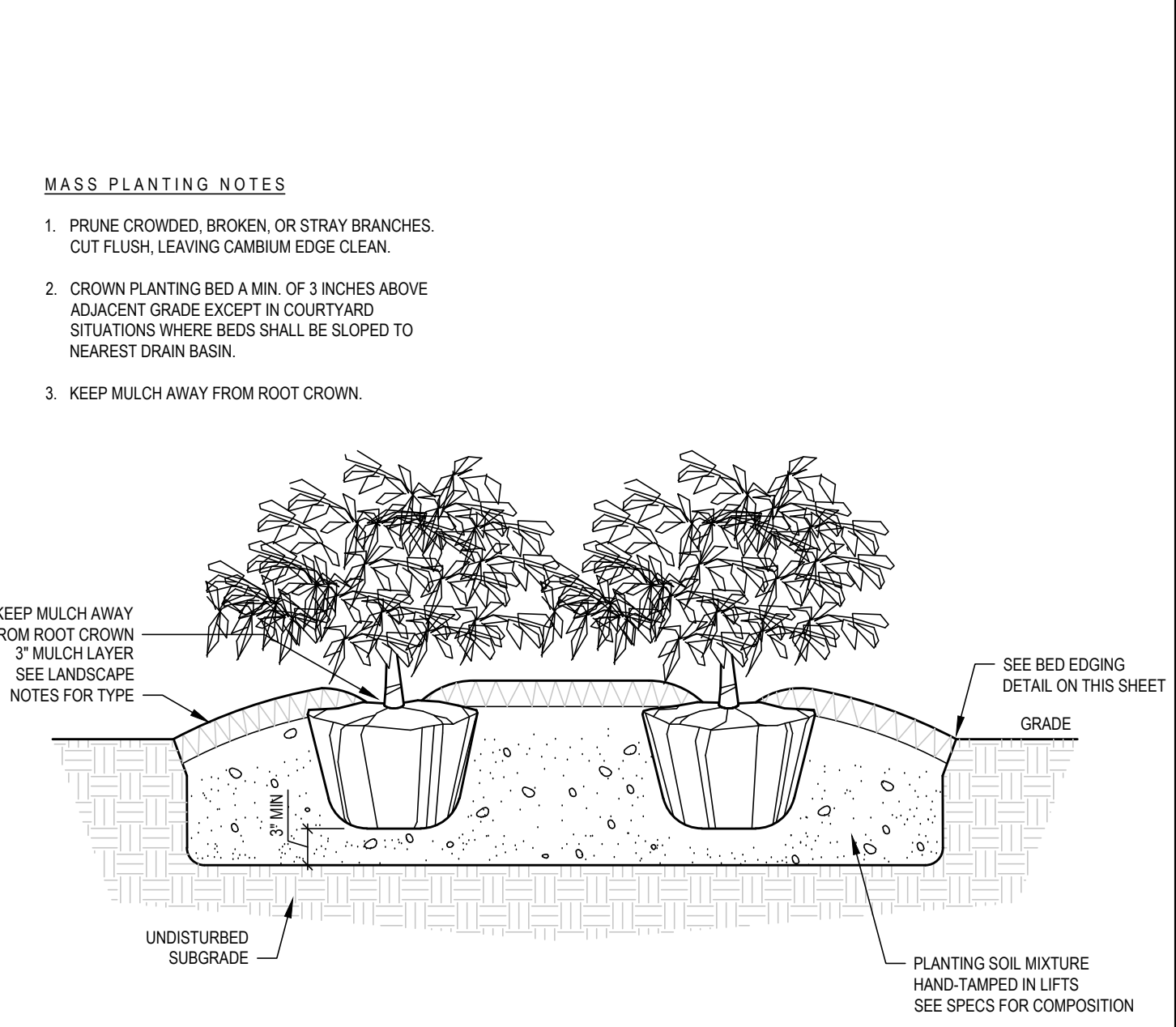
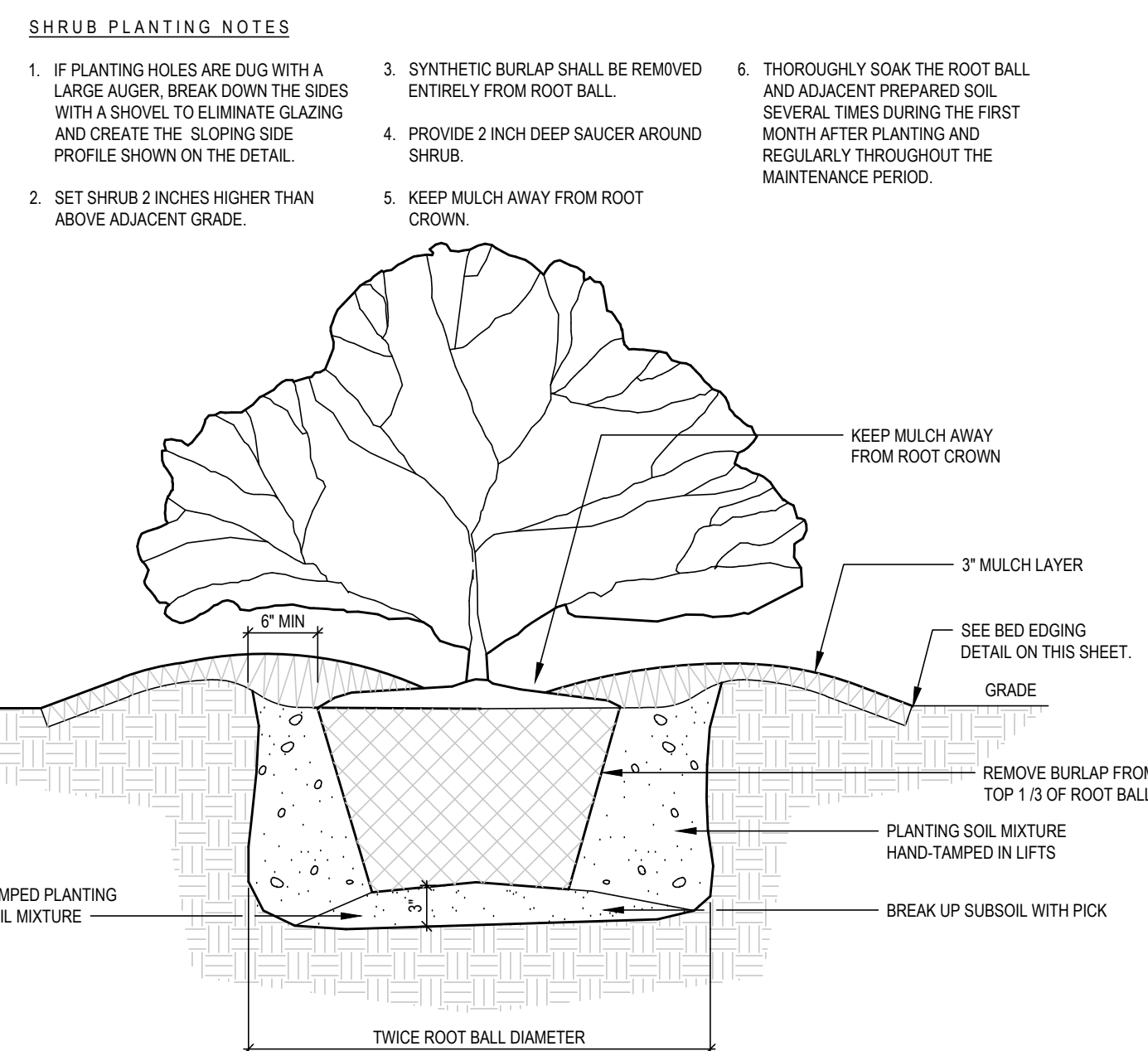
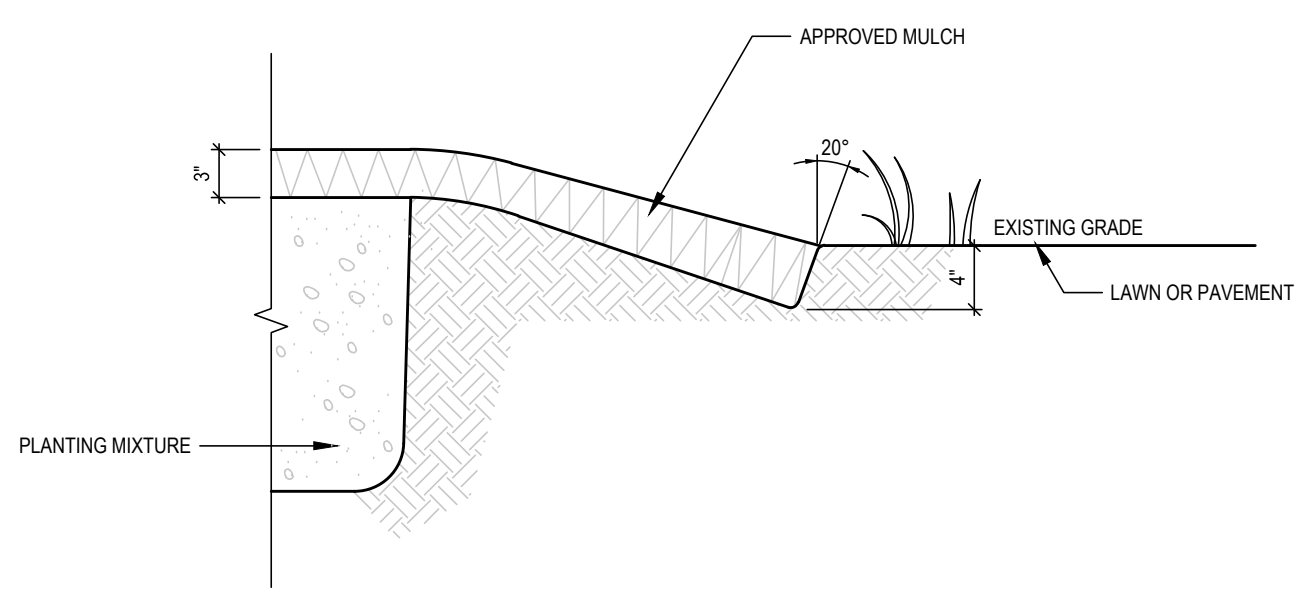
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<b>CONTAINER PLANT INSTALLATION</b> SCALE: NTS	<b>1</b>

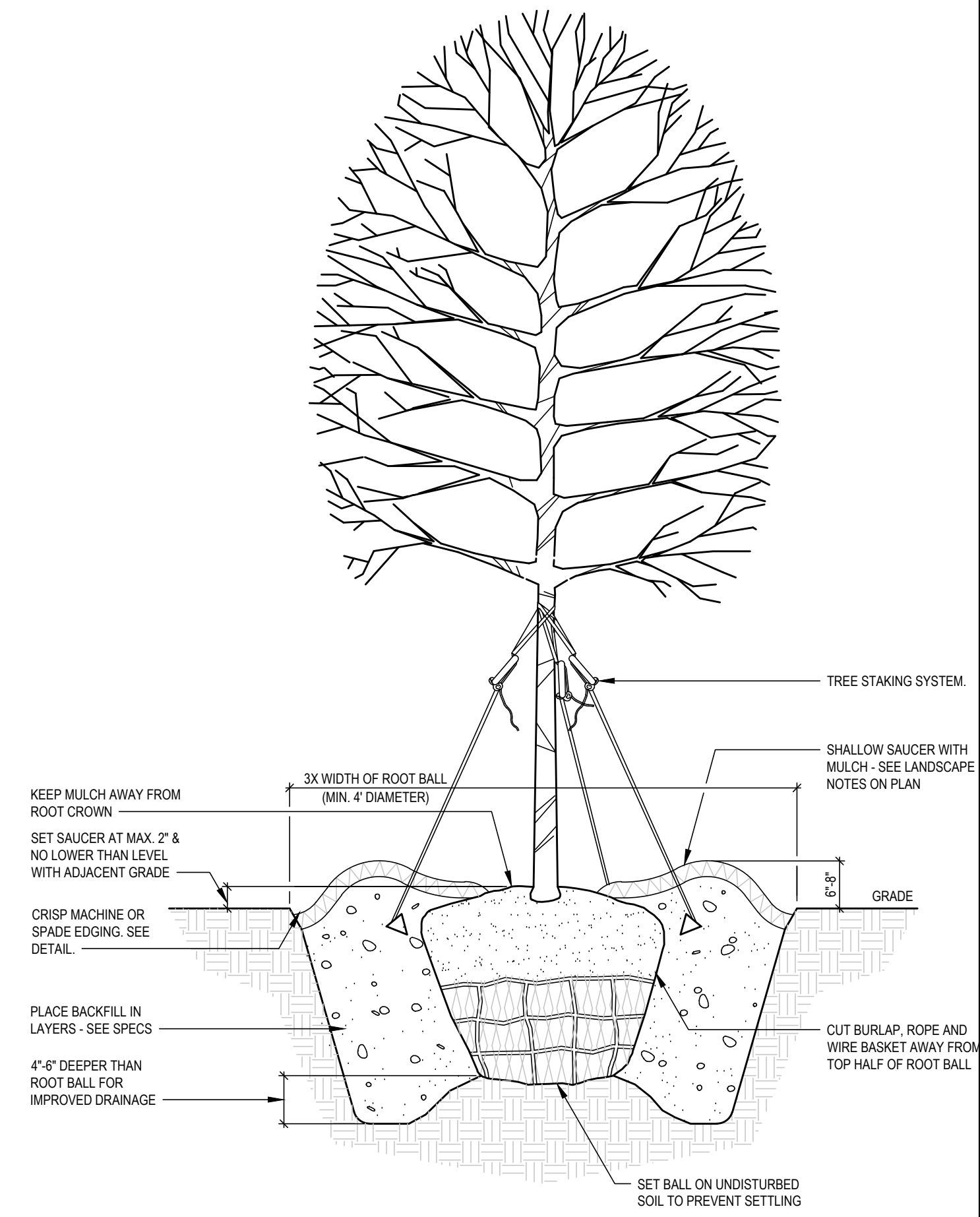
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- LANDSCAPE NOTES:**
- CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION
  - THE PLAN DEPICTS REQUIRED PLANTINGS REQUIRED BY THE CITY OF RALEIGH.
  - ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
  - ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.
  - LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
  - ALL PLANTING BEDS ARE TO BE MULCHED TO A DEPTH OF 3 INCHES, WITH AGED TRIPLE SHREDDED HARDWOOD MULCH FROM A SINGLE SOURCE COMMERCIAL VENDOR WITH A MAXIMUM PARTICLE SIZE OF 2 INCHES, FREE OF WEED SEED AND WASTE MATERIALS. NO PINE STRAW PERMITTED. KEEP MULCH 4 TO 6 INCHES AWAY FROM TREE TRUNKS OR STEMS.
  - ALL LAWN AREAS TO BE SEEDED OR/AND SODDED AS PER MANUFACTURE'S SPECIFICATIONS. REFER TO LANDSCAPE PLAN(S). ALL DISTURBED AREA SHALL EITHER BE MULCH OR LAWN.
  - WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
  - HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW-DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE OR WALL.
  - ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS.
  - ALL STREET TREES SHALL BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TRP-03 AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.
  - MIN. 20' DISTANCE SHALL BE PROVIDED BETWEEN LIGHT POLES AND TREE TRUNKS.
  - MIN. 10' DISTANCE SHALL BE PROVIDED BETWEEN FIRE HYDRANT/FIRE DEPARTMENT CONNECTION AND TREE TRUNKS.
  - TREES SHALL BE 30' MIN FROM STOP SIGNS AND 10' MIN FROM DRIVEWAYS AND UTILITY POLES.
  - TREES SHALL NOT BE IN THE CURVE TRANSITIONING FROM ONE STREET TO ANOTHER.
  - TREES WITHIN 20 FT. OF OVERHEAD POWER LINE(S) SHOULD BE UNDERSTORY TREES.
  - CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIANS EXITING AUTOS PARKED IN PARALLEL SPACES.
  - A TREE IMPACT PERMIT IS REQUIRED FOR TREES INSTALLED IN THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
  - THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).



**TREE PLANTING NOTES**

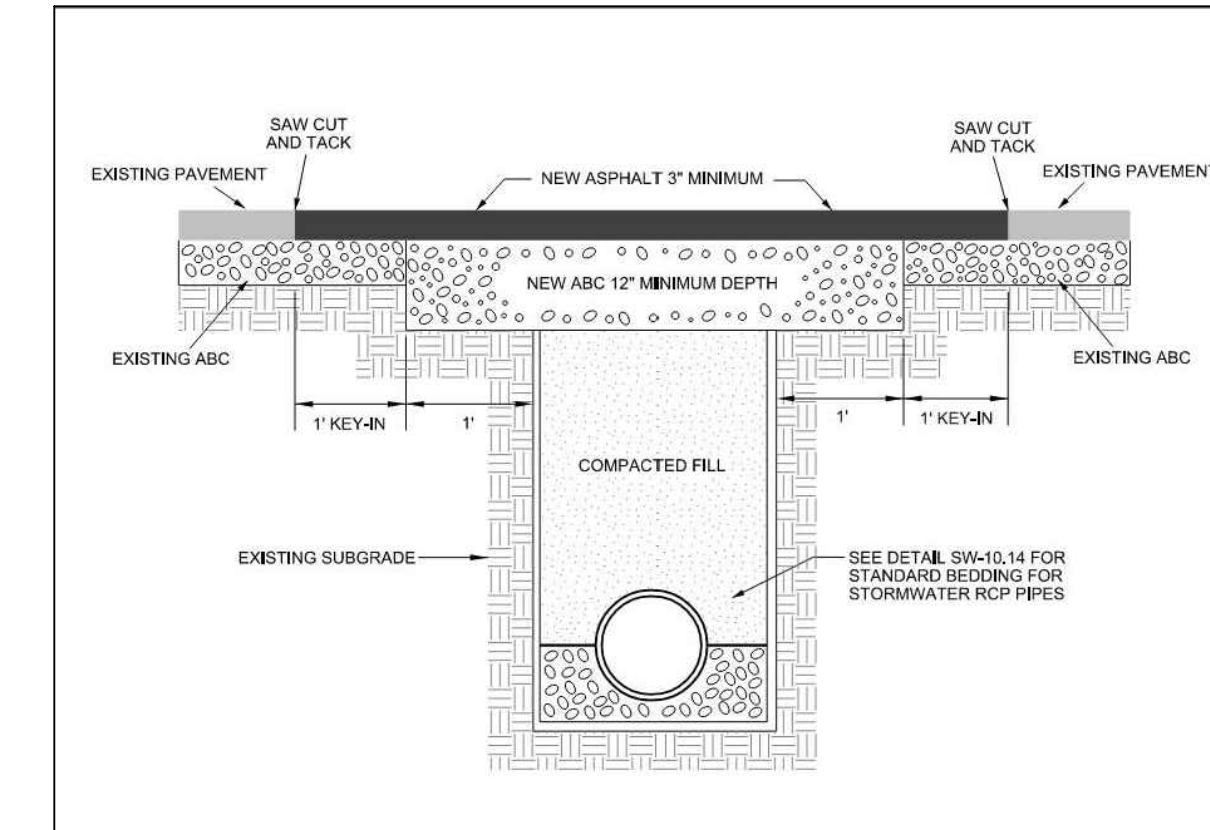
- MATCH PLANTING PROCEDURE FOR EVERGREEN TREES.
- DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS.
- IF TREES ARE PLANTED CLOSE TOGETHER SUCH THAT THEY WILL LIKELY SHARE ROOT SPACE, TILL IN SOIL AMENDMENTS TO A DEPTH OF 4" TO 6" OVER THE ENTIRE BED AREA.
- FOR CONTAINER-GROWN TREES, EXTRACT THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL, THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
- THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE MAINTENANCE PERIOD.
- IF PLANTING HOLES ARE DUG WITH A LARGE AUGER, BREAK DOWN THE SIDES WITH A SHOVEL TO ELIMINATE GLAZING AND CREATE THE SLOPING SIDE PROFILE SHOWN ON THE DETAIL.
- IN MEDIAN ISLANDS, SET PLANT MATERIAL AS CLOSE TO FINISHED GRADE AS POSSIBLE.
- SYNTHETIC BURLAP SHALL BE REMOVED ENTIRELY FROM ROOT BALL.
- KEEP MULCH AWAY FROM ROOT CROWN.



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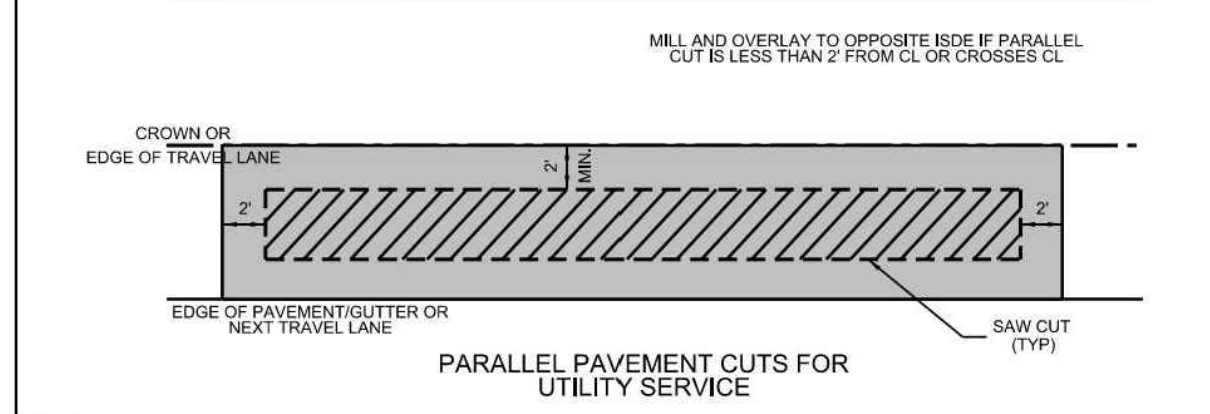
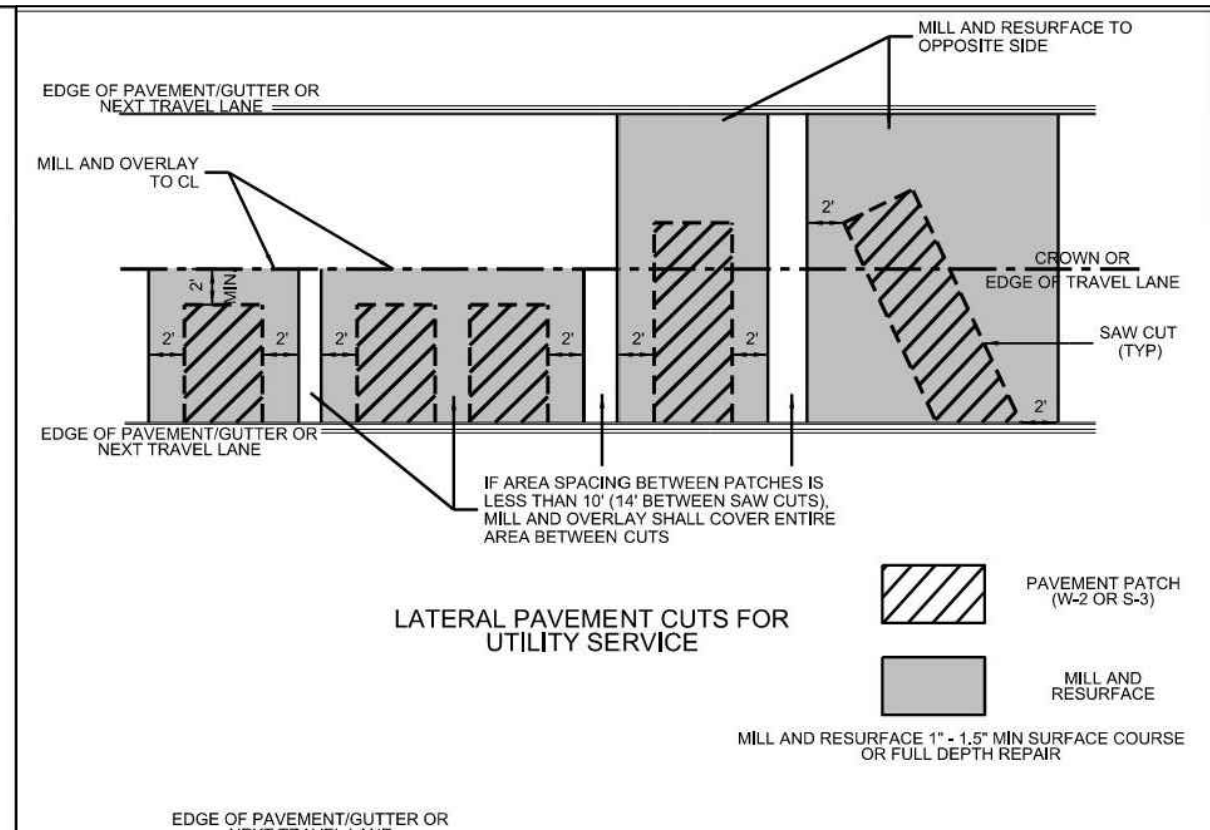
**ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.**

PROJECT:	OIC-24093	DATE	
ISSUE:	Administrative Site Review	10.04.2024	
REVISIONS:			
DRAWN BY:			
CHECKED BY:	KT		
CONTENT:	LANDSCAPE DETAILS AND NOTES		

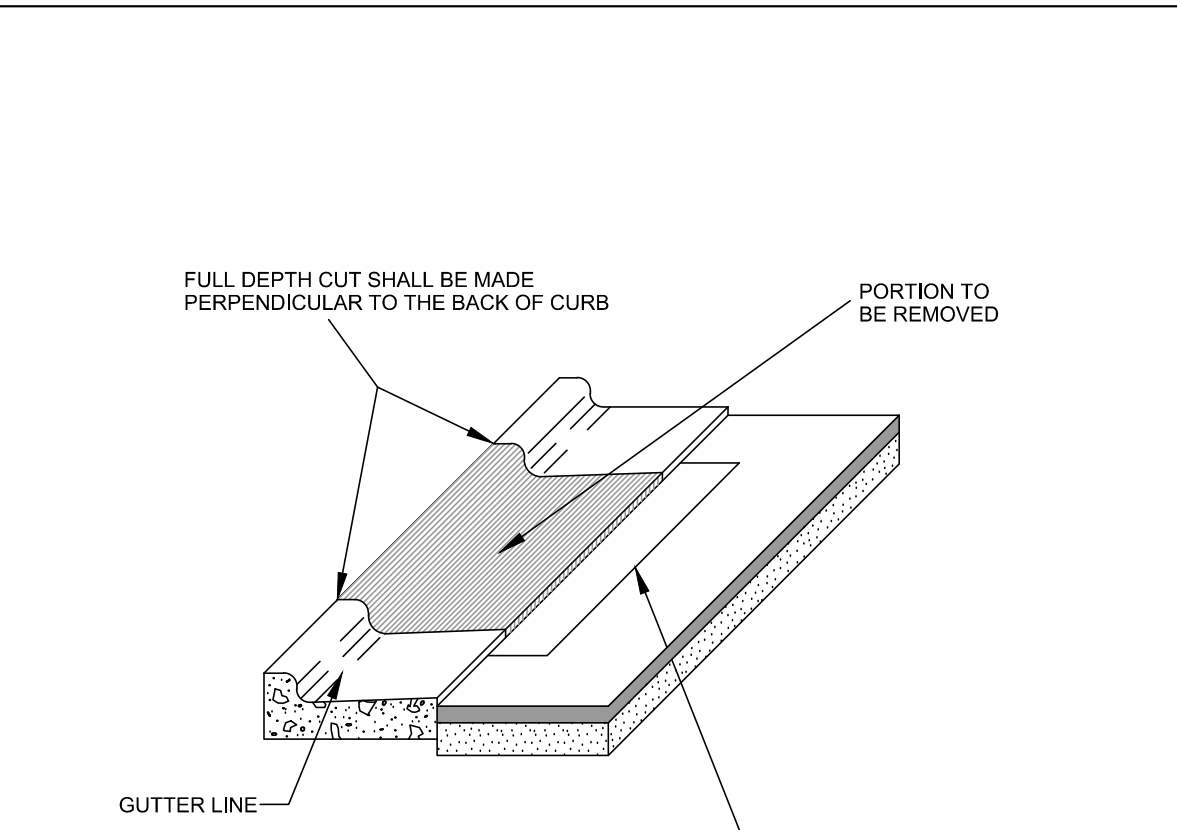


- NOTES:
1. THE PAVEMENT EDGE SHALL BE DEFINED BY A STRAIGHT EDGE FORMED BY A MACHINED SAW CUT.
  2. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NC DOT.
  3. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NC DOT. BITUMINOUS BASE OR BINDER MAY BE SUBSTITUTED IF APPROVED BY TRANSPORTATION DIRECTOR OR DESIGNER.
  4. THE ENTIRE THICKNESS/VERTICAL EDGE OF THE CUT SHALL BE TACKED.
  5. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.
  6. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY AND ROLLED WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH, LEVEL PATCH.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
0000	08/02/22	
ASPHALT PAVEMENT PATCH AND RCP PIPE BACKFILL		
<b>T-10.05.1</b>		

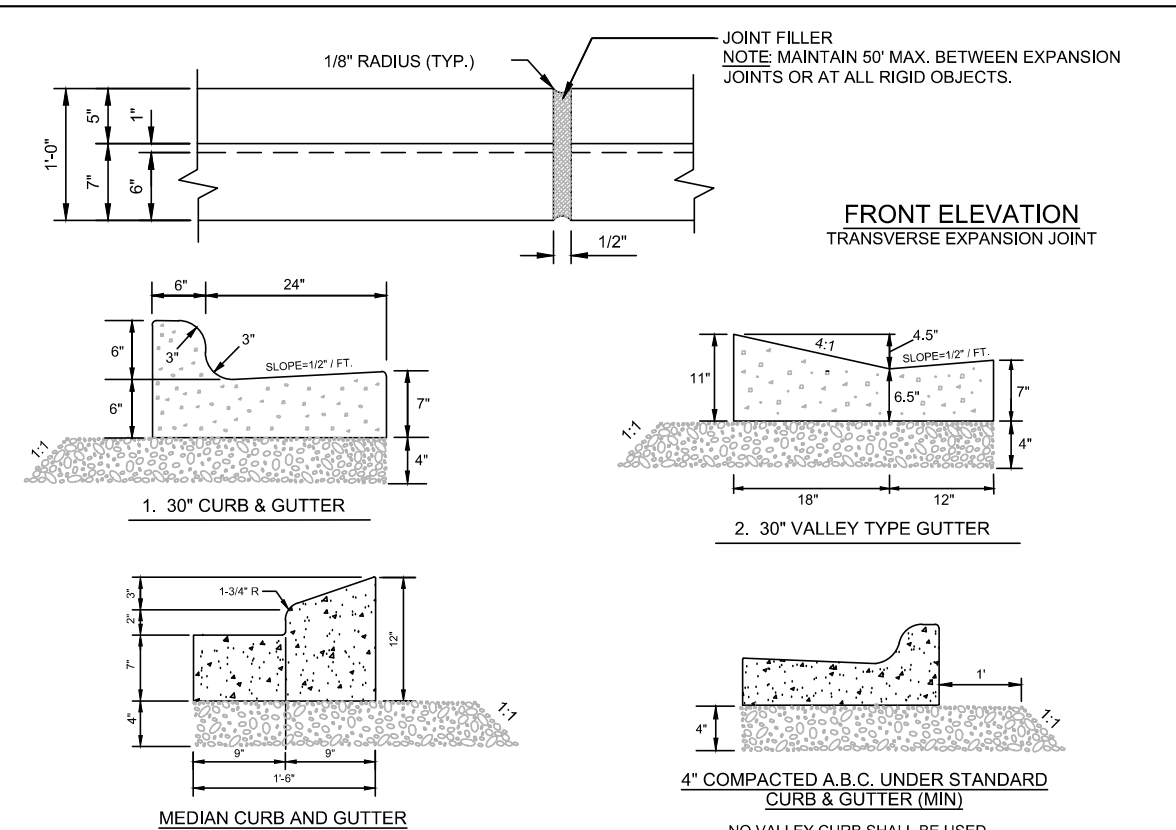


CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
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ASPHALT PAVEMENT PATCH AND RCP PIPE BACKFILL		
<b>T-10.05.2</b>		



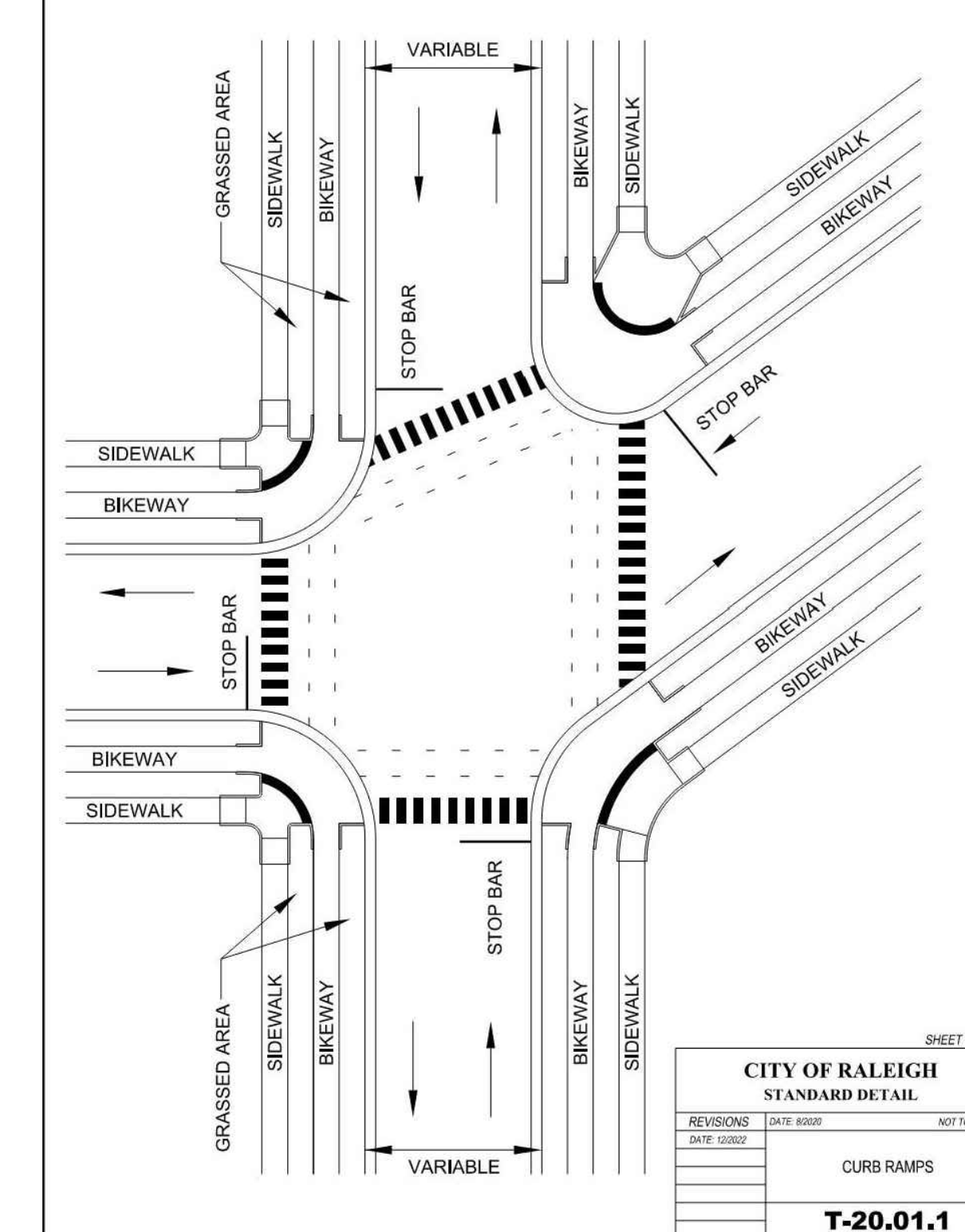
- NOTES:
1. CURB AND GUTTER SECTION SHALL BE REMOVED IN ACCORDANCE WITH DRIVEWAY WIDTH APPROVED BY THE CITY.
  2. IF PERPENDICULAR CUT IS LESS THAN 2' FROM NEXT JOINT, THEN THE PARALLEL CUT SHALL BE MADE TO THAT JOINT.
  3. THIS METHOD IS NOT ALLOWED IN NEW ROADWAY CONSTRUCTION.

CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
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STANDARD METHOD OF REMOVING EXISTING CURB (FOR A DRIVEWAY APRON INSTALLATION)		
<b>T-10.24</b>		

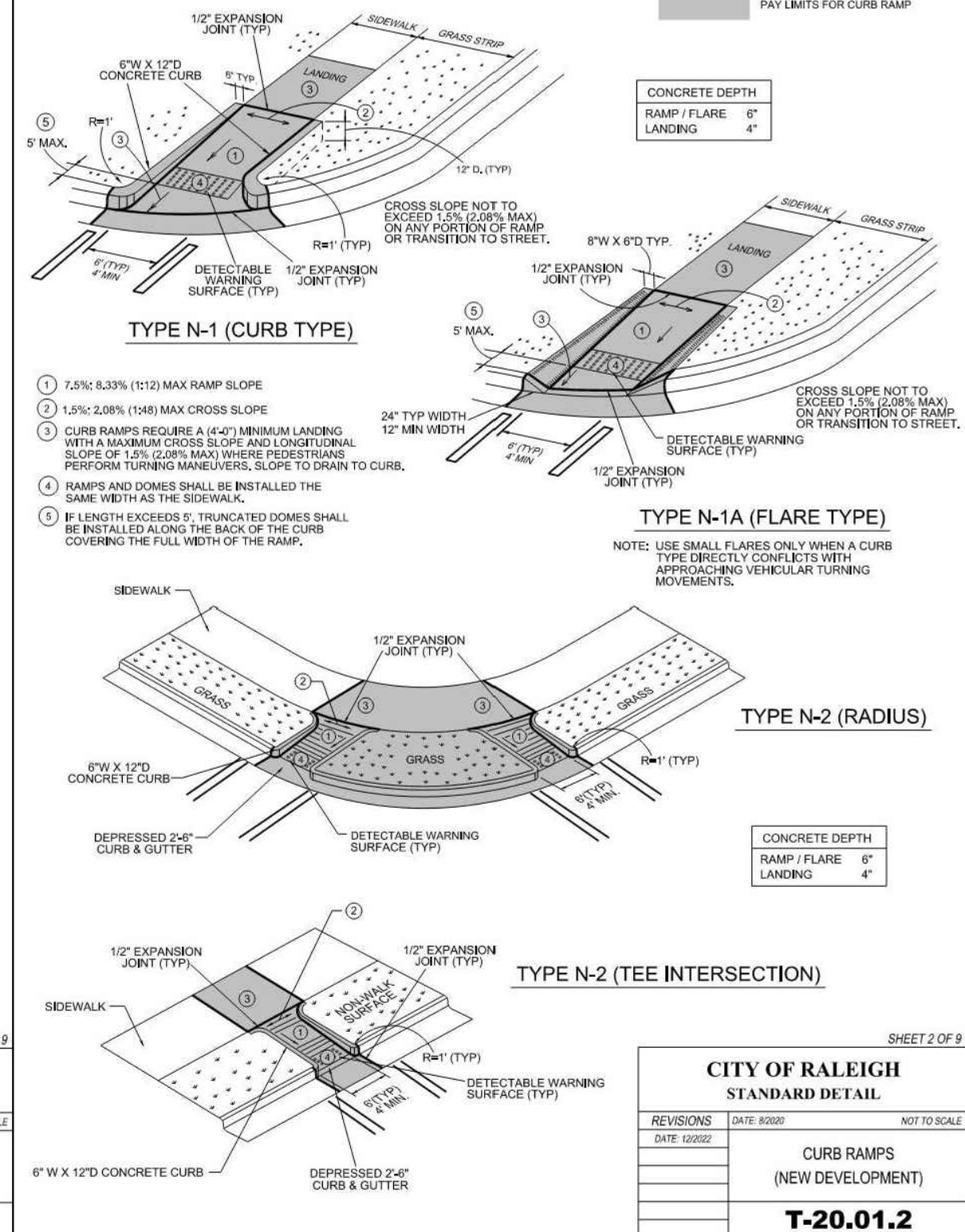


- NOTES:
1. 10' MAXIMUM BETWEEN DUMMY JOINTS.
  2. 15' MAXIMUM BETWEEN DUMMY JOINTS ON MACHINE POURED.
  3. 12" EXPANSION JOINT EVERY 50'.
  4. 3000 PSI CONCRETE MINIMUM 4" SLUMP MAXIMUM.
  5. LIQUID MEMBRANE CURING COMPOUND SHALL MEET THE REQUIREMENTS OF SECTION 1026-2 OF NC DOT STANDARDS & SPECIFICATIONS FOR ROADS AND STRUCTURES.
  6. ALL CONSTRUCTION JOINTS SHALL BE FILLED WITH JOINT FILLER AND SEALER IN ACCORDANCE WITH NC DOT ROADWAY STANDARD DETAIL 848.01 THE JOINT MATERIAL SHALL CONFORM TO SECTION 1026-2 OF NC DOT STANDARDS & SPECIFICATIONS FOR ROADS AND STRUCTURES.
  7. REFER TO NC DOT DETAIL 846.01 FOR CURB AND GUTTER SURFACE ELEVATION RATES.

