

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

**Site Plan Tier:** Tier Two Site Plan  Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____

## GENERAL INFORMATION

Development name: \_\_\_\_\_

Inside City limits? Yes  No

Property address(es): \_\_\_\_\_

Site P.I.N.(s): \_\_\_\_\_

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

### Current Property Owner(s):

Company: \_\_\_\_\_ Title: \_\_\_\_\_

Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

### Applicant Name (If different from owner. See “who can apply” in instructions):

Relationship to owner:  Lessee or contract purchaser  Owner’s authorized agent  Easement holder

Company: \_\_\_\_\_ Address: \_\_\_\_\_

Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b>	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

**APPLICANT SIGNATURE BLOCK**

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:	Date:
Printed Name:	
Signature:	Date:
Printed Name:	

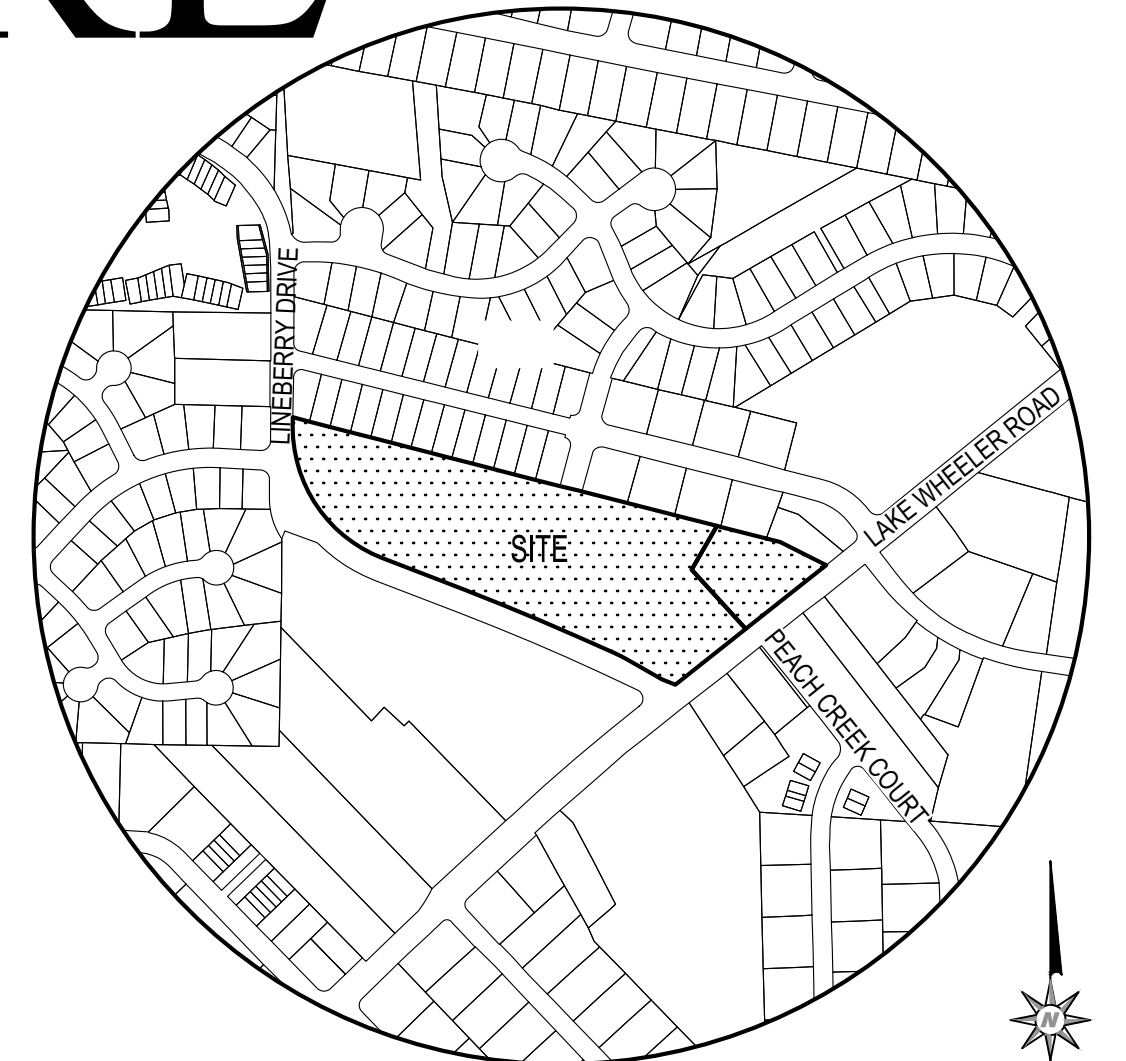


# PRUITT WAKE HEALTHCARE EXPANSION

## CITY OF RALEIGH - WAKE COUNTY, NORTH CAROLINA ADMINISTRATIVE SITE REVIEW (ASR) PACKAGE

ADMINISTRATIVE SITE REVIEW #ASR-XXXX-2024

1st SUBMITTAL TO CITY OF RALEIGH: OCTOBER 11, 2024



VICINITY MAP  
SCALE: 1" = 500'

PUBLIC IMPROVEMENTS QUANTITY TABLE	
ITEM	QUANTITY
PUBLIC WATER (LF)	53 LF
PUBLIC STREET (LF)	247 LF
PUBLIC SIDEWALK (LF)	258 LF
WATER SERVICE STUBS	1
SEWER SERVICE STUBS	1

**SITE INFORMATION:**

LOCATION: 2420 LAKE WHEELER ROAD, RALEIGH, NC 27608  
2412 LAKE WHEELER ROAD, RALEIGH, NC 27608

COUNTY: WAKE

PARCEL #: 0792-67-0305 (2420)  
0792-67-5288 (2412)

REID #: 0042267 (2420) / 0292252 (2412)

DB/PG: 10840 / 301 (2420)  
25645 / 1999 (2412)

CURRENT ZONING: R-10-CU

ACREAGE (PRIOR TO ROW DEDICATION): 9.76 AC (425,532 SF)

ACREAGE (AFTER ROW DEDICATION): 9.59 AC (418,003 SF)

LAND CLASS: NURSING HOME

PROPOSED USE: CONGREGATE CARE

RIGHT OF WAY & OTHER AREAS:  
RIGHT OF WAY DEDICATION: 0.17 AC (7,529 SF)  
GREENWAY DEDICATION: N/A

TREE CONSERVATION AREA:  
NET PROPERTY AREA: 9.76 AC (425,532 SF)  
TCR REQUIRED: 0.88 AC (42,552 SF) (10% MIN.)  
TCR PROVIDED: 1.20 AC (52,149) (12.5%)  
MAX. HEIGHT (R10-CU): 45'

REQUIRED PARKING (CONGREGATE CARE):  
VEHICULAR PARKING:  
MAX. ALLOWED PARKING: NONE  
EXISTING PARKS: 116 PARKS (5 HIC PARKS)  
DEMOED PARKS: 29 PARKS (2 HIC PARKS)  
PROPOSED PARKS: 11 PARKS (2 HIC PARKS)

TOTAL PARKING: 96 PARKS (5 HIC PARKS)

BICYCLE PARKING:  
REQUIRED SHORT TERM: NONE  
REQUIRED LONG TERM: NONE

PROVIDED SHORT TERM: 0  
PROVIDED LONG TERM: 0

SETBACKS (R-10 CU DISTRICT):  
BUILDING:  
FROM PRIMARY STREET (MIN.): 10'  
FROM SIDE STREET (MIN.): 10'  
FROM SIDE LOT LINE (MIN.): 10'  
FROM REAR LOT LINE (MIN.): 10'

PARKING:  
FROM PRIMARY STREET (MIN.): 10'  
FROM SIDE STREET (MIN.): 10'  
FROM SIDE / REAR LOT LINE (MIN.): 6'

IMPERVIOUS AREAS (PROJECT AREA):  
EXISTING IMPERVIOUS:  
PAVEMENT/SIDEWALKS: 1.99 AC (86,787 SF)  
GRAVEL: 0.06 AC (2,811 SF)  
BUILDING: 1.49 AC (65,008 SF)  
TOTAL EXISTING IMPERVIOUS: 3.55 AC (154,606 SF) (36.4%)

DEMOED IMPERVIOUS:  
PAVEMENT/SIDEWALKS: 0.06 AC (2,574 SF)  
GRAVEL: 0.06 AC (2,811 SF)  
BUILDING: 0.05 AC (2,007 SF)  
TOTAL REMOVED IMPERVIOUS: 0.17 AC (7,392 SF)

PROPOSED IMPERVIOUS:  
PAVEMENT: 0.05 AC (2,021 SF)  
SIDEWALKS/CONCRETE PADS: 0.11 AC (4,596 SF)  
BUILDING: 0.56 AC (24,201 SF)  
TOTAL PROPOSED IMPERVIOUS: 0.71 AC (30,818 SF)

TOTAL:  
PAVEMENT: 1.63 AC (70,999 SF)  
SIDEWALKS/CONCRETE PADS: 0.46 AC (19,831 SF)  
BUILDING: 2.00 AC (87,202 SF)  
TOTAL IMPERVIOUS: 4.09 AC (178,032 SF) (41.9%)

UTILITY DEMANDS:  
SEWER/WATER USAGE (24 BEDS): 75 GAL/DAY/BED = 1,800 GPD

### DRAWING INDEX

- C-0.0 COVER SHEET
- C-0.1 CIVIL NOTES
- C-1.0 OVERALL EXISTING CONDITIONS SURVEY
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- C-2.0 DEMOLITION PLAN
- C-2.1 RECOMBINATION PLAN
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- C-6.0 LIGHTING PLAN
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- D-2.0 SCM DETAILS I
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### Administrative Site Review Application

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Office Use Only: Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan  Tier Three Site Plan

Building and Development Type (Check all that apply)	Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> Subdivision case #:
<input checked="" type="checkbox"/> General	<input type="checkbox"/> Scoping/sketch plan case #:
<input type="checkbox"/> Attached	<input type="checkbox"/> Certificate of Appropriateness #:
<input type="checkbox"/> Mixed use	<input type="checkbox"/> Board of Adjustment #:
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Zoning Case #:
<input type="checkbox"/> Apartment	<input type="checkbox"/> Design Alternate #:
<input type="checkbox"/> Tiny house	
<input type="checkbox"/> Open lot	
<input type="checkbox"/> Frequent Transit Development Option	

**GENERAL INFORMATION**

Development name: Pruitt Wake Healthcare Site Expansion

Inside City limits? Yes  No

Property address(es): 2420 & 2412 Lake Wheeler Road

Site P.I.N. (s): 0792 67 0305, 0792 67 5288

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  
Proposed 24-bed and physical therapy addition with associated site parking and utility improvements.

Current Property Owner(s): Nicole Frazier  
Company: Wake Healthcare Properties Title: Sr. VP Community Improvements  
Address: 1626 Jeurgens Ct., Norcross, GA 30093  
Phone #: 678-533-6770 Email: nfrazier@pruitthealth.com

Applicant Name (if different from owner. See "who can apply" in instructions):  
Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder  
Company: Curry Engineering Address: 205 S. Fuquay Ave., Fuquay-Varina, NC 27526

Phone #: 919-552-0849 Email: don@curryeng.com

**NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.**

Developer Contact: Nicole Frazier  
Company: Wake Healthcare Properties Title: Sr. VP Community Improvements  
Address: 1626 Jeurgens Ct., Norcross, GA 30093  
Phone #: 678-533-6770 Email: nfrazier@pruitthealth.com

Applicant Name: Don Curry  
Company: Curry Engineering Address: 205 S. Fuquay Ave., Fuquay-Varina, NC 27526  
Phone #: 919-552-0849 Email: don@curryeng.com

**DEVELOPMENT TYPE + SITE DATE TABLE**  
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-10-CU, 9.76 ac	Existing gross floor area (not to be demolished): 59,483 sf
Gross site acreage: 9.76 ac	Existing gross floor area to be demolished: 0
# of parking spaces proposed: 98	New gross floor area: 24,201 sf
Max # parking permitted (7.1.2.C): none	Total sf gross (to remain and new): 82,684 sf
Overlay District (if applicable): SRPOD	Proposed # of buildings: 1
Existing use (UDO 6.1.4): Congregate Care	Proposed # of stories for each: 1
Proposed use (UDO 6.1.4): Congregate Care	Proposed # of basement levels (UDO 1.5.7.A.6) 0

**STORMWATER INFORMATION**

Imperious Area on Parcel(s):	Imperious Area for Compliance (includes ROW):
Existing (sf) 154,639 Proposed total (sf) 178,161	Existing (sf) 154,639 Proposed total (sf) 185,182

**RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS**

Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots: 1	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

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Signature: \_\_\_\_\_ Date: 10/11/2024  
Printed Name: Nicole Frazier, Sr. VP Pruitt Wake Healthcare Properties  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Printed Name: \_\_\_\_\_

ASR-XXXX-2024 APPLICATION

**Owner:**  
PruittHealth  
1626 Jeurgens Court  
Norcross, GA 30093  
678.533.6770 (o)  
706.491.9099 (m)  
Contact: Nicole Frazier  
nfrazier@pruitthealth.com

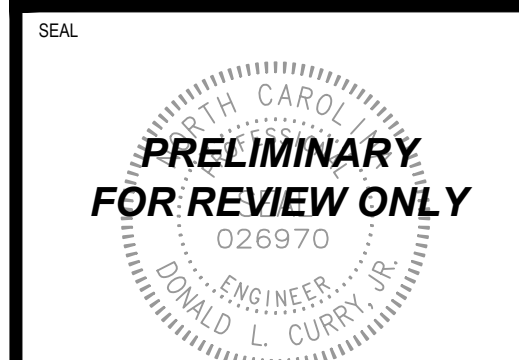
**Surveyor:**  
Mauldin-Watkins Surveying, PA  
139 N Main Street  
Fuquay-Varina, NC 27526  
919.552.9326 (o)  
Contact: Wayne Mauldin, PLS

**Civil Engineer:**  
The Curry Engineering Group, PLLC  
205 S. Fuquay Ave  
Fuquay-Varina, NC 27526  
919.552.0849 (o)  
919.880.9857 (m)  
Contact: Don Curry, PE  
don@curryeng.com