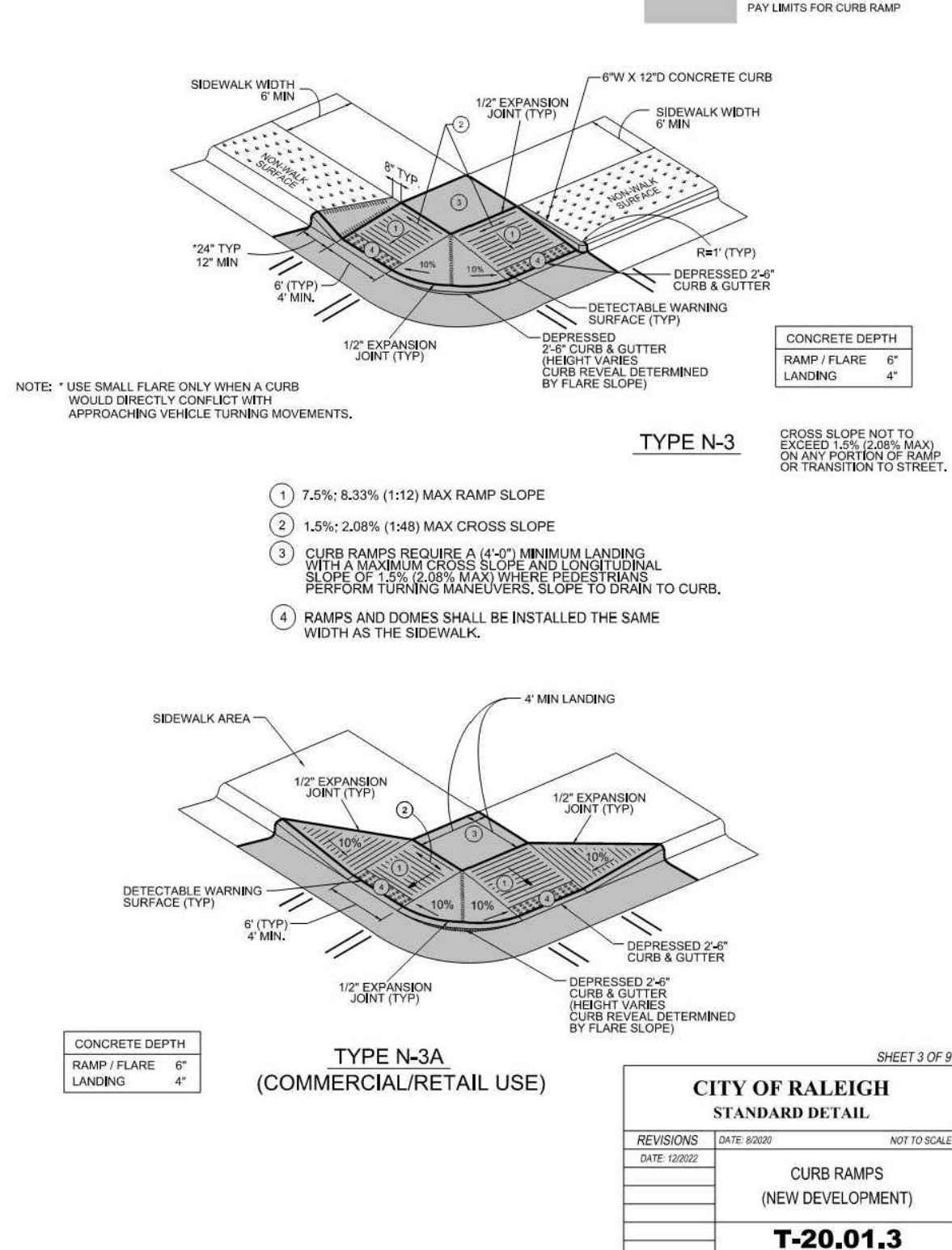
CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
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CURB AND GUTTER		
<b>T-10.26.1</b>		



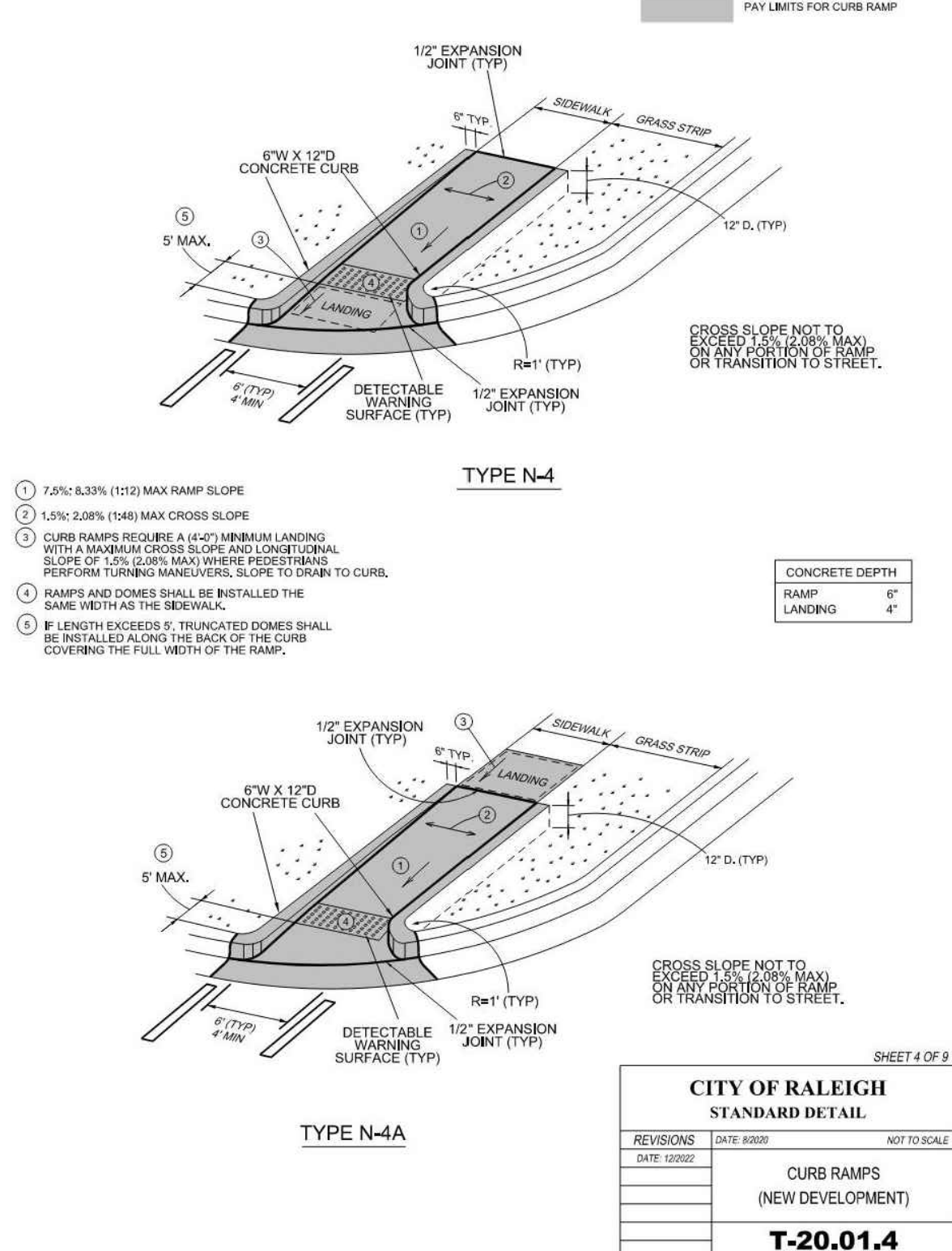
CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
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CURB RAMPS		
<b>T-20.01.1</b>		



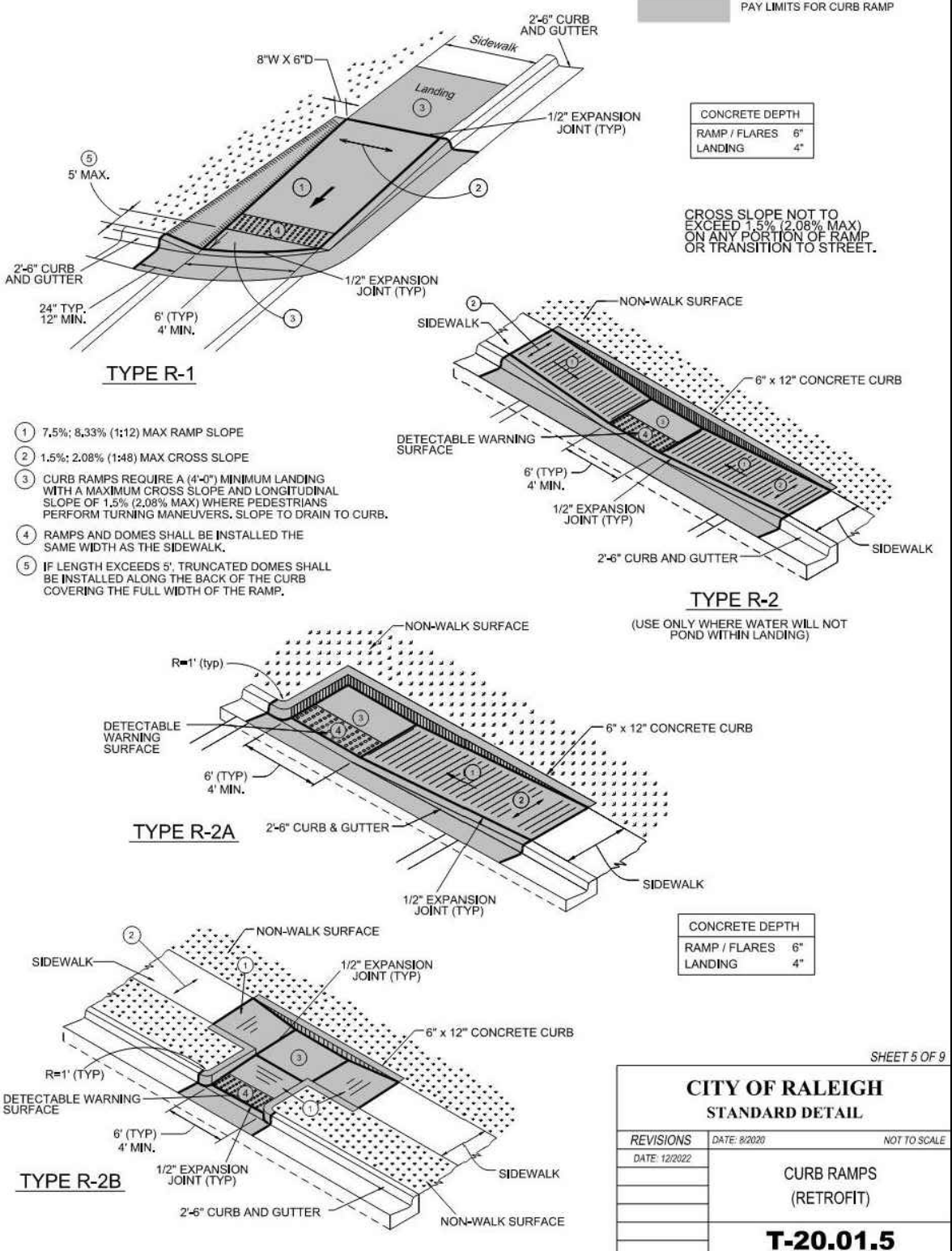
CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
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CURB RAMPS (NEW DEVELOPMENT)		
<b>T-20.01.2</b>		



CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
0000	08/02/22	
CURB RAMPS (NEW DEVELOPMENT)		
<b>T-20.01.3</b>		



CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
0000	08/02/22	
CURB RAMPS (RETROFIT)		
<b>T-20.01.4</b>		



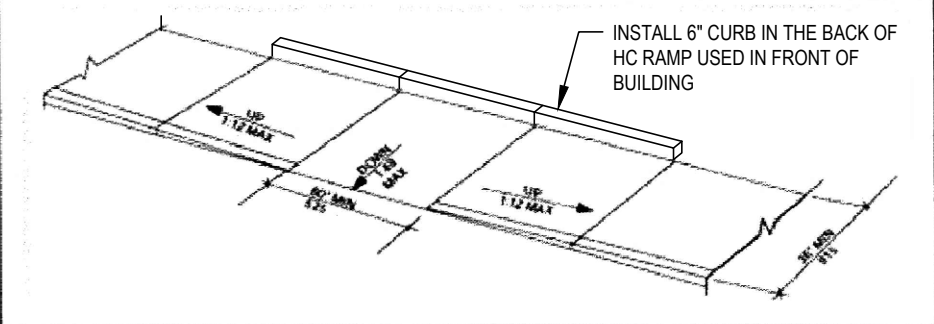
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REVISIONS	DATE	NOT TO SCALE
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CURB RAMPS (RETROFIT)		
<b>T-20.01.5</b>		

CITY OF RALEIGH DETAILS  
SCALE: NTS

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ANSI Fig. C 406.7(a) Curb Ramp Option

2003 ANSI Commentary:  
If there is not enough space to allow for a flat perpendicular route... an alternative would be to level with the parking or road surface, with a straight curb at both ends.

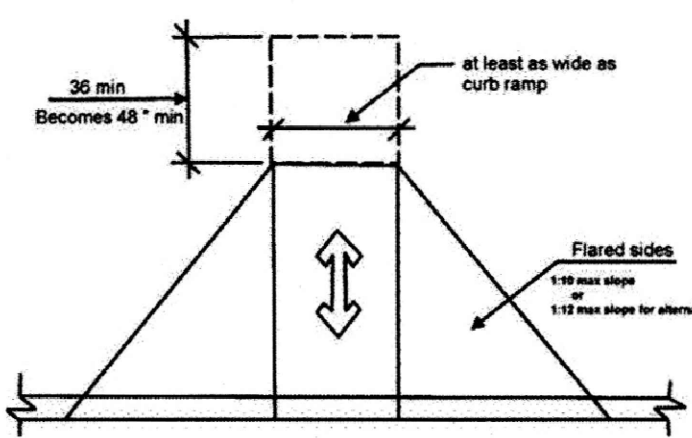


ANSI 406.3 Curb Ramps

Planning sidewalks so that pedestrians do not have to travel across the side flares of a curb cut is a preferable way to design your circulation path. Part of doing this is to locate curb cuts and curb ramps where they will not extend into pedestrian cross-traffic. While this is preferable, as the ANSI Commentary notes, it is not always feasible to do, particularly where existing sites do not allow the space that is required.

ONE NOTE OF CAUTION HERE: the 36" minimum dimension at the top becomes 48". The NCBC 1104.2 requirement for a 48" exterior path will always override the ANSI 36" exterior width dimension.

ANSI 406.7 does provide a saving grace for alterations:  
EXCEPTION: In alterations, where there is no landing at the top of curb ramps, curb ramp flares shall be provided and shall not be steeper than 1:12.



ANSI RAMP DETAILS  
SCALE: NTS

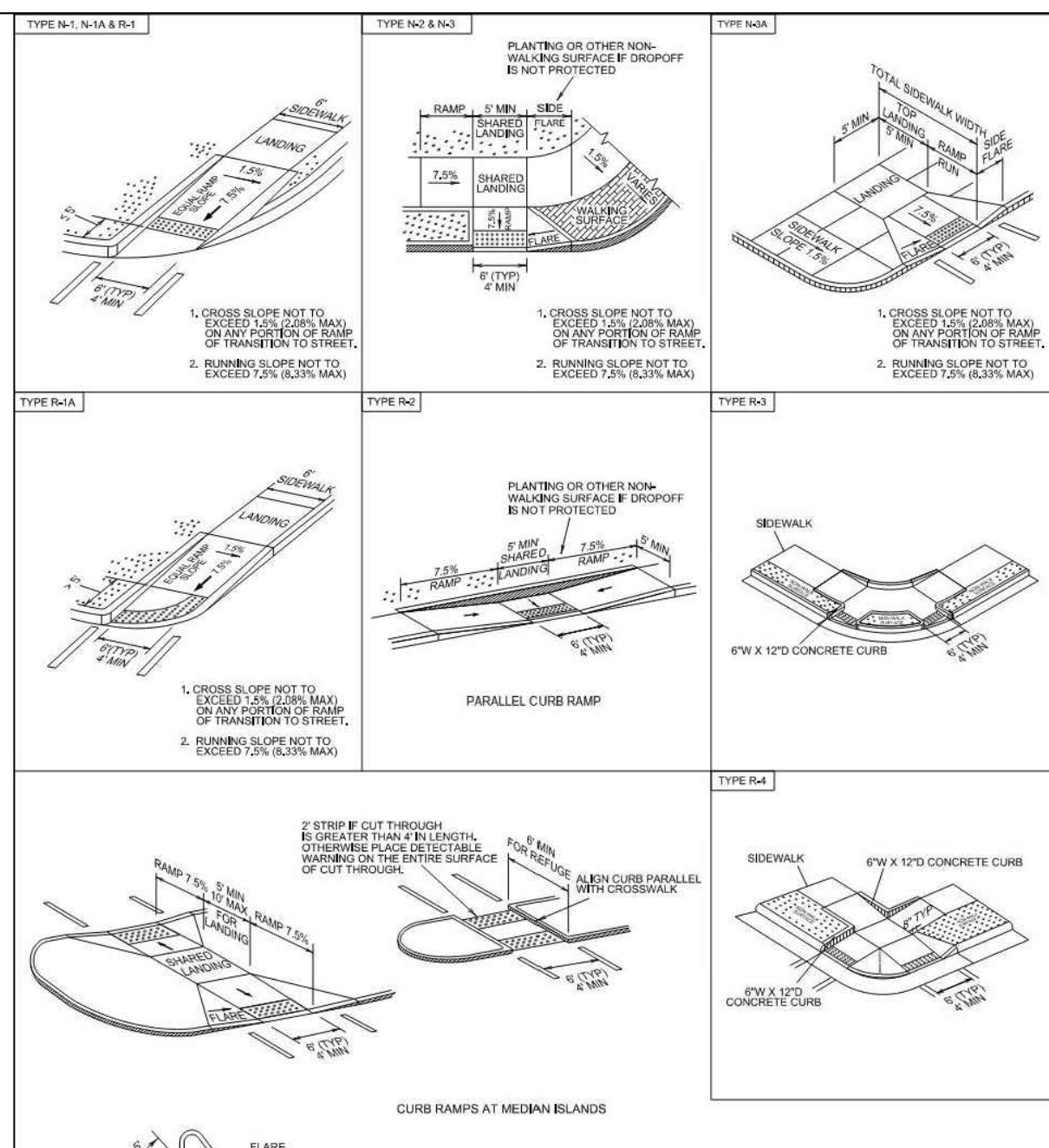
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PROJECT:	OIC-24093	DATE:	
ISSUE:	Administrative Site Review	DATE:	10.04.2024
REVISIONS:			
DRAWN BY:	SB		
CHECKED BY:	KT		
CONTENT:	CITY OF RALEIGH STANDARD DETAILS & ANSI STANDARD DETAILS		

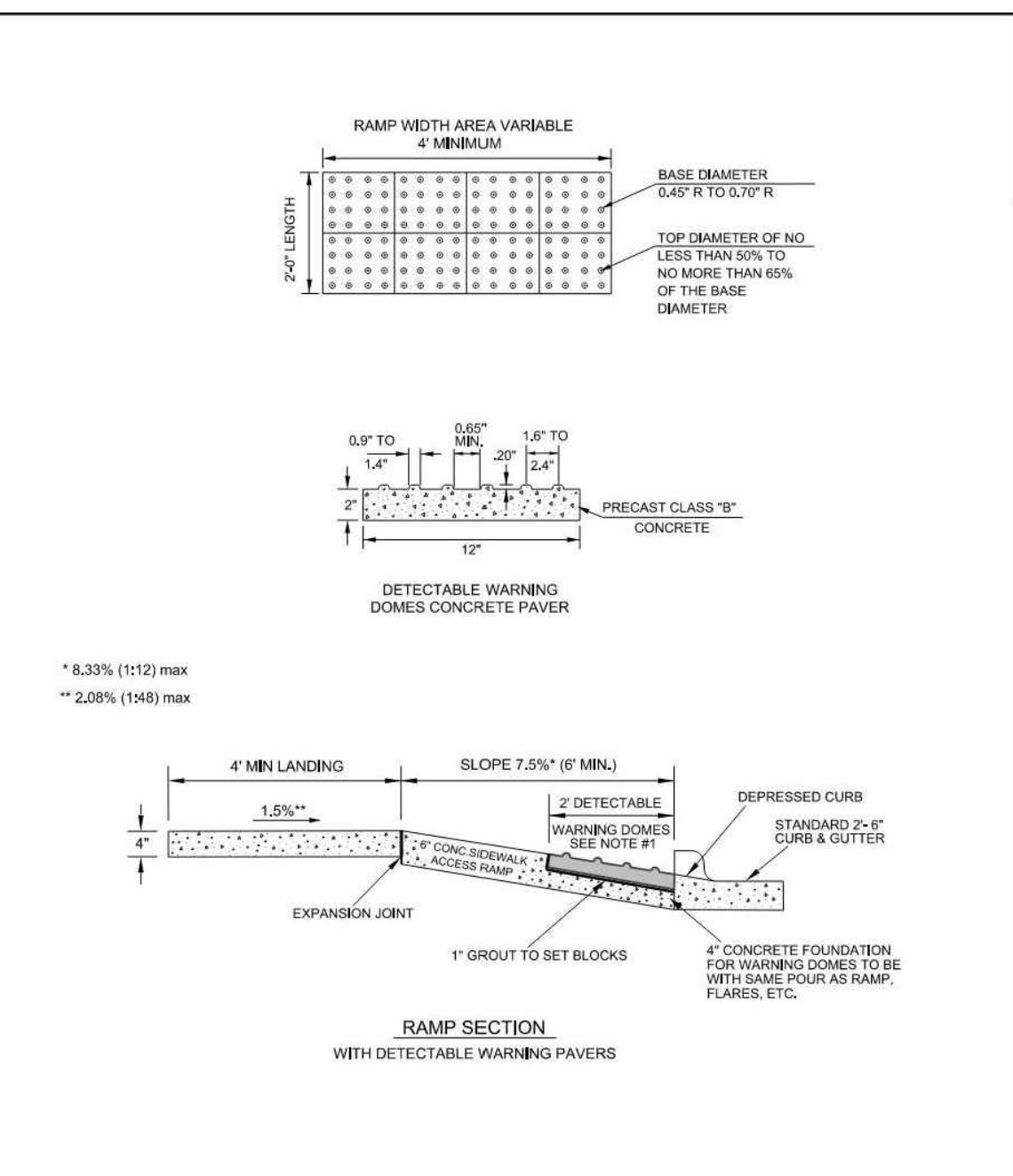
**CITY OF RALEIGH  
CURB RAMPS  
GENERAL NOTES**

- CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
- CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL, HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
- DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
- THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
- NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1 1/2" FT (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
- IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
- A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
- CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

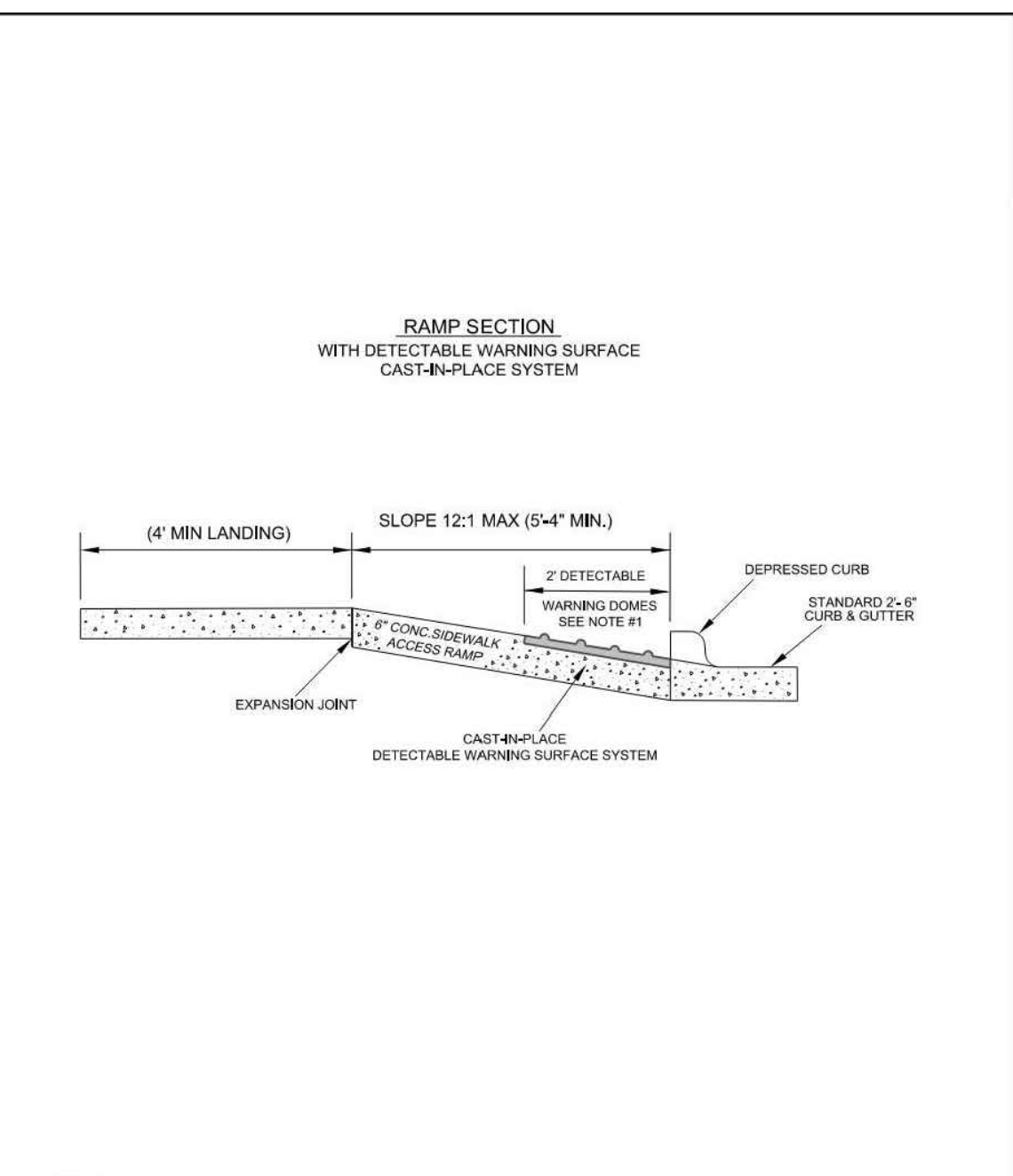
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CITY OF RALEIGH STANDARD DETAIL			
CURB RAMP NOTES			
T-20.01.8			



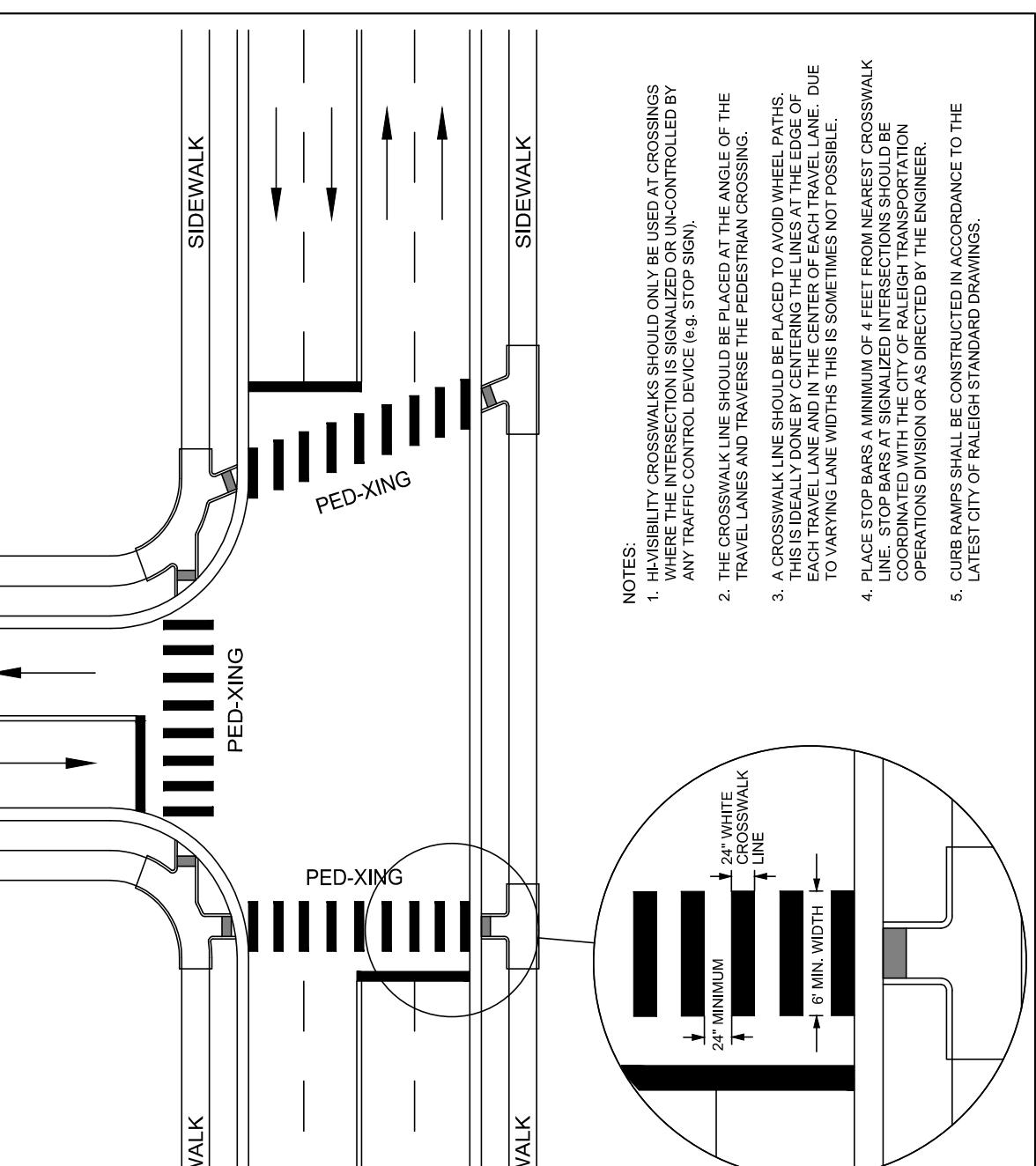
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CITY OF RALEIGH STANDARD DETAIL			
DETECTABLE WARNING SURFACE PLACEMENT			
T-20.04.1			



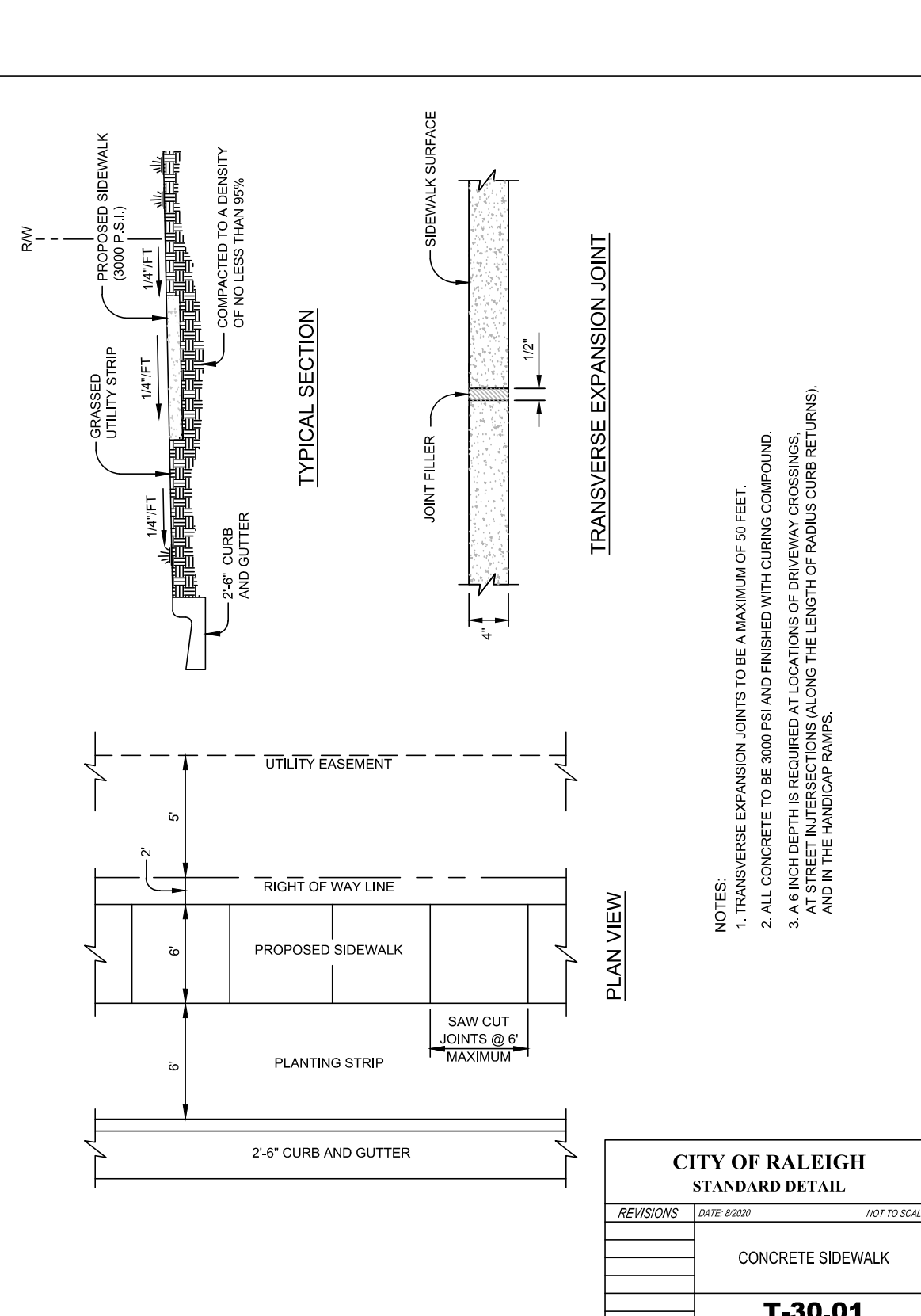
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CITY OF RALEIGH STANDARD DETAIL			
DETECTABLE WARNING SURFACE PAVERS			
T-20.04.2			



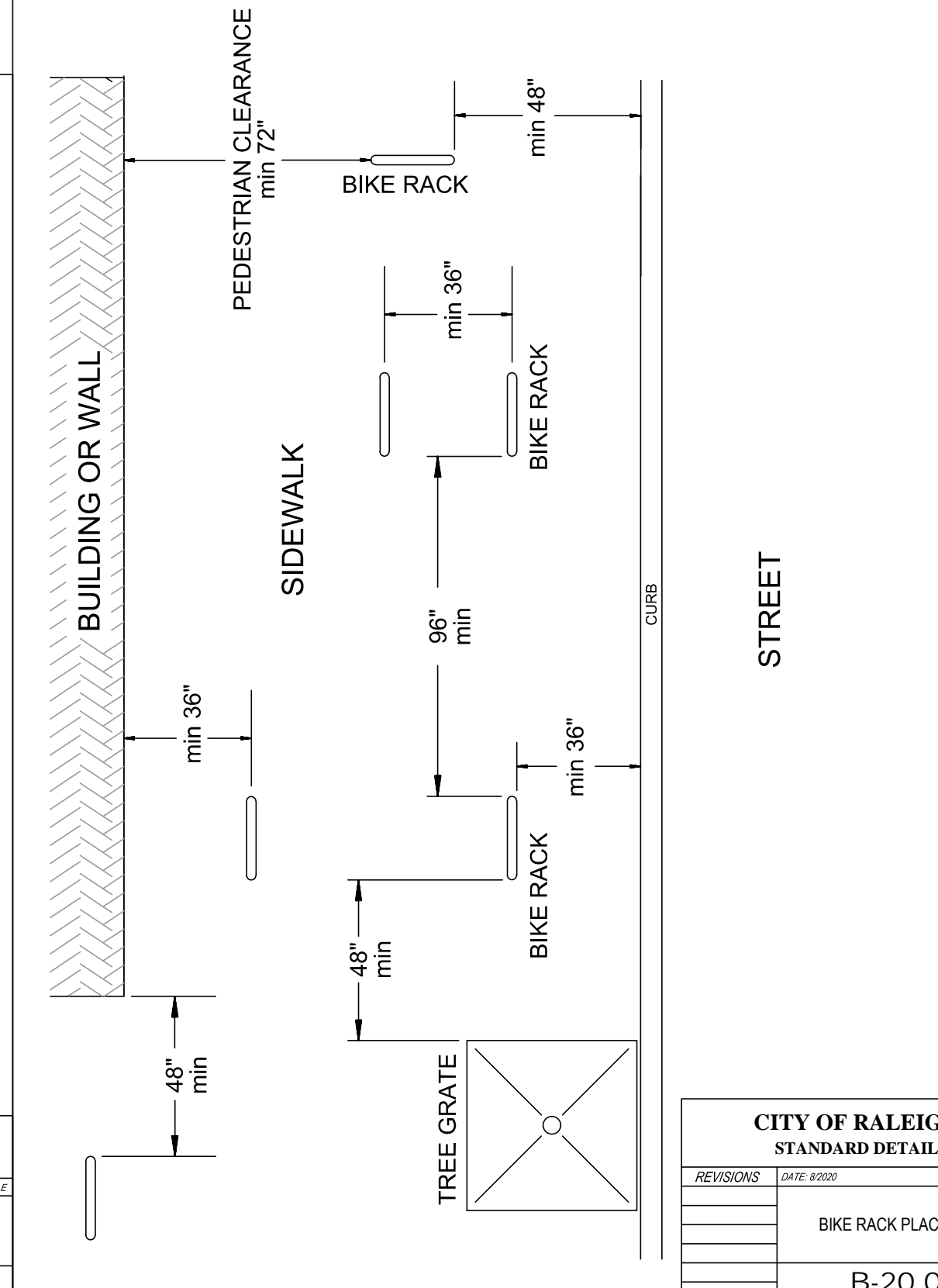
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CITY OF RALEIGH STANDARD DETAIL			
DETECTABLE WARNING SURFACE PAVERS			
T-20.04.4			



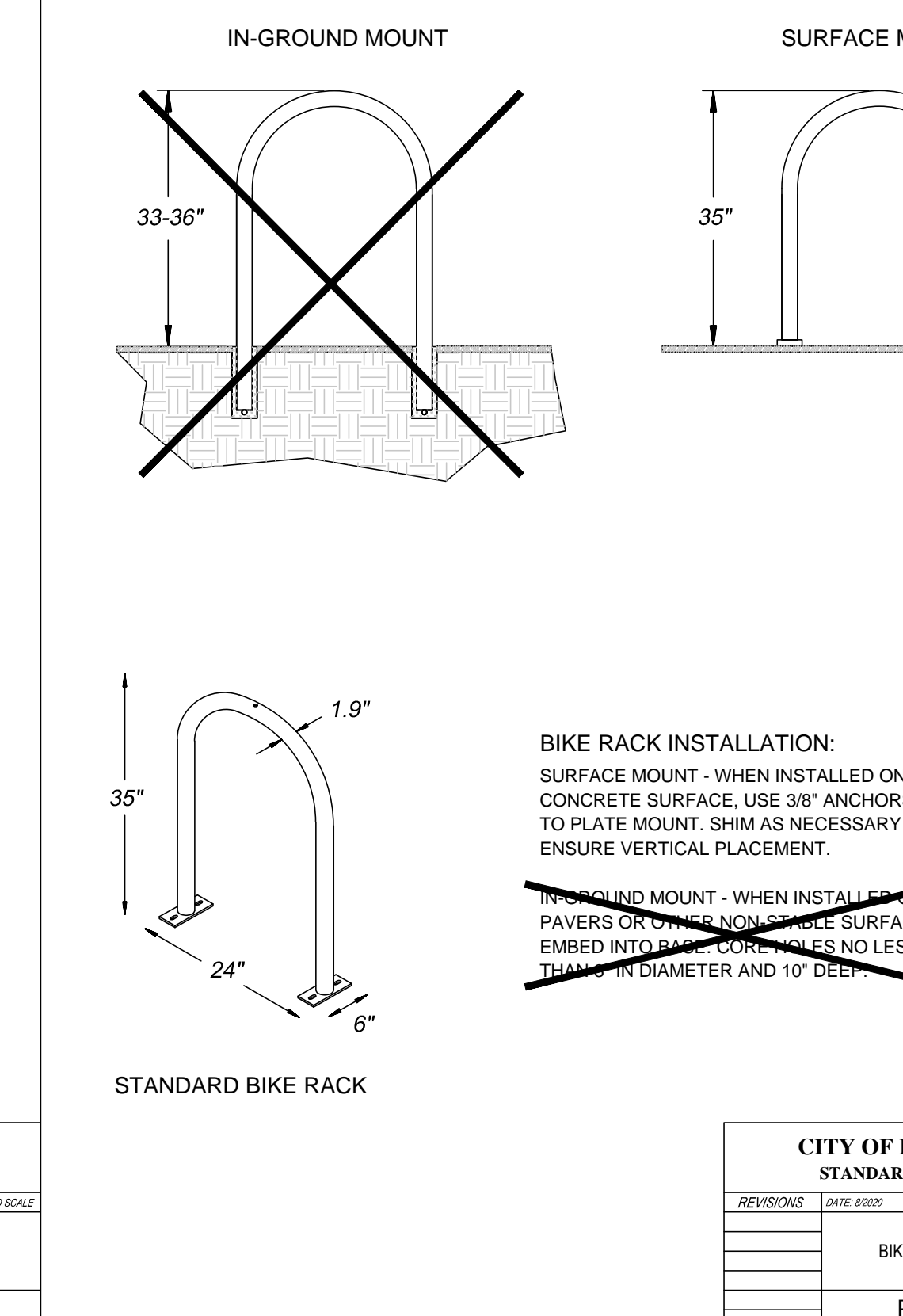
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CITY OF RALEIGH STANDARD DETAIL			
PAVEMENT MARKINGS VISIBILITY PEDESTRIAN CROSSWALK			
T-20.05			



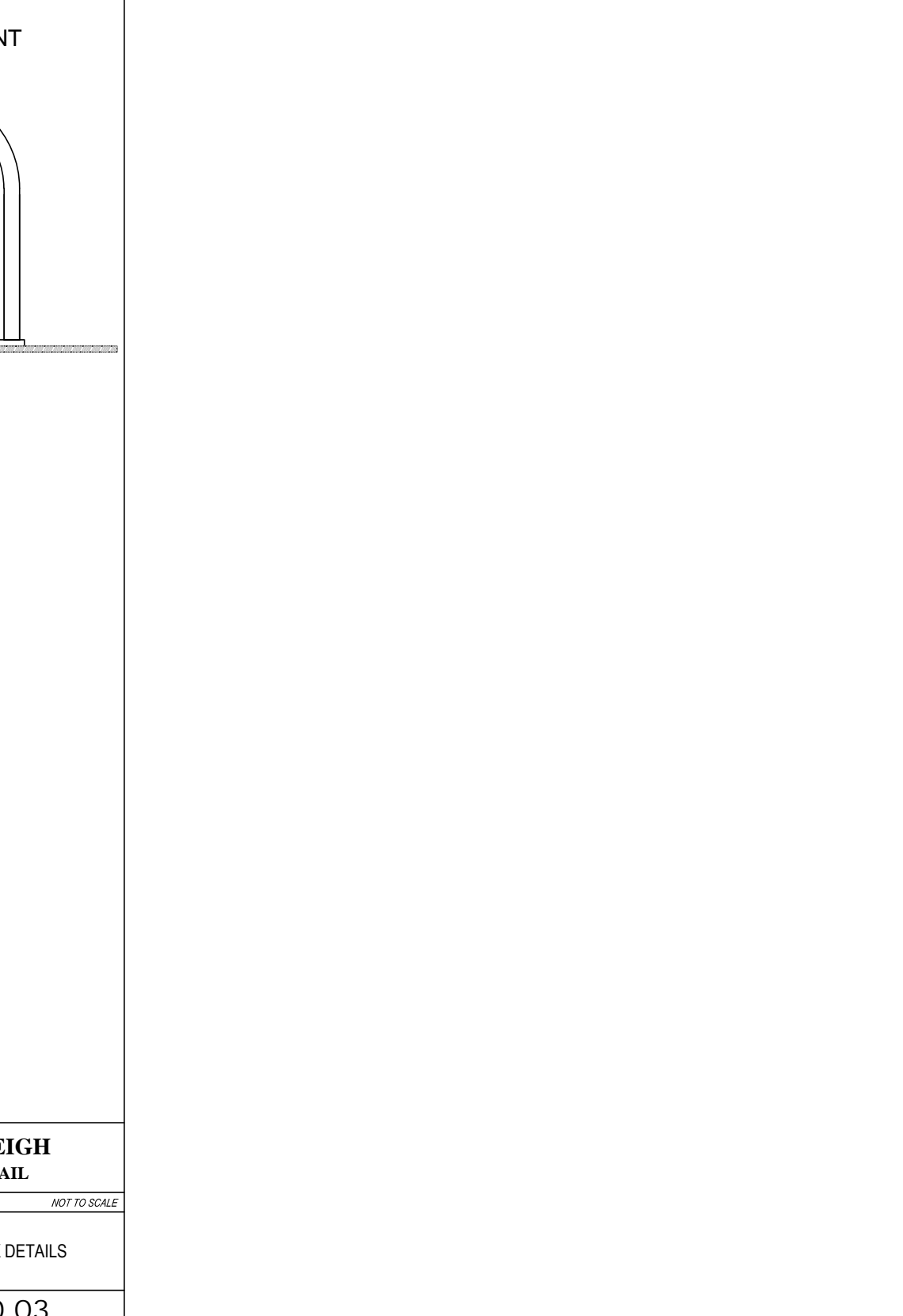
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CITY OF RALEIGH STANDARD DETAIL			
CONCRETE SIDEWALK			
T-30.01			



REVISIONS	DATE	BY	NOT TO SCALE
CITY OF RALEIGH STANDARD DETAIL			
BIKE RACK PLACEMENT			
B-20.01			



REVISIONS	DATE	BY	NOT TO SCALE
CITY OF RALEIGH STANDARD DETAIL			
BIKE RACK DETAILS			
B-20.03			



REVISIONS	DATE	BY	NOT TO SCALE
CITY OF RALEIGH STANDARD DETAIL			
CONCRETE SIDEWALK			
T-30.01			



REVISIONS	DATE	BY	NOT TO SCALE
CITY OF RALEIGH STANDARD DETAIL			
CONCRETE SIDEWALK			
T-30.01			

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510 South Wilmington Street | Raleigh, NC 27601 | Tel 919.835.1500  
1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | Tel 215.545.0121

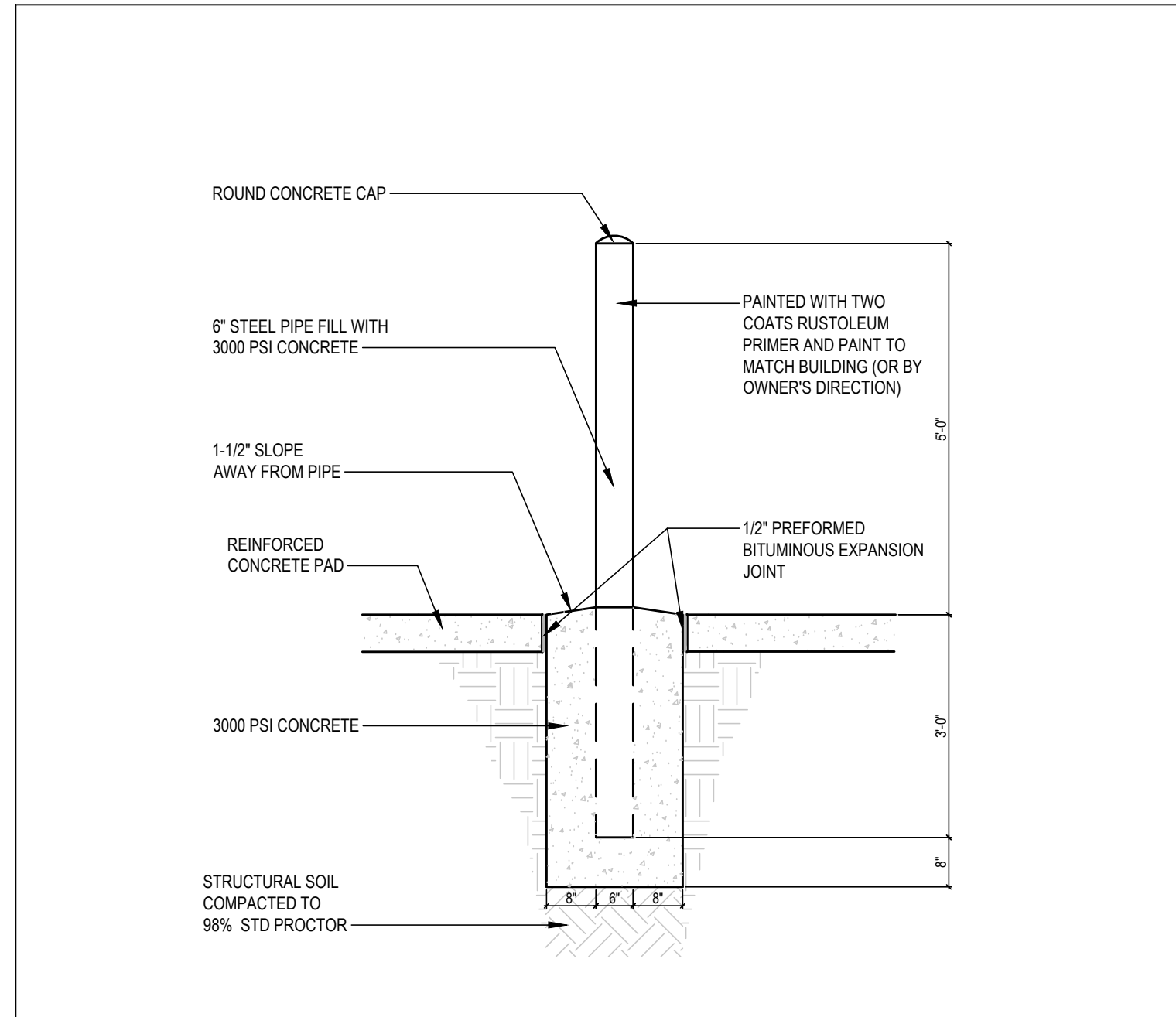
**ASR-XXXX-2024** (Admin. Site Review)  
REFERENCE: SCOPE-0084-2023, S-4-2005, Z-040-23

**KTJ427 LP**  
**Barton Oaks**  
13120 Strickland Road  
Raleigh, North Carolina 27613

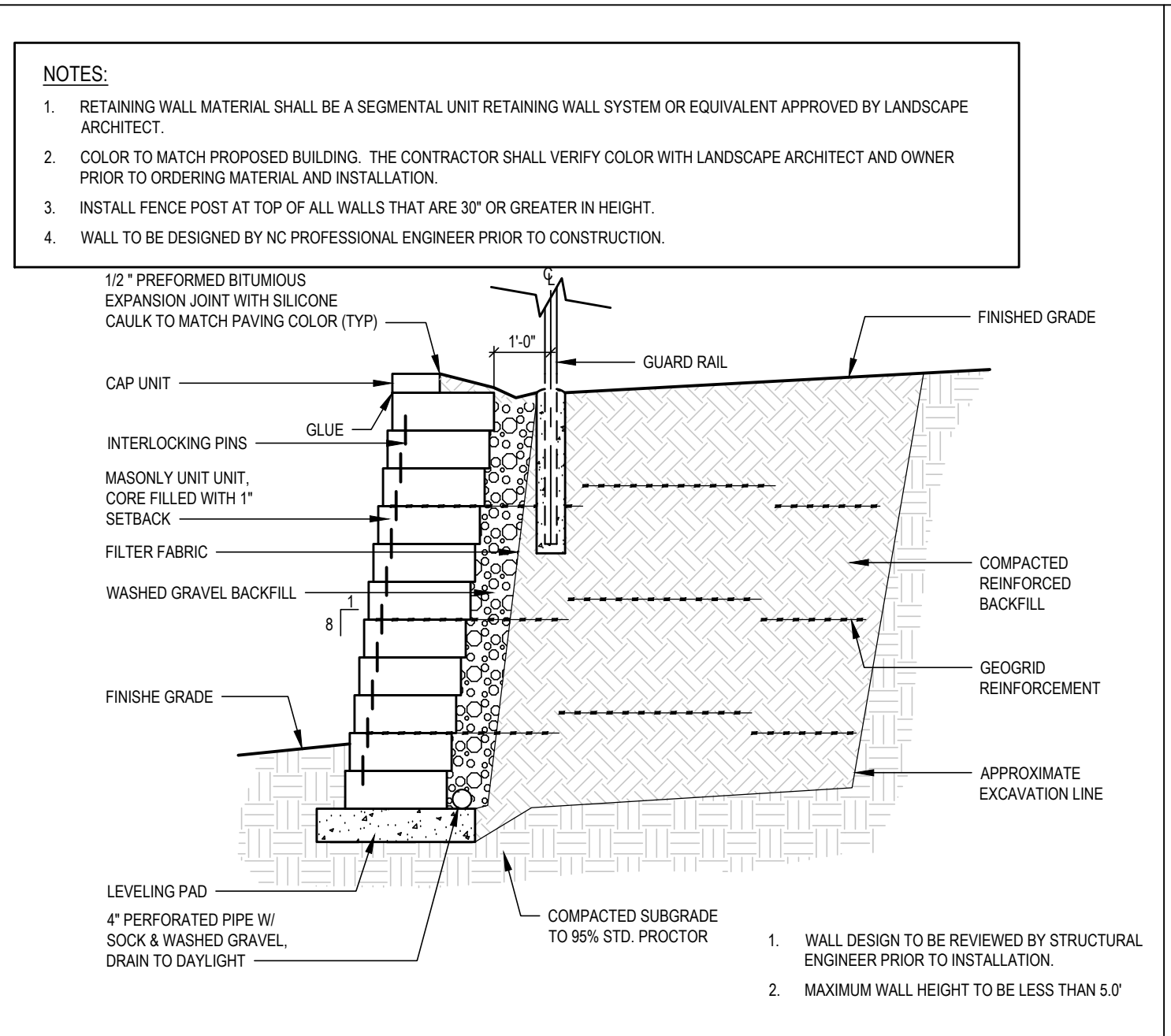
PROJECT:	OIC-24093	DATE
ISSUE:	Administrative Site Review	10.04.2024
REVISIONS:		
DRAWN BY:	SB	
CHECKED BY:	KT	
CONTENT:	CITY OF RALEIGH STANDARD DETAILS	

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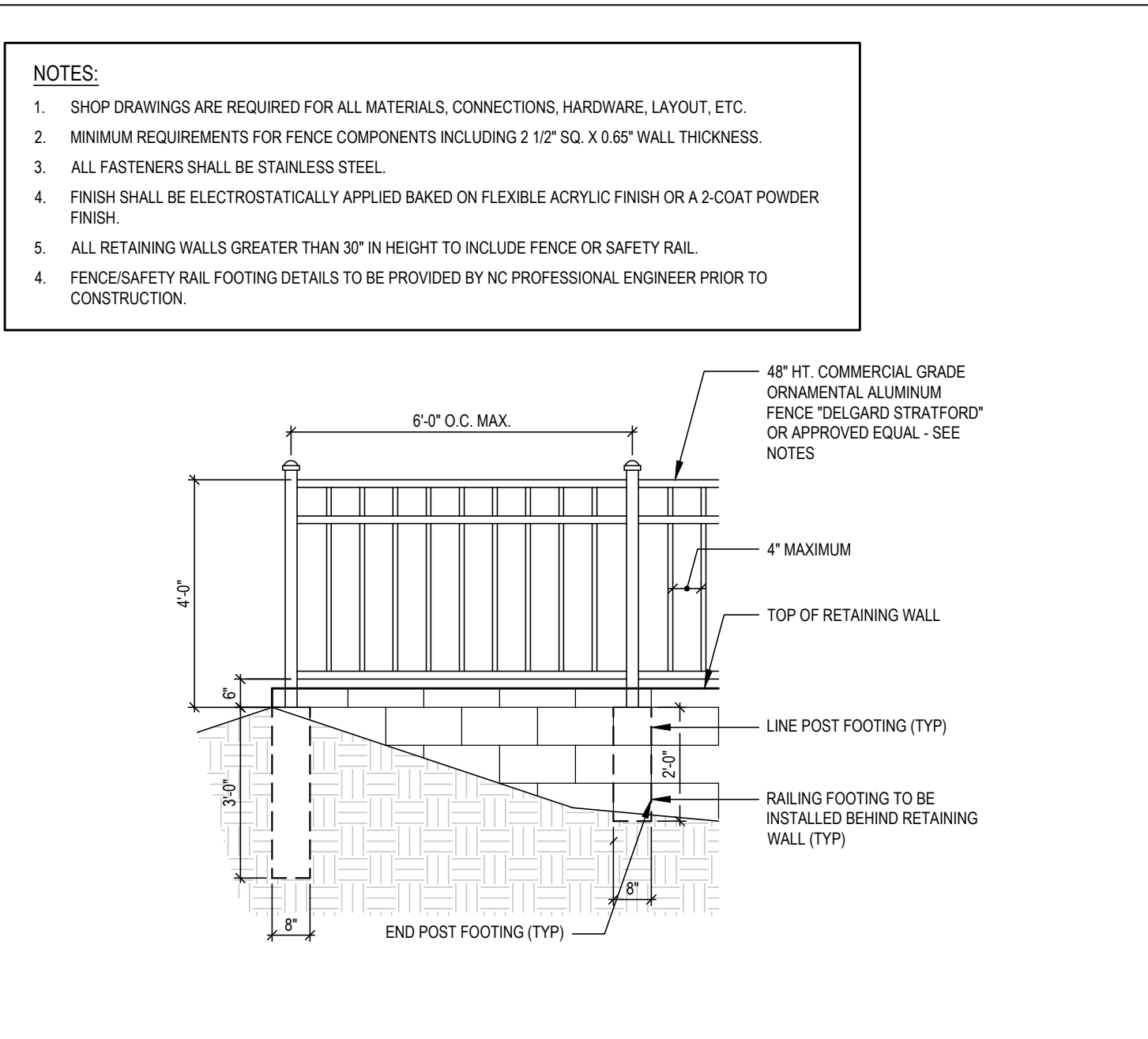




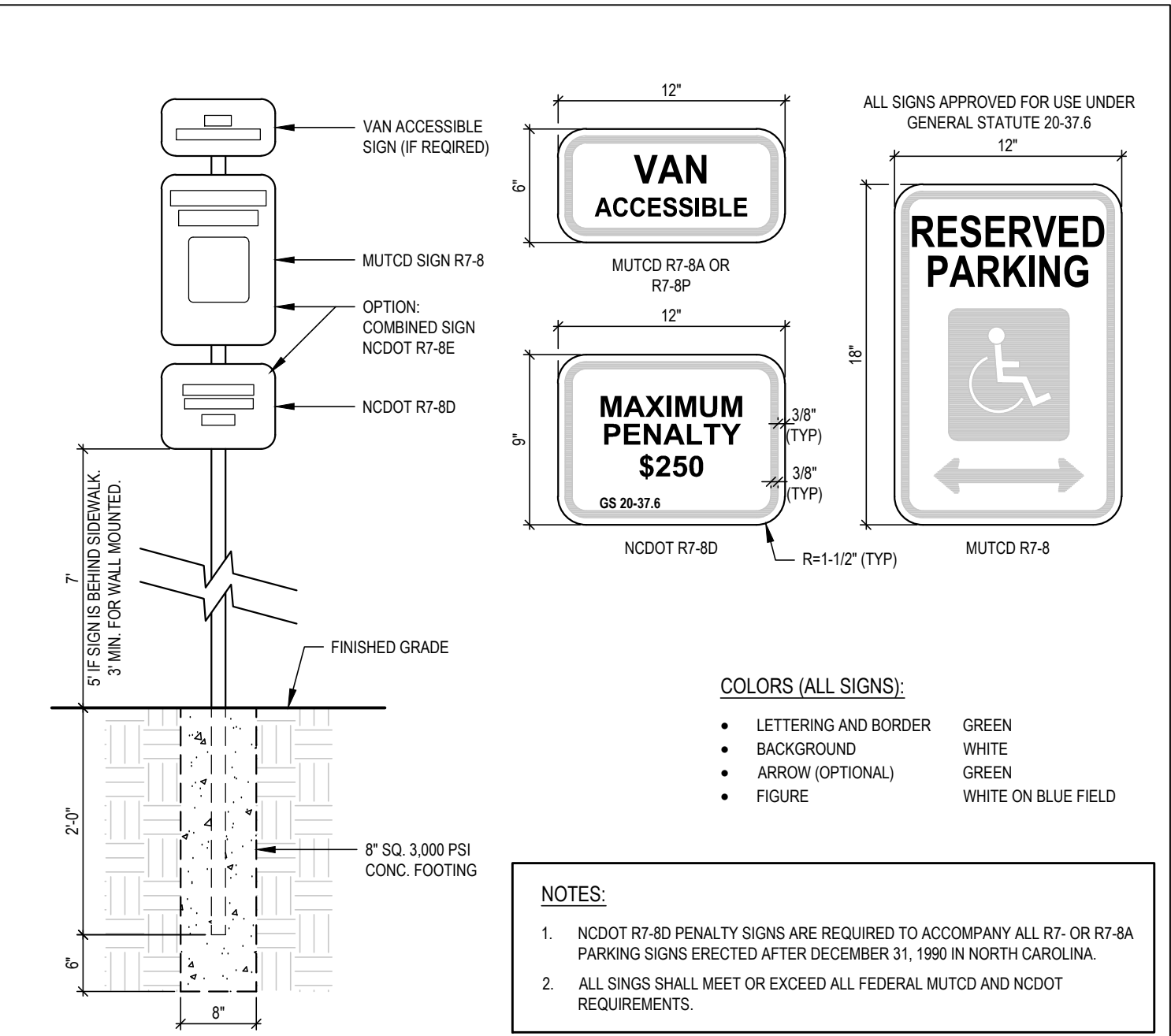
**BOLLARD**  
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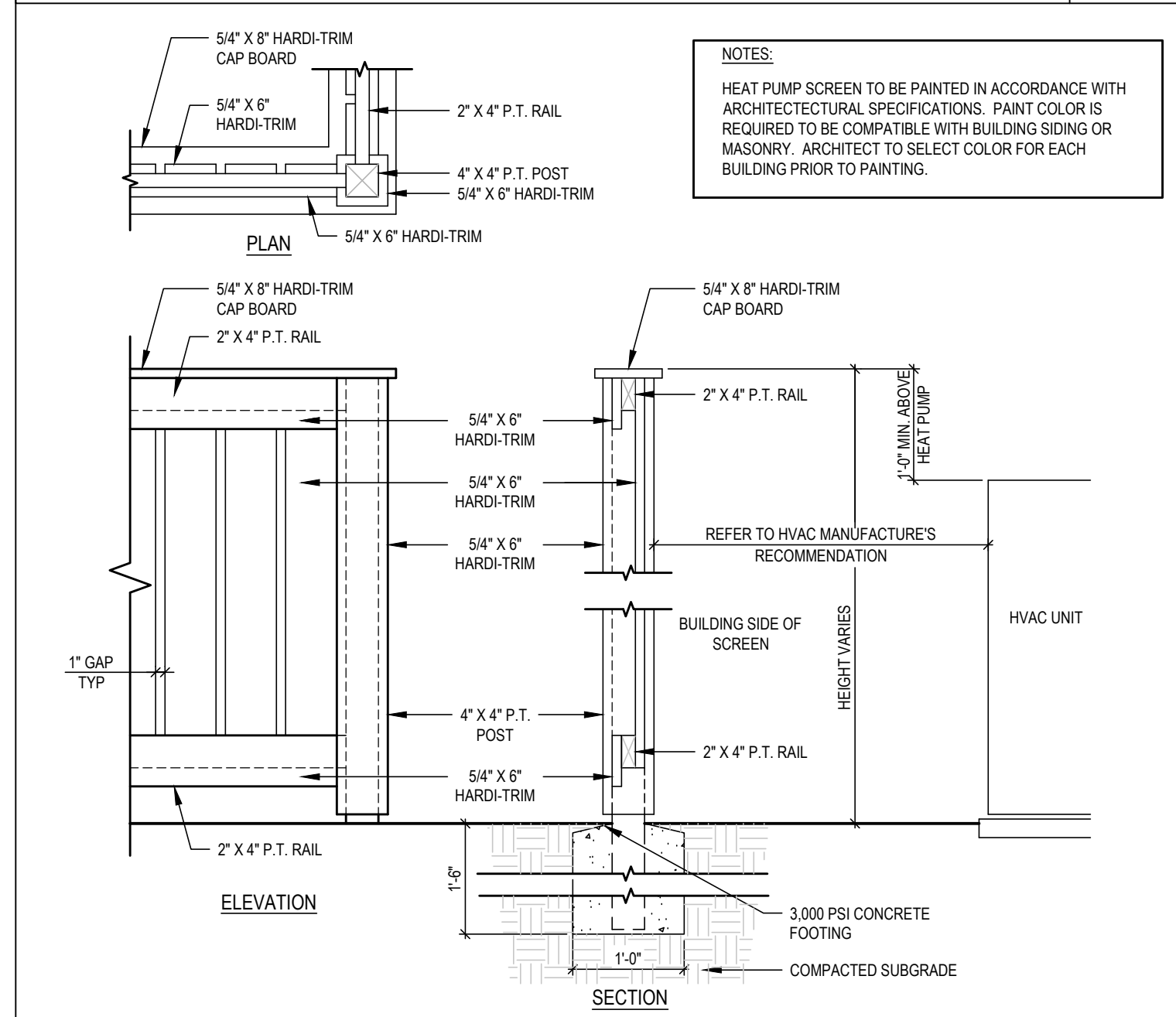
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SCALE: NTS 11



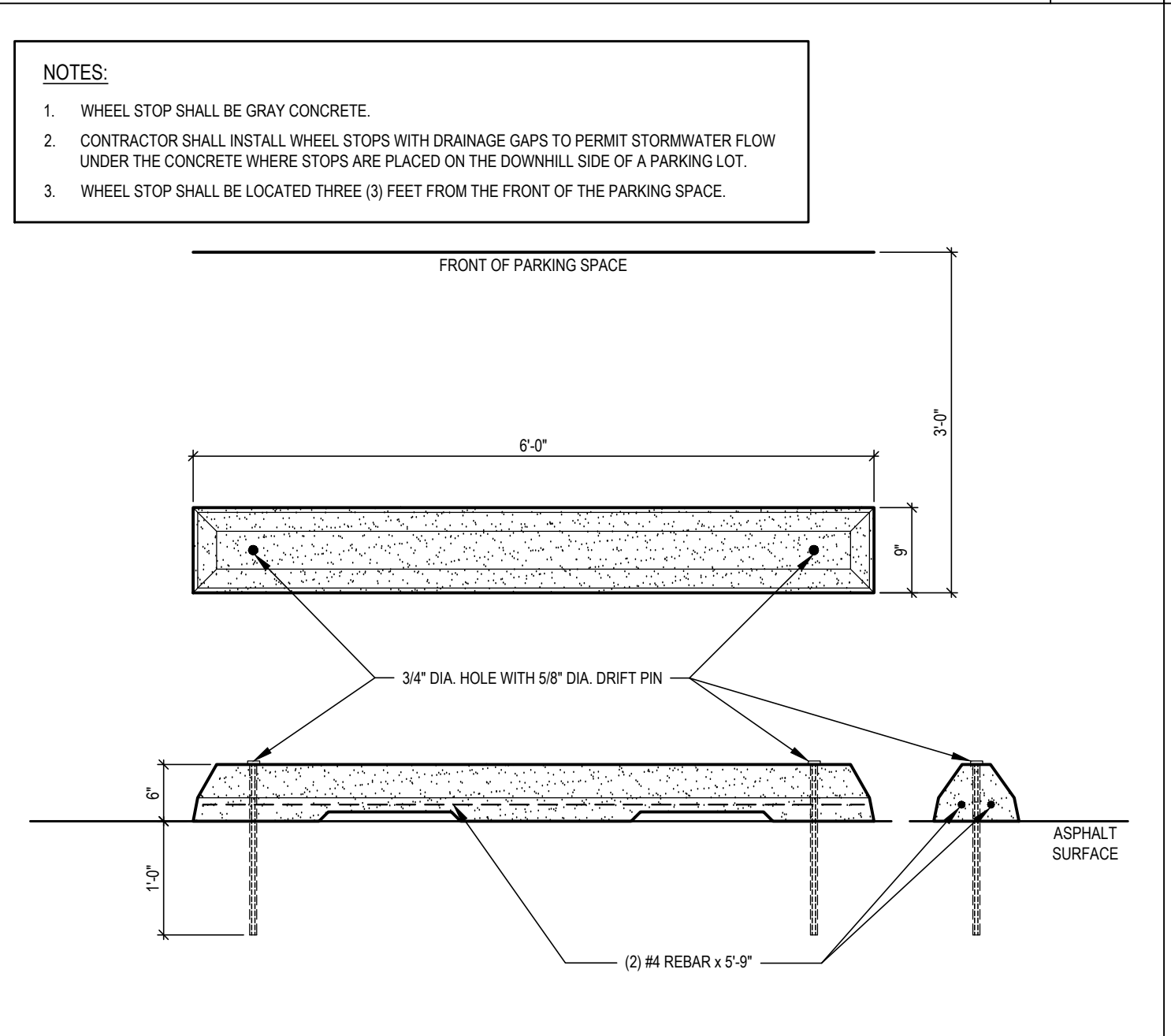
**TYPICAL SAFETY RAIL / FENCE**  
SCALE: NTS 10



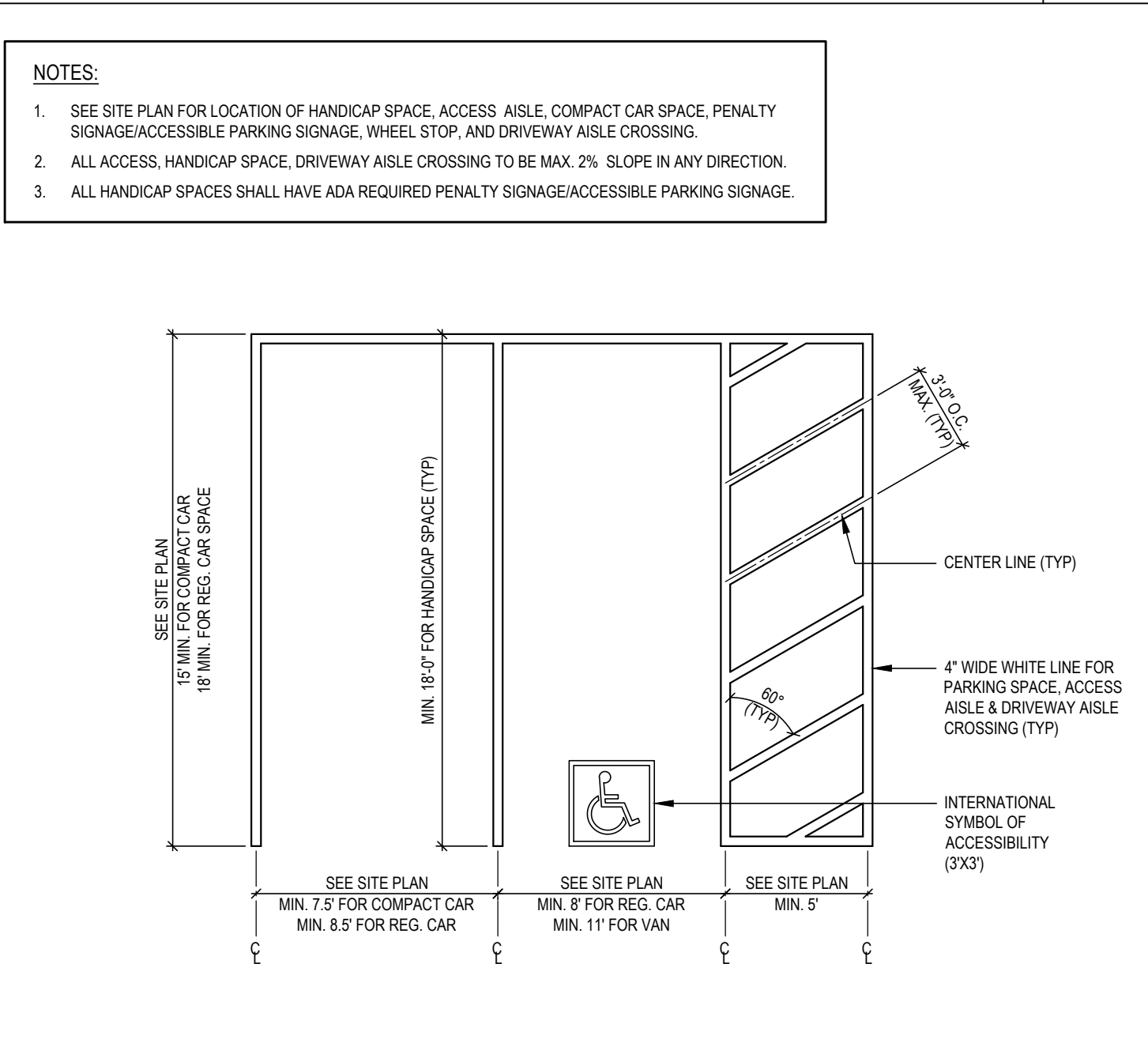
**HANDICAP SIGNAGE**  
SCALE: NTS 99



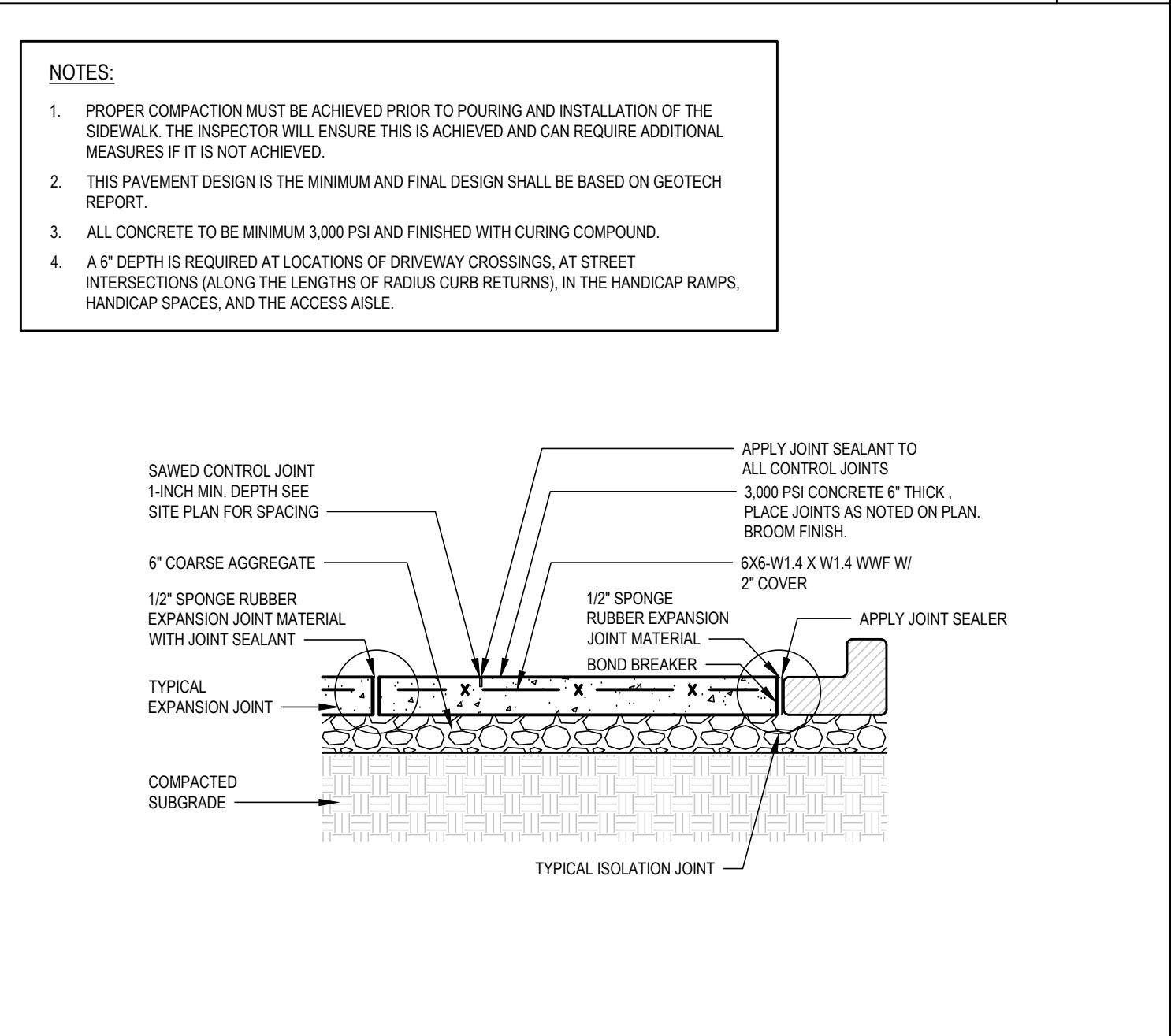
**HVAC UNIT SCREENING FENCE**  
SCALE: NTS 8