**Architect:**  
David Polston  
3806 Park Ave, Suite 2L  
Wilmington, NC 28493  
910.350.8900 (o)  
Contact: David Polston, AIA  
polstonaia@bellsouth.net

**Landscape Architect:**  
Southwell Design, PLLC  
P.O. Box 37178  
Raleigh, NC 27627  
919.272.6729 (v)  
Contact: Adam Southwell, PLA, ASLA  
adam@southwelldesign.com

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS



NOT FOR CONSTRUCTION



C-0.0

PRUITT WAKE HEALTHCARE EXPANSION COVER SHEET

205 S. Fuquay Avenue  
Fuquay-Varina, NC 27526  
T: (919) 552-0849  
F: (919) 552-2643

REVISIONS

NO.	DATE	DESCRIPTION
1	10/11/2024	HORIZ. SCALE - NONE
2	10/11/2024	CONG. SHEET SIZE - 24x36

ASR-XXXX-2024

PRUITT WAKE HEALTHCARE EXPANSION - RALEIGH STANDARDS & SPECIFICATIONS - RALEIGH, NC - 10/11/2024 10:33 AM





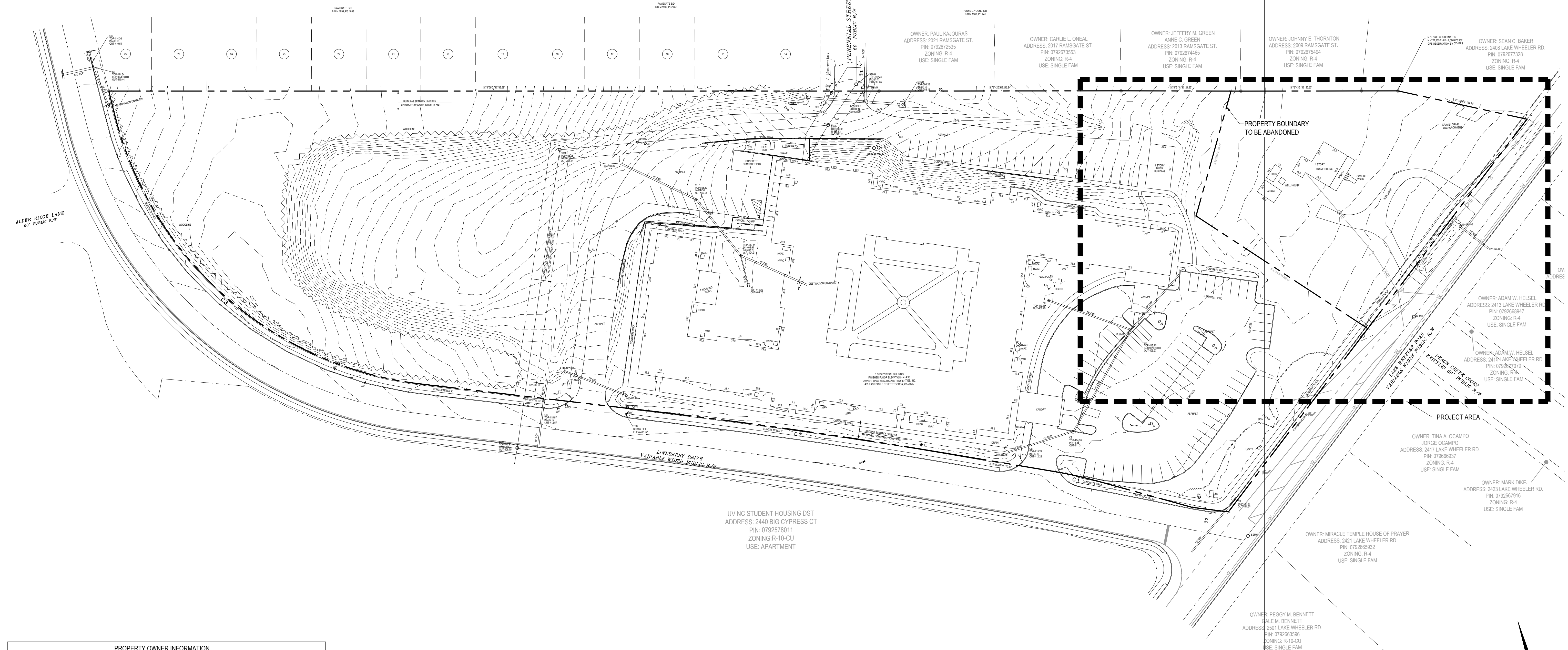


REVISIONS	
DATE: 10.11.2024	FILE NO: 2021387
HORIZ SCALE: 1" = 50'	VERT SCALE: 1" = 10'
CING. SHEET SIZE: 24" x 36"	

**PRUITT WAKE HEALTHCARE EXPANSION  
OVERALL EXISTING CONDITIONS SURVEY**

208 S. Fuquay Avenue  
Fuquay-Varina, NC 27526  
T (919) 552-2649  
F (919) 552-2643

**Curry**  
ENGINEERING  
C-1.0



PROPERTY OWNER INFORMATION					
LOT #	OWNER	ADDRESS	PIN	ZONING	USE
26	MCDONALD MORRISON DEBORAH MORRISON	2149 RAMSGATE ST	0792574735	R-6-CU	SINGLE FAM
25	STEPHEN B. CONGDON ELIZABETH R. CONGDON	2145 RAMSGATE ST	079254784	R-6-CU	SINGLE FAM
24	JAMES W. TOWNSEND JR PAMELA R. TOWNSEND	2141 RAMSGATE ST	0792575732	R-6-CU	SINGLE FAM
23	SHELIA D. CAMPBELL	2137 RAMSGATE ST	0792575792	R-6-CU	SINGLE FAM
22	ANDREW R. KURTH	2133 RAMSGATE ST	0792576740	R-6-CU	SINGLE FAM
21	TIANSHU WU	2129 RAMSGATE ST	0792576699	R-6-CU	SINGLE FAM
20	JASON A. OSBORNE	2125 RAMSGATE ST	0792577667	R-6-CU	SINGLE FAM
19	NICOLAS H. COFFEY HALEY J. COFFEY	2121 RAMSGATE ST	0792578606	R-6-CU	SINGLE FAM
18	NARAYAN D. PERSAUD SARAH A. PERSAUD	2117 RAMSGATE ST	0792578665	R-6-CU	SINGLE FAM
17	HOUSING AUTHORITY CITY OF RALEIGH	2113 RAMSGATE ST	0792579613	R-6-CU	SINGLE FAM
16	WENDY J. COTTLE	2109 RAMSGATE ST	0792579662	R-6-CU	SINGLE FAM
15	HOUSING AUTHORITY CITY OF RALEIGH	2105 RAMSGATE ST	0792570620	R-6-CU	SINGLE FAM
14	JOANNE B. CATANZARO THOMAS J. CATANZARO	2101 RAMSGATE ST	0792570578	R-6-CU	SINGLE FAM

**ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH  
CITY OF RALEIGH STANDARDS & SPECIFICATIONS**

Course	Bearing	Distance
L1	S 75°46'01" E	37.09'
L2	N 68°30'30" W	37.08'
L3	N 00°34'31" E	26.25'

Curve	Radius	Length	Chord	Chord Bear.
C1	425.00'	43.94'	43.92'	N 63°08'02" W
C2	6184.98'	307.83'	307.80'	N 67°31'17" W
C3	365.00'	439.21'	413.20'	N 34°28'26" W

**GENERAL NOTES:**

- THIS PLAN IS NOT INTENDED FOR PLATTING OR RECORDATION.
- THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE EXISTING FEATURES, STRUCTURES AND TOPOGRAPHY OF THE PROPERTY. THE INFORMATION SHOWN ON THIS PLAN WAS PROVIDED AND DEVELOPED BY OTHERS. CURRY ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION. THIS IT HAS NOT BEEN SEALED. SURVEY INFORMATION SHOWN WITHIN THE PARENT PROPERTY BOUNDARY REPRESENTS FIELD SURVEY INFORMATION CONDUCTED IN JUNE 2022 BY MCADAMS SURVEYORS.
- NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
- AREAS COMPUTED BY THE COORDINATE METHOD.
- THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
- ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
- THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE X FLOODPLAIN PER FEMA FIRM PANEL 3720079200J DATED 05/02/06
- VERTICAL DATUM: NAVD88, HORIZONTAL DATUM: NAD83
- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, DEPTHS, AND MATERIALS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITY ON SITE. UNDERGROUND UTILITIES ARE SHOWN BASED ON MARKINGS PROVIDED BY THE NC ONE CALL CENTER AND ABOVE GROUND EVIDENCE. EXISTING CONDITIONS SHOULD BE CONSIDERED APPROXIMATE IN NATURE. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE THE ACCURACY OF THE INFORMATION GIVEN, ACTUAL FIELD CONDITIONS MAY VARY AND SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.

**LEGEND**

- EXISTING IRON PIPE (CONTROL POINT)
- IRON STAKE SET (UNLESS OTHERWISE NOTED)
- EXISTING CONCRETE MONUMENT (CONTROL POINT)
- CONCRETE MONUMENT SET
- × COMPUTED POINT ONLY
- ⊙ SANITARY SEWER MANHOLE
- 40 D NAIL

**EIS EXISTING IRON STAKE**

- PROPERTY BOUNDARY
- HERITAGE TREE BUFFER
- EASEMENT
- 500 YR FLOOD PLAIN
- 100 YR FLOOD PLAIN
- FLOODWAY
- WETLANDS BOUNDARY
- RIPARIAN BUFFER
- OVERHEAD POWER
- U/G FIBER
- U/G TELECOMMUNICATIONS
- EXISTING WATER
- SS — EXISTING SANITARY SEWER
- FLOOD HAZARD SOILS BOUNDARY
- MINOR CONTOUR
- MAJOR CONTOUR

**Surveyor:**  
**Mauldin-Watkins Surveying, P**  
139 N Main Street  
Fuquay-Varina, NC 27526  
919.552.9326 (o)  
Contact: Wayne Mauldin, PLS

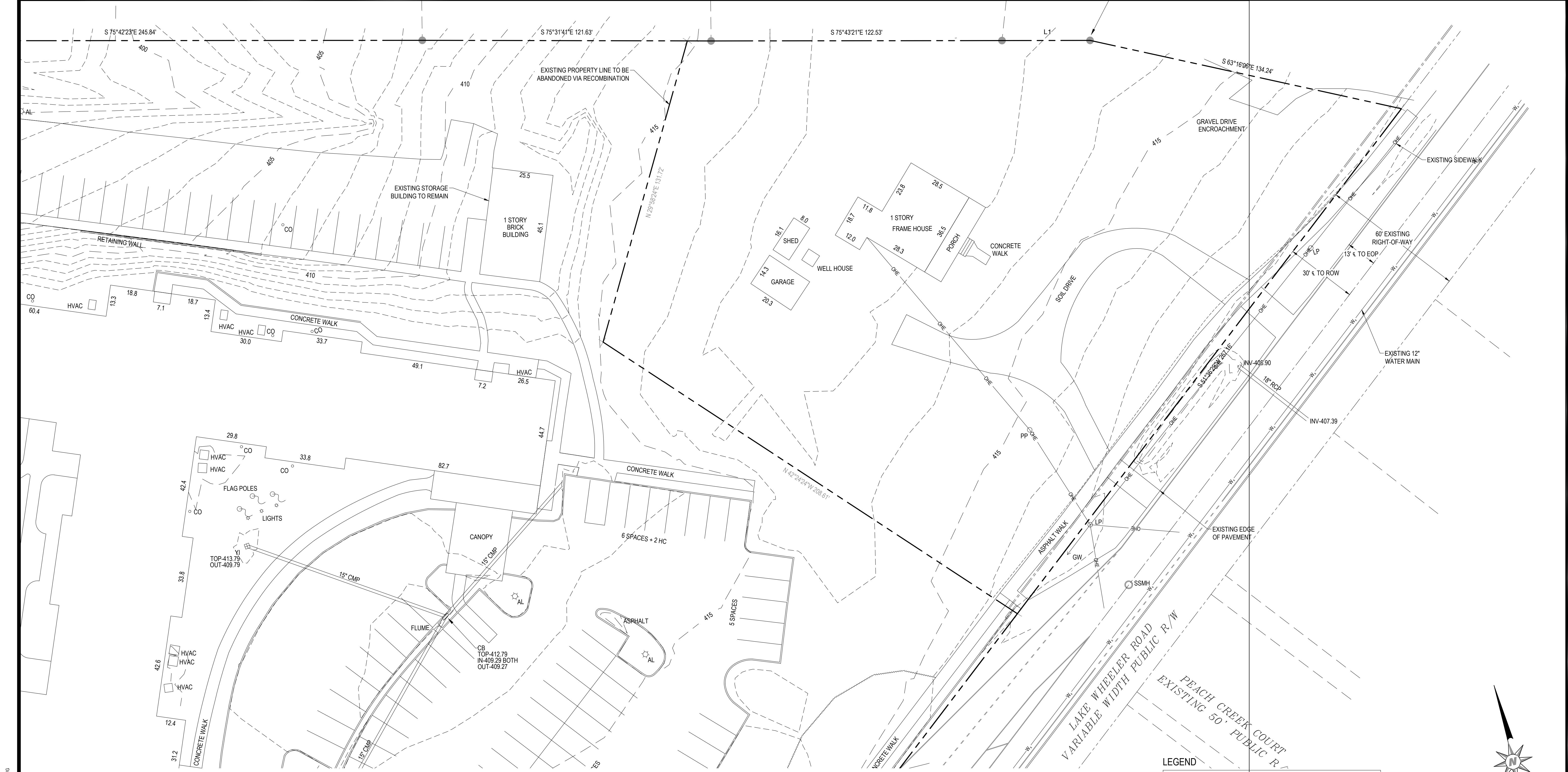
SCALE: 1 IN = 50 FT  
SCALE IN FEET  
HORIZONTAL

PROFESSIONAL ENGINEER SEAL  
NOT AFFIXED TO SHEET AS  
ENGINEER DOES NOT CERTIFY  
INFORMATION PROVIDED BY  
OTHERS

NOT FOR CONSTRUCTION

DRAWN BY: CURRY ENGINEERING; CHECKED BY: CURRY ENGINEERING; DATE: 10/11/2024; PROJECT: LAKE WHEELER EXPANSION - RALEIGH STANDARDS SHEET FILES.C1.0 OVERALL EXISTING CONDITIONS SURVEY DWG.