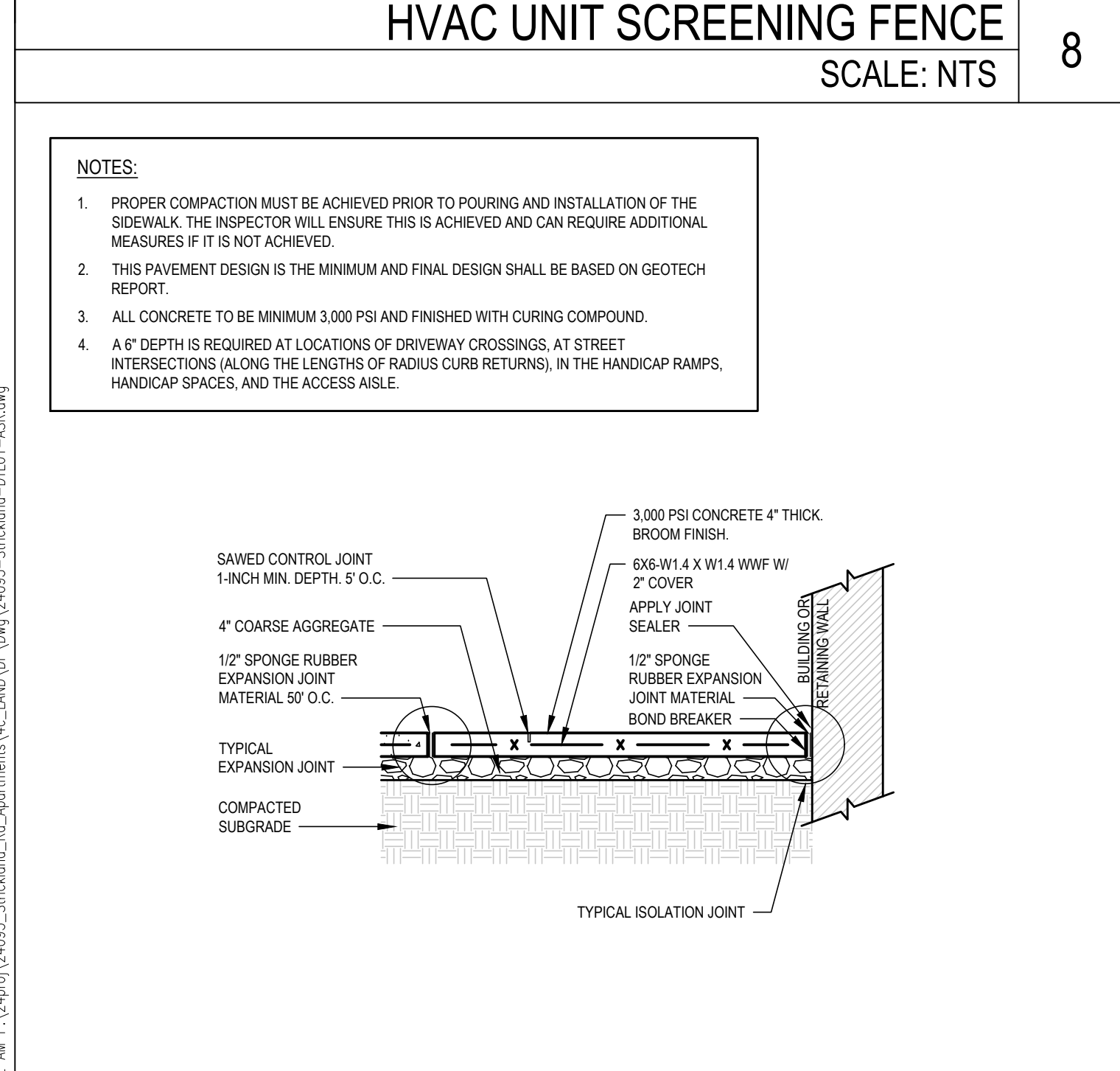
**WHEEL STOP**  
SCALE: NTS 7



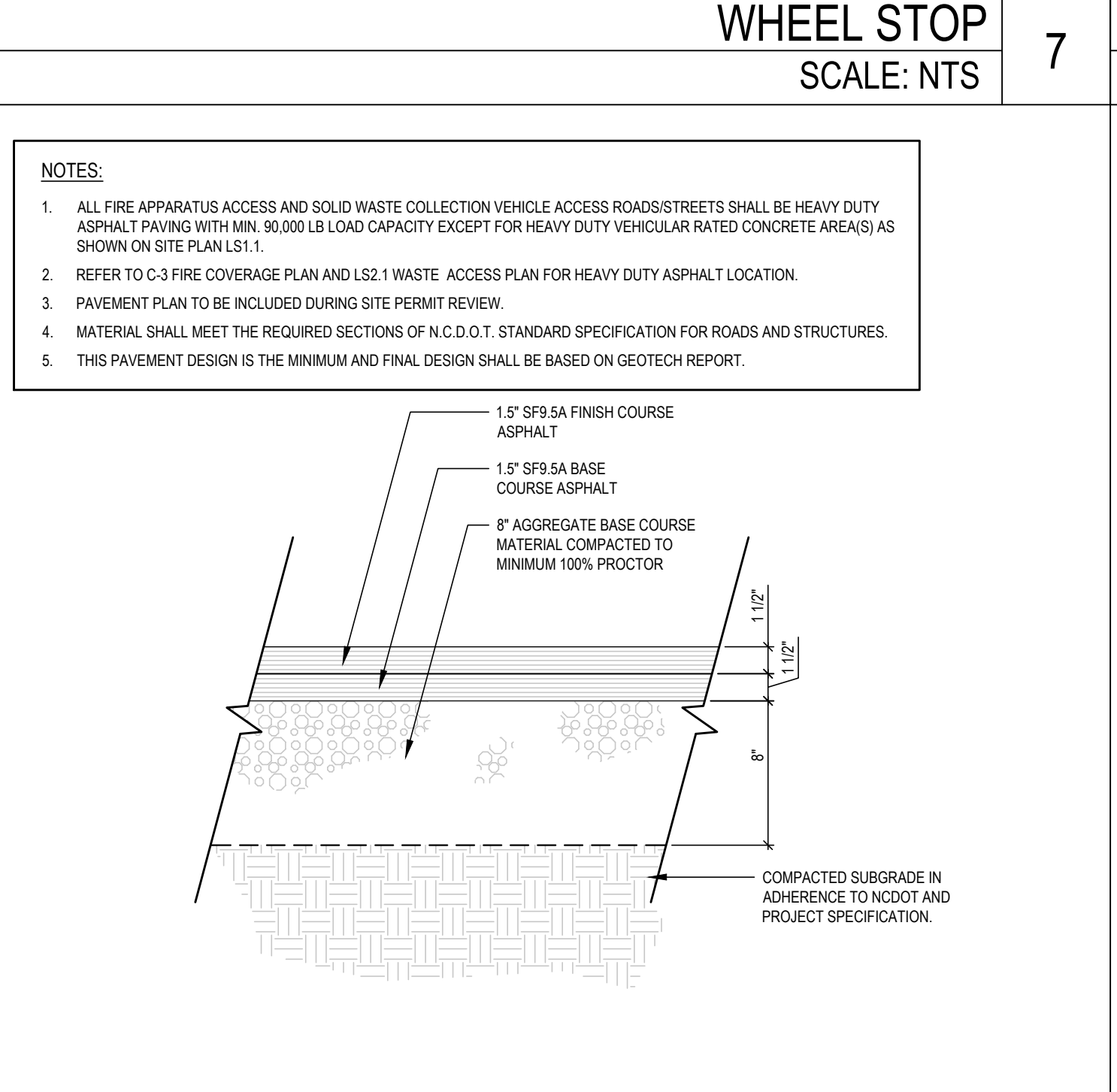
**PARKING MARKING**  
SCALE: NTS 6



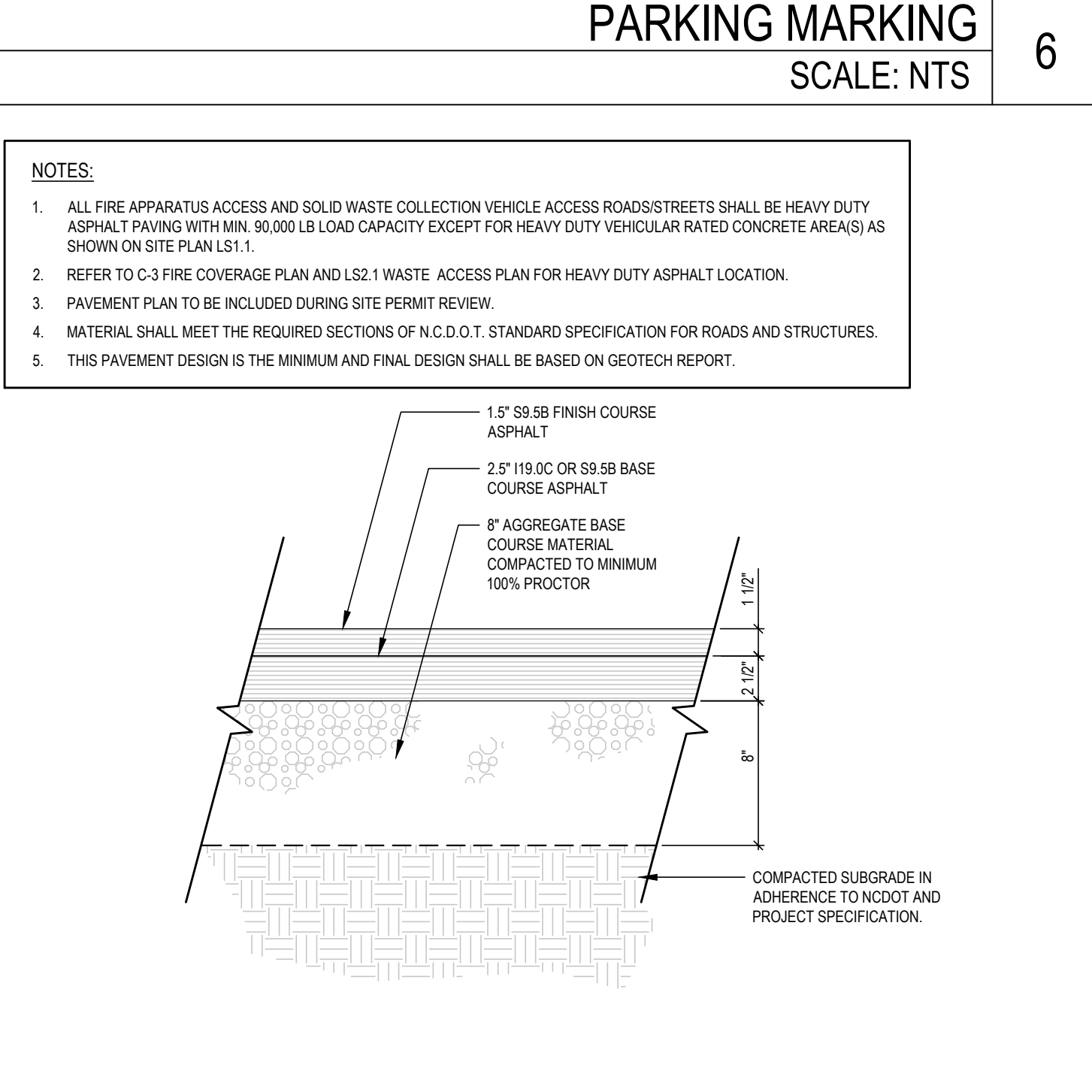
**VEHICULAR RAETD CONC. PAVEMENT**  
SCALE: NTS 5



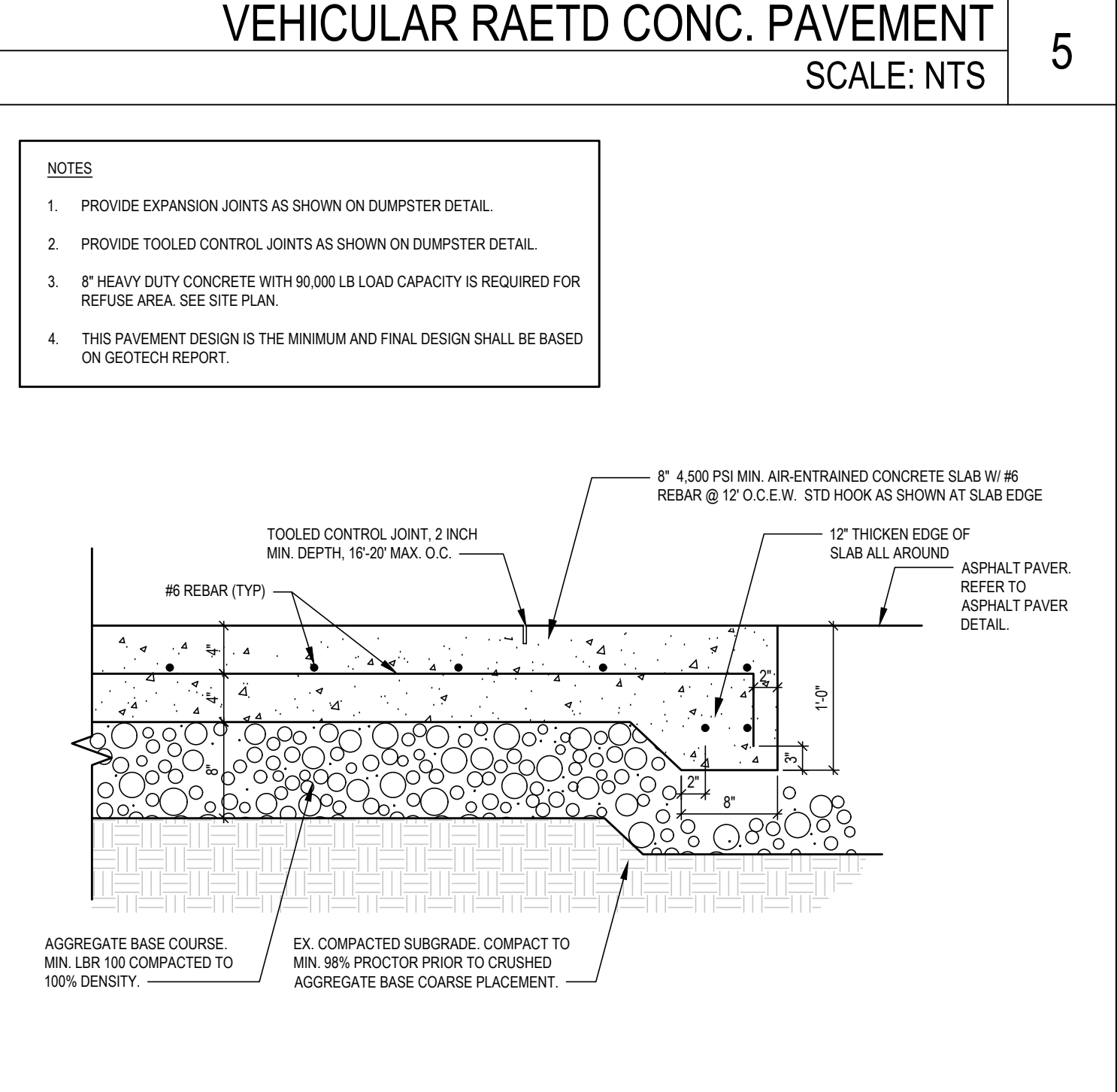
**4" CONCRETE SIDEWALK**  
SCALE: NTS 4



**ASPHALT PAVT FOR PRIVATE ST / PRKG AREAS**  
SCALE: NTS 3



**HEAVY DUTY ASPHALT**  
SCALE: NTS 2



**8" HEAVY DUTY CONCRETE PAVEMENT**  
SCALE: NTS 1

**NOTES:**  
1. PROPER COMPACTION MUST BE ACHIEVED PRIOR TO POURING AND INSTALLATION OF THE SIDEWALK. THE INSPECTOR WILL ENSURE THIS IS ACHIEVED AND CAN REQUIRE ADDITIONAL MEASURES IF IT IS NOT ACHIEVED.  
2. THIS PAVEMENT DESIGN IS THE MINIMUM AND FINAL DESIGN SHALL BE BASED ON GEOTECH REPORT.  
3. ALL CONCRETE TO BE MINIMUM 3,000 PSI AND FINISHED WITH CURING COMPOUND.  
4. A 6" DEPTH IS REQUIRED AT LOCATIONS OF DRIVEWAY CROSSINGS, AT STREET INTERSECTIONS (ALONG THE LENGTHS OF RADIUS CURB RETURNS), IN THE HANDICAP RAMPS, HANDICAP SPACES, AND THE ACCESS AISLE.

**NOTES:**  
1. ALL FIRE APPARATUS ACCESS AND SOLID WASTE COLLECTION VEHICLE ACCESS ROADS/STREETS SHALL BE HEAVY DUTY ASPHALT PAVING WITH MIN. 90,000 LB LOAD CAPACITY EXCEPT FOR HEAVY DUTY VEHICULAR RATED CONCRETE AREA(S) AS SHOWN ON SITE PLAN LS1.1.  
2. REFER TO C-3 FIRE COVERAGE PLAN AND LS2.1 WASTE ACCESS PLAN FOR HEAVY DUTY ASPHALT LOCATION.  
3. PAVEMENT PLAN TO BE INCLUDED DURING SITE PERMIT REVIEW.  
4. MATERIAL SHALL MEET THE REQUIRED SECTIONS OF N.C.D.O.T. STANDARD SPECIFICATION FOR ROADS AND STRUCTURES.  
5. THIS PAVEMENT DESIGN IS THE MINIMUM AND FINAL DESIGN SHALL BE BASED ON GEOTECH REPORT.

**NOTES:**  
1. ALL FIRE APPARATUS ACCESS AND SOLID WASTE COLLECTION VEHICLE ACCESS ROADS/STREETS SHALL BE HEAVY DUTY ASPHALT PAVING WITH MIN. 90,000 LB LOAD CAPACITY EXCEPT FOR HEAVY DUTY VEHICULAR RATED CONCRETE AREA(S) AS SHOWN ON SITE PLAN LS1.1.  
2. REFER TO C-3 FIRE COVERAGE PLAN AND LS2.1 WASTE ACCESS PLAN FOR HEAVY DUTY ASPHALT LOCATION.  
3. PAVEMENT PLAN TO BE INCLUDED DURING SITE PERMIT REVIEW.  
4. MATERIAL SHALL MEET THE REQUIRED SECTIONS OF N.C.D.O.T. STANDARD SPECIFICATION FOR ROADS AND STRUCTURES.  
5. THIS PAVEMENT DESIGN IS THE MINIMUM AND FINAL DESIGN SHALL BE BASED ON GEOTECH REPORT.

**NOTES:**  
1. PROVIDE EXPANSION JOINTS AS SHOWN ON DUMPSTER DETAIL.  
2. PROVIDE TOOLED CONTROL JOINTS AS SHOWN ON DUMPSTER DETAIL.  
3. 8" HEAVY DUTY CONCRETE WITH 90,000 LB LOAD CAPACITY IS REQUIRED FOR REFUSE AREA. SEE SITE PLAN.  
4. THIS PAVEMENT DESIGN IS THE MINIMUM AND FINAL DESIGN SHALL BE BASED ON GEOTECH REPORT.

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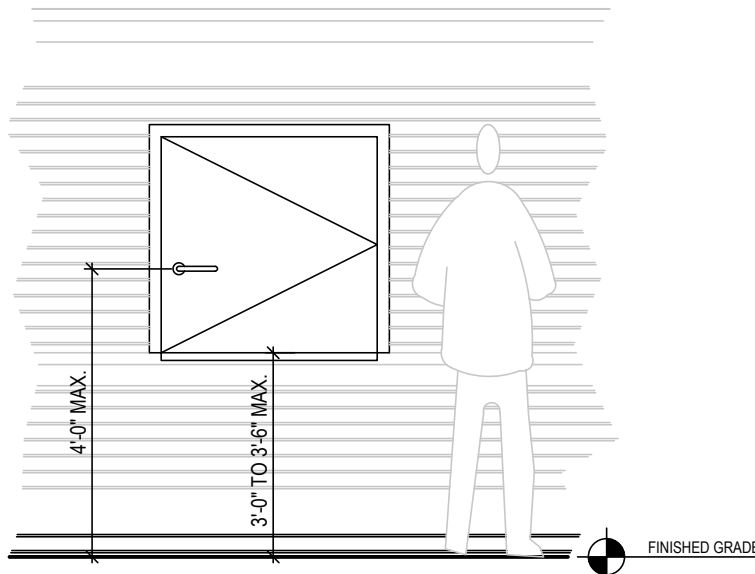
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JDAVIS  
510 South Wilmington Street | Raleigh, NC 27601 | Tel: 919.835.1500  
1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | Tel: 215.545.0121  
ASR-XXXX-2024 (Admin. Site Review)  
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KTJ427 LP  
**Barton Oaks**  
13120 Strickland Road  
Raleigh, North Carolina 27613

PROJECT:	OIC-24093	DATE:	
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CONTENT:	SITE DETAILS		

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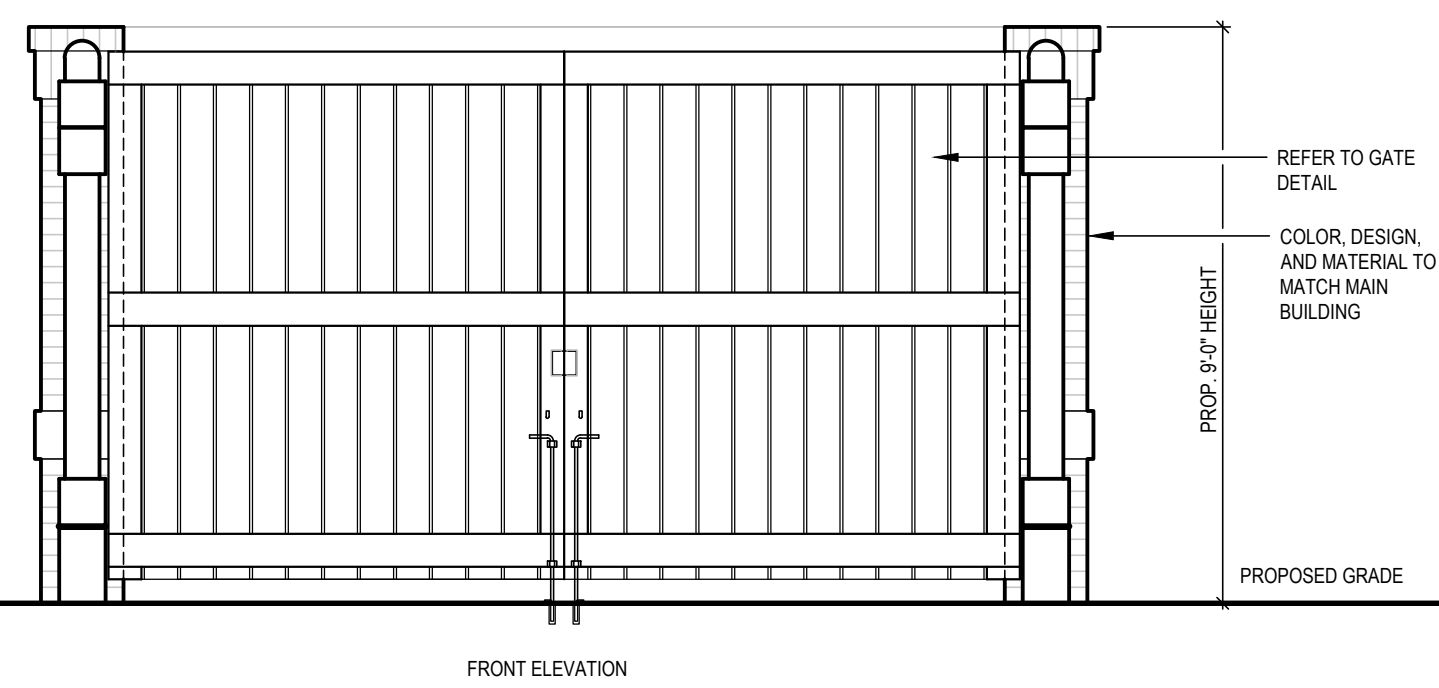
NOTE:  
THROW WINDOW OPENING HEIGHTS AND DOOR HANDLE HEIGHTS TO MEET GOVERNING ACCESSIBILITY REQUIREMENTS

NOTE:  
CONTRACTOR WILL VERIFY SCREENING ENCLOSURE REQUIREMENTS PRIOR TO CONSTRUCTION

THROW WINDOW ELEVATION

COMPACTOR THROW WINDOW  
SCALE: NTS

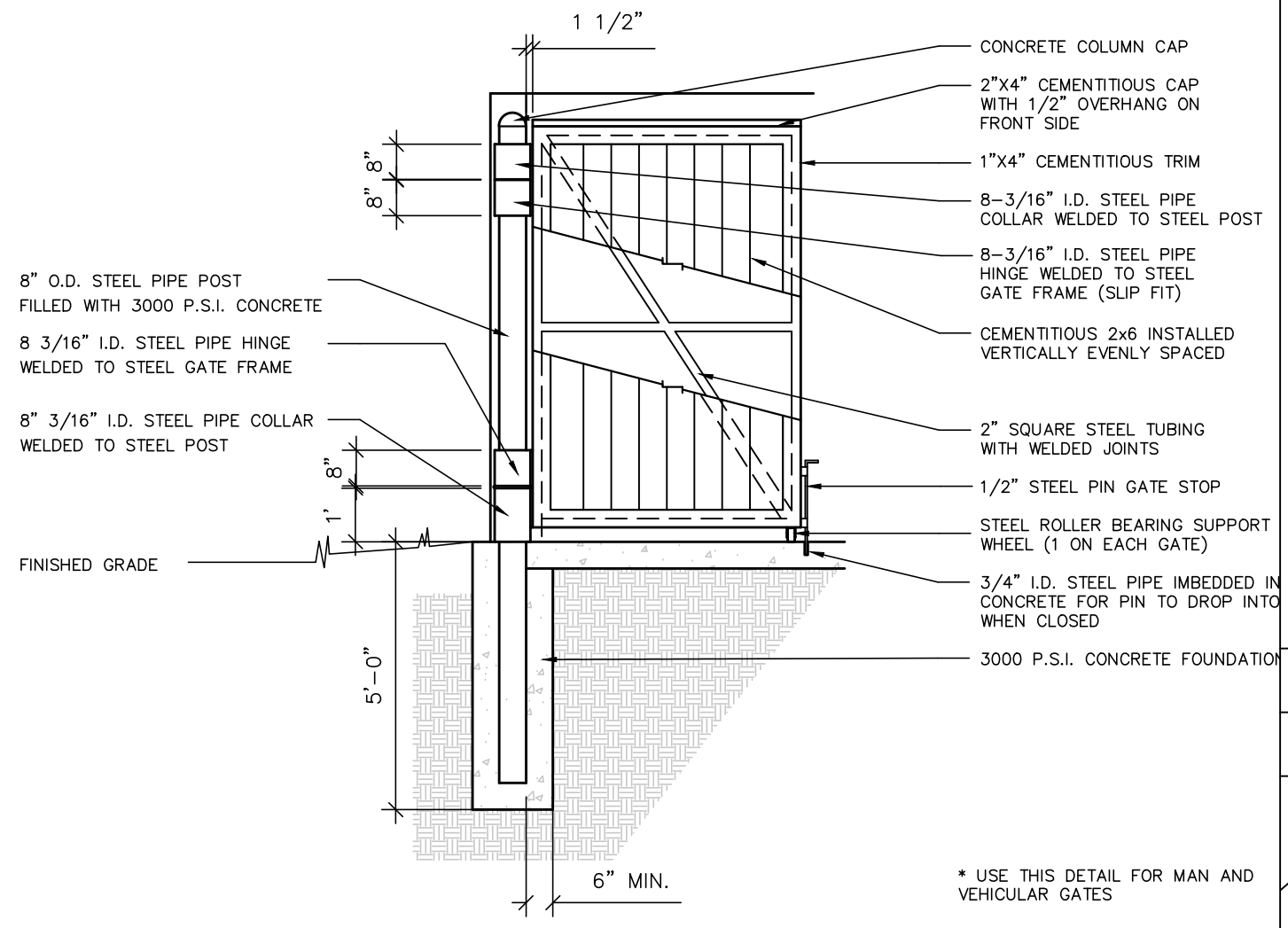
7



- NOTE:
- WALL DESIGN TO BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO INSTALLATION.
  - COMPACTOR ENCLOSURE HOPPERS EXACT LOCATION AND HEIGHT TO BE DETERMINED BY COMPACTOR MANUFACTURER'S GUIDELINE.
  - ALL COMPACTOR SUPPORTS SHALL BE SUPPLIED BY THE COMPACTOR MANUFACTURER.
  - CONTRACTOR SHALL SUBMIT TRASH COMPACTOR SHOP DRAWINGS TO ARCHITECT FOR REVIEW & APPROVAL PRIOR TO PURCHASE & INSTALL.
  - ACCESSIBILITY TO COMPACTOR SHALL BE REVIEWED BY CIVIL ENGINEER PRIOR TO INSTALLATION.
  - COMPACTOR CHUTE ANGLE SHALL BE 30 DEGREE.
  - ALL DOORS SHALL BE ABLE TO OPEN, NOT EQUAL TO BUT GREATER THAN 110 DEGREE.
  - IF THE CHUTE HAS A DOOR, IT MUST BE LEVER HANDLE AND BE MOUNTED NO HIGHER THAN 48" ABOVE FINISHED FLOOR.
  - IF ELECTRIC CONTROLS FOR SOMEONE TO CRUSH/DISPLACE DEBRIS AT THE CHUTE OPENING, THEY MAY NOT BE MOUNTED NO HIGHER THAN 48" ABOVE FINISHED FLOOR.
  - MINIMUM HEIGHT OF THE ENCLOSURE SHALL MEET OR EXCEED THE HIGHEST POINT OF ANY COMPACTOR, DUMPSTER, OR BIN.

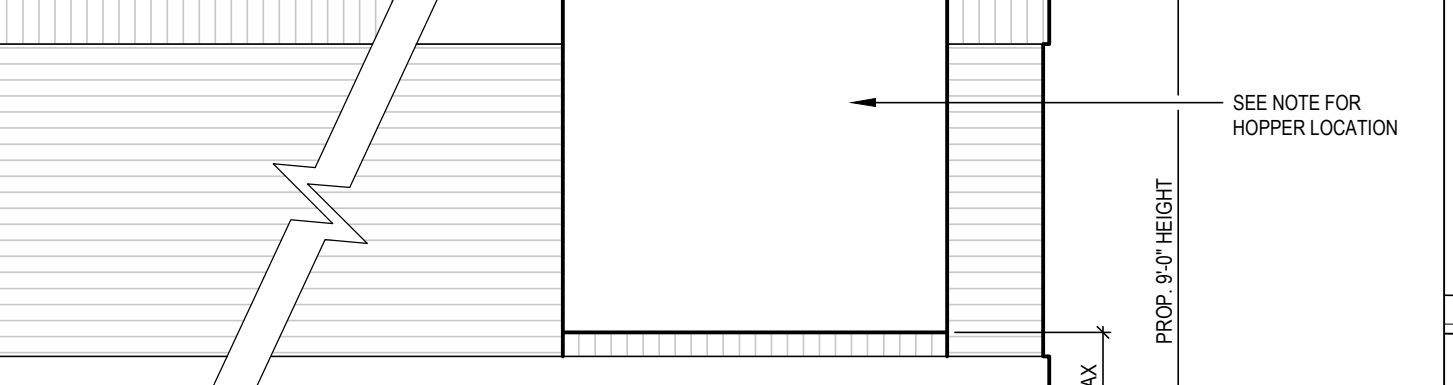
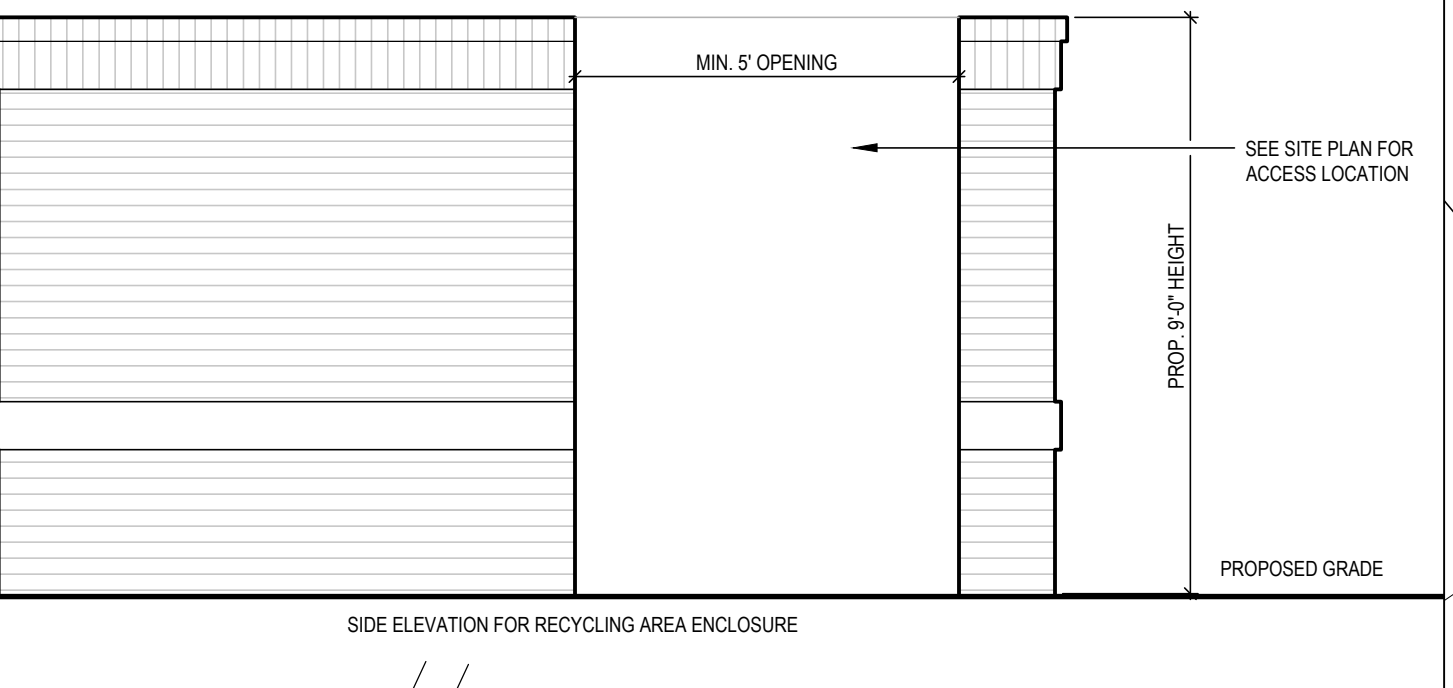
COMPACTOR THROW WINDOW  
SCALE: NTS

7



TYPICAL REFUSE ENCLOSURE GATE  
SCALE: NTS

6

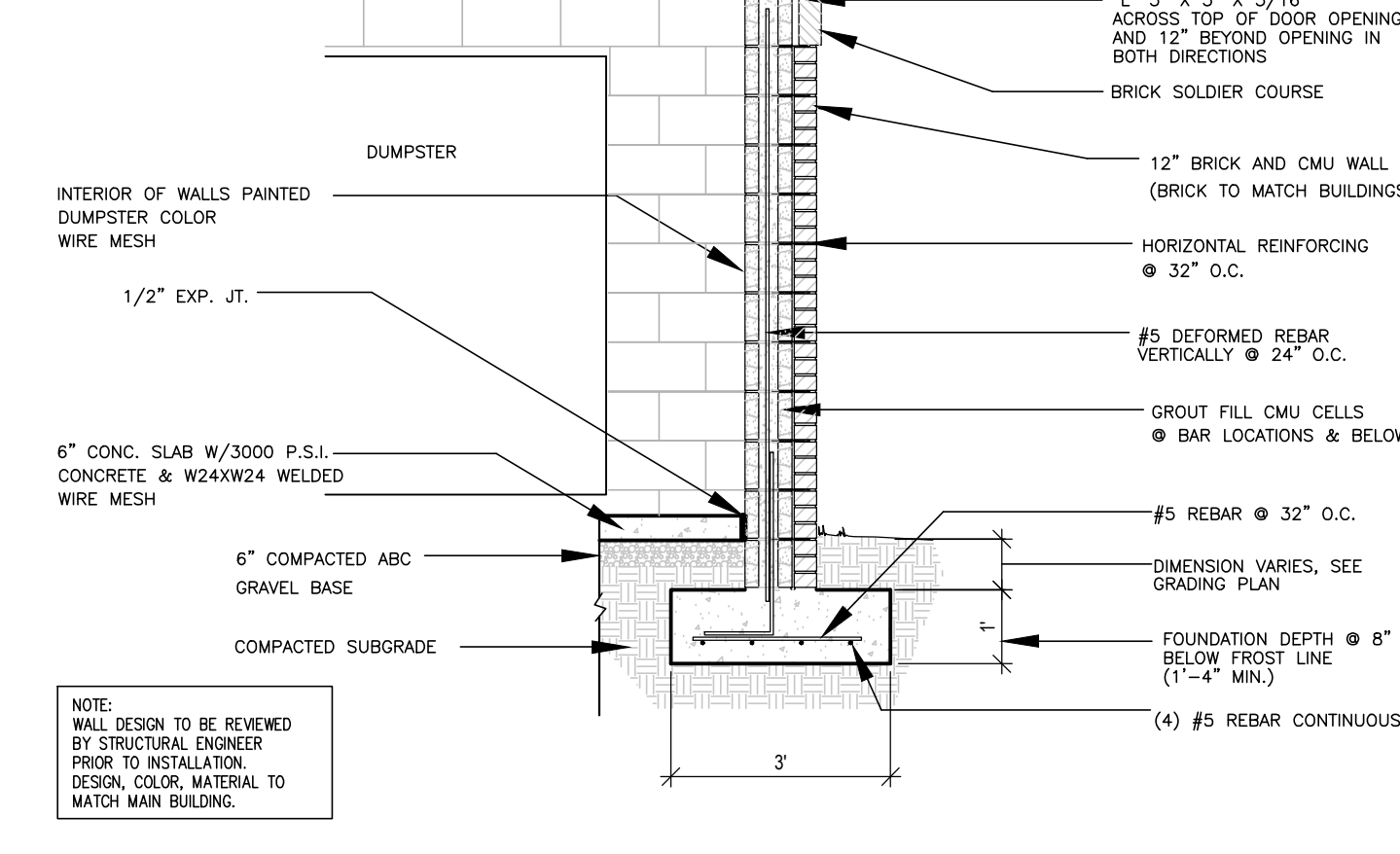


TYPICAL REFUSE ENCLOSURE  
SCALE: 1" = 10'

4

TYPICAL REFUSE ENCLOSURE  
SCALE: 1" = 10'

- NOTES:
- ALL GUARDRAILS SHALL BE HOT DIPPED GALVANIZED PRIOR TO INSTALLATION. HOLES CUT INTO STEEL TUBE FOR GALVANIZING SHALL BE REPAIRED AND TOUCHED WITH A ZINC RICH PRIMER. THE FINAL QUENCH OF THE GALVANIZING PROCESS SHALL BE ELIMINATED.
  - CONTRACTOR SHALL USE EXTREME CARE TO NOT DAMAGE GALVANIZATION DURING INSTALLATION. GALVANIZED COMPONENTS SHALL BE INSPECTED BY OWNER'S REP. PRIOR TO PAINTING.
  - PAINT ALL GALVANIZED STEEL COMPONENTS WITH 1 COAT EXT. METAL PRIMER & 2 COATS EXT. SYNTHETIC ENAMEL - COLOR TBD.



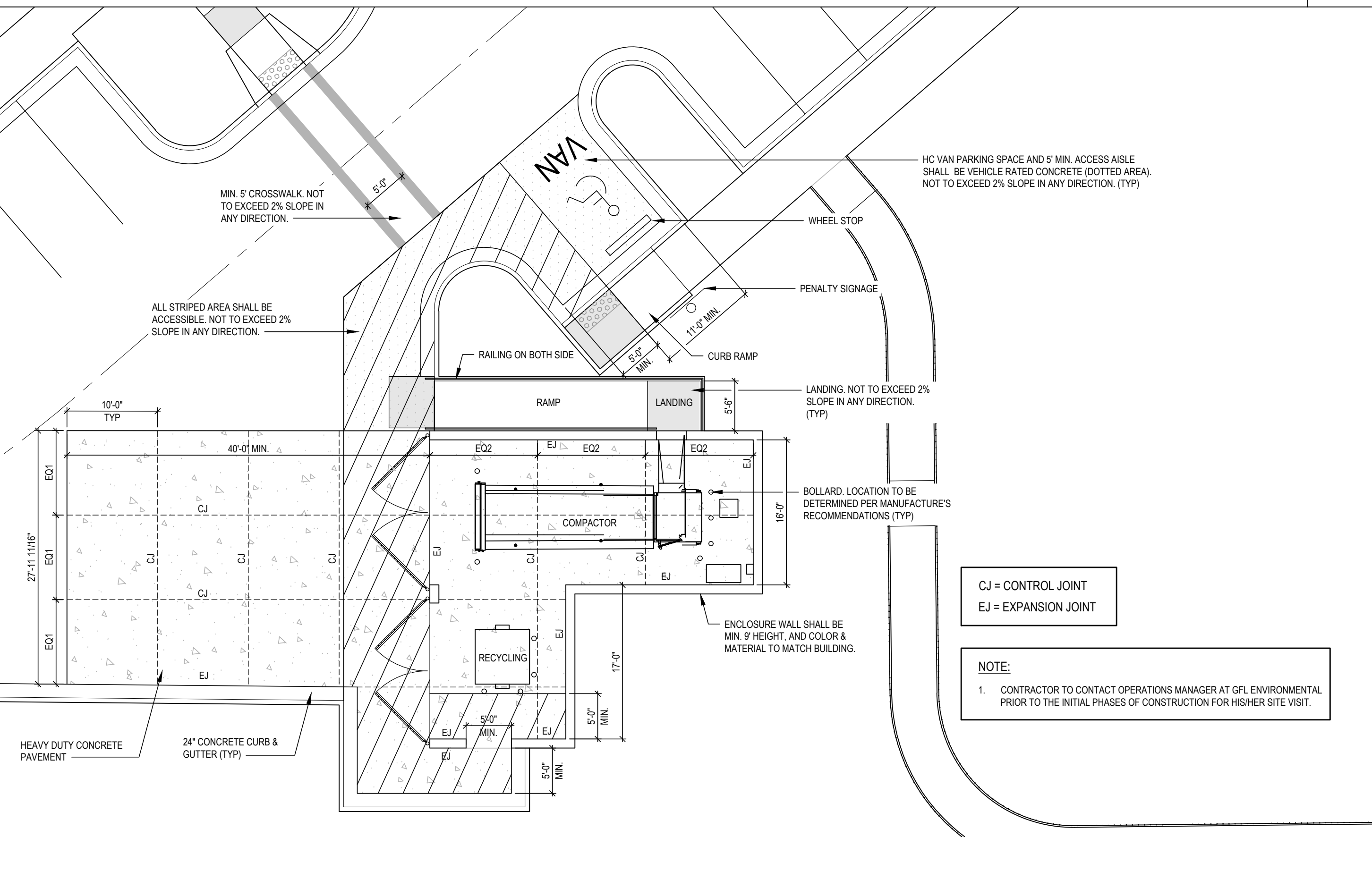
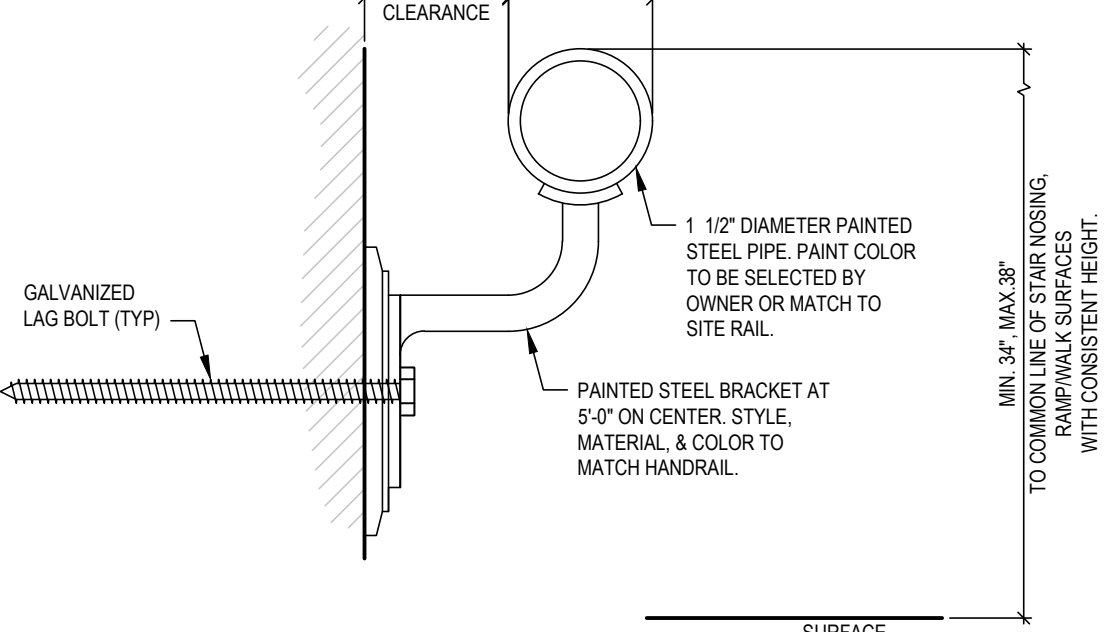
TYPICAL REFUSE SCREEN  
SCALE: NTS

2

- NOTES:
- THESE DETAILS ARE NOT TO BE AS SHOP DRAWINGS. THEY ARE TO CONVEY DESIGN INTENT. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL.
  - ALL HANDRAILS TO MEET A.D.A. MINIMUM STANDARDS.
  - ALL DIMENSIONS ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO FABRICATION.
  - ALL WELDS TO BE SMOOTH AND FREE OF BURRS.
  - ALL STEEL SHALL BE HOT DIPPED GALVANIZED PRIOR TO INSTALLATION. PAINT ALL GALVANIZED STEEL COMPONENTS WITH ONE COAT EXT. METAL PRIMER & TWO COATS EXT. SYNTHETIC ENAMEL COLOR. COLOR TO BE SELECTED BY OWNER OR MATCH TO SITE RAIL.
  - ALL PIPE INTERSECTIONS TO BE ROUNDED AS DEPICTED IN THE DETAILS.

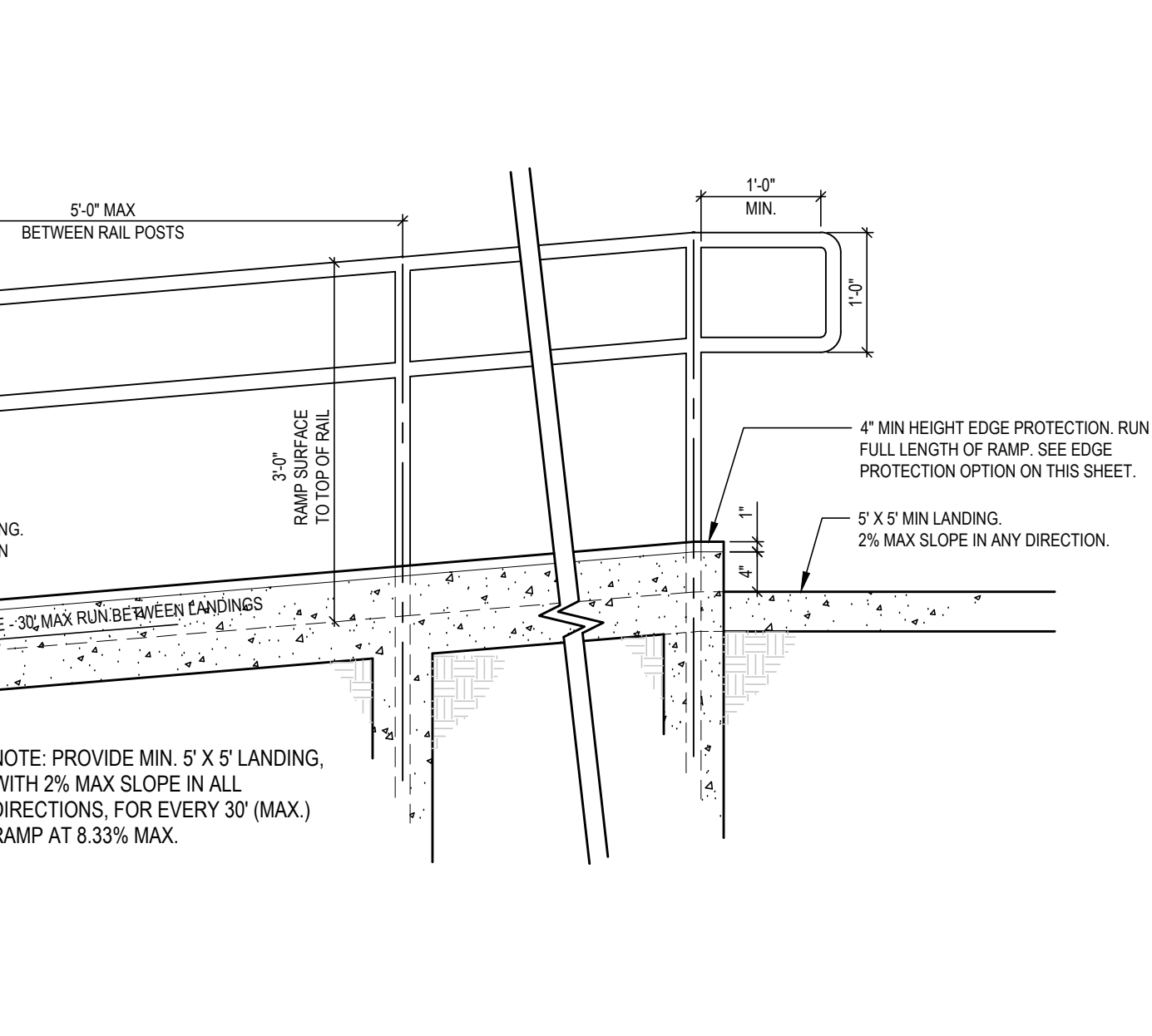
HADRIL & BRACKET AT RAMP  
SCALE: NTS

5



REFUSE AREA ENCLOSURE  
SCALE: 1" = 10'

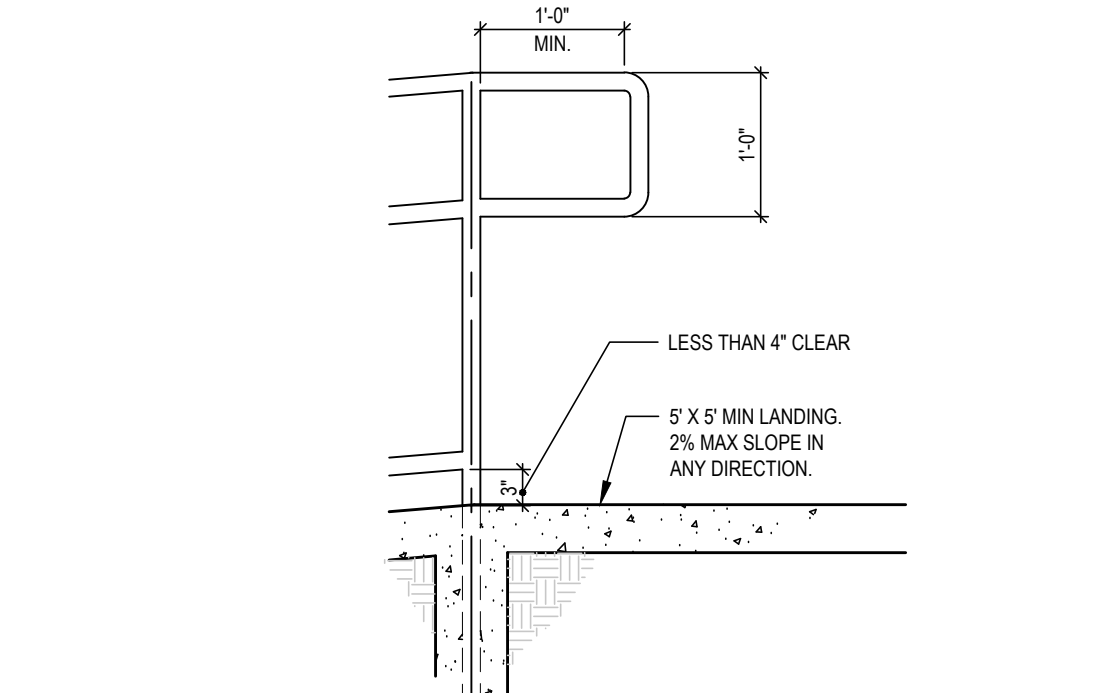
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TYPICAL RAMP AND RAILINGS  
SCALE: NTS

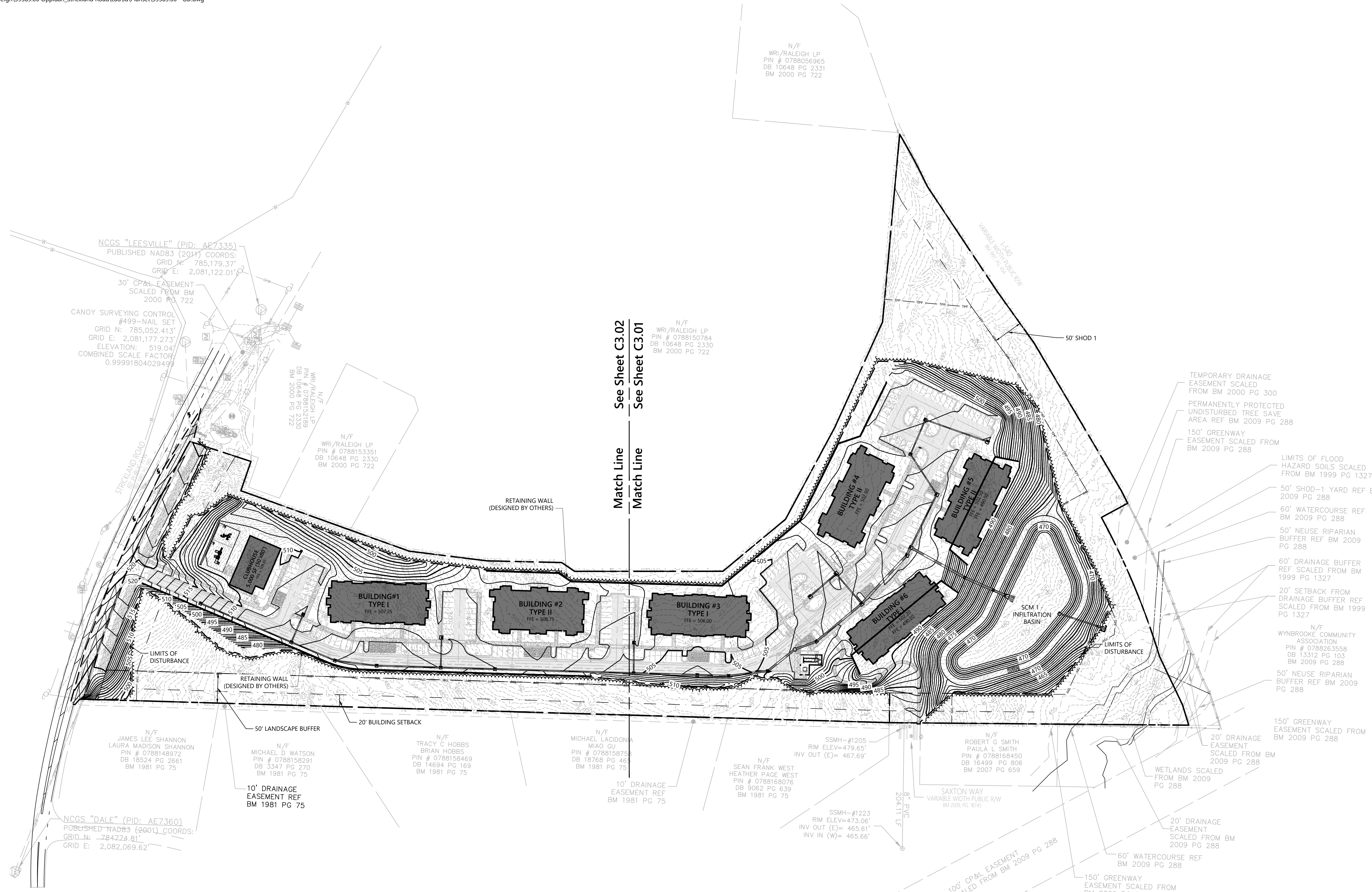
1

- EDGE PROTECTION OPTION:
- PROVIDE BAR AT BOTTOM OF RAILING WITH LESS THAN 4" CLEARANCE AS EDGE PROTECTION.



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PROJECT:	OIC-24093	DATE:	
ISSUE:	Administrative Site Review	10.04.2024	
REVISIONS:			
DRAWN BY:	SB	CHECKED BY:	KT
CONTENT:	SITE DETAILS		



**Barton Oaks  
 Apartments**  
 Strickland Road  
 Raleigh, NC

No.	Revision	Date	App'd.

Designed by: KH, WS, MW      Checked by: CT  
 Issued for:      Date: October 8, 2024

Review      Drawing Number

Not Issued for Construction

**Overall Grading &  
 Drainage Plan**

C3.00

Sheet 3 of 17

PRELIMINARY NOT  
 FOR CONSTRUCTION

Project Number  
 39589.00

- STORM DRAINAGE NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
  - THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES SHOWN ON THE PLANS IS BASED ON THE BEST AVAILABLE INFORMATION, BUT CAN BE CONSIDERED ONLY AS APPROXIMATE.
  - ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2 FEET TO THE PIPE CROWN IN TRAFFIC, UNLESS APPROVED BY THE CITY OF RALEIGH.
  - ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM OF 1 FOOT TO THE PIPE IN NON-TRAFFIC AREAS.
  - MAINTAIN 18" VERTICAL SEPARATION AT ALL WATERMAIN AND REINFORCED CONCRETE PIPE (RCP) STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER AND RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS AND A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER COR PUD DETAILS W-41 & S-49).
  - MAINTAIN 12" VERTICAL SEPARATION AT ALL RCP STORM AND RCP STORM CROSSING.
  - STORM SEWER SHALL BE RCP CONFORMING TO ASTM C76, TABLE III OR TABLE IV. JOINTS SHALL BE SEALED WITH A PLASTIC CEMENT PUTTY MEETING FEDERAL SPECIFICATIONS SS-S-00210, SUCH AS RAM-NEK OR BUTYL RUBBER SEALANT.
  - STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE HEAD WALLS UNLESS OTHERWISE SPECIFIED ON PLANS.
  - EACH DRAINAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BENCH WITH A MAXIMUM 5:1 SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ONE-HALF THE PIPE DIAMETER FOR 12 TO 24 INCH PIPE, ONE-THIRD THE PIPE DIAMETER FOR 30-48 INCH PIPE, AND ONE-FOURTH THE DIAMETER FOR PIPE GREATER THAN 48 INCHES.
  - ENERGY DISSIPATORS SHALL BE INSTALLED AT ALL STORM SEWER DISCHARGE POINTS. A FABRIC OR WASHED STONE BARRIER SHALL BE INSTALLED BETWEEN THE DISSIPATION PAD AND THE NATURAL GROUND. ALL STORM DRAINAGE EASEMENTS SHALL BE "PRIVATE" UNLESS OTHERWISE SPECIFIED.
  - THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH ENGINEERING DEPARTMENT 919-990-3430 TO SCHEDULE CONSTRUCTION INSPECTIONS.
  - STORM PIPE TRENCH EXCAVATION AND BACKFILLING SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.

- CONSTRUCTION NOTES**
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH MINIMAL INCONVENIENCE TO TRAFFIC.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION) AND ALL CONDITIONS OF THE APPROVED DRIVEWAY PERMIT AND/OR ENCROACHMENT AGREEMENT.
  - NO WORK ON OR BLOCKAGE OF EXISTING THROUGH TRAFFIC LANES SHALL OCCUR DURING THE PEAK TRAFFIC HOURS OF 7AM-9AM AND 4PM-6PM, MONDAY THROUGH FRIDAY. THE CONTRACTOR MUST OBTAIN A LANE CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE. PLEASE CONTACT THE CITY PUBLIC WORKS DEPT., TRANSPORTATION OPERATIONS DIVISION AT 919-996-3030 FOR LANE CLOSURES AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES, AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON AND FAX NUMBER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT AT 919-516-2495 TO OBTAIN A STREET CUT PERMIT.
  - PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
  - THE CONTRACTOR SHALL HAVE COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
  - THE CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, DRIVEWAY PIPES, CURB AND GUTTER, SIDEWALKS AND STREET TO EXISTING CONDITION OR BETTER.
  - IF THE EXISTING ROADWAY WIDTH IS REDUCED TO LESS THAN 20 FEET OF TRAVELWAY AT ANY TIME, A LANE CLOSURE WILL BE REQUIRED PER THE MUTCD OR THE NCDOT STANDARD DRAWINGS 11101.02 (SHEET 1), 11101.04 AND 11101.11.
  - TOTAL DISTURBED AREA IS 465,346 SF (10.68 ACRES).

- GRADING NOTES**
- ALL SPOT ELEVATIONS ALONG PAVEMENT REPRESENT FINISHED GRADE ELEVATION UNLESS OTHERWISE NOTED.
  - ALL PROPOSED STORM PIPE TO BE CLASS III RCP UNLESS OTHERWISE NOTED.
  - CONTRACTOR SHALL COORDINATE PAVING IMPROVEMENTS TO AVOID TIRE MARKS FROM CONSTRUCTION ACTIVITY. FINAL PAVING SHALL BE AS SMOOTH AS POSSIBLE AND FREE FROM ANY MARKS, SCRAPES, GOUGES, TIRE MARKS, ETC. CAUSED DURING CONSTRUCTION.
  - DURING CONSTRUCTION AND AFTER FINAL GRADING, NO SURFACE WATER RUNOFF MAY BE DIRECTED TO ADJACENT PROPERTIES, AND ALL SURFACE WATER RUNOFF MUST BE ROUTED TO APPROVED DRAINAGE FACILITIES OR BE RETAINED ON SITE. ALL RUNOFF FROM THE SITE, BOTH DURING AND AFTER CONSTRUCTION, MUST BE FREE OF POLLUTANTS, INCLUDING SEDIMENT, PRIOR TO DISCHARGE.
- GENERAL NOTES**
- THE CONTRACTOR SHALL COORDINATE BFP RELOCATION & WV INSTALL WITH OWNER OF SHOPPING CENTER & CITY INSPECTOR TO PREPARE FOR & MINIMIZE FIRE/DOMESTIC SERVICE INTERRUPTION AS APPROPRIATE.
  - THE TOTAL DISTURBED AREA IS 465,346 SF (10.68 ACRES).

**ATTENTION CONTRACTORS**

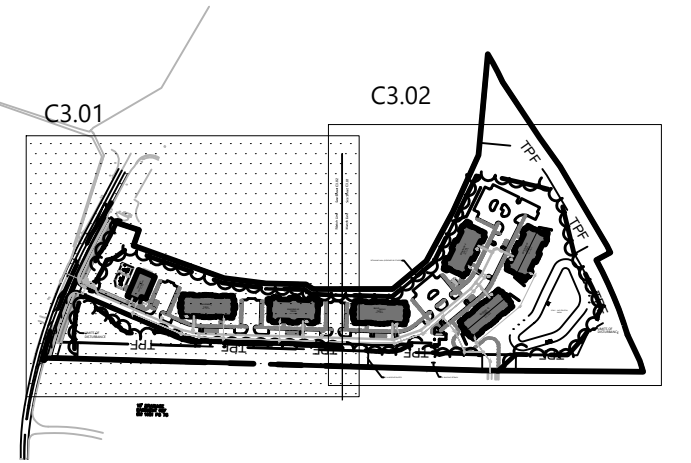
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the **Public Works Department** at (919) 996-2409, and the **Public Utilities Department** at (919) 996-4540 at least **twenty-four hours** prior to beginning any of their construction.

**Failure** to notify both City Departments in advance of beginning construction, will result in the issuance of **monetary fines**, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

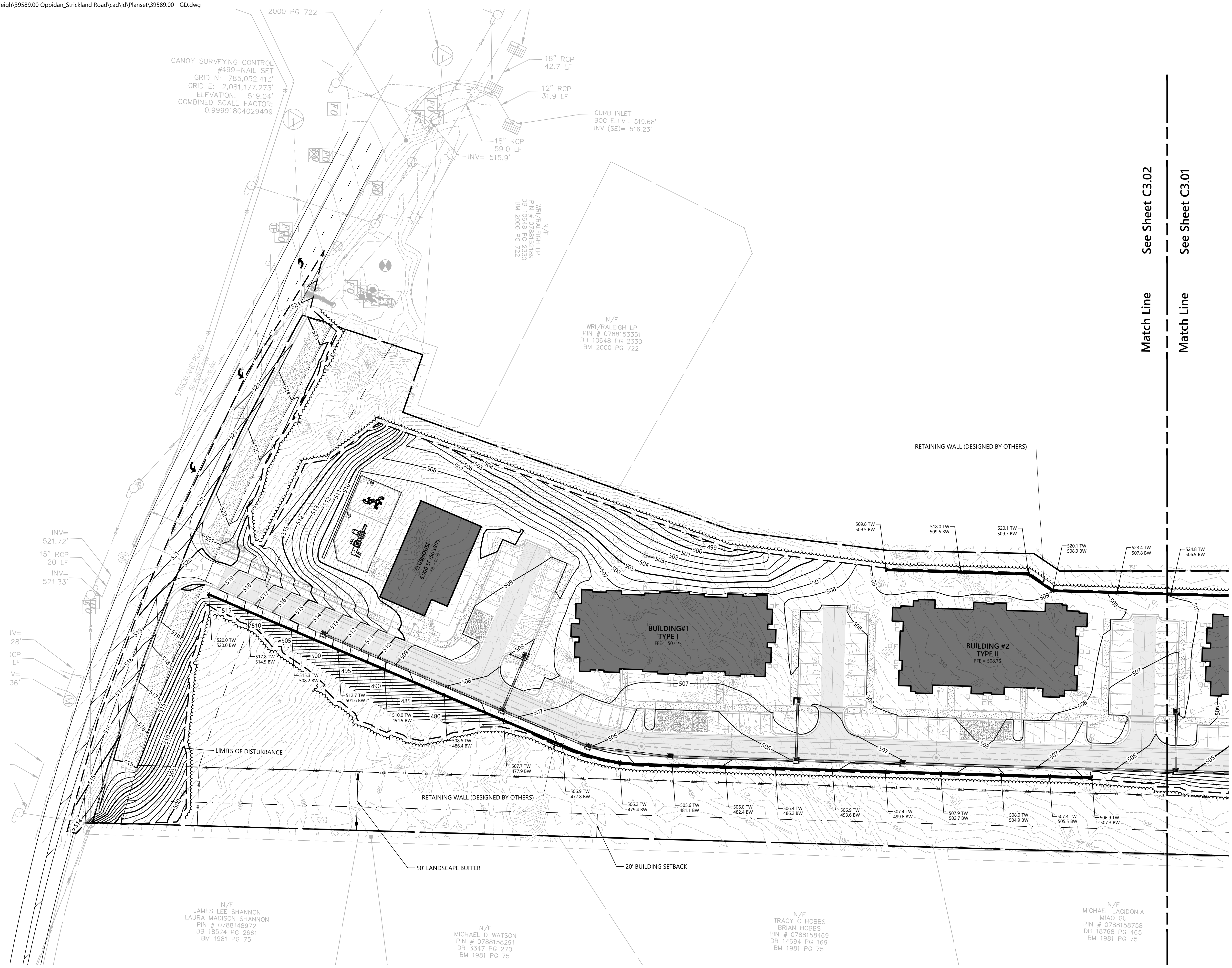
**Failure** to call for **Inspection, Install a Downstream Plug, have Permitted Plans** on the **Jobsite**, or any other **Violation of City of Raleigh Standards** will result in a **Fine and Possible Exclusion** from future work in the **City of Raleigh**.



VHB Engineering NC, P.C.  
940 Main Campus Drive  
Suite 500  
Raleigh, NC 27606  
919.829.0328  
Corp. # C-3705



**Key**  
Not To Scale



Match Line See Sheet C3.02

Match Line See Sheet C3.01



**Barton Oaks Apartments**  
Strickland Road  
Raleigh, NC

No.	Revision	Date	App'd.

Designed by KH, WS, MW Checked by CT  
Issued for Review Date October 8, 2024

Not Issued for Construction  
Drawing Title  
**Grading & Drainage Plan**  
(1 of 2)

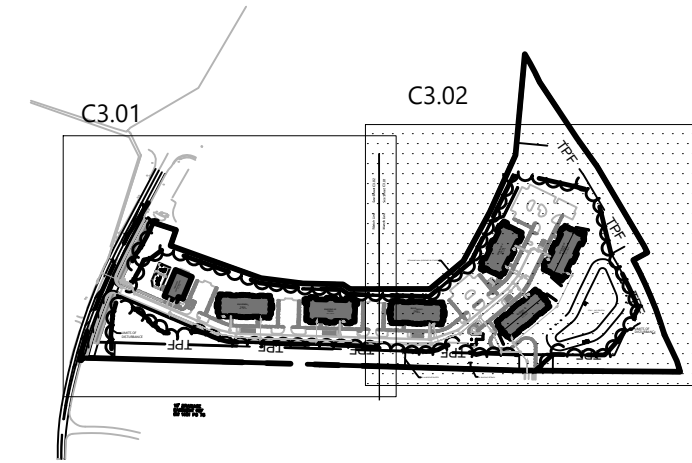
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C3.01

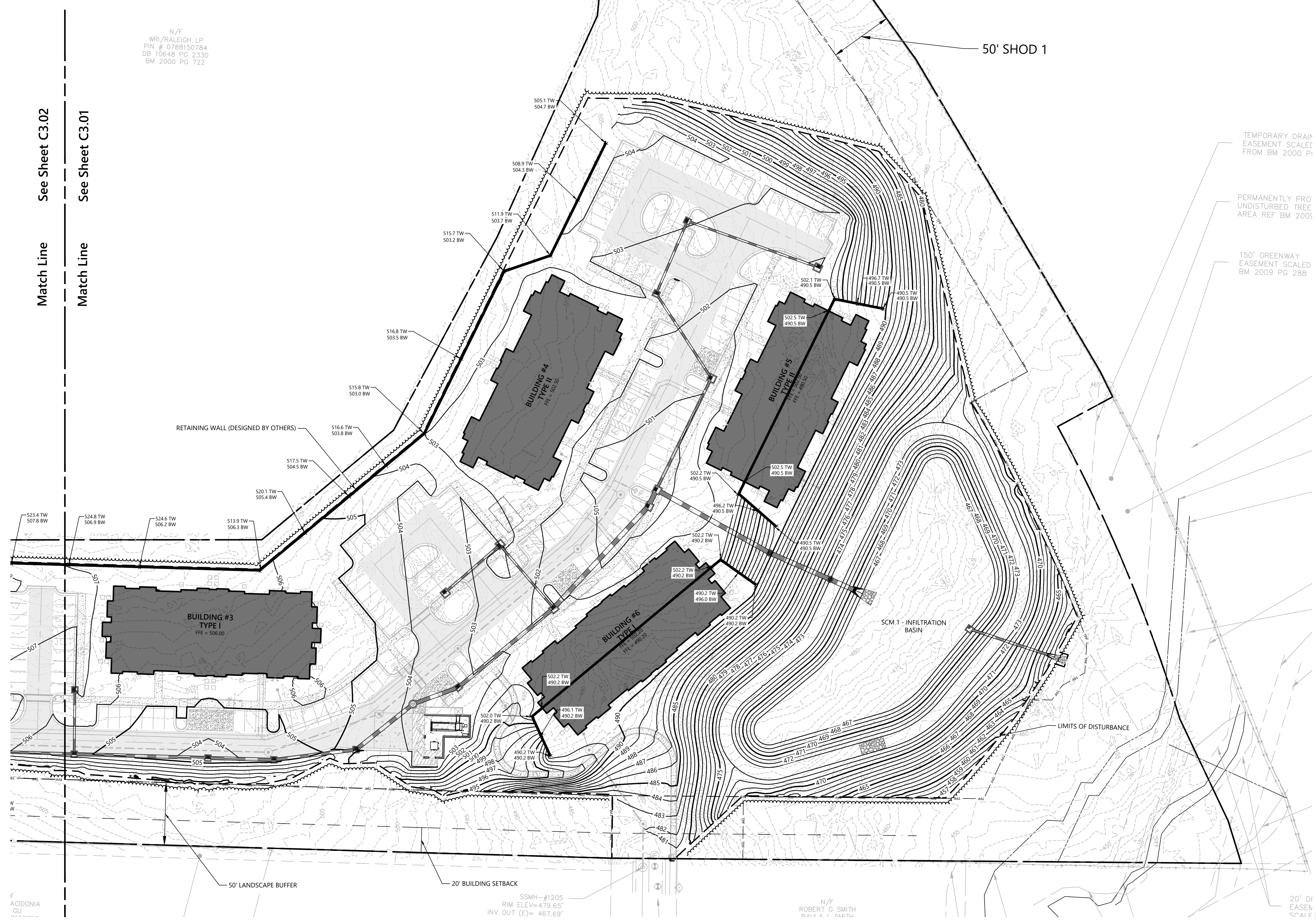
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Sheet 4 of 17

Project Number 39589.00



**Key**  
 Not To Scale



N/F  
 WRI/RALEIGH LP  
 PIN # 0728150784  
 DB 10648 PG 2330  
 BM 2000 PG 722

Match Line  
 See Sheet C3.02  
 Match Line  
 See Sheet C3.01

TEMPORARY DRAIN  
 EASEMENT SCALED  
 FROM BM 2000 PG 722

PERMANENTLY PRO  
 UNDISTURBED TREE  
 AREA REF BM 2000

150' GREENWAY  
 EASEMENT SCALED  
 BM 2009 PG 288



**Barton Oaks  
 Apartments**  
 Strickland Road  
 Raleigh, NC

No.	Revision	Date	Appr.

Designed by KH, WS, MW  
 Checked by CT  
 Issued for Review  
 Date October 8, 2024

Not Issued for Construction  
 Drawing Title  
**Grading & Drainage Plan**  
 (2 of 2)

**ATTENTION CONTRACTORS**

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**C3.02**

PRELIMINARY NOT FOR CONSTRUCTION

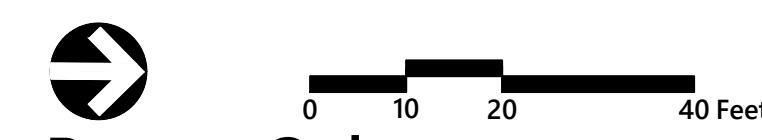
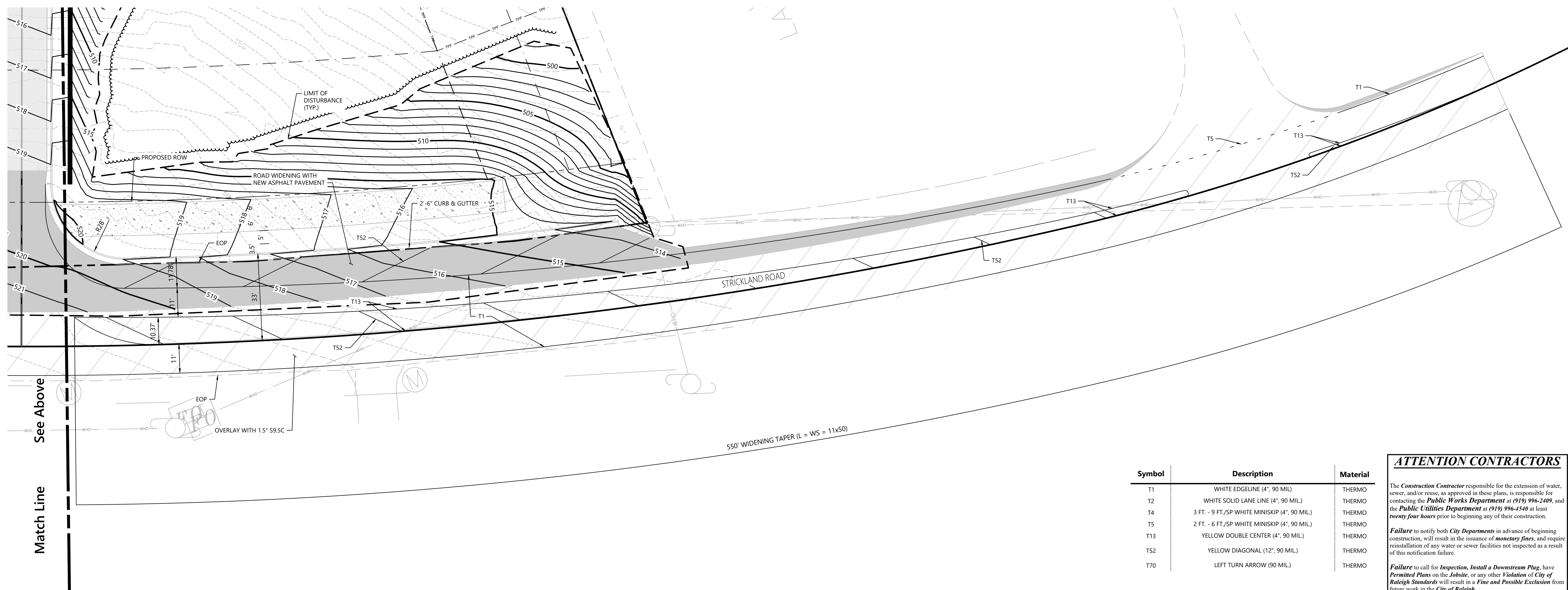
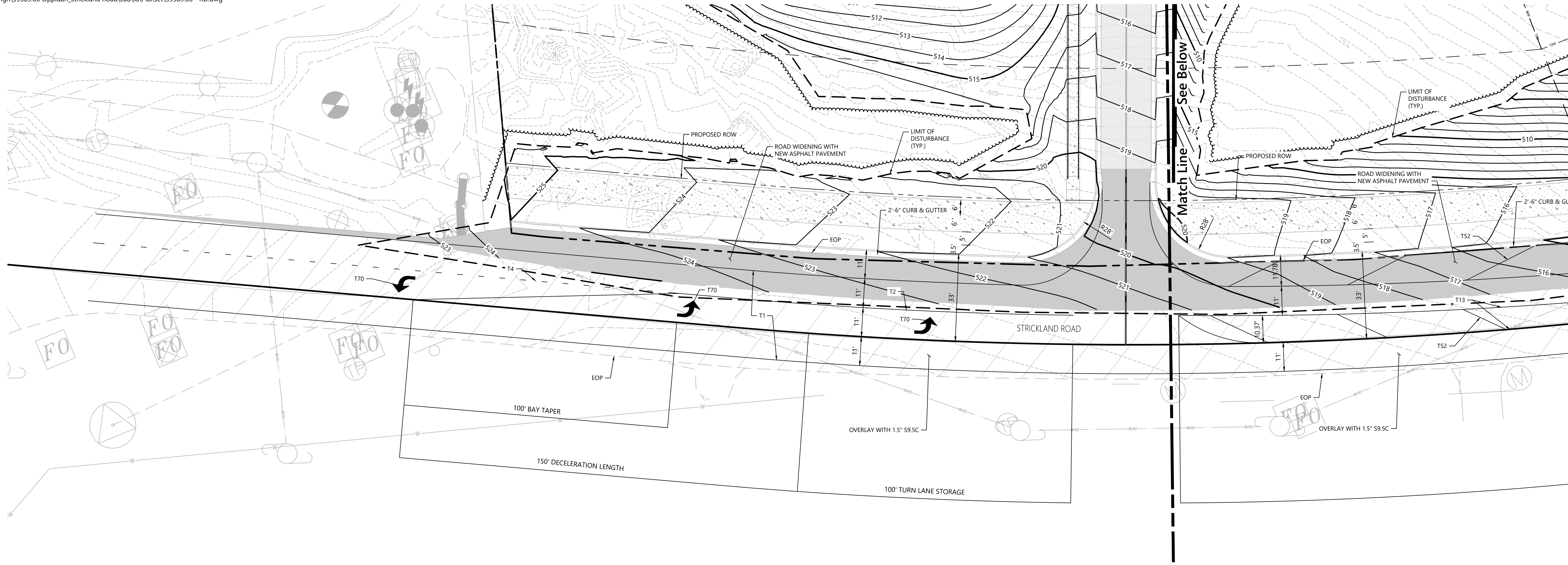
Sheet 5 of 17

Project Number  
 39589.00





VHB Engineering NC, P.C.  
 940 Main Campus Drive  
 Suite 500  
 Raleigh, NC 27606  
 919.829.0328  
 Corp. # C-3705



**Barton Oaks Apartments**  
 Strickland Road  
 Raleigh, NC

No.	Revision	Date	App'd.

Designed by KH, WS, MW      Checked by CT  
 Issued for Review      Date October 8, 2024

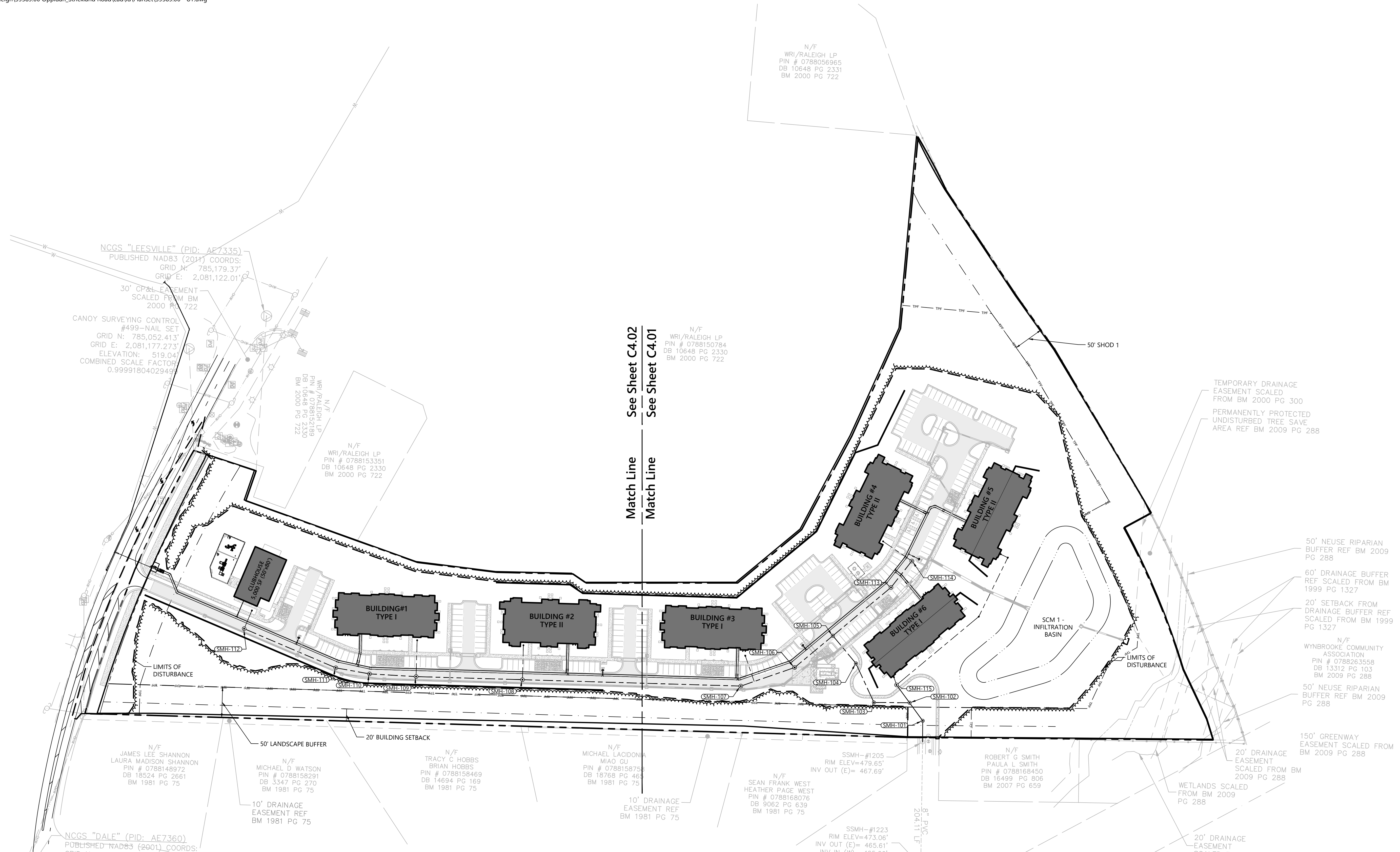
Not Issued for Construction  
 Drawing Title  
**Strickland Road Improvements Plan**

Symbol	Description	Material
T1	WHITE EDGELINE (4", 90 MIL)	THERMO
T2	WHITE SOLID LANE LINE (4", 90 MIL)	THERMO
T4	3 FT. - 9 FT./SP WHITE MINISKIP (4", 90 MIL)	THERMO
T5	2 FT. - 6 FT./SP WHITE MINISKIP (4", 90 MIL)	THERMO
T13	YELLOW DOUBLE CENTER (4", 90 MIL)	THERMO
T52	YELLOW DIAGONAL (12", 90 MIL)	THERMO
T70	LEFT TURN ARROW (90 MIL)	THERMO

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Sheet **C3.04** of

PRELIMINARY NOT FOR CONSTRUCTION  
 7 of 17



Match Line  
See Sheet C4.02  
Match Line  
See Sheet C4.01



**Barton Oaks Apartments**  
Strickland Road  
Raleigh, NC

No.	Revision	Date	App'd.