NO.	DATE	DESCRIPTION

**PRUITT WAKE HEALTHCARE EXPANSION**  
**EXISTING CONDITIONS PLAN**

208 S. Fuquay Avenue  
Fuquay-Varina, NC 27526  
T (919) 552-2849  
F (919) 552-2843

**Curry**  
ENGINEERING

C-1.1

DRAWN BY: J. B. BROWN; CHECKED BY: J. B. BROWN; DATE: 10/11/2024; FILE NO.: 2023-0867; C-1.1 EXISTING CONDITIONS PLAN

**ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS**

Course	Bearing	Distance
L1	S 75°46'01" E	37.09'
L2	N 68°30'30" W	37.08'
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Curve	Radius	Length	Chord	Chord Bear.
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  - NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
  - AREAS COMPUTED BY THE COORDINATE METHOD.
  - THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
  - ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
  - THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE X FLOODPLAN PER FEMA FIRM PANEL 3720079200J DATED 05/02/06
  - VERTICAL DATUM: NAVD88, HORIZONTAL DATUM: NAD83
  - CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, DEPTHS, AND MATERIALS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITY ON SITE. UNDERGROUND UTILITIES ARE SHOWN BASED ON MARKINGS PROVIDED BY THE NC ONE CALL CENTER AND ABOVE GROUND EVIDENCE. EXISTING CONDITIONS SHOULD BE CONSIDERED APPROXIMATE IN NATURE. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE THE ACCURACY OF THE INFORMATION GIVEN, ACTUAL FIELD CONDITIONS MAY VARY AND SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.

**LEGEND**

- EXISTING IRON PIPE (CONTROL POINT)
- IRON STAKE SET (UNLESS OTHERWISE NOTED)
- EXISTING CONCRETE MONUMENT (CONTROL POINT)
- CONCRETE MONUMENT SET
- × COMPUTED POINT ONLY
- ⊙ SANITARY SEWER MANHOLE
- 40 D NAIL

**EIS EXISTING IRON STAKE**

- PROPERTY BOUNDARY
- - - HERITAGE TREE BUFFER
- - - EASEMENT
- 500 YR FLOOD PLAIN
- 100 YR FLOOD PLAIN
- FLOODWAY
- WETLANDS BOUNDARY
- RIPARIAN BUFFER
- OVERHEAD POWER
- U/G FIBER
- U/G TELECOMMUNICATIONS
- EXISTING WATER
- EXISTING SANITARY SEWER
- FLOOD HAZARD SOILS BOUNDARY
- MINOR CONTOUR
- MAJOR CONTOUR

**Surveyor:**  
**Mauldin-Watkins Surveying, P**  
139 N Main Street  
Fuquay-Varina, NC 27526  
919.552.9326 (o)  
Contact: Wayne Mauldin, PLS

SCALE: 1 IN = 20 FT  
SCALE IN FEET  
HORIZONTAL

PROFESSIONAL ENGINEER SEAL  
NOT AFFIXED TO SHEET AS  
ENGINEER DOES NOT CERTIFY  
INFORMATION PROVIDED BY  
OTHERS

NOT FOR CONSTRUCTION

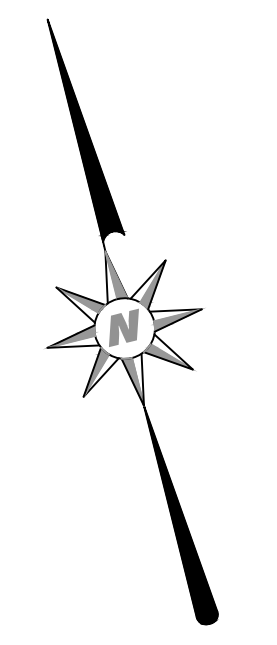
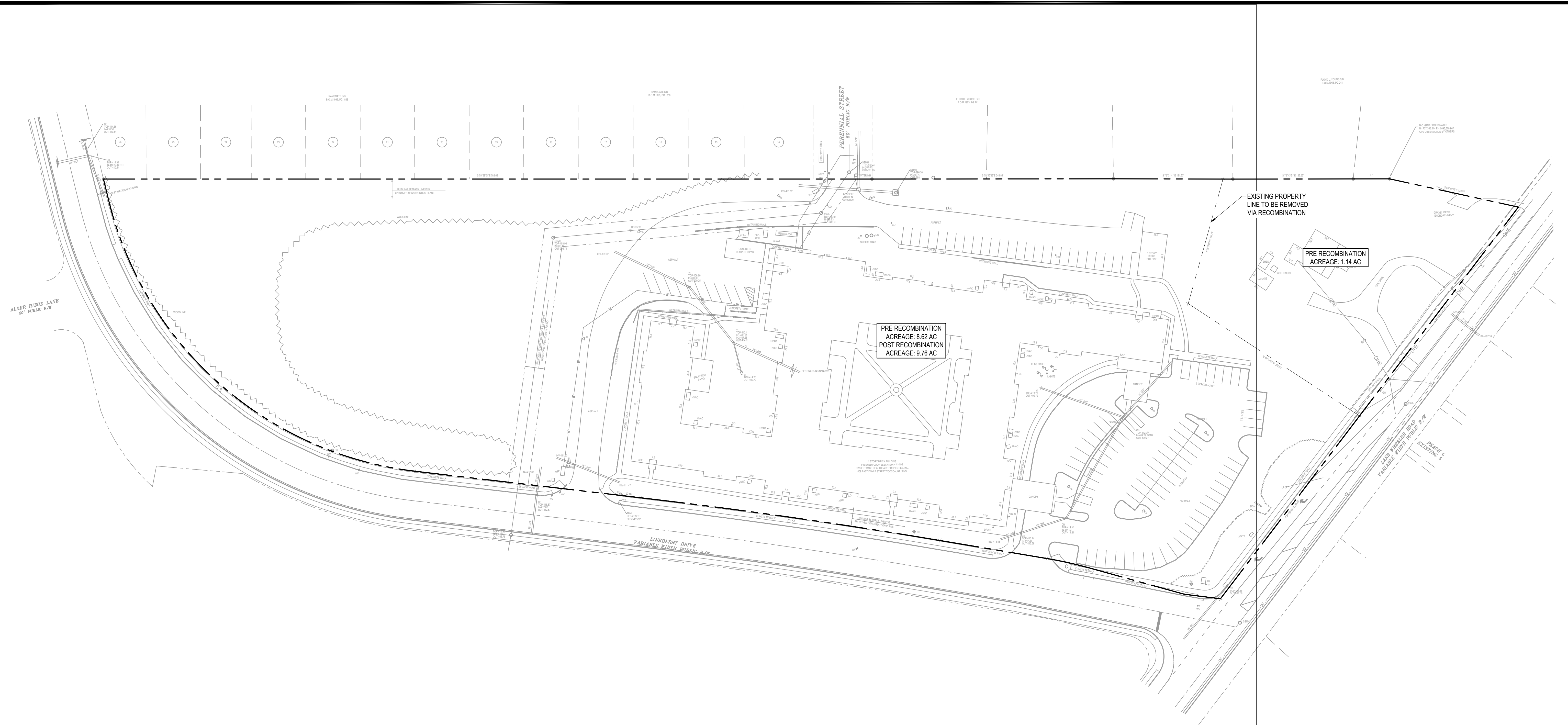




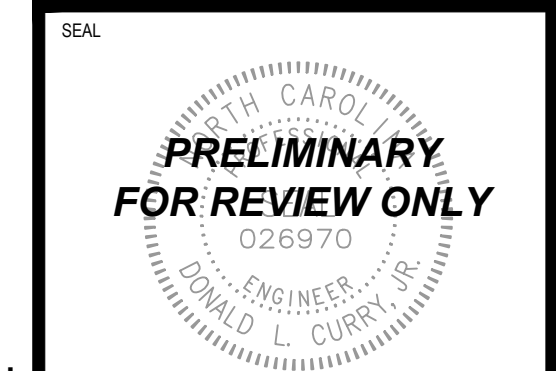


PROJECT: 10/11/2024 10:39 AM  
DRAWING: 10/11/2024 10:39 AM  
FILE: C:\PROJECTS\2024\10\11\2024\1039\1039.DWG  
PLOT: 10/11/2024 10:39 AM

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH  
CITY OF RALEIGH STANDARDS & SPECIFICATIONS



SCALE: 1 IN = 50 FT  
SCALE IN FEET  
HORIZONTAL



NOT FOR CONSTRUCTION

NO.	DATE	DESCRIPTION

# PRUITT WAKE HEALTHCARE EXPANSION RECOMBINATION PLAN

T (919) 552-2849  
F (919) 552-2843  
208 S. Fidelity Avenue  
Fayetteville, NC 27408



C-2.1

DATE: 10.11.2024  
FILE NO: 20240867  
HORZ SCALE: 1" = 50'  
VERT SCALE: 1" = 20'



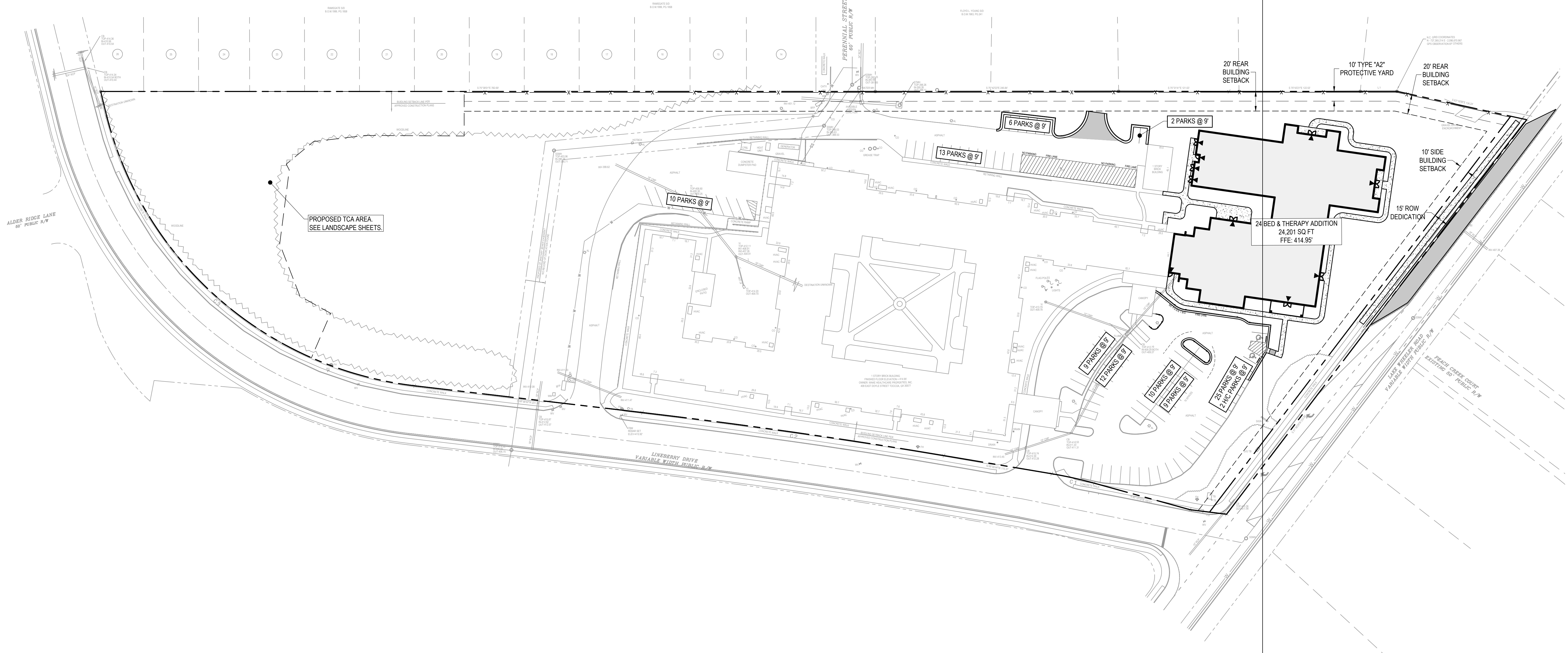
REVISIONS		
DATE: 10.11.2024	HORIZ SCALE: 1" = 60'	ORIG. SHEET SIZE: 24" x 36"
FILE NO: 2021367		

# PRUITT WAKE HEALTHCARE EXPANSION

## OVERALL SITE PLAN

208 S. Fidelity Avenue  
Fayetteville, NC 27808  
T (919) 552-2849  
F (919) 552-2843

**Curry**  
ENGINEERING  
C-3.0



PROPOSED TCA AREA.  
SEE LANDSCAPE SHEETS.