Designed by: KH, WS, MW  
Checked by: CT

**Standard Utility Notes (As Applicable):**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
- A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL
- WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER
- WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS
- 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER
- MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
- ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE
- INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.

**PROJECT WATER SYSTEM DATA:**

- ARE THE TOTAL DOMESTIC WATER SERVICES ≥ 15, OR THE TOTAL # PEOPLE SERVED ≥ 25? YES / NO
- TYPE OF DEVELOPMENT (SELECT ONE)
  - COMMERCIAL PROPERTY
  - RESIDENTIAL CONDOS OR TOWNHOMES
  - RESIDENTIAL APARTMENTS
- NOTE: PERMITTING BY CITY OF RALEIGH OR PROJECTS HAVING >15 DOMESTIC WATER SERVICES, OR SERVING >25 PEOPLE, REQUIRES DEVELOPER NOT TO RE-SELL WATER (OR MUST HAVE A WR DESIGNATION FROM NCUC FOR APARTMENT PROJECTS ONLY).

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Review  
October 8, 2024

Not Issued for Construction  
**Overall Utility Plan**

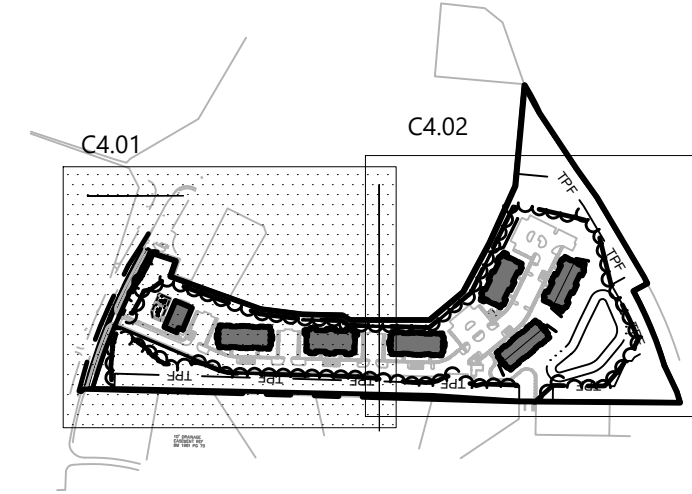
PRELIMINARY NOT FOR CONSTRUCTION

Drawing Number  
**C4.00**  
Sheet 8 of 17  
Project Number  
39589.00





VHB Engineering NC, P.C.  
 940 Main Campus Drive  
 Suite 500  
 Raleigh, NC 27606  
 919.829.0328  
 Corp. # C-3705



**Key**

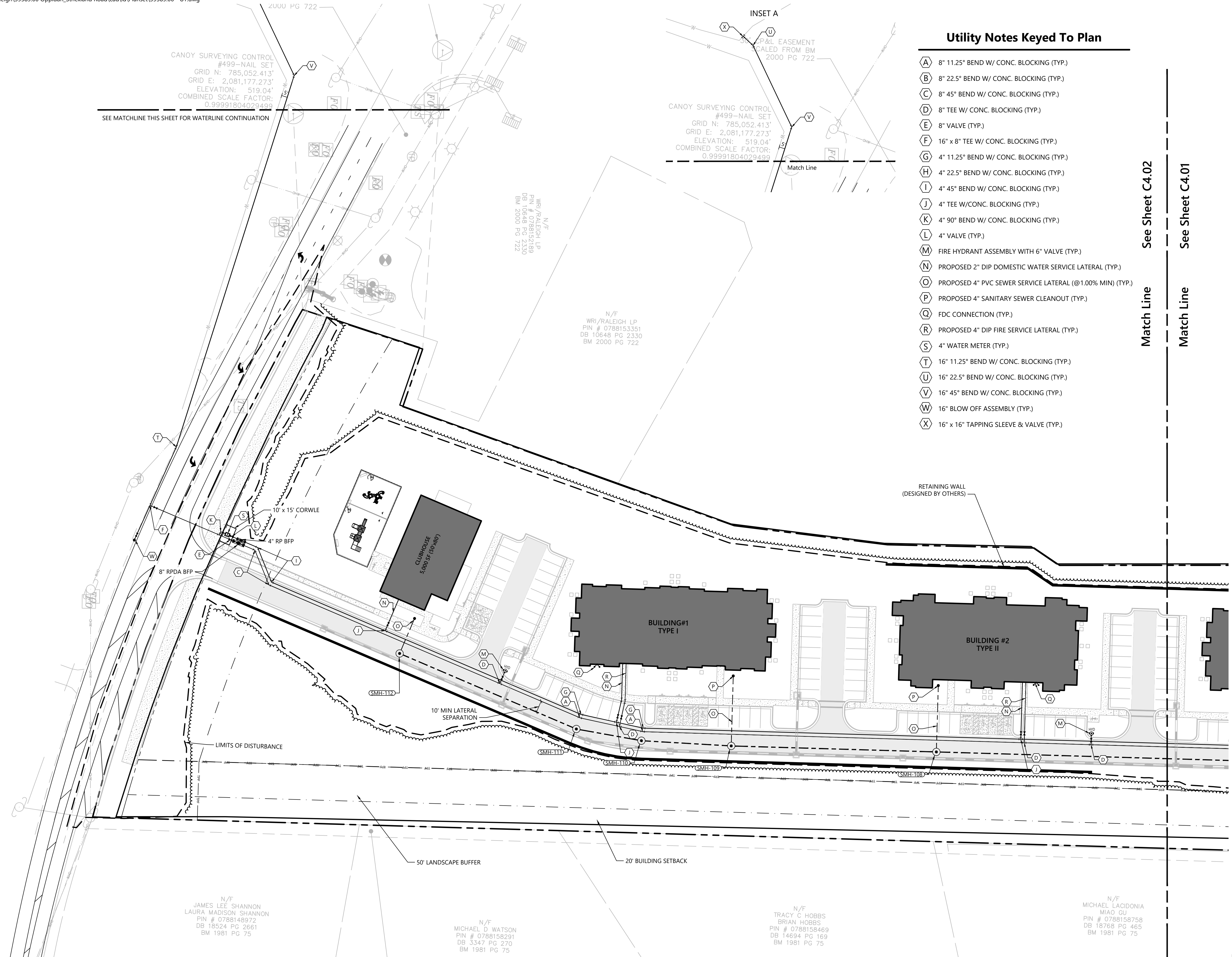
Not To Scale

**Utility Notes Keyed To Plan**

- (A) 8" 11.25° BEND W/ CONC. BLOCKING (TYP.)
- (B) 8" 22.5° BEND W/ CONC. BLOCKING (TYP.)
- (C) 8" 45° BEND W/ CONC. BLOCKING (TYP.)
- (D) 8" TEE W/ CONC. BLOCKING (TYP.)
- (E) 8" VALVE (TYP.)
- (F) 16" x 8" TEE W/ CONC. BLOCKING (TYP.)
- (G) 4" 11.25° BEND W/ CONC. BLOCKING (TYP.)
- (H) 4" 22.5° BEND W/ CONC. BLOCKING (TYP.)
- (I) 4" 45° BEND W/ CONC. BLOCKING (TYP.)
- (J) 4" TEE W/ CONC. BLOCKING (TYP.)
- (K) 4" 90° BEND W/ CONC. BLOCKING (TYP.)
- (L) 4" VALVE (TYP.)
- (M) FIRE HYDRANT ASSEMBLY WITH 6" VALVE (TYP.)
- (N) PROPOSED 2" DIP DOMESTIC WATER SERVICE LATERAL (TYP.)
- (O) PROPOSED 4" PVC SEWER SERVICE LATERAL (@1.00% MIN) (TYP.)
- (P) PROPOSED 4" SANITARY SEWER CLEANOUT (TYP.)
- (Q) FDC CONNECTION (TYP.)
- (R) PROPOSED 4" DIP FIRE SERVICE LATERAL (TYP.)
- (S) 4" WATER METER (TYP.)
- (T) 16" 11.25° BEND W/ CONC. BLOCKING (TYP.)
- (U) 16" 22.5° BEND W/ CONC. BLOCKING (TYP.)
- (V) 16" 45° BEND W/ CONC. BLOCKING (TYP.)
- (W) 16" BLOW OFF ASSEMBLY (TYP.)
- (X) 16" x 16" TAPPING SLEEVE & VALVE (TYP.)

Match Line See Sheet C4.02

Match Line See Sheet C4.01



CANOPY SURVEYING CONTROL  
 #499-NAIL SET  
 GRID N: 785,052.413'  
 GRID E: 2,081,177.273'  
 ELEVATION: 519.04'  
 COMBINED SCALE FACTOR:  
 0.99991804029499

CANOPY SURVEYING CONTROL  
 #499-NAIL SET  
 GRID N: 785,052.413'  
 GRID E: 2,081,177.273'  
 ELEVATION: 519.04'  
 COMBINED SCALE FACTOR:  
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N/F  
 WRI/RALEIGH LP  
 PIN # 0788152189  
 DB 10648 PG 2330  
 BM 2000 PG 722

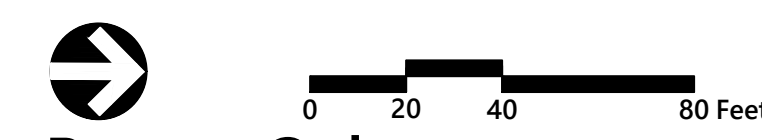
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N/F  
 JAMES LEE SHANNON  
 LAURA MADISON SHANNON  
 PIN # 0788148972  
 DB 18524 PG 2661  
 BM 1981 PG 75

N/F  
 MICHAEL D WATSON  
 PIN # 0788158291  
 DB 3347 PG 270  
 BM 1981 PG 75

N/F  
 TRACY C HOBBS  
 BRIAN HOBBS  
 PIN # 0788158469  
 DB 14694 PG 169  
 BM 1981 PG 75

N/F  
 MICHAEL LACIDONIA  
 MIAO GU  
 PIN # 0788158758  
 DB 18768 PG 465  
 BM 1981 PG 75



**Barton Oaks  
 Apartments**  
 Strickland Road  
 Raleigh, NC

No.	Revision	Date	App'd.

Designed by KH, WS, MW      Checked by CT  
 Issued for Review      Date October 8, 2024

Not Issued for Construction  
 Drawing Title  
**Utility Plan (1 of 2)**  
 Drawing Number

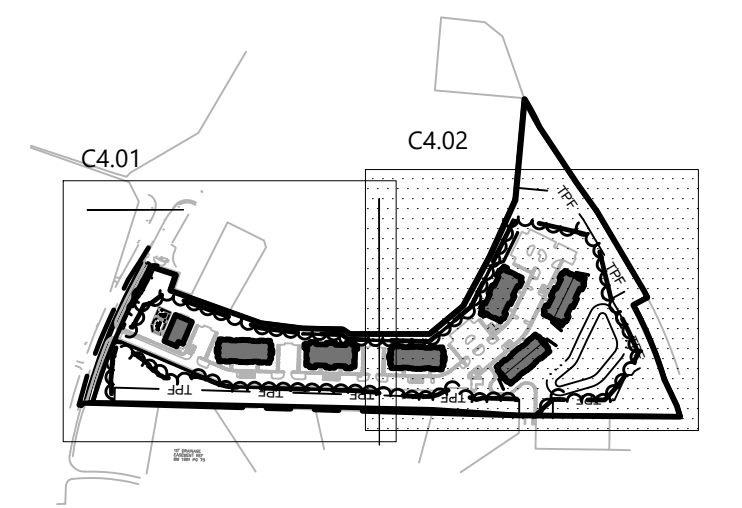
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**C4.01**

PRELIMINARY NOT FOR CONSTRUCTION

Sheet 9 of 17

Project Number 39589.00



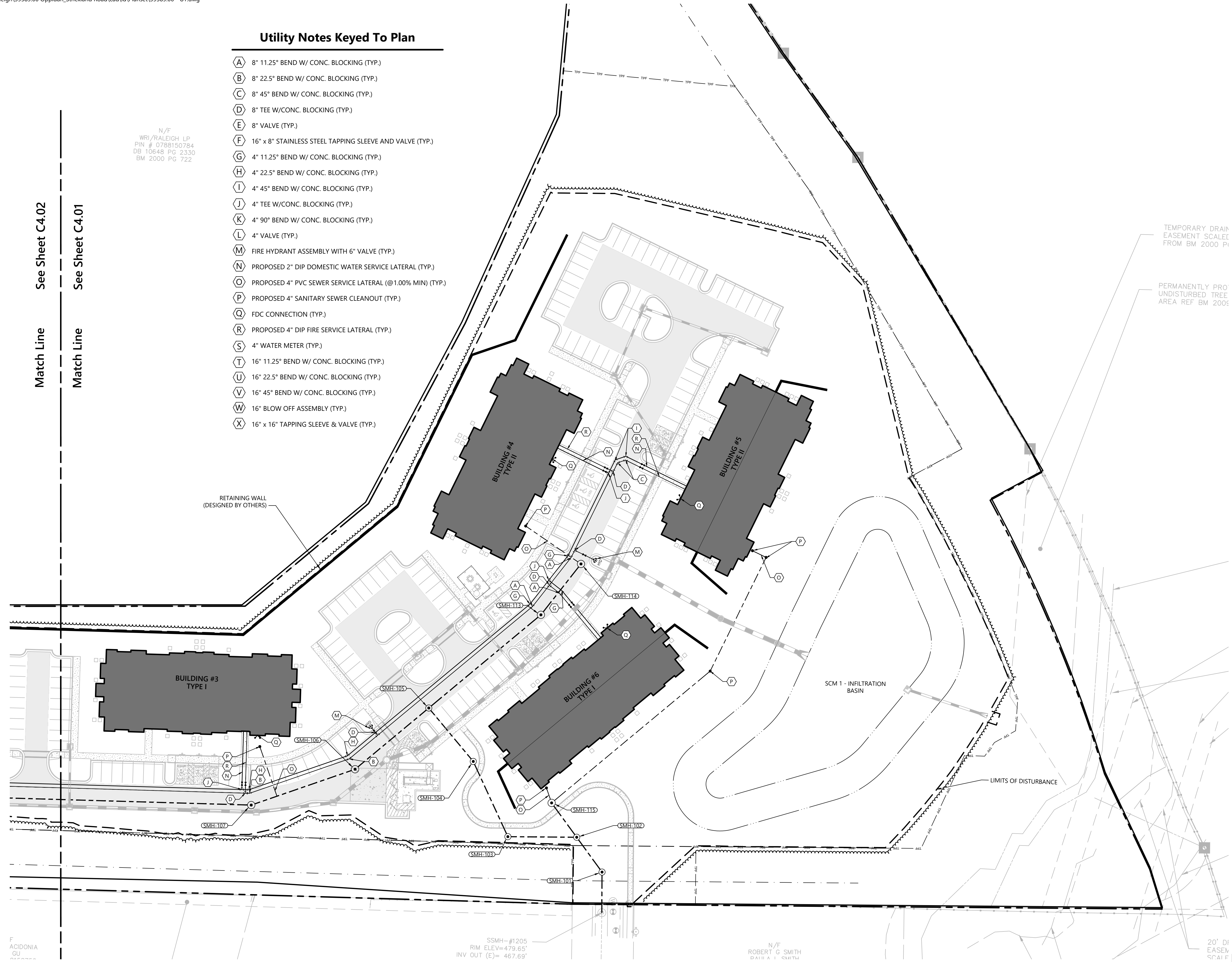
**Key**  
 Not To Scale

**Utility Notes Keyed To Plan**

- (A) 8" 11.25° BEND W/ CONC. BLOCKING (TYP.)
- (B) 8" 22.5° BEND W/ CONC. BLOCKING (TYP.)
- (C) 8" 45° BEND W/ CONC. BLOCKING (TYP.)
- (D) 8" TEE W/CONC. BLOCKING (TYP.)
- (E) 8" VALVE (TYP.)
- (F) 16" x 8" STAINLESS STEEL TAPPING SLEEVE AND VALVE (TYP.)
- (G) 4" 11.25° BEND W/ CONC. BLOCKING (TYP.)
- (H) 4" 22.5° BEND W/ CONC. BLOCKING (TYP.)
- (I) 4" 45° BEND W/ CONC. BLOCKING (TYP.)
- (J) 4" TEE W/CONC. BLOCKING (TYP.)
- (K) 4" 90° BEND W/ CONC. BLOCKING (TYP.)
- (L) 4" VALVE (TYP.)
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- (W) 16" BLOW OFF ASSEMBLY (TYP.)
- (X) 16" x 16" TAPPING SLEEVE & VALVE (TYP.)

N/F  
 WRI/RALEIGH LP  
 PIN # 0788150784  
 DB 10648 PG 2330  
 BM 2000 PG 722

Match Line  
 See Sheet C4.02  
 Match Line  
 See Sheet C4.01



RETAINING WALL  
 (DESIGNED BY OTHERS)

TEMPORARY DRAIN  
 EASEMENT SCALE  
 FROM BM 2000 P1

PERMANENTLY PRO  
 UNDISTURBED TREE  
 AREA REF BM 2005

SCM 1 - INFILTRATION  
 BASIN

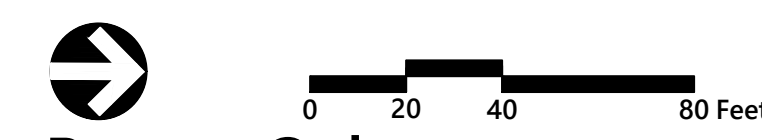
LIMITS OF DISTURBANCE

F  
 ACIDONIA  
 CU

SSMH-#1205  
 RIM ELEV=479.65'  
 INV OUT (E)= 467.69'

N/F  
 ROBERT G SMITH  
 DAVID I SMITH

20' DI  
 EASEM  
 SCALE



**Barton Oaks  
 Apartments**  
 Strickland Road  
 Raleigh, NC

No.	Revision	Date	Appr.

Designed by KH, WS, MW      Checked by CT  
 Issued for      Date  
**Review**      October 8, 2024

Not Issued for Construction  
 Drawing Title  
**Utility Plan (2 of 2)**

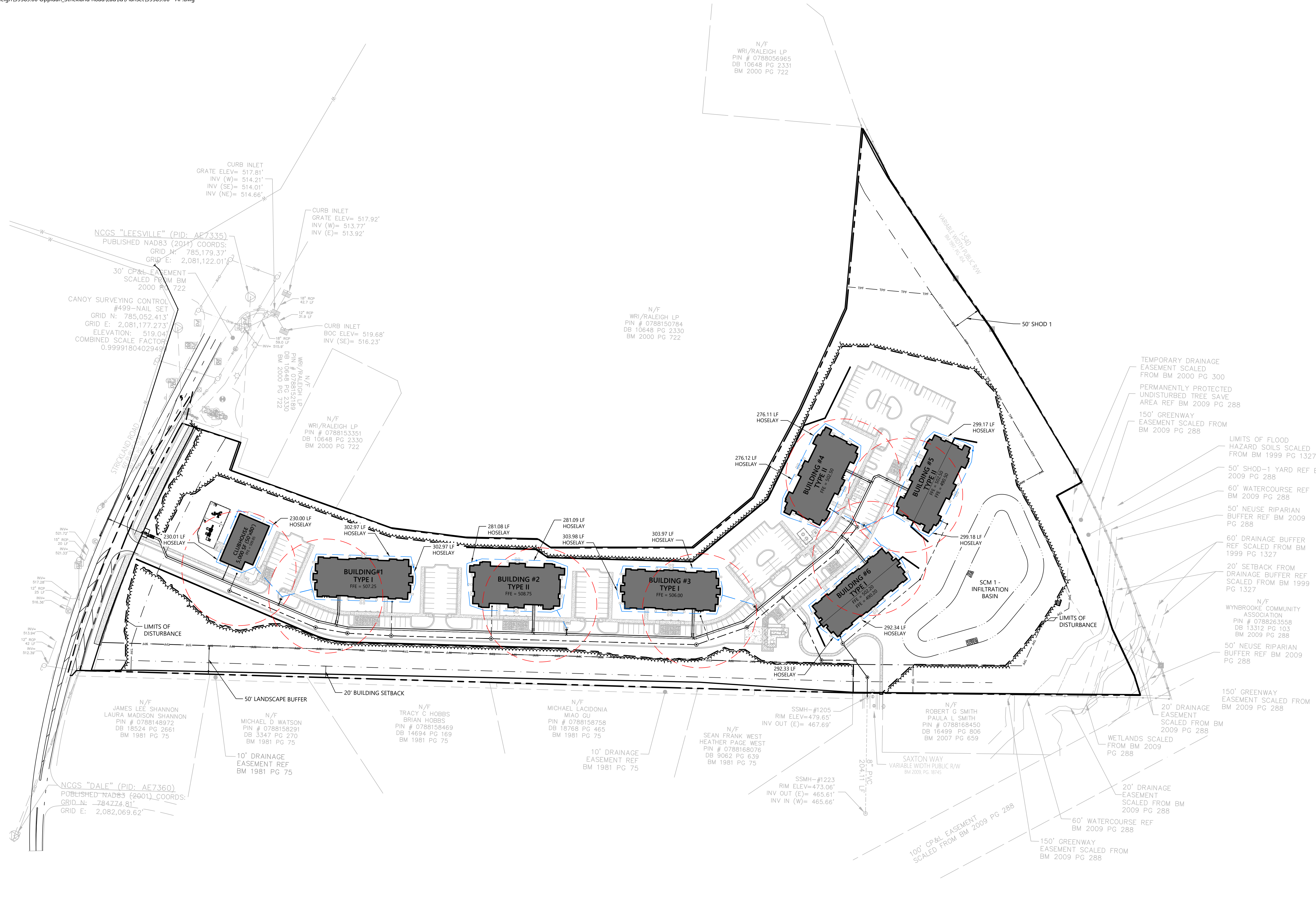
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**C4.02**

PRELIMINARY NOT  
 FOR CONSTRUCTION

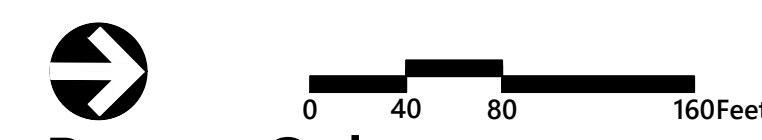
Sheet 10 of 17

Project Number  
 39589.00



**Legend**

- SCM MAINTENANCE & ACCESS EASEMENT
- PUBLIC UTILITY EASEMENT
- STORM DRAINAGE EASEMENT
- TREE PROTECTION FENCE
- 100' RADIUS AROUND FDC TO FHA



**Barton Oaks Apartments**  
 Strickland Road  
 Raleigh, NC

No.	Revision	Date	Appr.

Designed by: KH, WS, MW      Checked by: CT  
 Issued for:      Date:      October 8, 2024

Not Issued for Construction  
 Drawing Title: **Overall Apparatus Plan**  
 Drawing Number: C4.03

**ATTENTION CONTRACTORS**

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**C4.03**

PRELIMINARY NOT FOR CONSTRUCTION

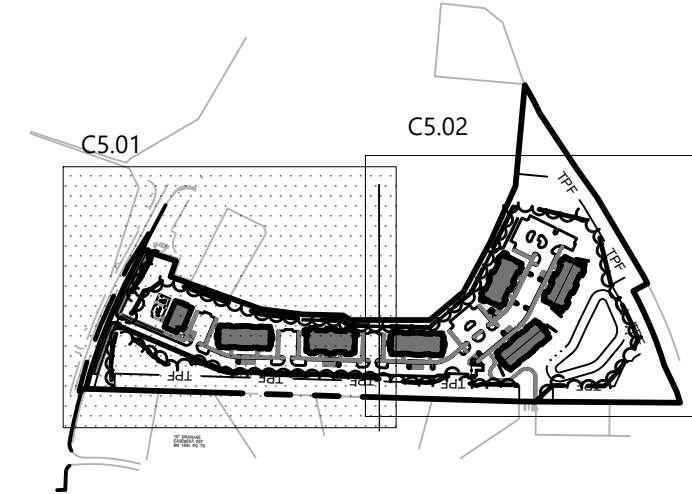
Sheet 11 of 17

Project Number: 39589.00





VHB Engineering NC, P.C.  
 940 Main Campus Drive  
 Suite 500  
 Raleigh, NC 27606  
 919.829.0328  
 Corp. # C-3705



**Key**  
 Not To Scale

Legend	
	CONCRETE SIDEWALK
	BUILDING PAD
	CONCRETE ADA SPACES
	FIRE DEPARTMENT VEHICLE ACCESS LANE
	SCM MAINTENANCE & ACCESS EASEMENT
	PUBLIC UTILITY EASEMENT
	ACCESSIBILITY ROUTE
	STORM DRAINAGE EASEMENT
	TREE PROTECTION FENCE



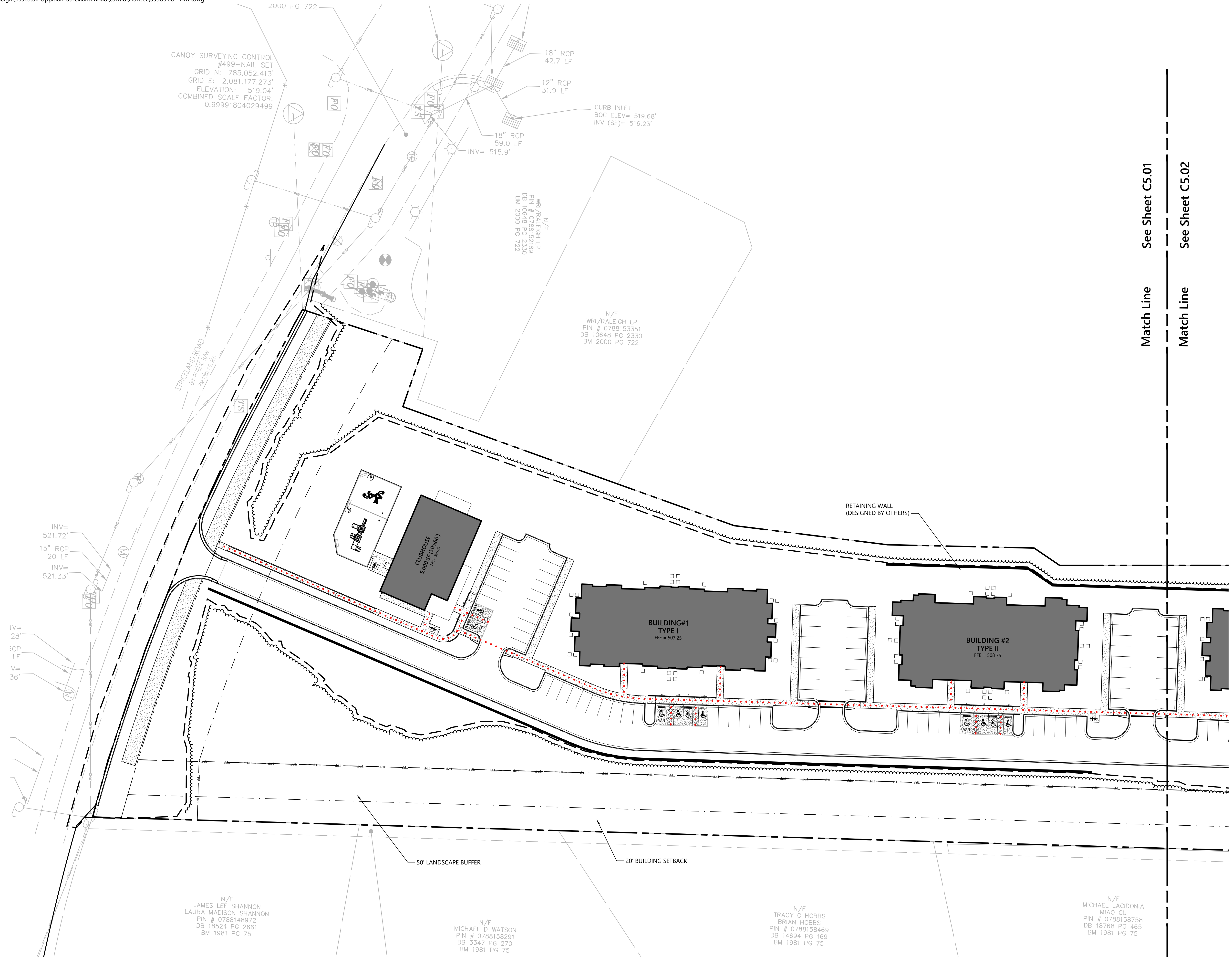
**Barton Oaks  
 Apartments**  
 Strickland Road  
 Raleigh, NC

No.	Revision	Date	App'd.

Designed by: KH, WS, MW      Checked by: CT  
 Issued for:      Date:      Review:      October 8, 2024

Not Issued for Construction  
 Drawing Title:  
**ADA Accessibility Plan**  
 (1 of 2)

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CANOPY SURVEYING CONTROL  
 #499-NAIL SET  
 GRID N: 785,052.413'  
 GRID E: 2,081,177.273'  
 ELEVATION: 519.04'  
 COMBINED SCALE FACTOR:  
 0.99991804029499

N/F  
 WRI/RALEIGH LP  
 PIN # 0788153189  
 DB 10648 PG 2330  
 BM 2000 PG 722

CURB INLET  
 BOC ELEV= 519.68'  
 INV (SE)= 516.23'

N/F  
 WRI/RALEIGH LP  
 PIN # 0788153351  
 DB 10648 PG 2330  
 BM 2000 PG 722

CLUBHOUSE  
 5,000 SF (FD 4807)  
 FFE = 507.25

BUILDING #1  
 TYPE I  
 FFE = 507.25

BUILDING #2  
 TYPE II  
 FFE = 508.75

N/F  
 JAMES LEE SHANNON  
 LAURA MADISON SHANNON  
 PIN # 0788148972  
 DB 18524 PG 2661  
 BM 1981 PG 75

N/F  
 MICHAEL D WATSON  
 PIN # 0788158291  
 DB 3347 PG 270  
 BM 1981 PG 75

N/F  
 TRACY C HOBBS  
 BRIAN HOBBS  
 PIN # 0788158469  
 DB 14694 PG 169  
 BM 1981 PG 75

N/F  
 MICHAEL LACIDONIA  
 MIAO GU  
 PIN # 0788158758  
 DB 18768 PG 465  
 BM 1981 PG 75

Match Line      See Sheet C5.01

Match Line      See Sheet C5.02

**C5.01**

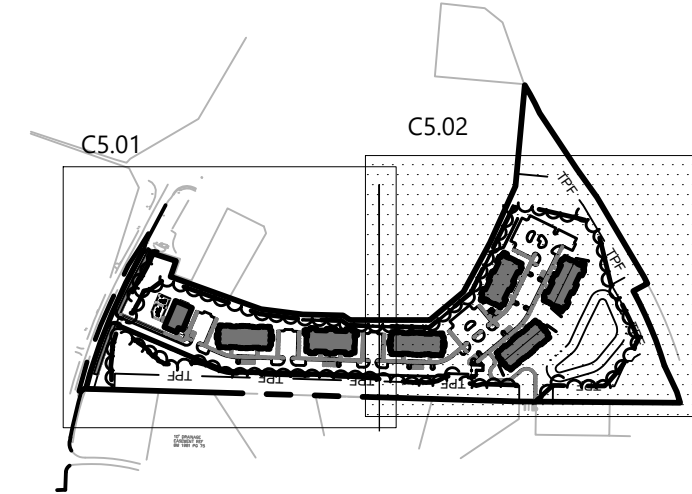
PRELIMINARY NOT  
 FOR CONSTRUCTION

Sheet      of  
 13      17

Project Number  
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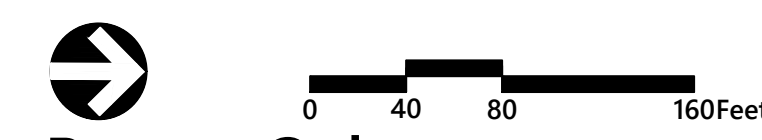
VHB Engineering NC, P.C.  
 940 Main Campus Drive  
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 Raleigh, NC 27606  
 919.829.0328  
 Corp. # C-3705



**Key**  
 Not To Scale

**Legend**

- CONCRETE SIDEWALK
- BUILDING PAD
- CONCRETE ADA SPACES
- FIRE DEPARTMENT VEHICLE ACCESS LANE
- SCM MAINTENANCE & ACCESS EASEMENT
- PUBLIC UTILITY EASEMENT
- ACCESSIBILITY ROUTE
- STORM DRAINAGE EASEMENT
- TREE PROTECTION FENCE



**Barton Oaks Apartments**  
 Strickland Road  
 Raleigh, NC

No.	Revision	Date	App'd.

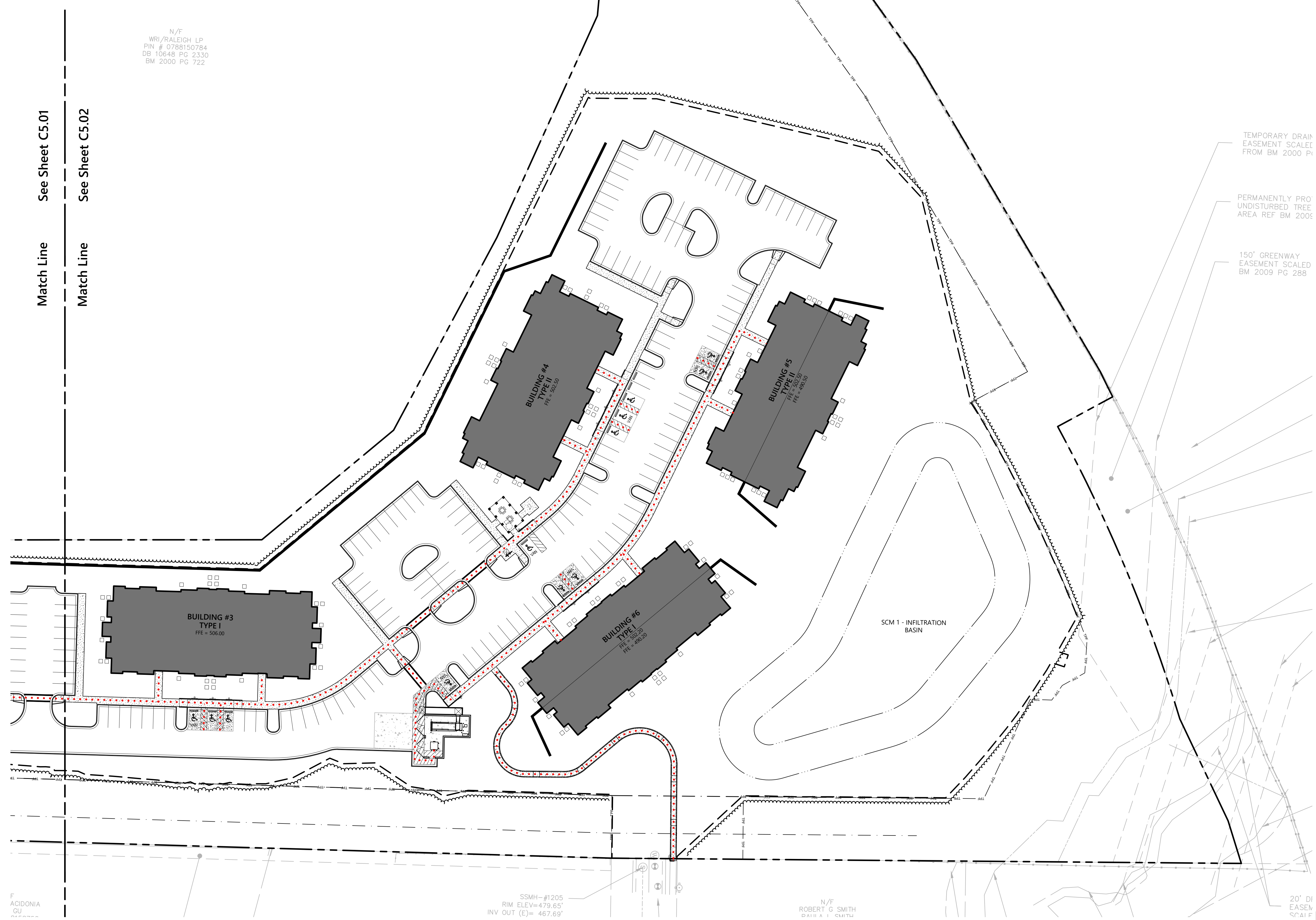
Designed by: KH, WS, MW      Checked by: CT  
 Issued for:      Date:      Review:      October 8, 2024

Not Issued for Construction  
**ADA Accessibility Plan**  
 (2 of 2)

**C5.02**

PRELIMINARY NOT FOR CONSTRUCTION  
 Sheet 14 of 17

Project Number: 39589.00



**ATTENTION CONTRACTORS**

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.