24 BED & THERAPY ADDITION  
24,201 SQ FT  
FFE: 414.95'

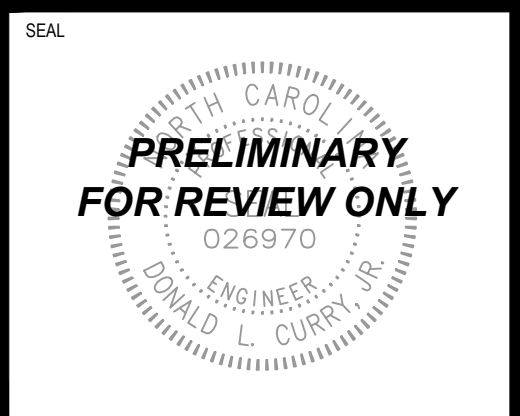
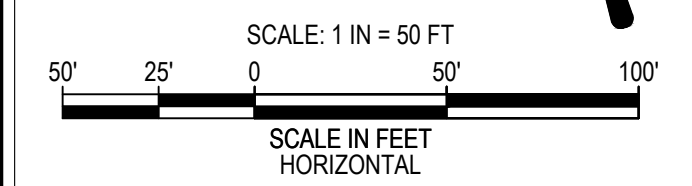
**ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS**

**LEGEND**

	ADA PARKING SPACE
	POLE LIGHT
	BOLLARD LIGHT
	SIGN
	CONCRETE WHEEL STOP
	TRAFFIC FLOW ARROWS
	ACCESSIBLE ROUTE
	ROADWAY CENTER LINE
	RIGHT OF WAY LINE
	SETBACK LINE
	EASEMENT
	VALLEY CURB & GUTTER
	STANDARD CURB & GUTTER
	SPILL CURB & GUTTER
	FENCE & GATE
	SIDEWALK
	CONCRETE SIDEWALK
	ASPHALT PAVEMENT
	PROPOSED ADDITION

**GENERAL NOTES**

- BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
- ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE IN FEET AND TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
- PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
- CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
- ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- ENTRY SIGNS SHALL BE LOCATED IN A DEDICATED EASEMENT. SIGN MUST REMAIN OUT OF SIGHT TRIANGLES AS SHOWN ON PLANS.
- ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET @ 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOIN FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED.
- ANY SPECIALTY STREET SIGNS INCLUDING POSTS SHALL BE SUBMITTED TO THE CITY OF RALEIGH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- ALL PUBLIC AND PRIVATE EASEMENTS SHALL BE RECORDED AS PART OF THE FINAL PLAT OF THE SUBDIVISION. EASEMENTS BASED OF CENTER OF UTILITY OR PIPE SHALL BE PER AS-BUILT LOCATIONS.
- TREE CONSERVATION AREAS SHALL BE RECORDED AS A CONDITION OF PLAN APPROVAL. REFER TO TREE CONSERVATION PLAN FOR MORE INFORMATION ON TREE CONSERVATION AREAS.
- ALL STRUCTURES WITHIN THE BOUNDARIES OF THE SITE REQUIRE INDIVIDUAL PERMITS FROM THE CITY OF RALEIGH INSPECTIONS AND PERMITS DEPARTMENT, INCLUDING RETAINING WALLS.



NOT FOR CONSTRUCTION

DRAWN BY: J. B. B. REVISED BY: J. B. B. DATE: 10/11/2024 10:39 AM. PROJECT: PRUITT WAKE HEALTHCARE EXPANSION - RALEIGH STANDARDS SHEET FLS-C-3.0 OVERALL SITE PLAN











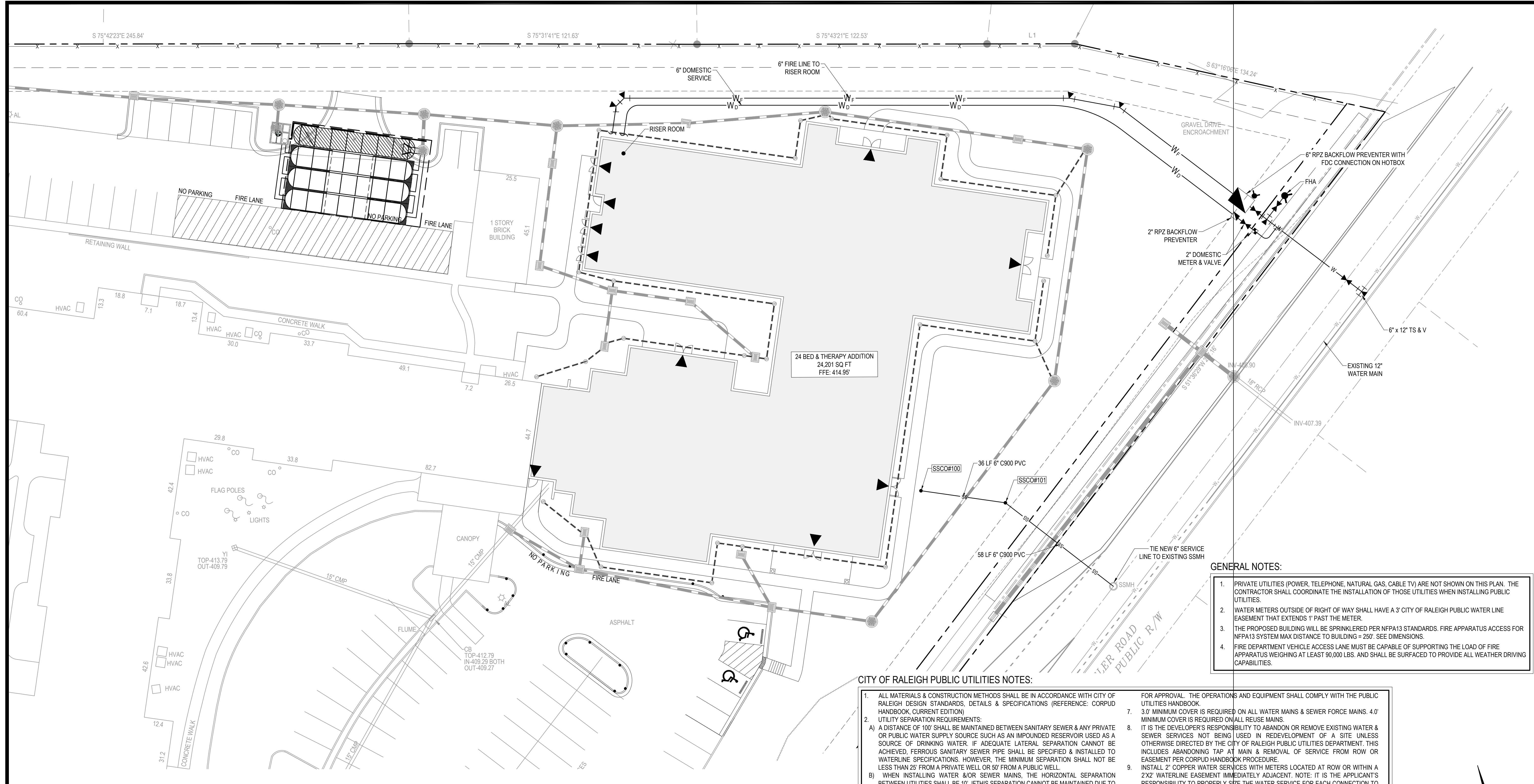
REVISIONS	DATE	BY	DESCRIPTION

**PRUITT WAKE HEALTHCARE EXPANSION**  
**UTILITY PLAN**

208 S. Fidelity Avenue  
Fayetteville, NC 27808  
T (919) 552-2849  
F (919) 552-2843

**Curry**  
ENGINEERING

**C-4.0**



- GENERAL NOTES:**
- PRIVATE UTILITIES (POWER, TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING PUBLIC UTILITIES.
  - WATER METERS OUTSIDE OF RIGHT OF WAY SHALL HAVE A 3' CITY OF RALEIGH PUBLIC WATER LINE EASEMENT THAT EXTENDS 1' PAST THE METER.
  - THE PROPOSED BUILDING WILL BE SPRINKLERED PER NFPA13 STANDARDS. FIRE APPARATUS ACCESS FOR NFPA13 SYSTEM MAX DISTANCE TO BUILDING = 250'. SEE DIMENSIONS.
  - FIRE DEPARTMENT VEHICLE ACCESS LANE MUST BE CAPABLE OF SUPPORTING THE LOAD OF FIRE APPARATUS WEIGHING AT LEAST 90,000 LBS. AND SHALL BE SURFACED TO PROVIDE ALL WEATHER DRIVING CAPABILITIES.

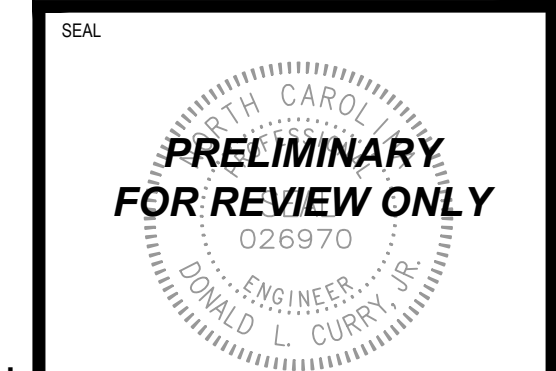
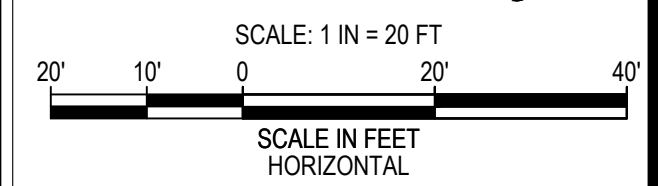
**CITY OF RALEIGH PUBLIC UTILITIES NOTES:**

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
  - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
  - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS, MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
  - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 6" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWD, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A LC AND/OR BUILDING PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASAE) STANDARDS AND BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
- THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
- THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH, INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT. ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.

**LEGEND**

	FIRE HYDRANT ASSEMBLY
	GATE VALVE
	TEE
	THRUST (REACTION) BLOCKING
	BLOW OFF VALVE
	FIRE DEPARTMENT CONNECTION
	BACKFLOW PREVENTER
	WATER METER / SERVICE
	SANITARY CLEANOUT / UTILITIES
	SANITARY MANHOLE
	FLARED END SECTION
	CATCH BASIN
	YARD INLET
	YARD INLET (2'x2')
	WATER LINE
	DOMESTIC WATER LINE
	FIRE WATER LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE

**ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS**



NOT FOR CONSTRUCTION

DRAWN BY: J. B. BROWN (2023) 02/20/24; 8:47 PM; PROJECT: LAKE WHEELER EXPANSION - RALEIGH PUBLIC UTILITIES DEPARTMENT; SHEET: PUES-C4.0 UTILITY PLAN; DWG: PUES-C4.0 UTILITY PLAN; PLOTTED: 1/14/2024 10:41 AM

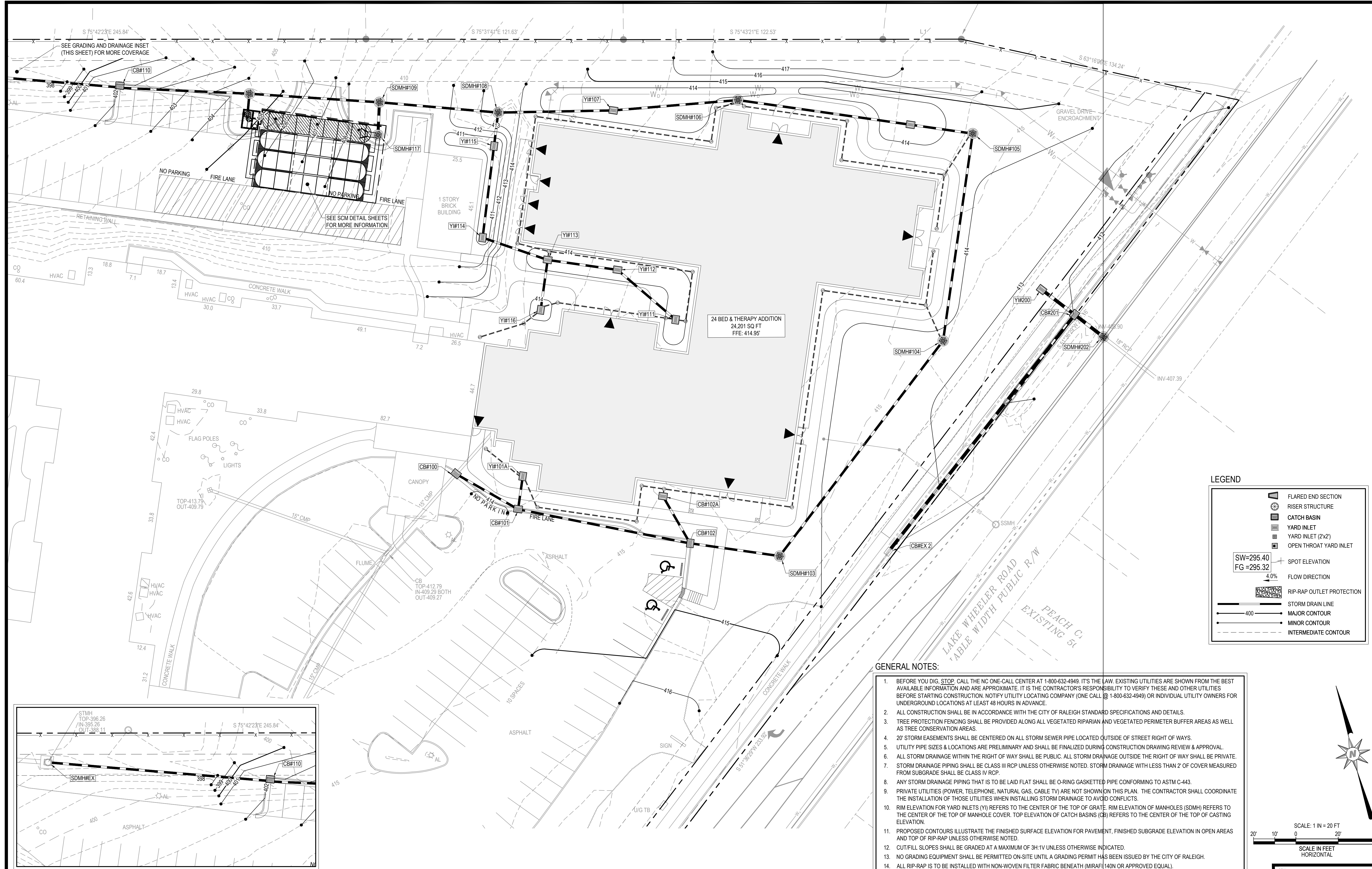


REVISIONS	
DATE: 10.11.2024	HORZ SCALE: 1" = 20'
FILE NO: 2021367	CRG. SHEET SIZE: 24x36

# PRUITT WAKE HEALTHCARE EXPANSION GRADING & DRAINAGE PLAN

T (919) 952-2949  
F (919) 952-2943  
208 S. Fidelity Avenue  
Fayetteville, NC 27708

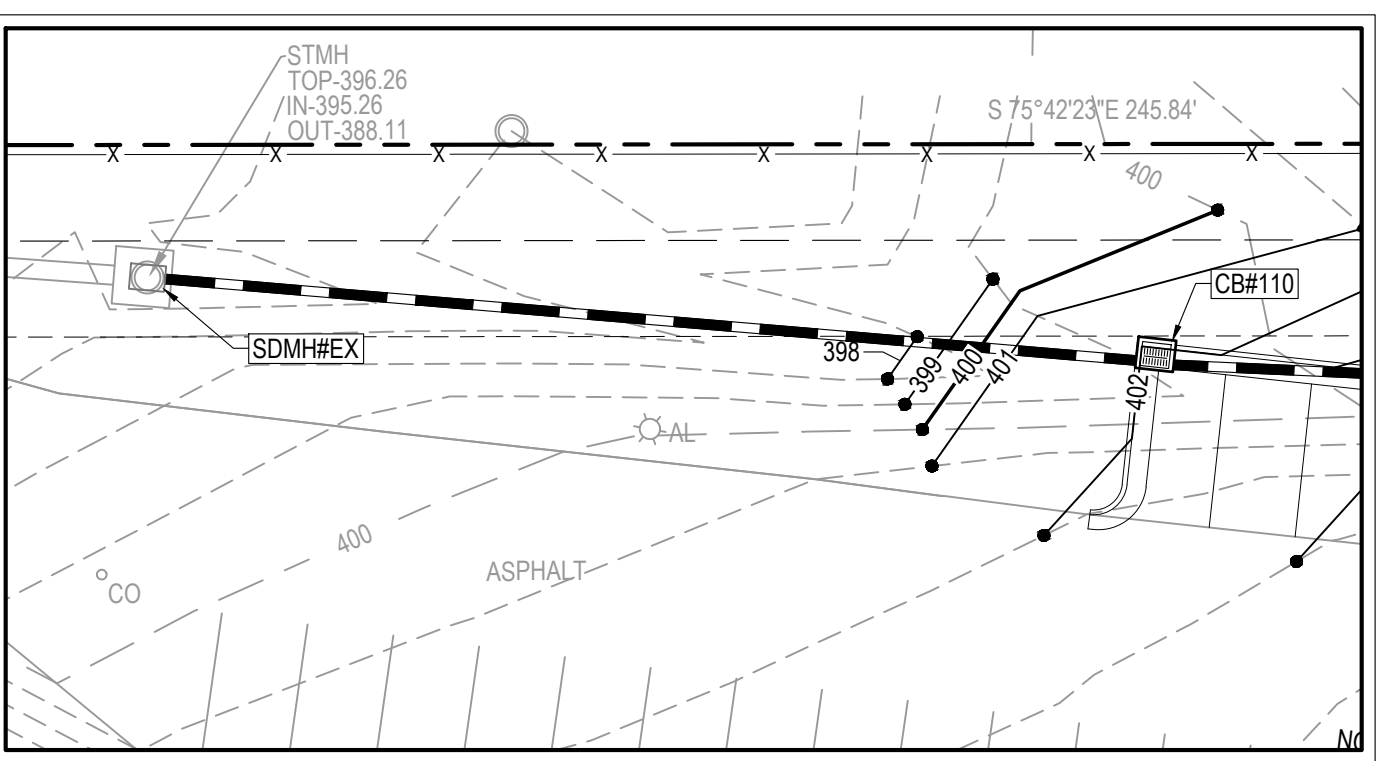
**Curry**  
ENGINEERING  
C-5.0



**LEGEND**

- FLARED END SECTION
- RISER STRUCTURE
- CATCH BASIN
- YARD INLET
- YARD INLET (2'x2')
- OPEN THROAT YARD INLET
- SPOT ELEVATION
- FLOW DIRECTION
- RIP-RAP OUTLET PROTECTION
- STORM DRAIN LINE
- MAJOR CONTOUR
- MINOR CONTOUR
- INTERMEDIATE CONTOUR

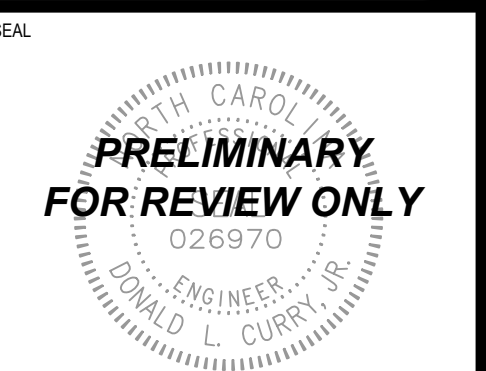
- GENERAL NOTES:**
- BEFORE YOU DIG, STOP, CALL THE NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-632-4949) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
  - TREE PROTECTION FENCING SHALL BE PROVIDED ALONG ALL VEGETATED RIPARIAN AND VEGETATED PERIMETER BUFFER AREAS AS WELL AS TREE CONSERVATION AREAS.
  - 20' STORM EASEMENTS SHALL BE CENTERED ON ALL STORM SEWER PIPE LOCATED OUTSIDE OF STREET RIGHT OF WAYS.
  - UTILITY PIPE SIZES & LOCATIONS ARE PRELIMINARY AND SHALL BE FINALIZED DURING CONSTRUCTION DRAWING REVIEW & APPROVAL.
  - ALL STORM DRAINAGE WITHIN THE RIGHT OF WAY SHALL BE PUBLIC. ALL STORM DRAINAGE OUTSIDE THE RIGHT OF WAY SHALL BE PRIVATE.
  - STORM DRAINAGE PIPING SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED. STORM DRAINAGE WITH LESS THAN 2' OF COVER MEASURED FROM SUBGRADE SHALL BE CLASS IV RCP.
  - ANY STORM DRAINAGE PIPING THAT IS TO BE LAID FLAT SHALL BE O-RING GASKETTED PIPE CONFORMING TO ASTM C-443.
  - PRIVATE UTILITIES (POWER, TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING STORM DRAINAGE TO AVOID CONFLICTS.
  - RIM ELEVATION FOR YARD INLETS (YI) REFERS TO THE CENTER OF THE TOP OF GRATE. RIM ELEVATION OF MANHOLES (SDMH) REFERS TO THE CENTER OF THE TOP OF MANHOLE COVER. TOP ELEVATION OF CATCH BASINS (CB) REFERS TO THE CENTER OF THE TOP OF CASTING ELEVATION.
  - PROPOSED CONTOURS ILLUSTRATE THE FINISHED SURFACE ELEVATION FOR PAVEMENT, FINISHED SUBGRADE ELEVATION IN OPEN AREAS AND TOP OF RIP-RAP UNLESS OTHERWISE NOTED.
  - CUT-FILL SLOPES SHALL BE GRADED AT A MAXIMUM OF 3H:1V UNLESS OTHERWISE INDICATED.
  - NO GRADING EQUIPMENT SHALL BE PERMITTED ON-SITE UNTIL A GRADING PERMIT HAS BEEN ISSUED BY THE CITY OF RALEIGH.
  - ALL RIP-RAP IS TO BE INSTALLED WITH NON-WOVEN FILTER FABRIC BENEATH (MIRAFI 140N OR APPROVED EQUAL).
  - WHERE PROPOSED EDGE OF PAVEMENT CONNECTS TO EXISTING, CONTRACTOR SHALL MATCH EXISTING ELEVATION AND CREATE A SMOOTH TRANSITION.
  - CONTRACTOR SHALL RAISE ALL STRUCTURES TO FINISHED GRADE ELEVATIONS.
  - ALL STORM DRAINAGE LINES OUTSIDE OF PUBLIC RIGHT OF WAY REQUIRE 20' PRIVATE DRAINAGE EASEMENTS CENTERED ON PIPE.
  - ANY REQUIRED DISTURBANCE ON ADJACENT PROPERTIES REQUIRE APPROVAL FROM ADJACENT PROPERTY OWNER PRIOR TO ISSUANCE OF GRADING PERMIT. APPROVAL FROM PROPERTY OWNER CAN BE IN FORM OF A TEMPORARY CONSTRUCTION EASEMENT GRANTED OR LETTER OF CONSENT TO DISTURBANCE.



**1** STORM DRAINAGE INSET  
C-5.0 SCALE: 1" = 20'

**ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS**

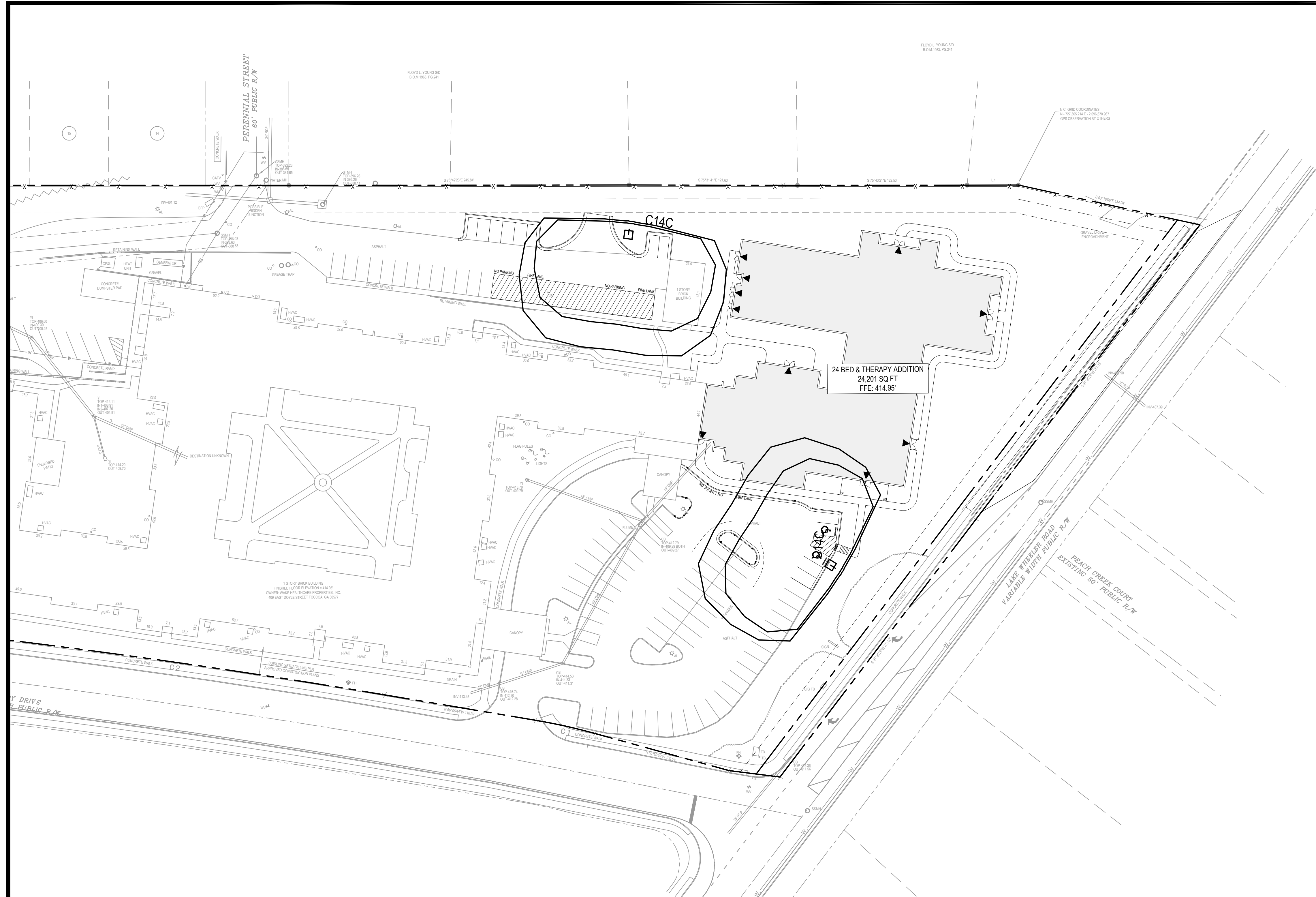
SCALE: 1 IN = 20 FT  
SCALE IN FEET  
HORIZONTAL



NOT FOR CONSTRUCTION

PROJECT NO. 2021367, SHEET 02 OF 02, DATE: 10/11/2024, 10:42 AM, PLOTTED: 10/11/2024 10:42 AM, FILE: C:\PROJECTS\2021367\DRAWINGS\GRADING AND DRAINAGE PLAN.DWG