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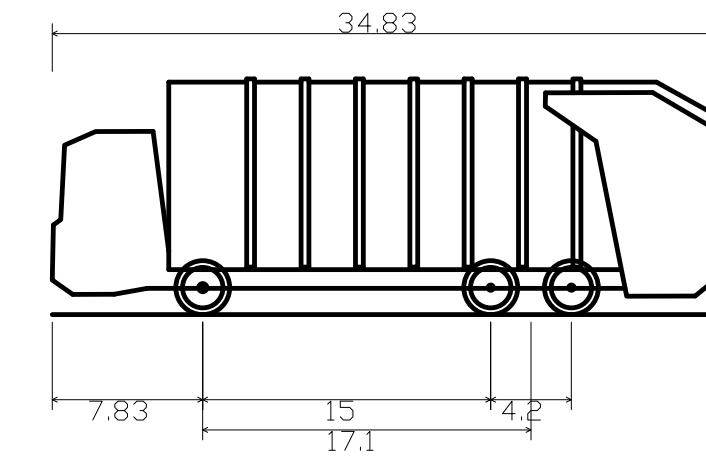
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N/F  
 WRI/RALEIGH LP  
 PIN # 0788150784  
 DB 10648 PG 2330  
 BM 2000 PG 722

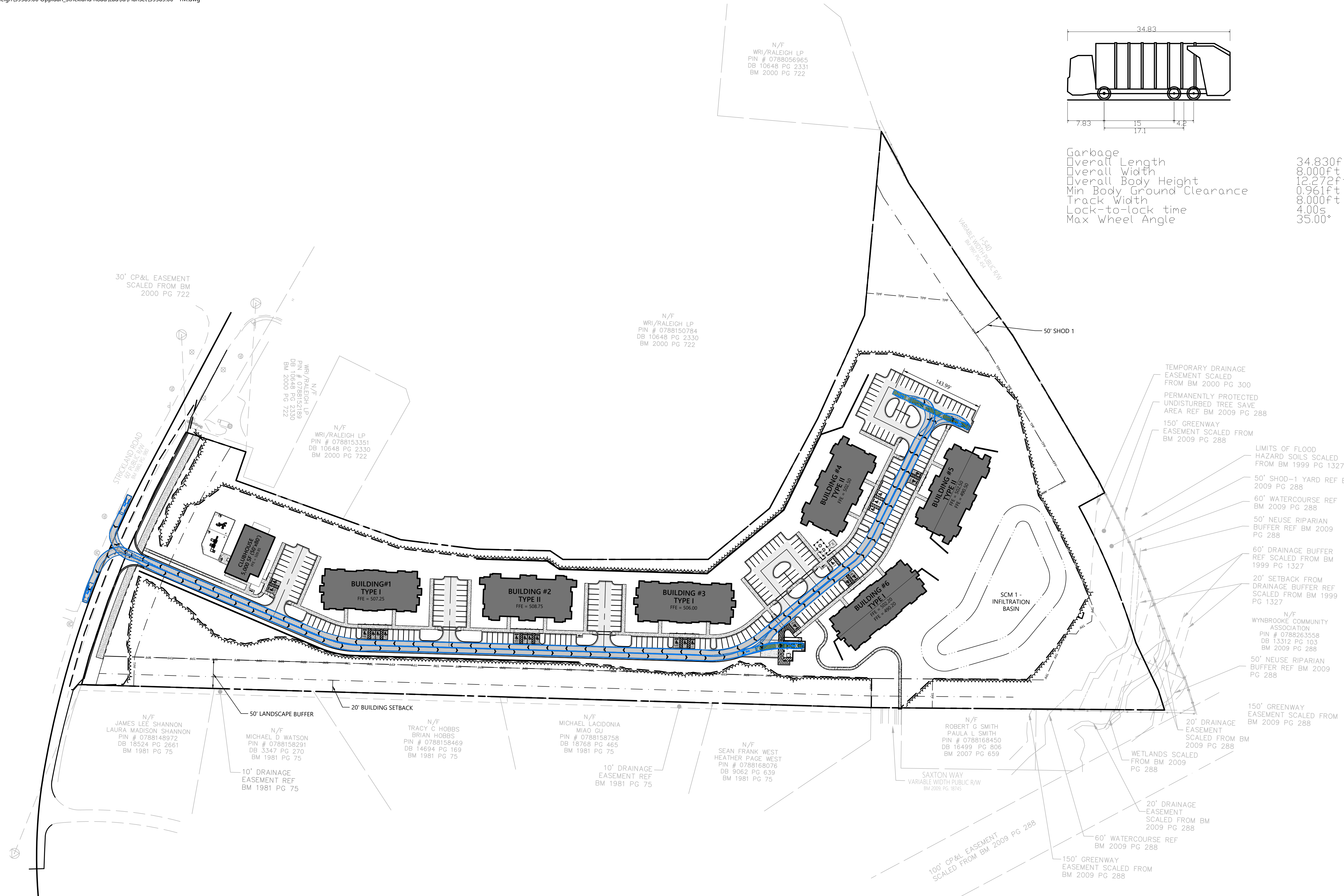
F ACIDONIA  
 CU



VHB Engineering NC, P.C.  
 940 Main Campus Drive  
 Suite 500  
 Raleigh, NC 27606  
 919.829.0328  
 Corp. # C-3705



Garbage  
 Overall Length 34.830ft  
 Overall Width 7.830ft  
 Overall Body Height 15.000ft  
 Min Body Ground Clearance 17.100ft  
 Track Width 4.200ft  
 Lock-to-lock time 4.00s  
 Max Wheel Angle 35.00°



- TEMPORARY DRAINAGE EASEMENT SCALED FROM BM 2000 PG 300
- PERMANENTLY PROTECTED UNDISTURBED TREE SAVE AREA REF BM 2009 PG 288
- 150' GREENWAY EASEMENT SCALED FROM BM 2009 PG 288
- LIMITS OF FLOOD HAZARD SOILS SCALED FROM BM 1999 PG 1327
- 50' SHOD-1 YARD REF BM 2009 PG 288
- 60' WATERCOURSE REF BM 2009 PG 288
- 50' NEUSE RIPARIAN BUFFER REF BM 2009 PG 288
- 60' DRAINAGE BUFFER REF SCALED FROM BM 1999 PG 1327
- 20' SETBACK FROM DRAINAGE BUFFER REF SCALED FROM BM 1999 PG 1327
- N/F WYNBROOKE COMMUNITY ASSOCIATION PIN # 0788263558 DB 13312 PG 103 BM 2009 PG 288
- 50' NEUSE RIPARIAN BUFFER REF BM 2009 PG 288
- 150' GREENWAY EASEMENT SCALED FROM BM 2009 PG 288
- 20' DRAINAGE EASEMENT SCALED FROM BM 2009 PG 288
- WETLANDS SCALED FROM BM 2009 PG 288
- 20' DRAINAGE EASEMENT SCALED FROM BM 2009 PG 288
- 60' WATERCOURSE REF BM 2009 PG 288
- 150' GREENWAY EASEMENT SCALED FROM BM 2009 PG 288



**Barton Oaks Apartments**  
 Strickland Road  
 Raleigh, NC

No.	Revision	Date	App'd.

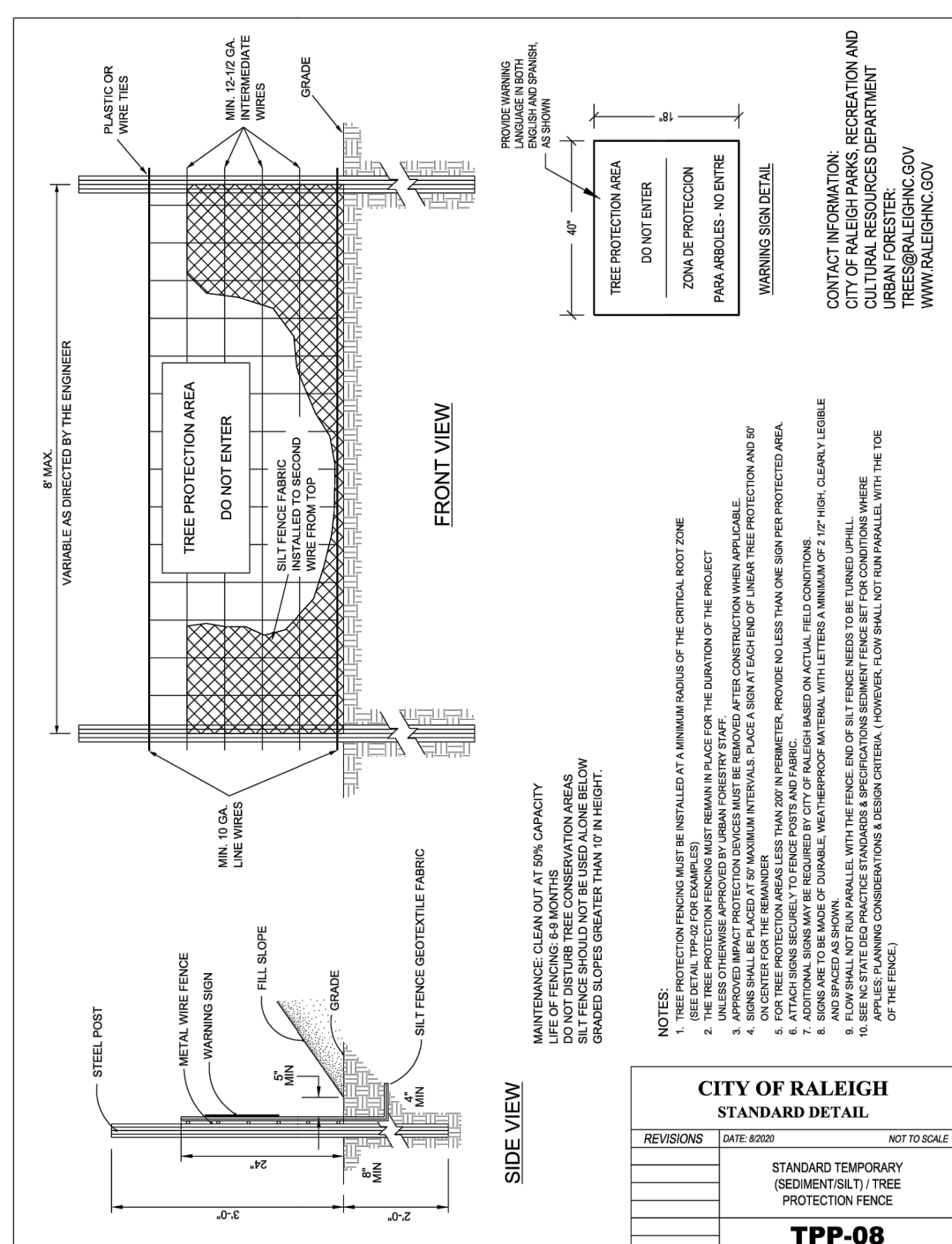
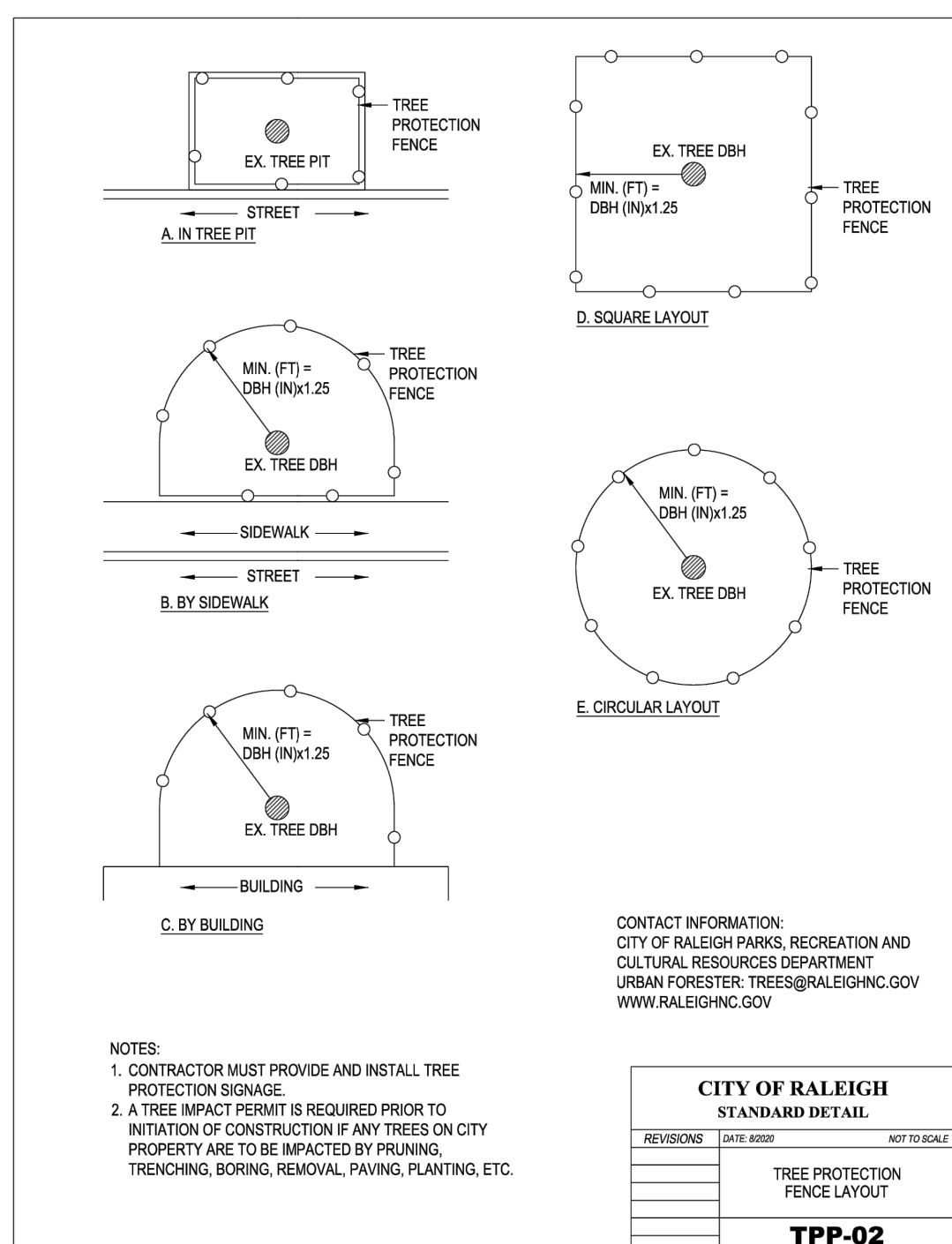
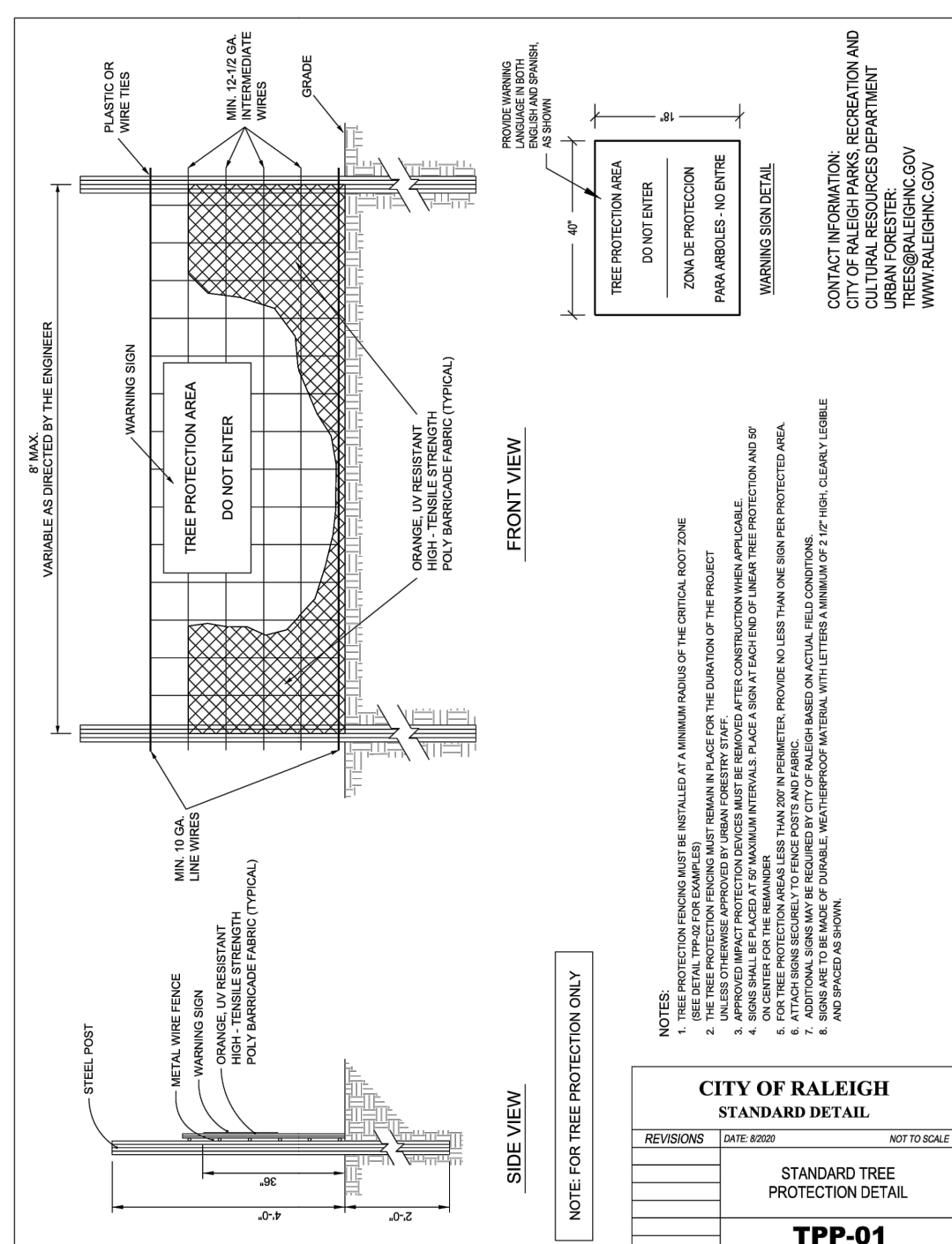
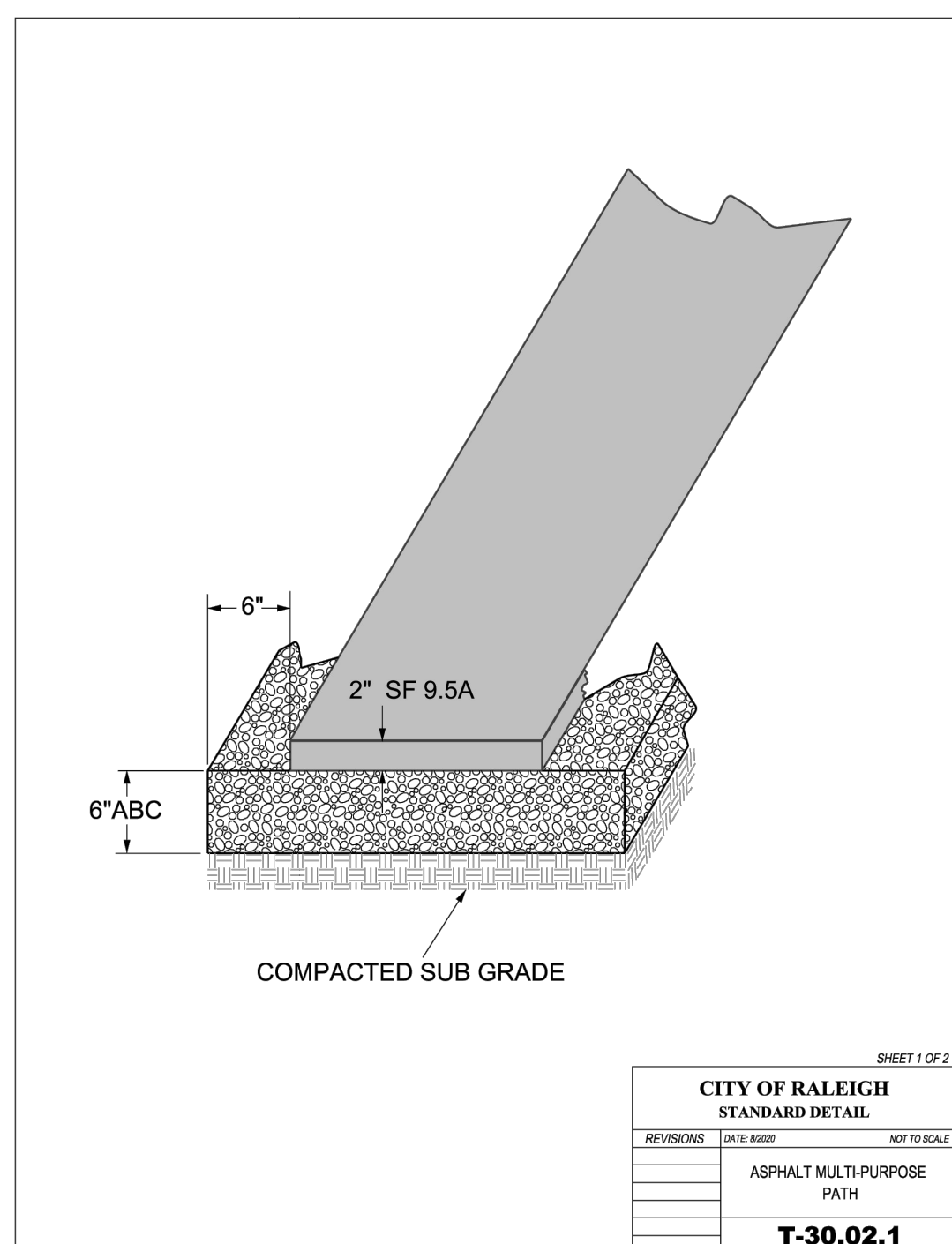
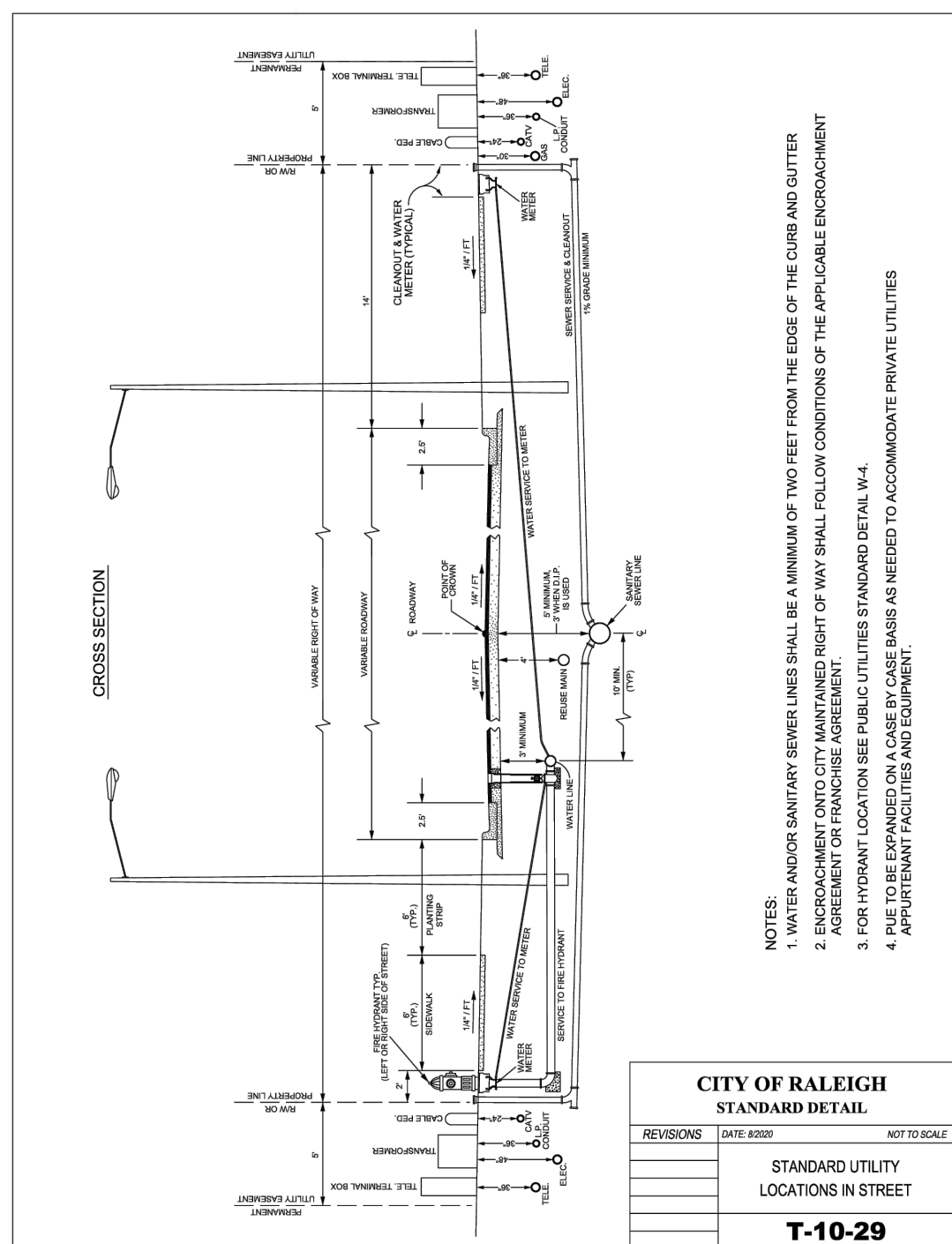
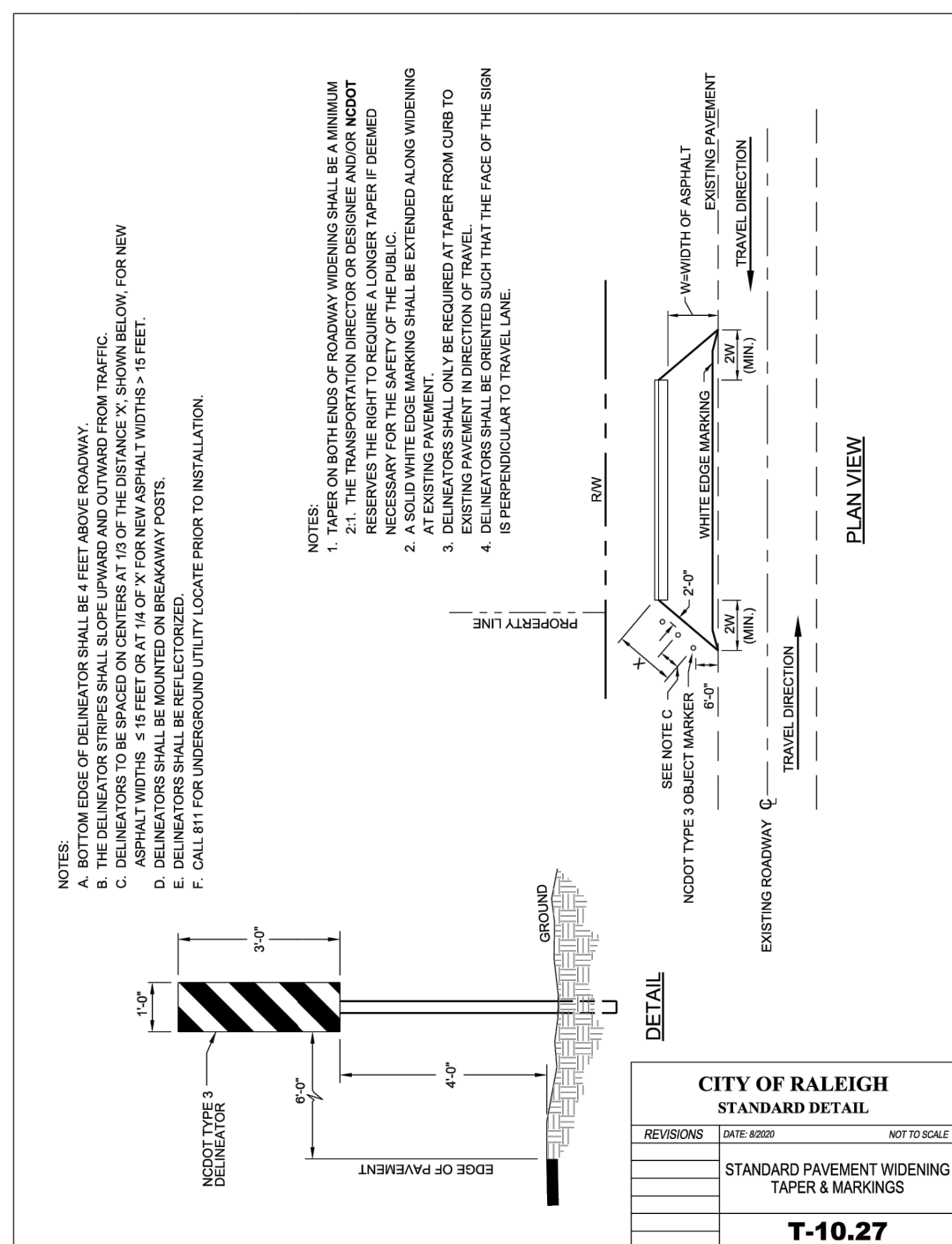
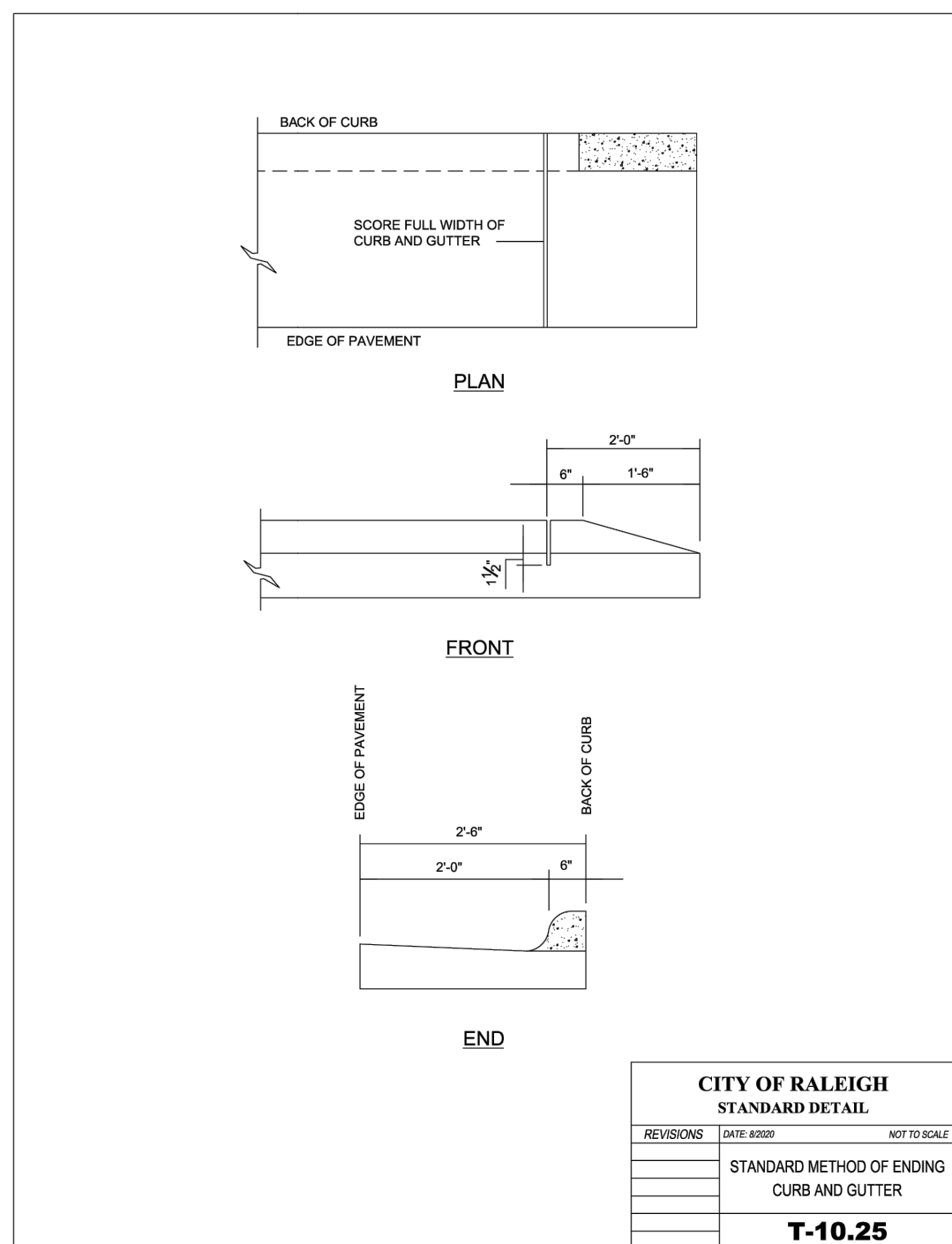
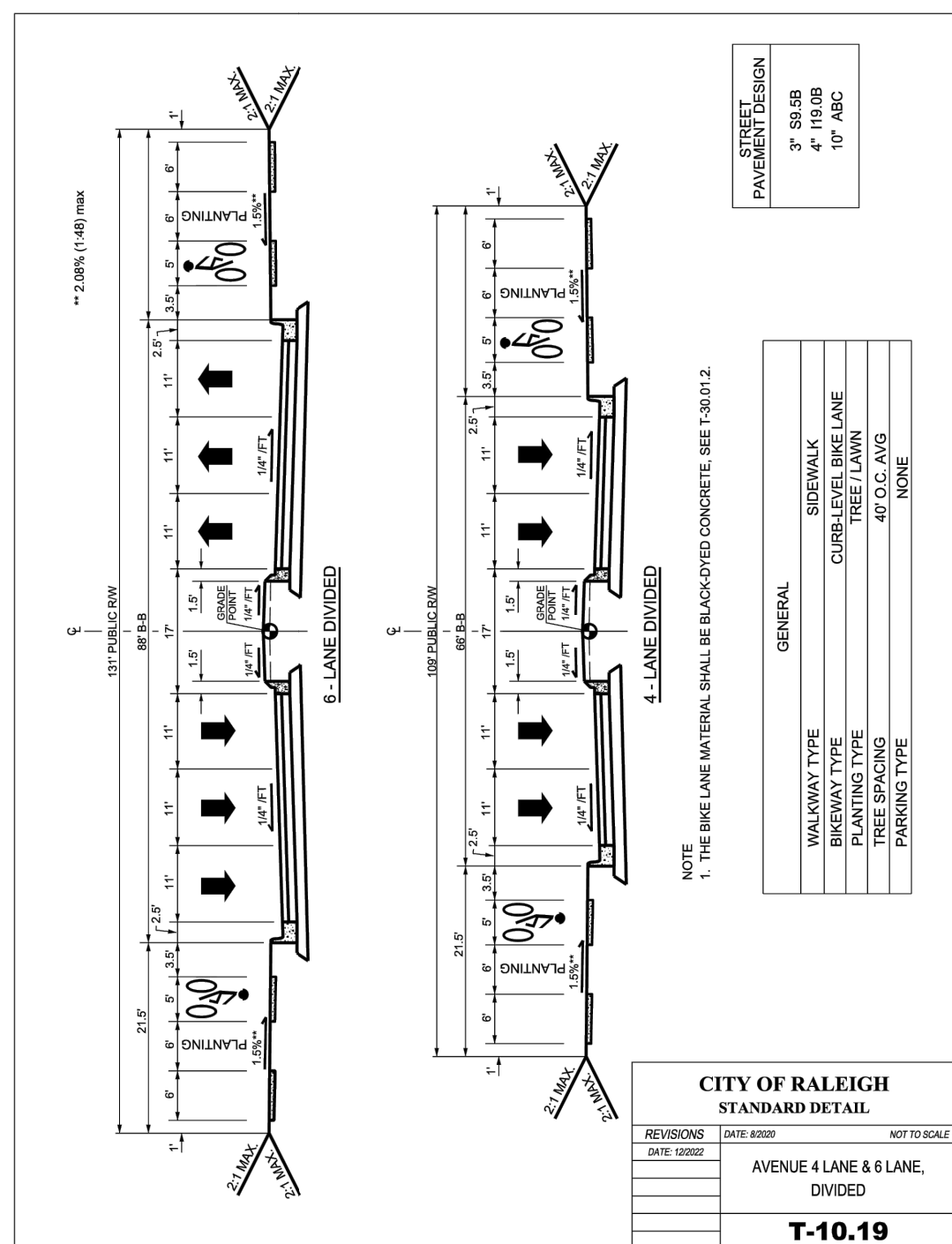
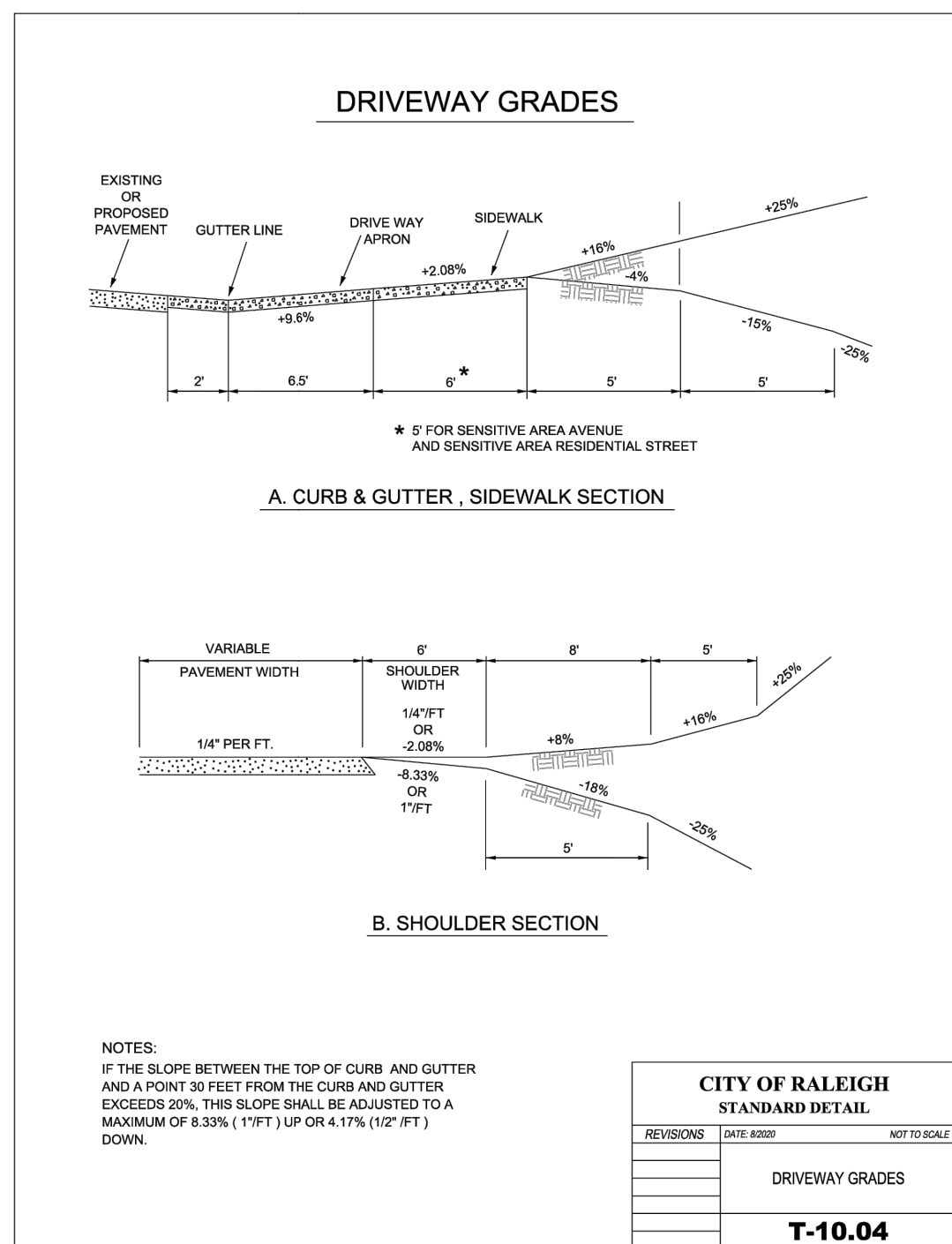
Designed by KH, WS, MW      Checked by CT  
 Issued for Review      Date October 8, 2024

Not Issued for Construction  
**Truck Movement Plan**

**ATTENTION CONTRACTORS**  
 The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.  
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Sheet **C6.00** of 17

PRELIMINARY NOT FOR CONSTRUCTION



**Barton Oaks Apartments**  
 Strickland Road  
 Raleigh, NC

No.	Revision	Date	App'd.