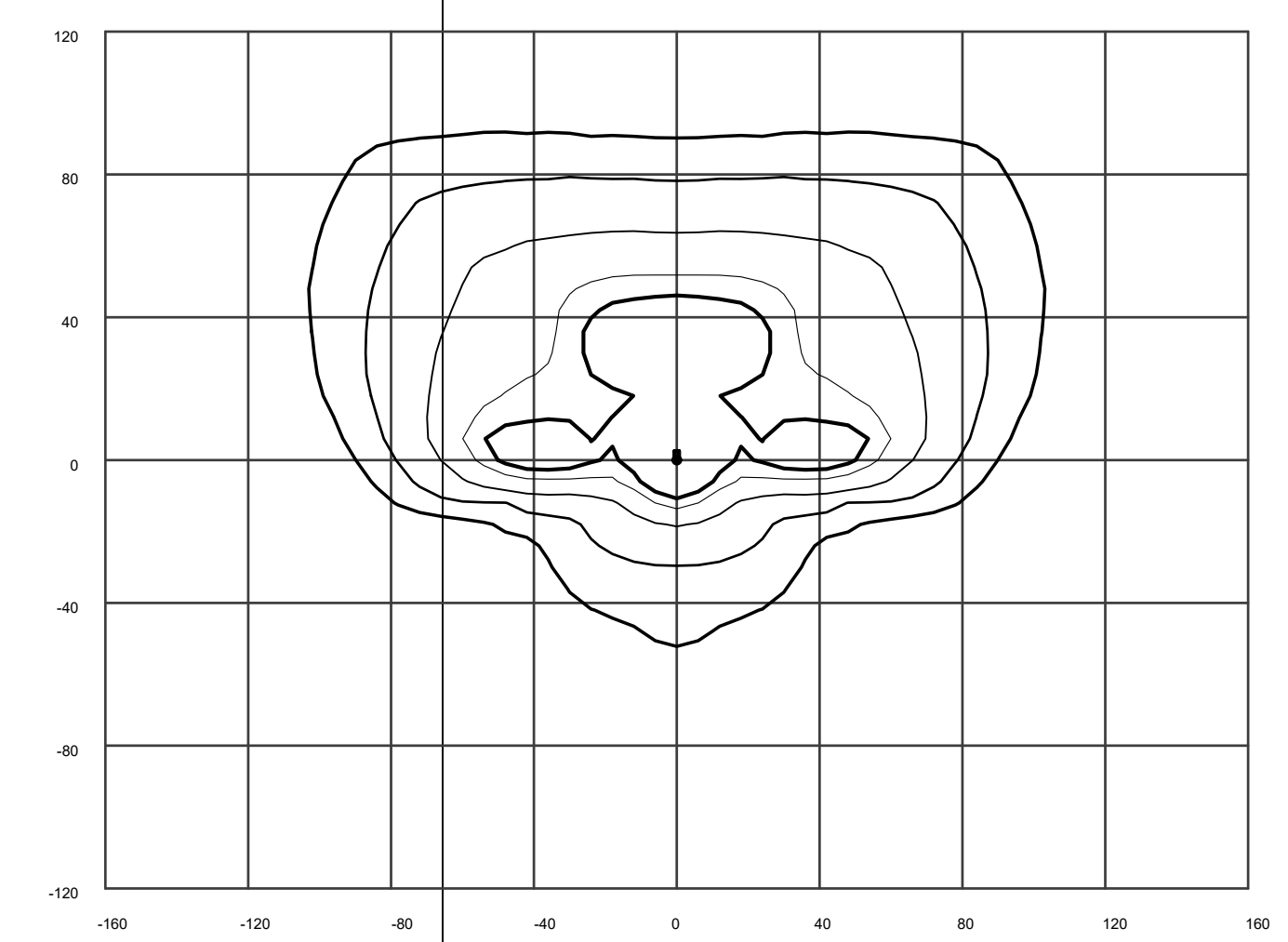


ARROW PRESCHOOL LUMINAIRE SCHEDULE						
TYP	SYMBOL	DESCRIPTION	LAMP	LUMENS	MOUNTING/BALLAST	LLF QTY
C14C	⬇	EATON - STREETW SB_150_IV_HSS (1) "E14S" GAN-AF-03-LED-U-SL4-HSS	(48) SB_150_IV_Shield	15872	30' MT HT Single Fixture	0.85 2

**ISOFOOTCANDLE CURVES**

FIXTURE: LED150, EATON  
 MOUNTING HEIGHT: 30 FT  
 LIGHT SOURCE: LED'S, 4000K, 70 CRI  
 PATTERN: TYPE IV B3-U0-G3 (zero light at or above 90 degrees)  
 ASSY# LFIX-SBX-LED-150-BLK-IV-MULTV-\_\_\_P  
 POLE ASSY# LPOLE-AB-STL-30FT-BLK-SQ-\_\_\_P (BLACK)  
 BRACKET ASSY# LBKT-SIDE-12IN-BLK-UNV-STL-\_\_\_P (BLACK)

NOTE: THE FOOTCANDLE READINGS BELOW ARE MAINTAINED AND HAVE BEEN DEPRECIATED FOR LED LUMEN DEPRECIATION AND LUMINAIRE DIRT DEPRECIATION. FOR INITIAL FOOTCANDLES, DIVIDE THE READINGS BELOW BY .85.



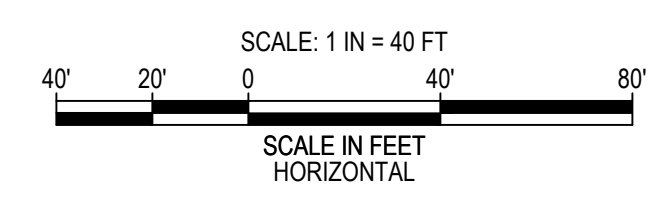
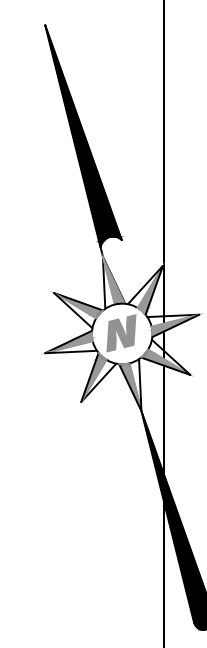
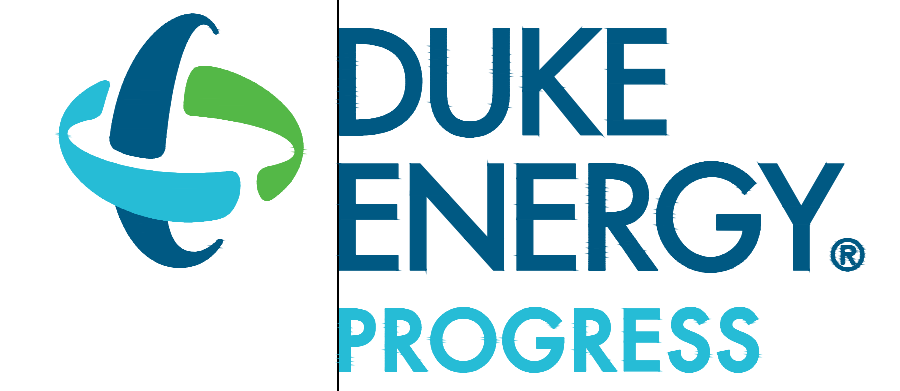
LEGEND (OUTER to INNER): 0.10, 0.25, 0.60, 1.00, 1.25

**PROPRIETARY & CONFIDENTIAL**

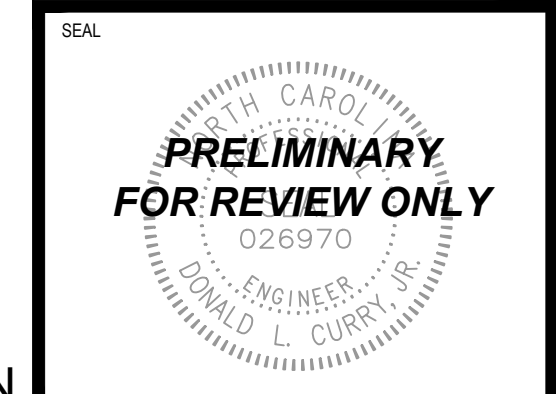
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**LIGHTING DESIGN TOLERANCE**

The calculated footcandle light levels in this lighting design are predicted values and are based on specific information that has been supplied to Duke Energy Progress. Any inaccuracies in the supplied information, differences in luminaire installation, lighted area geometry including elevation differences, reflective properties of surrounding surfaces, obstructions (foliage or otherwise) in the lighted area, or lighting from sources other than listed in this design may produce different results from the predicted values. Normal tolerances of voltage, lamp output, and ballast and luminaire manufacture will also affect results.



NOT FOR CONSTRUCTION



**Curry**  
ENGINEERING  
C-6.0

**PRUITT WAKE HEALTHCARE EXPANSION**  
LIGHTING PLAN

T (919) 552-2499  
 F (919) 552-2493  
 208 S. Fidelity Avenue  
 Fuquay-Varina, NC 27098

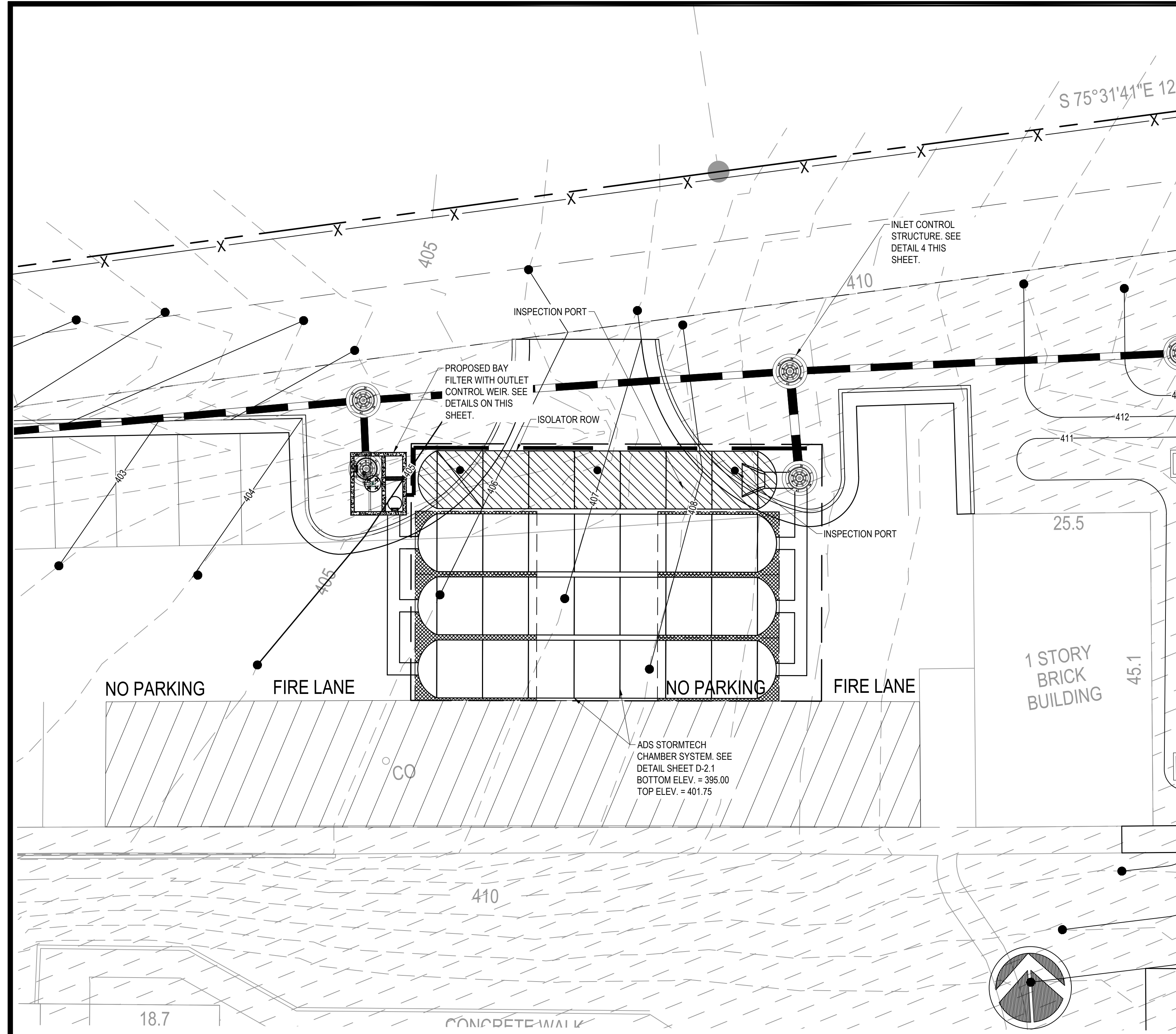
REVISIONS
DATE: 10.11.2024
FILE NO: 20271367
HORIZ SCALE: 1" = 40'
CONS. SHEET SIZE: 24" x 36"

PROJECT: 2024-09-10 PRUITT WAKE HEALTHCARE EXPANSION - RALEIGH/VA/SHEEP CREEK/VA LIGHTING PLAN  
 PLOTTED: 10/11/2024 10:53 AM

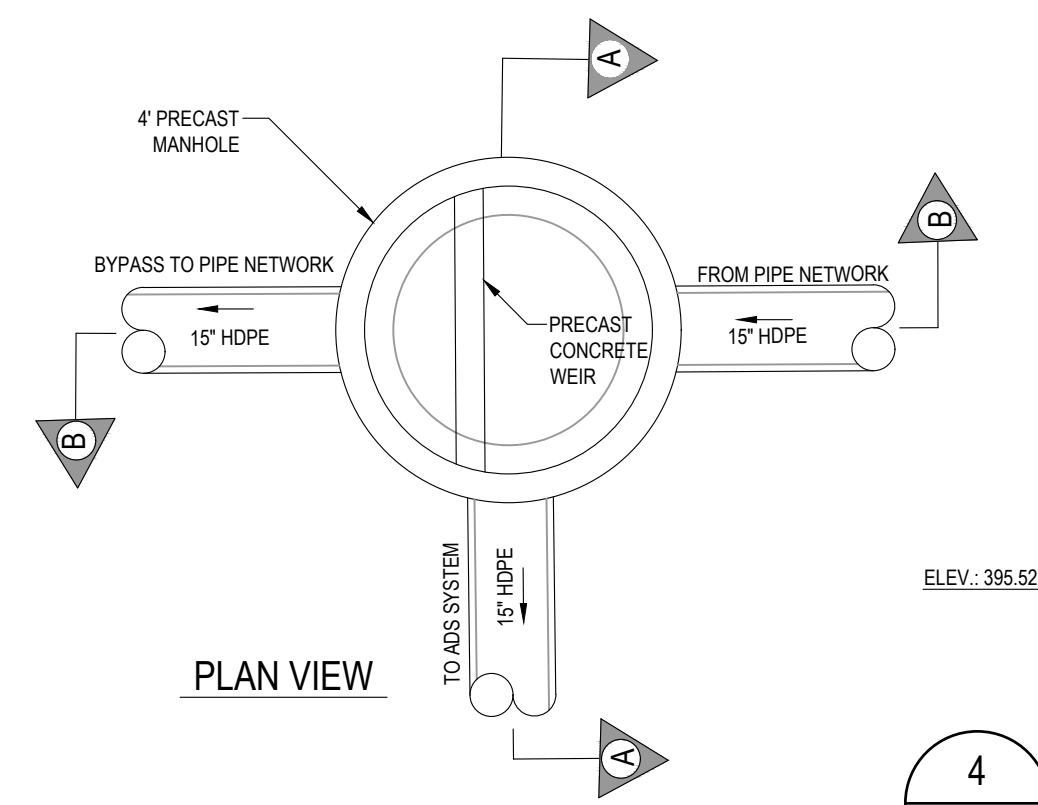
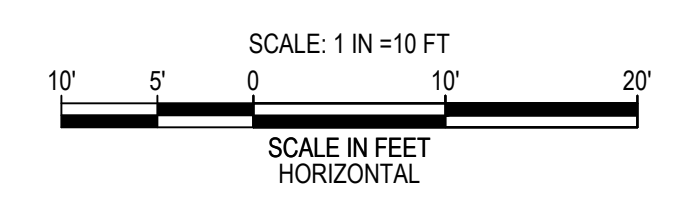