Designed by: KH, WS, MW      Checked by: CT  
 Issued for:      Date:      Review:      October 8, 2024

Not Issued for Construction  
 Drawing Title: **Site Details**  
 Drawing Number: **C7.00**  
 Sheet 16 of 17  
 Project Number: 39589.00

PRELIMINARY NOT FOR CONSTRUCTION

**ATTENTION CONTRACTORS**

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VHB Engineering NC, P.C.  
940 Main Campus Drive  
Suite 500  
Raleigh, NC 27606  
919.829.0328  
Corp. # C-3705

**Tree Conservation Plan Data Sheet**  
**UDO Article 9.1 Tree Conservation**  
(Include applicable information on the plan sheet)

Project Name: Oppidan Affordable Housing, Strickland Road, Raleigh, NC

Gross Site Acres: 16.25 ac  
Right-of-way to be dedicated with this project: 0.27 ac  
Net Site Acres: 15.98 ac

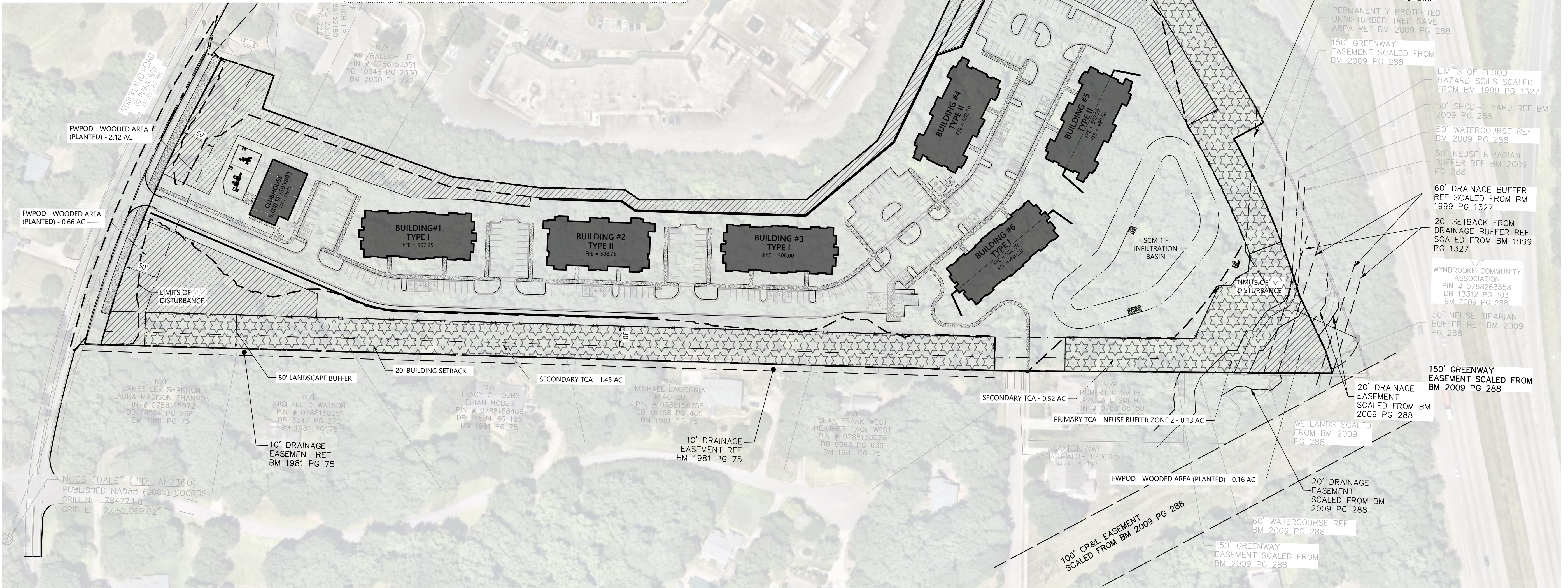
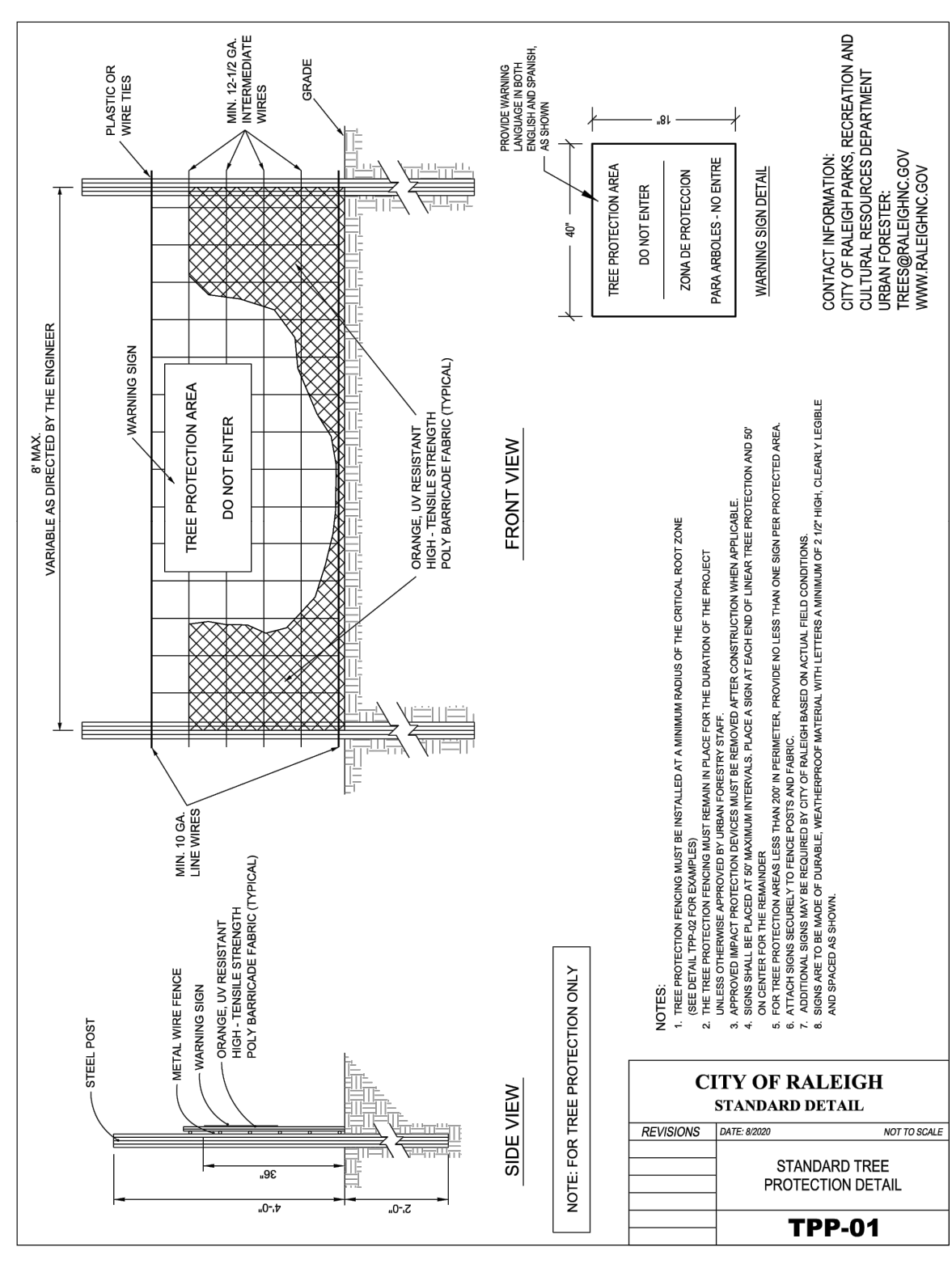
	Number of Acres	Percent of Total
<b>UDO 9.1.4.A. Primary Tree Conservation Areas</b>		
1. Primary Tree Conservation Area - SHOD 1	1.04	6.5 %
1. Primary Tree Conservation Area - SHOD 2	0.00	0.0 %
2. Primary Tree Conservation Area - Parkway Frontage	0.00	0.0 %
3. Primary Tree Conservation Area - CM	0.00	0.0 %
4. Primary Tree Conservation Area - LMPDO	0.00	0.0 %
5. Primary Tree Conservation Area - Champion Tree 30' DBH species	0.00	0.0 %
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0.15	0.8 %
7. Primary Tree Conservation Area - 45% Slopes	0.00	0.0 %
8. Primary Tree Conservation Area - Throughfare	0.00	0.0 %
<b>Subtotal of Primary Tree Conservation Areas:</b>	<b>1.17</b>	<b>7.3 %</b>
<b>UDO 9.1.4.D.2 Tree Conservation Area - Greenway</b>		
UDO 9.1.4.D.2 Tree Conservation Area - Greenway	0.00	0.0 %
<b>UDO 9.1.4.B.1.a. &amp; b. Secondary Tree Conservation Areas</b> (include perimeter buffers and their alternate compliance areas)		
UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas	2.28	14.3 %
<b>UDO 9.1.4.B.1.c. &amp; d. Individual Tree Secondary Tree Conservation Areas</b> (include individual trees and their alternate compliance areas)		
UDO 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas	0.00	0.0 %
<b>Subtotal of Secondary Tree Conservation Areas:</b>	<b>2.28</b>	<b>14.3 %</b>
<b>TOTAL ALL TREE CONSERVATION AREA PROVIDED:</b>	<b>3.45</b>	<b>21.6 %</b>

**UDO 9.1.9. Watershed Protection Overlay Districts**

LWPOD - Wooded Area (preserved)	0.00	0.0 %
LWPOD - Wooded Area (planted)	0.00	0.0 %
FWPOD - Wooded Area (preserved)	3.45	21.6 %
FWPOD - Wooded Area (planted)	2.94	18.4 %
SWPOD - Wooded Area (preserved)	0.00	0.0 %
SWPOD - Wooded Area (planted)	0.00	0.0 %

ANY AREAS THAT DO NOT CONTAIN TREES WILL BE PLANTED WITH NATIVE SHADE TREES AND IN ACCORDANCE WITH UDO 9.1.9.A.6.



**Barton Oaks Apartments**  
Strickland Road  
Raleigh, NC

Scale: 0 40 80 160 Feet

No.	Revision	Date	App'd

Designed by: KH, WS, MW  
Checked by: CT  
Issued for: Review  
Date: October 8, 2024

Not Issued for Construction  
**TCA & Forestation Plan**

Drawing Number: C8.00  
Sheet 17 of 17

**ATTENTION CONTRACTORS**

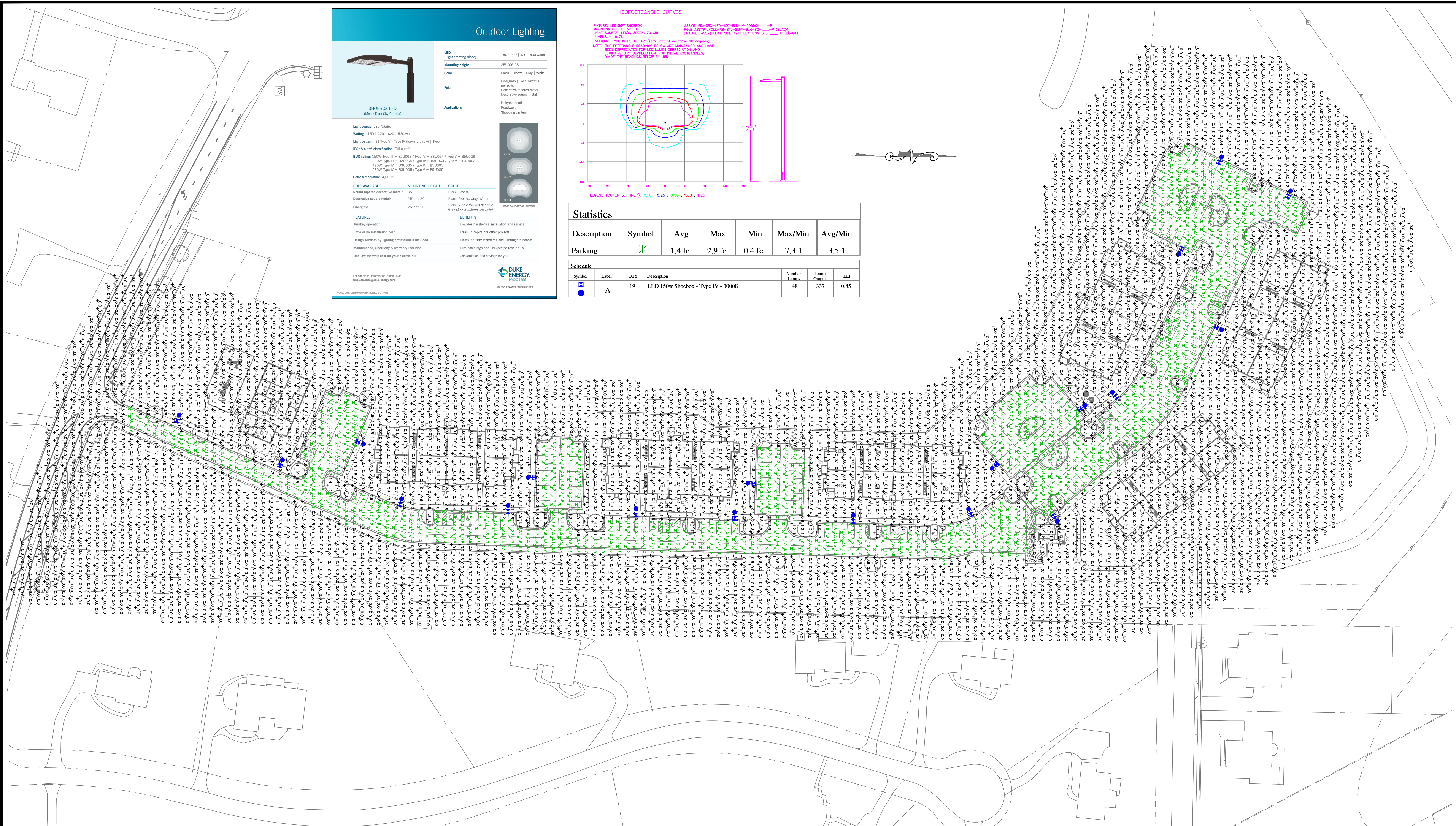
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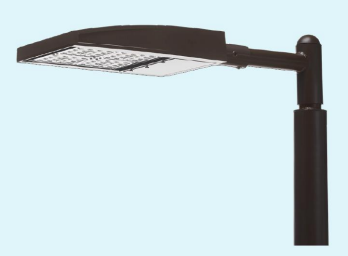
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C8.00

17 of 17



### Outdoor Lighting



**SHOEBBOX LED**  
(Meets Dark Sky Criteria)

Light source: LED (white)  
Wattage: 150 | 220 | 420 | 530 watts  
Light pattern: IES Type V | Type IV (forward throw) | Type III  
IESNA cutoff classification: Full-cutoff  
BUG rating: 150W Type III = 85U003 / Type IV = 83U004 / Type V = 85U003  
220W Type III = 85U004 / Type IV = 83U004 / Type V = 84U003  
420W Type IV = 83U005 / Type V = 85U005  
530W Type IV = 83U005 / Type V = 85U005

Color temperature: 4,000K

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Round tapered decorative metal*	33'	Black, Bronze
Decorative square metal*	25' and 30'	Black, Bronze, Gray, White
Fiberglass	25' and 30'	Black (1 or 2 fixtures per pole) Gray (1 or 2 fixtures per pole)

**FEATURES**

- Turkey operation
- Provides hassle-free installation and service
- Little or no installation cost
- Frees up capital for other projects
- Design services by lighting professionals included
- Meets industry standards and lighting ordinances
- Maintenance, electricity & warranty included
- Eliminates high and unexpected repair bills
- One low monthly cost on your electric bill
- Convenience and savings for you

**BENEFITS**

- Neighborhoods
- Roadways
- Shopping centers

For additional information, email us at: [OEL.Central@dukeenergy.com](mailto:OEL.Central@dukeenergy.com)

**DUKE ENERGY**  
PROGRESS

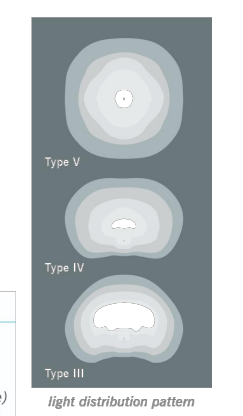
**LED**  
Light emitting diode) 150 | 220 | 420 | 530 watts

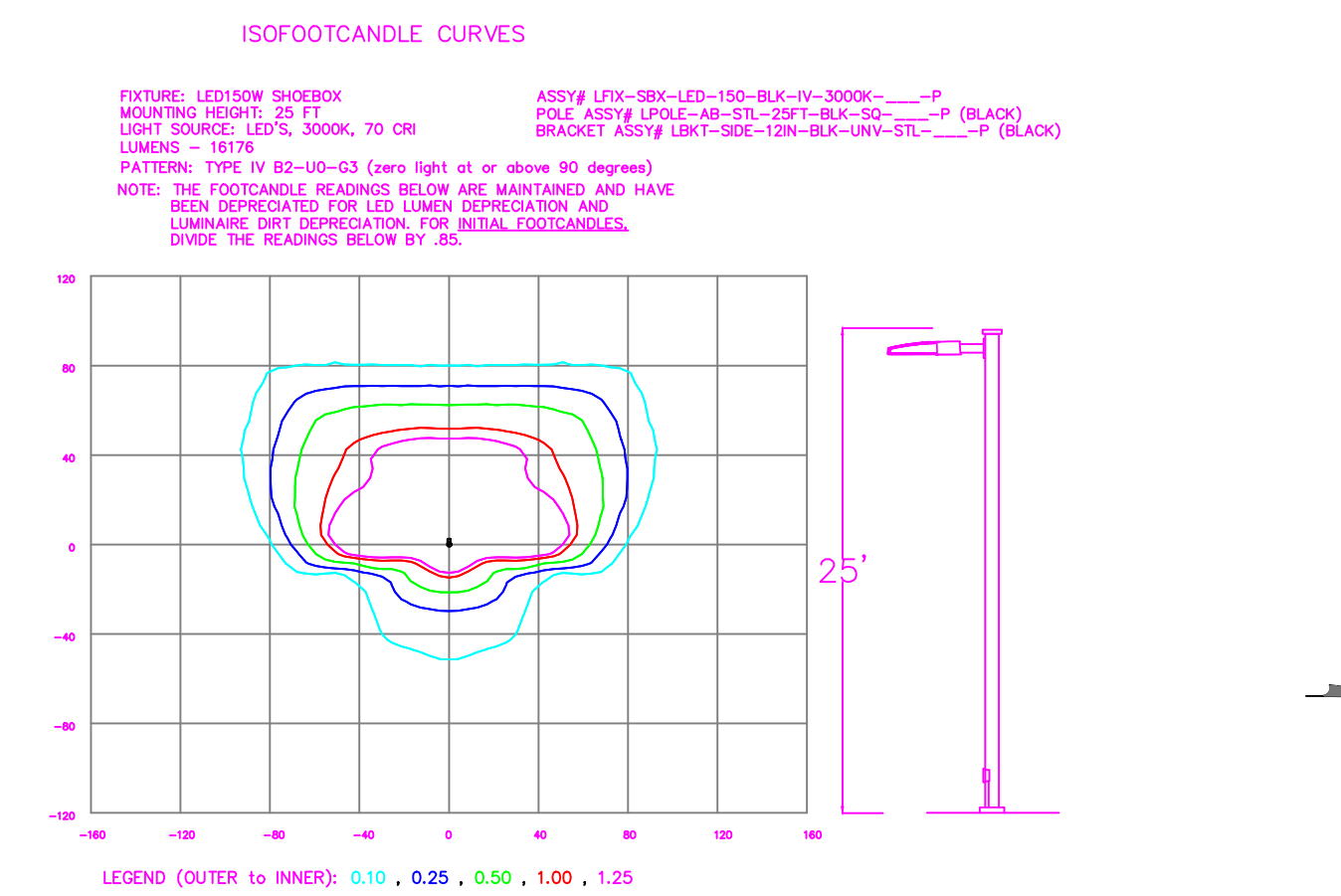
**Mounting height**  
25', 30', 33'

**Color**  
Black | Bronze | Gray | White

**Pole**  
Fiberglass (1 or 2 fixtures per pole)  
Decorative tapered metal  
Decorative square metal

**Applications**  
Neighborhoods  
Roadways  
Shopping centers



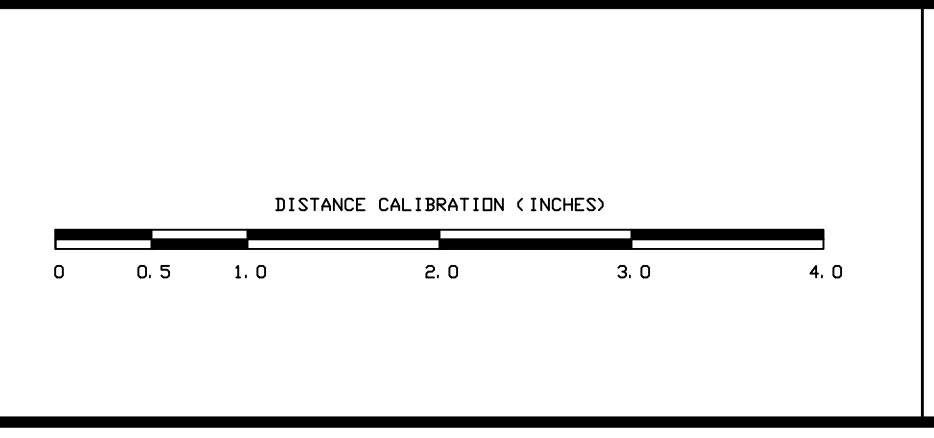


### Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	✕	1.4 fc	2.9 fc	0.4 fc	7.3:1	3.5:1

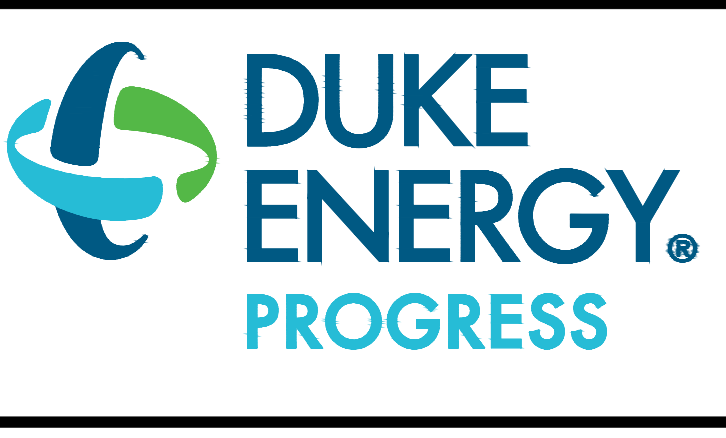
Symbol	Label	QTY	Description	Number Lamps	Lamp Output	LLF
✕	A	19	LED 150w Shoebbox - Type IV - 3000K	48	337	0.85

NO.	DATE	REVISION	BY



**LIGHTING DESIGN TOLERANCE**

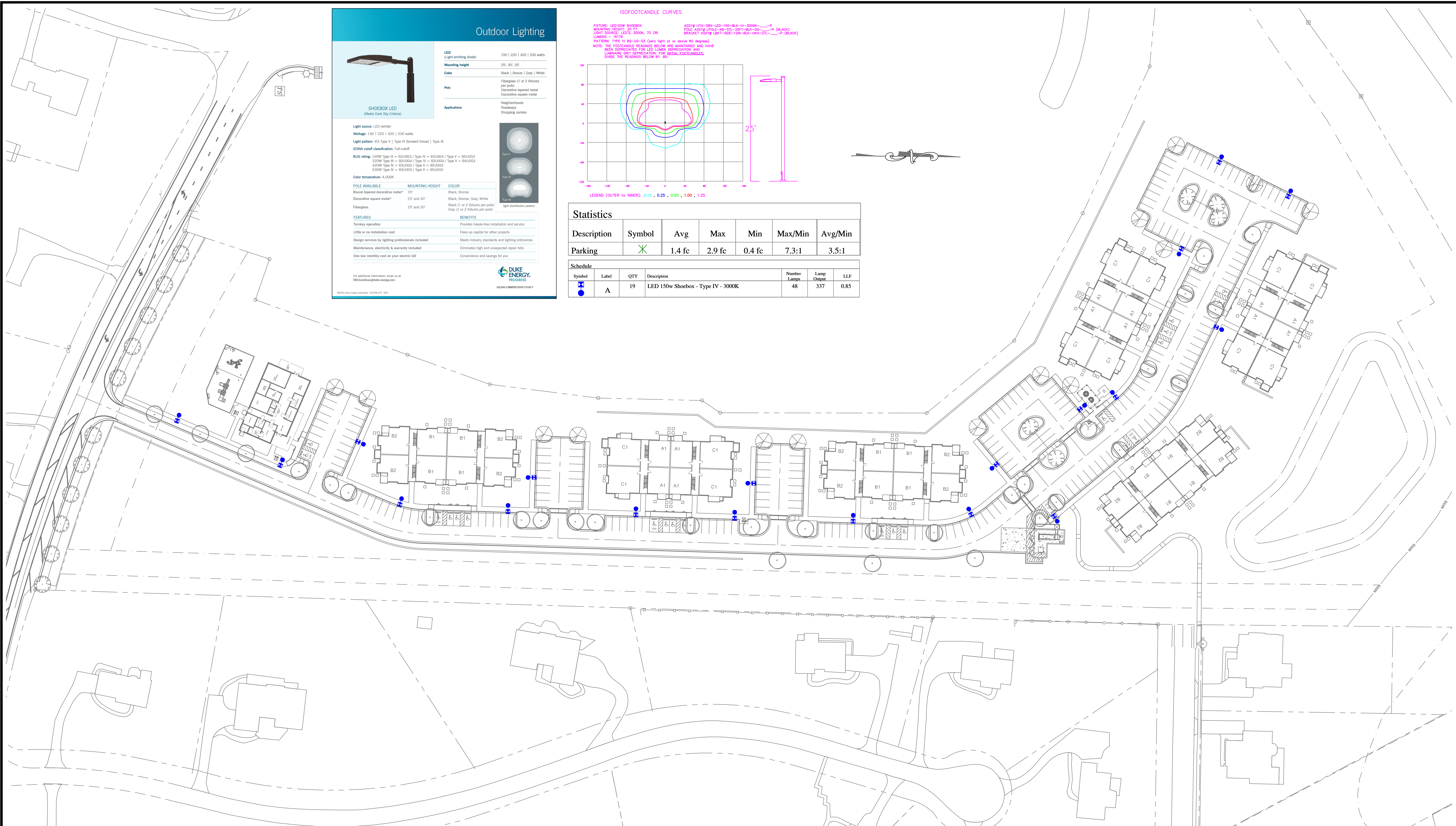
The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.




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<b>BARTON OAKS APARTMENTS</b>	
Raleigh, NC	
SITE LIGHTING ARRANGEMENT	
Designed by <b>DUKE ENERGY PROGRESS LIGHTING SOLUTIONS</b>	
Reviewed by <b>N. Johnson</b>	Scale <b>1" = 50'</b>
Date <b>09/30/2024</b>	Size <b>Drawing size "D"</b>
Description <b>LED Shoebbox</b>	
Drawing No. <b>24-0396A</b>	Sht. <b>1 OF 2</b>



### Outdoor Lighting



**SHOEBOX LED**  
(Meets Dark Sky Criteria)

Light source: LED (white)  
 Wattage: 150 | 220 | 420 | 530 watts  
 Light pattern:IES Type V | Type IV (forward throw) | Type III  
 IESNA cutoff classification: Full cutoff  
 BUG rating: 150W Type III = BSU003 / Type IV = BSU004 / Type V = BSU003  
 220W Type III = BSU004 / Type IV = BSU004 / Type V = BSU003  
 420W Type IV = BSU005 / Type V = BSU005  
 530W Type IV = BSU005 / Type V = BSU005

Color temperature: 4,000K

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Round tapered decorative metal*	33'	Black, Bronze
Decorative square metal*	25' and 30'	Black, Bronze, Gray, White
Fiberglass	25' and 30'	Black (1 or 2 fixtures per pole) Gray (1 or 2 fixtures per pole)


**FEATURES**

- Turnkey operation
- Little or no installation cost
- Design services by lighting professionals included
- Maintenance, electricity & warranty included
- One low monthly cost on your electric bill

**BENEFITS**

- Provides hassle-free installation and service
- Frees up capital for other projects
- Meets industry standards and lighting ordinances
- Eliminates high and unexpected repair bills
- Convenience and savings for you

For additional information, email us at: ODL.Careless@duke-energy.com.



**LED**  
(Light-emitting diode)

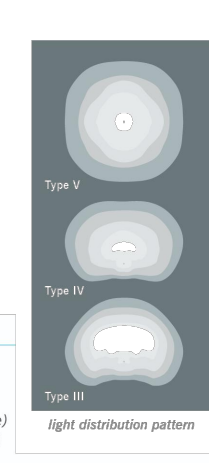
150 | 220 | 420 | 530 watts

**Mounting height**  
25', 30', 33'

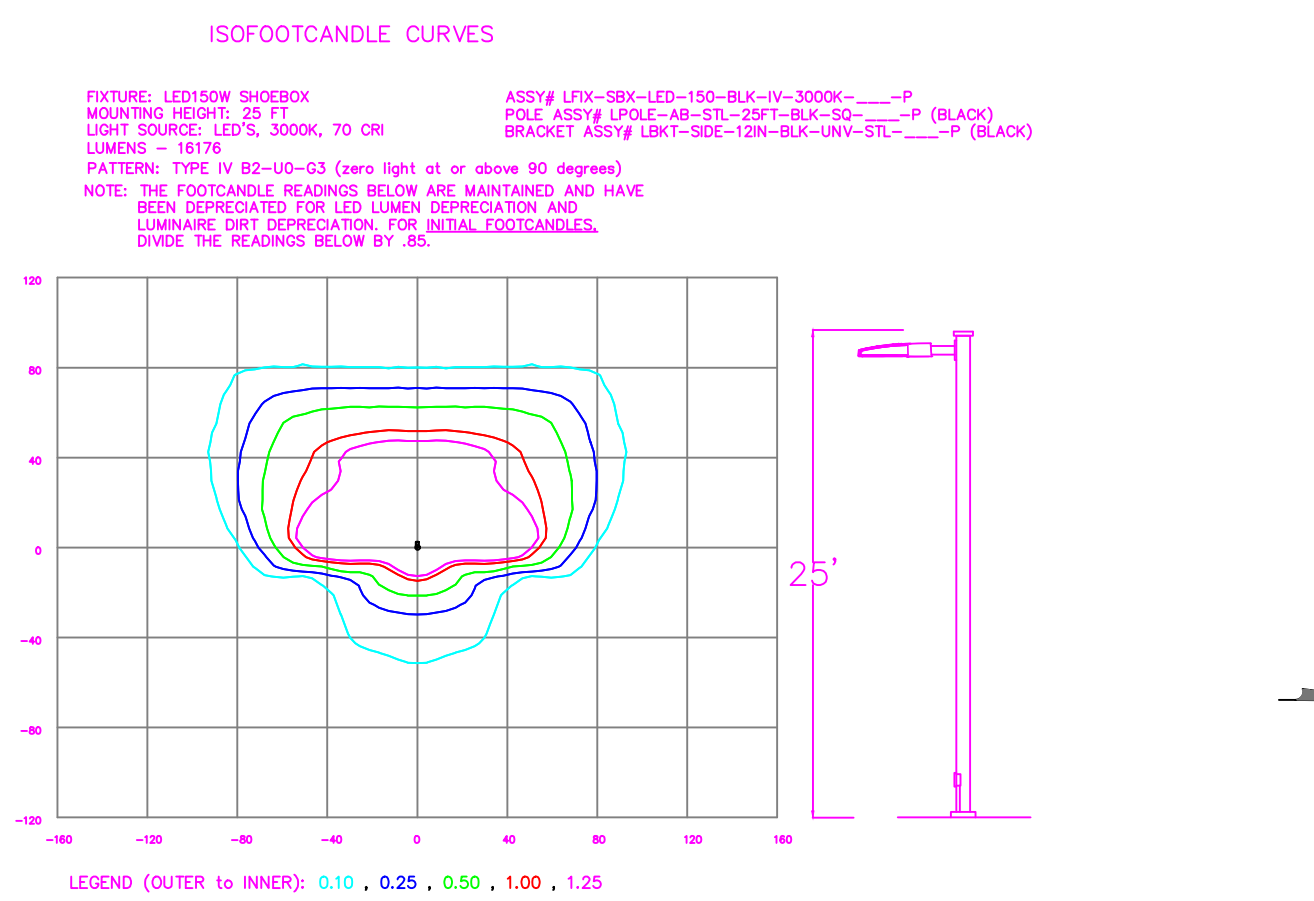
**Color**  
Black | Bronze | Gray | White

**Pole**  
Fiberglass (1 or 2 fixtures per pole)  
Decorative tapered metal  
Decorative square metal

**Applications**  
Neighborhoods  
Roadways  
Shopping centers



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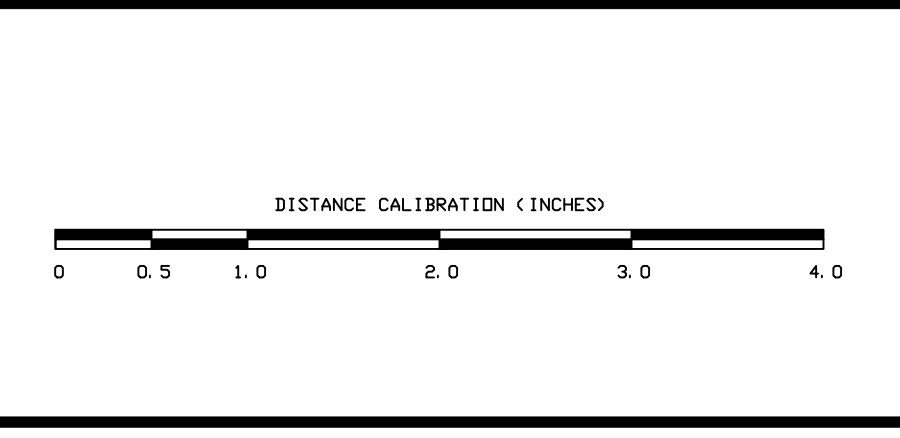
#### Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
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Symbol	Label	QTY	Description	Number Lamps	Lamp Output	LLF
●	A	19	LED 150w Shoebox - Type IV - 3000K	48	337	0.85

NO.	DATE	REVISION	BY



**LIGHTING DESIGN TOLERANCE**

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**BARTON OAKS APARTMENTS**  
Raleigh, NC

**SITE LIGHTING ARRANGEMENT**

Designed by **DUKE ENERGY PROGRESS LIGHTING SOLUTIONS**

Reviewed by N. Johnson Scale 1" = 50'

Date 09/30/2024 Size Drawing size "D"

Description LED Shoebox

Drawing No. 24-0396A Sht. 2 OF 2

BUILDING ELEVATIONS				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVERAGE
BLDG 1	STRICKLAND ROAD	507.25	507.25	507.25
BLDG 2	STRICKLAND ROAD	508.75	508.75	508.75
BLDG 3	STRICKLAND ROAD	506	506	506
BLDG 4	STRICKLAND ROAD	502.5	502.5	502.5
BLDG 5	STRICKLAND ROAD	502.5	490.02	496.2
BLDG 6	STRICKLAND ROAD	502.2	490.02	496.2
CLUBHOUSE	STRICKLAND ROAD	509.85	509.85	509.85



BUILDING 3 - PRIMARY ROAD FACING ELEVATION 3  
1/8" = 1'-0"



BUILDING 2 - PRIMARY ROAD FACING ELEVATION 2  
1/8" = 1'-0"



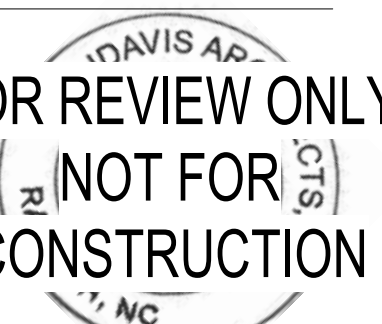
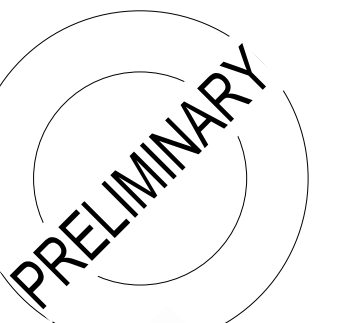
BUILDING 1 - PRIMARY ROAD FACING ELEVATION 1  
1/8" = 1'-0"

1/02/2024, 12:13:43 PM \\jpe-6501\user\jpe\p\d\business\Documents\Autodesk\My Projects\24093 - Barton Oaks - Strickland Rd - Model - brimma\ASSTD.rvt

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ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.

KTJ427 LP

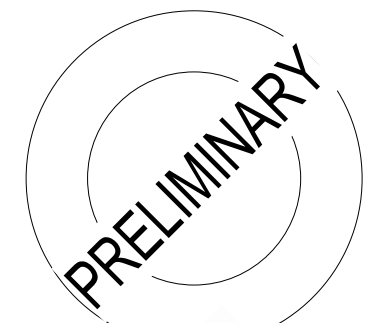


REVISION	DESCRIPTION	DATE

PROJECT: OIC-24093  
 ISSUE: Administrative Site Review 10.04.2024  
 DATE: \_\_\_\_\_

CONTENT: BUILDING ELEVATIONS

KT J427 LP  
**Barton Oaks Apartments**  
 13120 Strickland Road  
 Raleigh, North Carolina 27613



FOR REVIEW ONLY  
**NOT FOR CONSTRUCTION**  
 DATE

REVISION	DESCRIPTION	DATE

CONTENT: BUILDING ELEVATIONS

BUILDING ELEVATIONS				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVERAGE
BLDG 1	STRICKLAND ROAD	507.25	507.25	507.25
BLDG 2	STRICKLAND ROAD	508.75	508.75	508.75
BLDG 3	STRICKLAND ROAD	506	506	506
BLDG 4	STRICKLAND ROAD	502.5	502.5	502.5
BLDG 5	STRICKLAND ROAD	502.5	490.02	496.2
BLDG 6	STRICKLAND ROAD	502.2	490.02	496.2
CLUBHOUSE	STRICKLAND ROAD	509.85	509.85	509.85



**BUILDING 5 - PRIMARY ROAD FACING ELEVATION** 2  
 1/8" = 1'-0"



**BUILDING 4 - PRIMARY ROAD FACING ELEVATION** 1  
 1/8" = 1'-0"

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BUILDING ELEVATIONS				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVERAGE
BLDG 1	STRICKLAND ROAD	507.25	507.25	507.25
BLDG 2	STRICKLAND ROAD	508.75	508.75	508.75
BLDG 3	STRICKLAND ROAD	506	506	506
BLDG 4	STRICKLAND ROAD	502.5	502.5	502.5
BLDG 5	STRICKLAND ROAD	502.5	490.02	496.2
BLDG 6	STRICKLAND ROAD	502.2	490.02	496.2
CLUBHOUSE	STRICKLAND ROAD	509.85	509.85	509.85

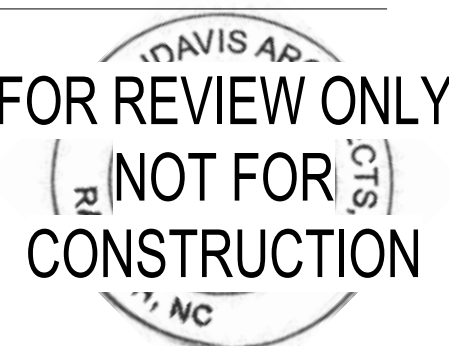
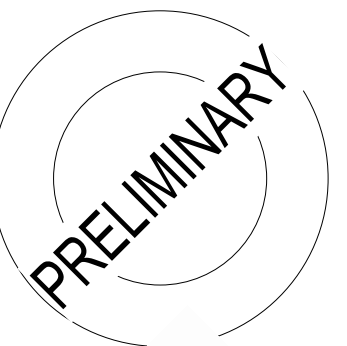


BUILDING 6 - PRIMARY ROAD FACING ELEVATION

1/8" = 1'-0"

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KTJ427 LP  
**Barton Oaks Apartments**  
 13120 Strickland Road  
 Raleigh, North Carolina 27613

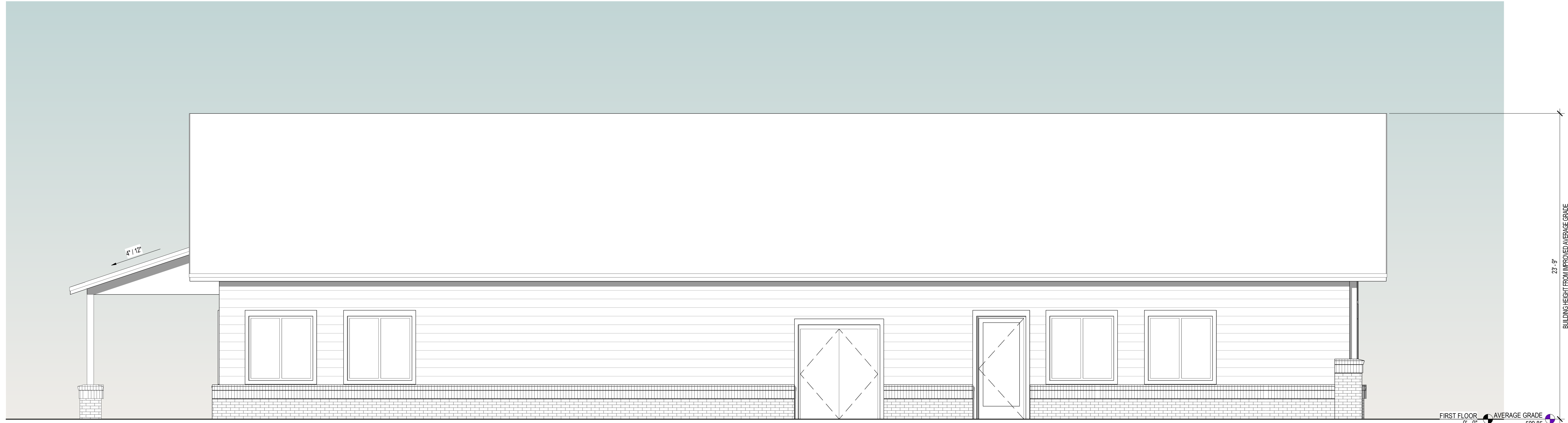


REVISION	DESCRIPTION	DATE

PROJECT: OIC-24093  
 ISSUE: Administrative Site Review  
 DATE: 10.04.2024

CONTENT: BUILDING ELEVATIONS

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BACK PORCH

BUILDING ELEVATIONS				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVERAGE
BLDG 1	STRICKLAND ROAD	507.25	507.25	507.25
BLDG 2	STRICKLAND ROAD	508.75	508.75	508.75
BLDG 3	STRICKLAND ROAD	506	506	506
BLDG 4	STRICKLAND ROAD	502.5	502.5	502.5
BLDG 5	STRICKLAND ROAD	502.5	490.02	496.2
BLDG 6	STRICKLAND ROAD	502.2	490.02	496.2
CLUBHOUSE	STRICKLAND ROAD	509.85	509.85	509.85

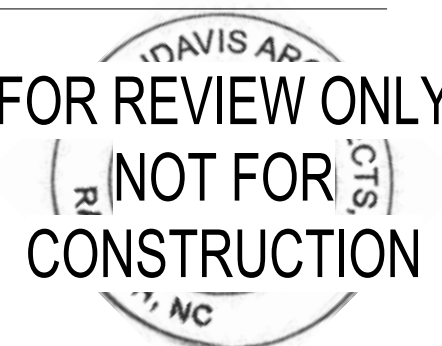
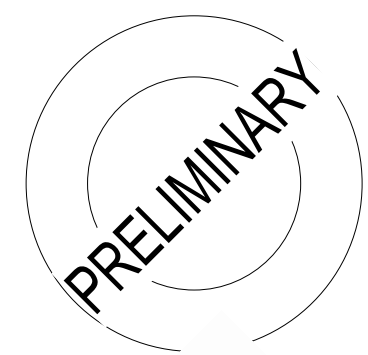
CLUB - PRIMARY FACING ELEVATION

1/4" = 1'-0"

1

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REVISION	DESCRIPTION	DATE

CONTENT: BUILDING ELEVATIONS

A3.04

KTJ427 LP  
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 13120 Strickland Road  
 Raleigh, North Carolina 27613