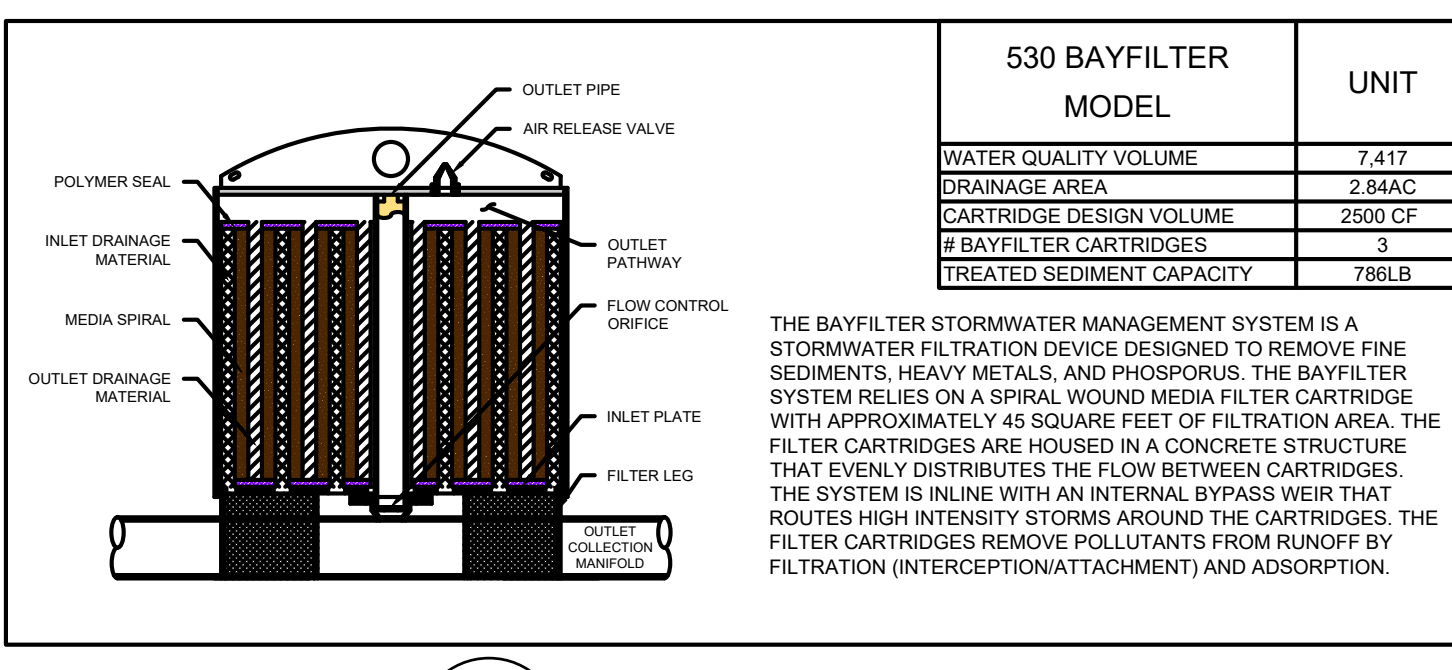
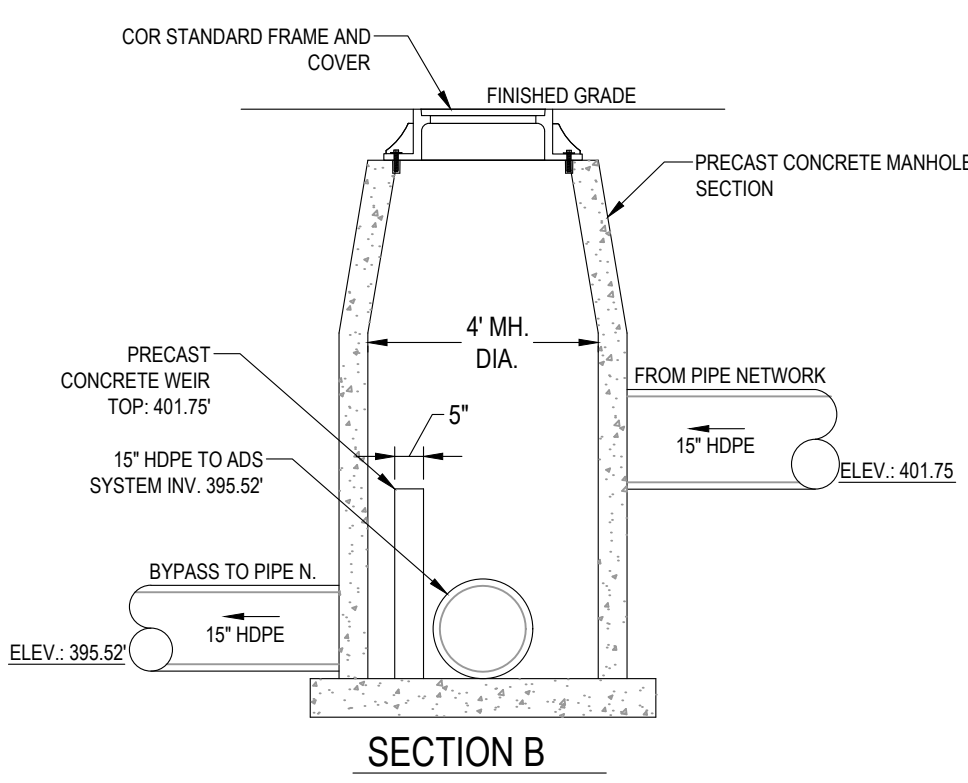
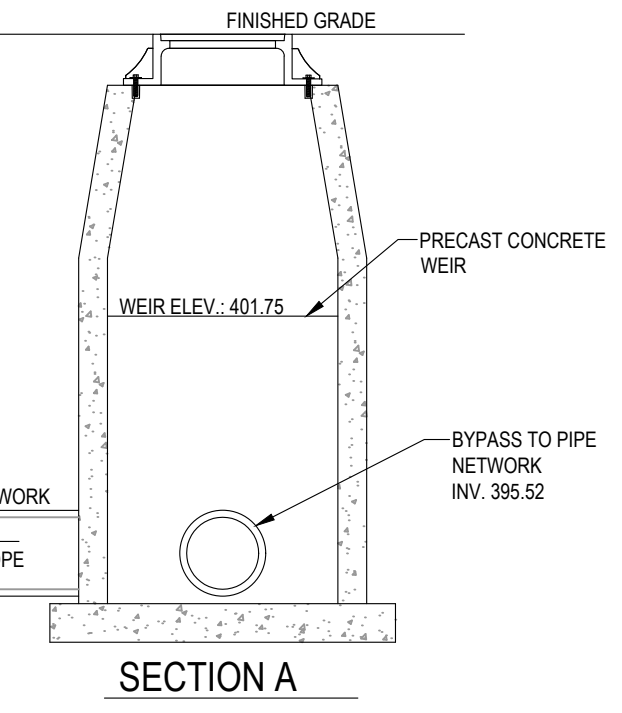




**1 UNDERGROUND SANDFILTER & STORMWATER DETENTION - PLAN VIEW**  
 D-2.0 SCALE: 1"=10'  
 SCALE IN FEET HORIZONTAL



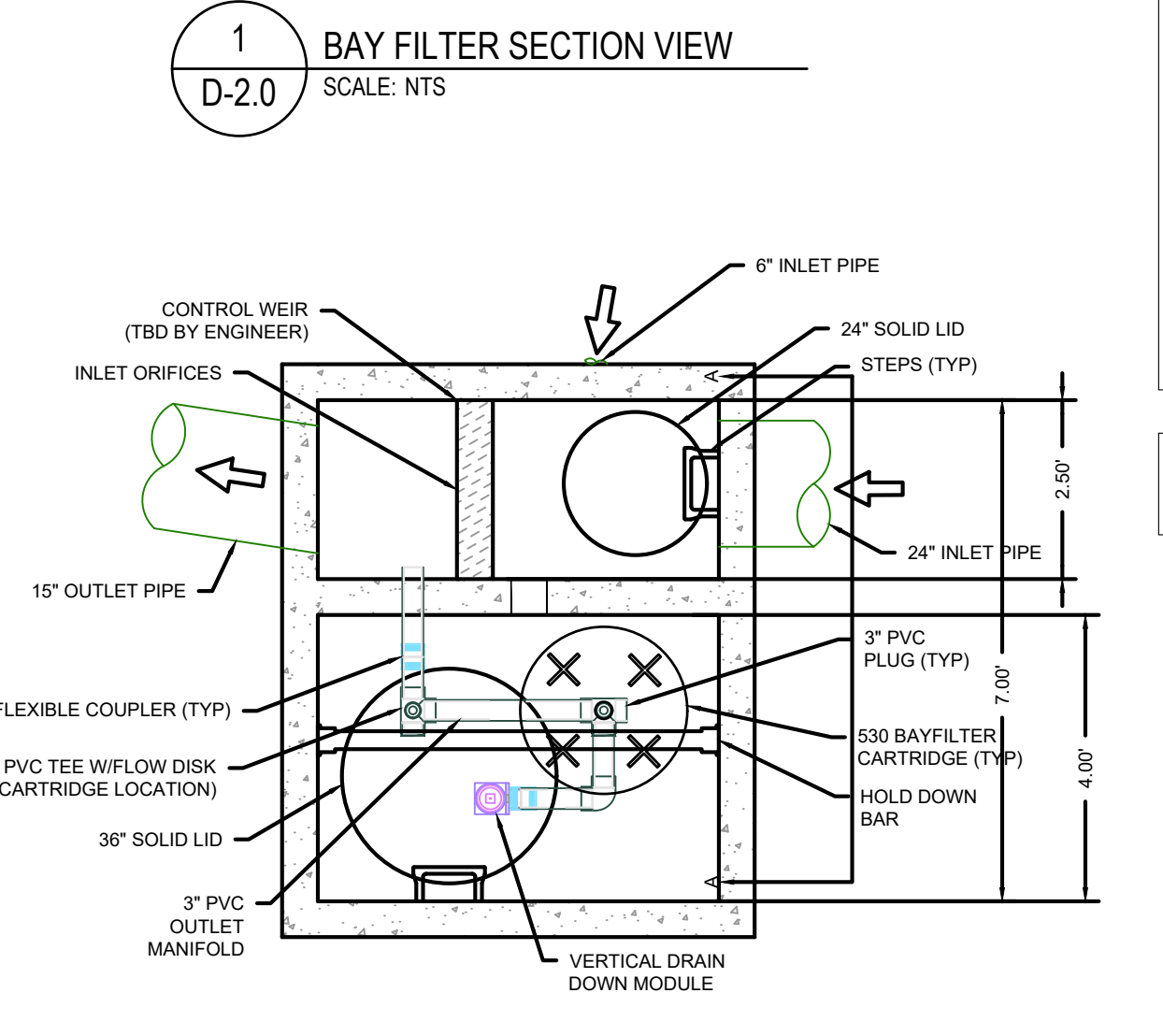
**4 INLET CONTROL MANHOLE**  
 D-2.0 SCALE: NTS



530 BAYFILTER MODEL	UNIT
WATER QUALITY VOLUME	7.417
DRAINAGE AREA	2.84AC
CARTRIDGE DESIGN VOLUME	2500 CF
# BAYFILTER CARTRIDGES	3
TREATED SEDIMENT CAPACITY	786LB

THE BAYFILTER STORMWATER MANAGEMENT SYSTEM IS A STORMWATER FILTRATION DEVICE DESIGNED TO REMOVE FINE SEDIMENTS, HEAVY METALS, AND PHOSPHORUS. THE BAYFILTER SYSTEM RELIES ON A SPIRAL WOUND MEDIA FILTER CARTRIDGE WITH APPROXIMATELY 45 SQUARE FEET OF FILTRATION AREA. THE FILTER CARTRIDGES ARE HOUSED IN A CONCRETE STRUCTURE THAT EVENLY DISTRIBUTES THE FLOW BETWEEN CARTRIDGES. THE SYSTEM IS IN LINE WITH AN INTERNAL BYPASS WEIR THAT ROUTES HIGH INTENSITY STORMS AROUND THE CARTRIDGES. THE FILTER CARTRIDGES REMOVE POLLUTANTS FROM RUNOFF BY FILTRATION (INTERCEPTION/ATTACHMENT) AND ADSORPTION.

**3 BAY FILTER CARTRIDGE DETAIL**  
 D-2.0 SCALE: NTS



**1 BAY FILTER SECTION VIEW**  
 D-2.0 SCALE: NTS



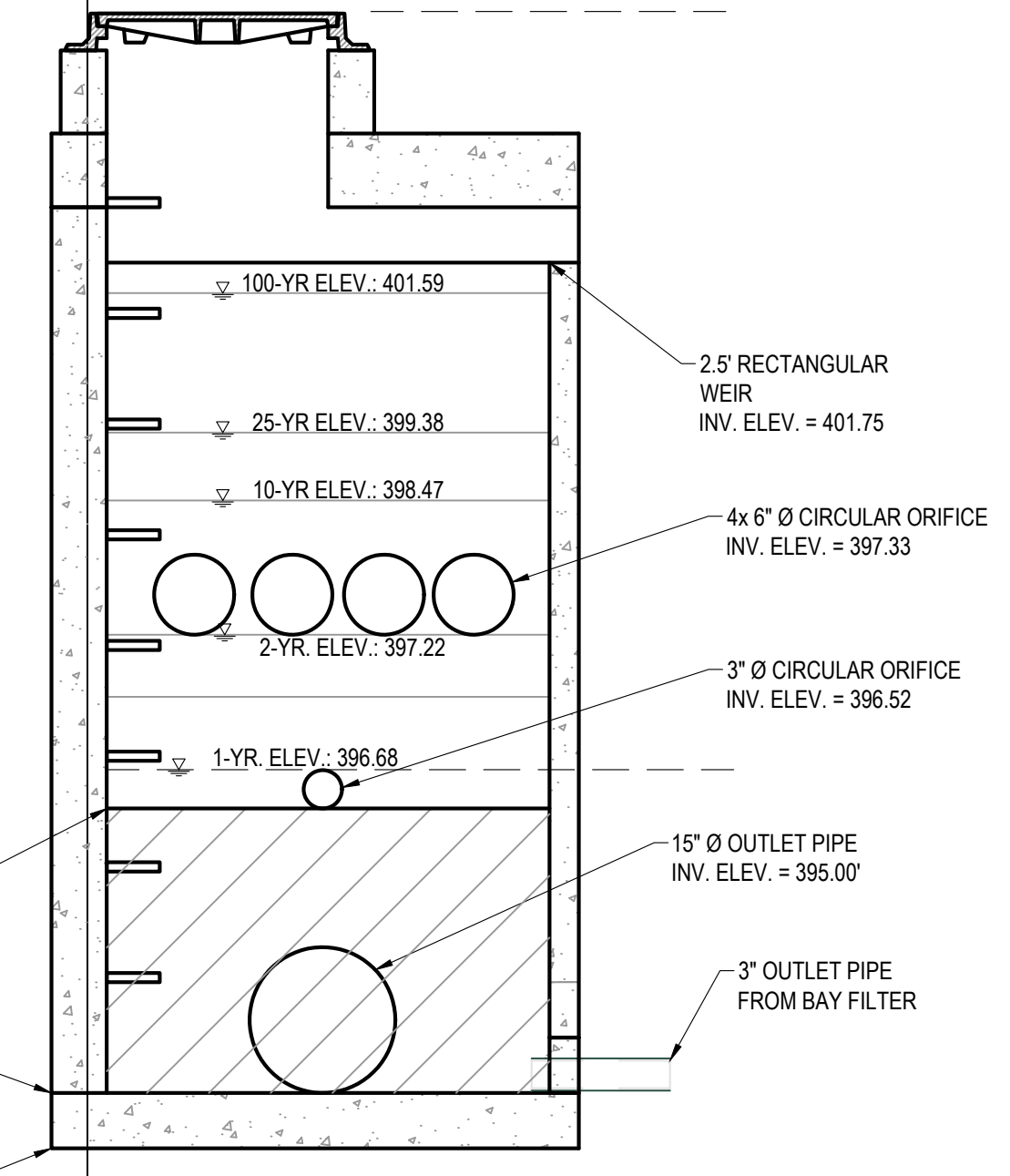
**2 BAY FILTER PLAN VIEW**  
 D-2.0 SCALE: NTS

- NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
  - CONTRACTOR SHALL COORDINATE ALL GRADING OPERATIONS WITH THE OWNER'S GEOTECHNICAL ENGINEER, AS APPROPRIATE.
  - CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL GRADES PRIOR TO THE START OF CONSTRUCTION.
  - ALL VISIBLE ORGANIC DEBRIS SUCH AS ROOTS AND LIMBS SHALL BE REMOVED FROM THE FILL MATERIAL PRIOR TO COMPACTION TO THE REQUIRED DENSITY. SOILS WITH ORGANIC MATTER CONTENT EXCEED 5% BY WEIGHT SHALL NOT BE USED. STONES GREATER THAN 3-INCH (IN ANY DIRECTION) SHALL BE REMOVED FROM THE FILL PRIOR TO COMPACTION.
  - FILL MATERIAL PLACED AT DENSITIES LOWER THAN MINIMUM SPECIFIED DENSITIES OR AT MOISTURE CONTENTS OUTSIDE THE SPECIFIED RANGES OR OTHERWISE NOT CONFORMING TO SPECIFIED REQUIREMENTS SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE MATERIALS.
  - ANY FILL LAYER THAT IS SMOOTH DRUM ROLLED TO REDUCE MOISTURE PENETRATION DURING A STORM EVENT SHALL BE PROPERLY SCARIFIED PRIOR TO THE PLACEMENT OF THE NEXT SOIL LEVEL.
  - FOUNDATION AREAS MAY REQUIRE UNDERCUTTING OR COMPRESSIBLE AND/OR UNSUITABLE SOILS. ALL SUCH UNDERCUTTING SHALL BE PERFORMED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER AND SHALL BE MONITORED AND DOCUMENTED. IN NO CASE SHALL THERE BE AN ATTEMPT TO STABILIZE ANY PORTIONS OF THE FOUNDATION SOILS WITH CRUSHED STONE.
  - TREATMENT OF SEEPAGE AREAS, SUBGRADE PREPARATIONS, FOUNDATION DEWATERING, AND ROCK FOUNDATION PREPARATION MAYBE REQUIRED AT THE DISCRETION OF THE GEOTECHNICAL ENGINEER.
  - EARTHWORK COMPACTION WITHIN 3-FT OF ANY STRUCTURES SHALL BE ACCOMPLISHED BY MEANS OF HAND TAMPERS, MANUALLY DIRECTED POWER TAMPERS OR PLATE COMPACTORS OR MINIATURE SELF PROPELLED ROLLERS. COMPACTION BY MEANS OF DROP WEIGHTS FROM A CRANE OR HOIST SHALL NOT BE PERMITTED.
  - HEAVY EQUIPMENT SHALL NOT BE ALLOWED TO PASS OVER CAST-IN-PLACE STRUCTURES UNTIL ADEQUATE CURING TIME HAS ELAPSED.
  - TO RE-ESTABLISH VEGETATION AFTER CONSTRUCTION, A 2 TO 3-INCH LAYER OF TOPSOIL SHALL BE PLACED ON THE DISTURBED EMBANKMENT SURFACE AND THE AREA SEEDED AND MULCHED OR HYDROSEEDED.
  - ALL RISER STRUCTURES, INCLUDING WEIR WALL TYPE STRUCTURES, SHALL BE REINFORCED CONCRETE. BRICK/CONCRETE BLOCK AND MORTAR TYPE STRUCTURES WILL NOT BE ACCEPTED.
  - ALL AREAS NOT PLANTED SHALL BE STABILIZED WITH GRASS.
  - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL TO ENGINEER OR OWNER PRIOR TO INSTALLATION.
  - PRIOR TO INSTALLATION, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO ENGINEER OF RECORD FOR APPROVAL. DETAILING ALL DRAINAGE STRUCTURES INCLUDING PROPOSED SPAN SUPPORT COMPONENTS FOR LARGE CONCRETE VAULTS. PORTIONS OF VAULT UNDER PAVEMENT SHALL BE ABLE TO WITHSTAND H20 LOADING.
  - DURING MAINTENANCE OF THE ADS STORMTECH AND BAYFILTER SYSTEM IS TO BE DRAWDOWN BY PUMPING.

NOTE: CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF THE SAND FILTER PRECAST DESIGN TO THE ENGINEER FOR REVIEW PRIOR TO INSTALLATION. STRUCTURAL DESIGN OF THE SAND FILTER WALLS AND TOP SLAB OR LID SHALL BE PERFORMED BY THE PRECASTER OR OTHERS.

WQ VOLUME DATA TABLE:

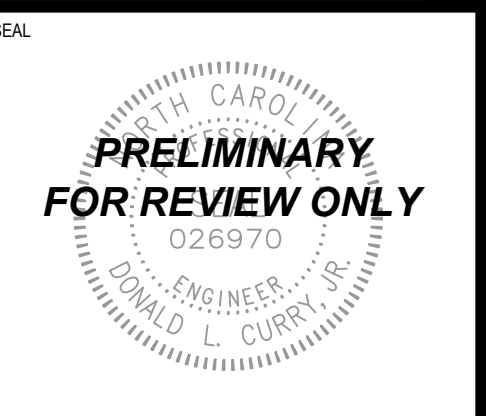
	REQUIRED	PROVIDED
WATER QUALITY VOLUME	1862 CF	1862+ CF (ELEV. 396.52)



**5 OUTLET CONTROL WEIR DETAIL**  
 D-2.0 SCALE: NTS

ELEVATION OF 396.52 ENSURES TREATED VOLUME: 1862 CF (SEE ADS UG STORAGE SHEET)

BOTTOM ELEV. = 394.00 = 1 ADDITIONAL FEET OF CONCRETE FOR ANTI-FLOATION ON BOTTOM OF STRUCTURE

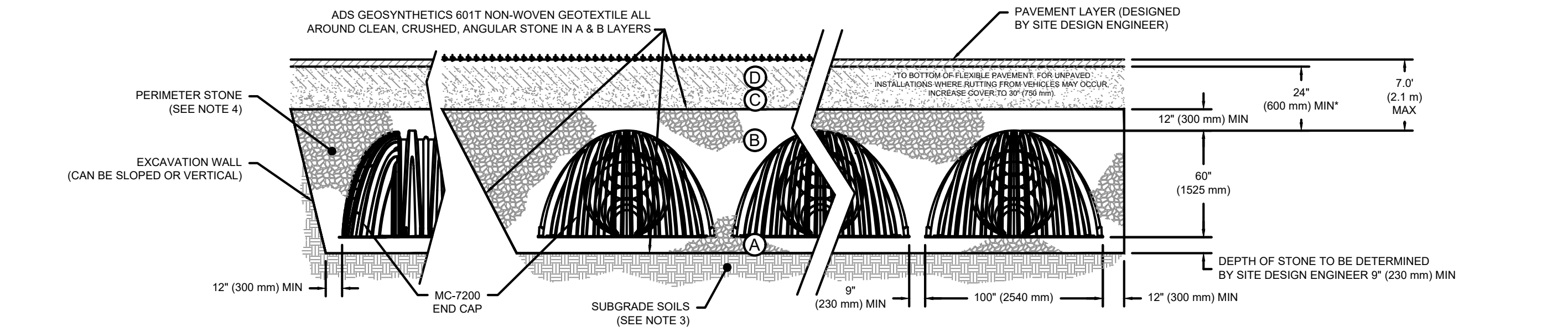




**ACCEPTABLE FILL MATERIALS: STORMTECH MC-7200 CHAMBER SYSTEMS**

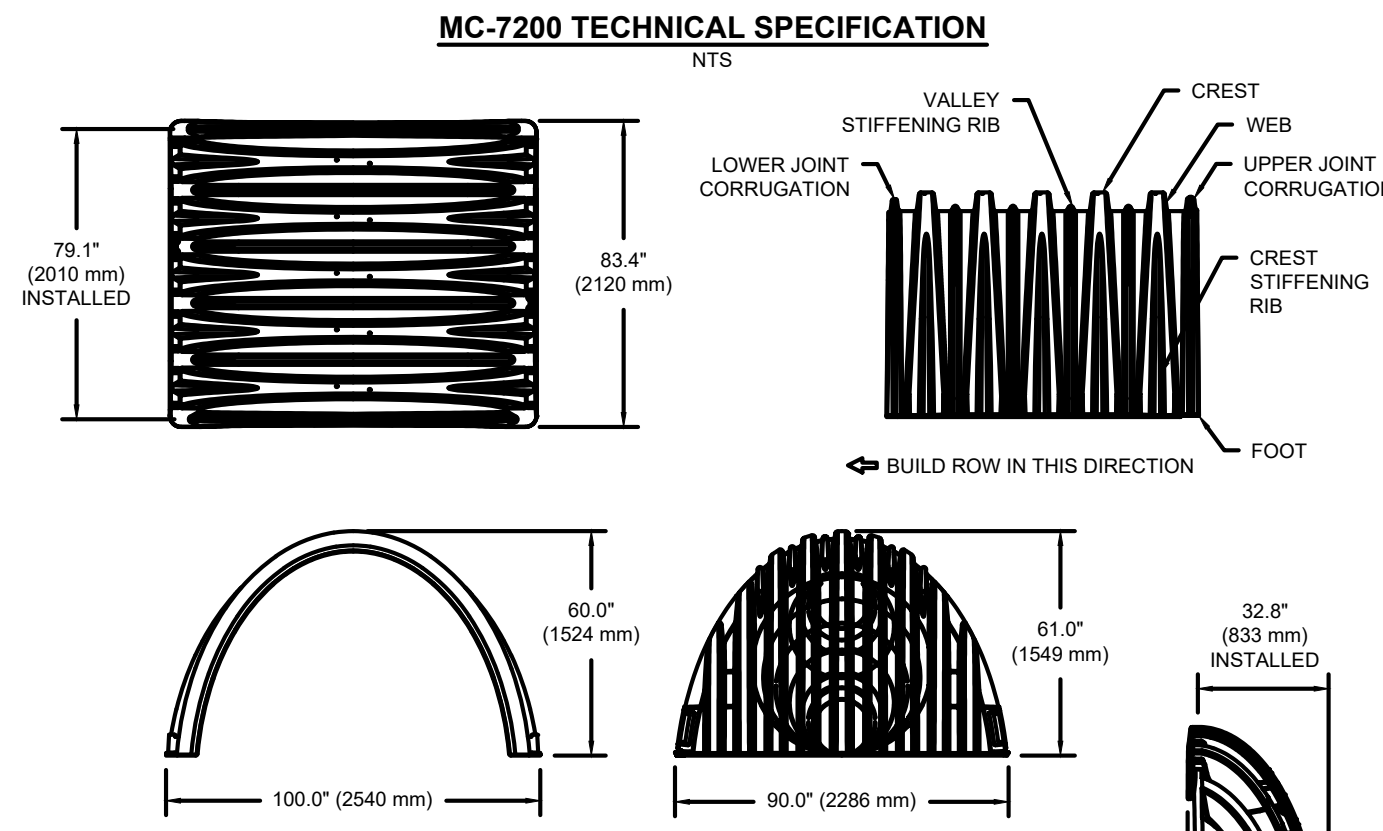
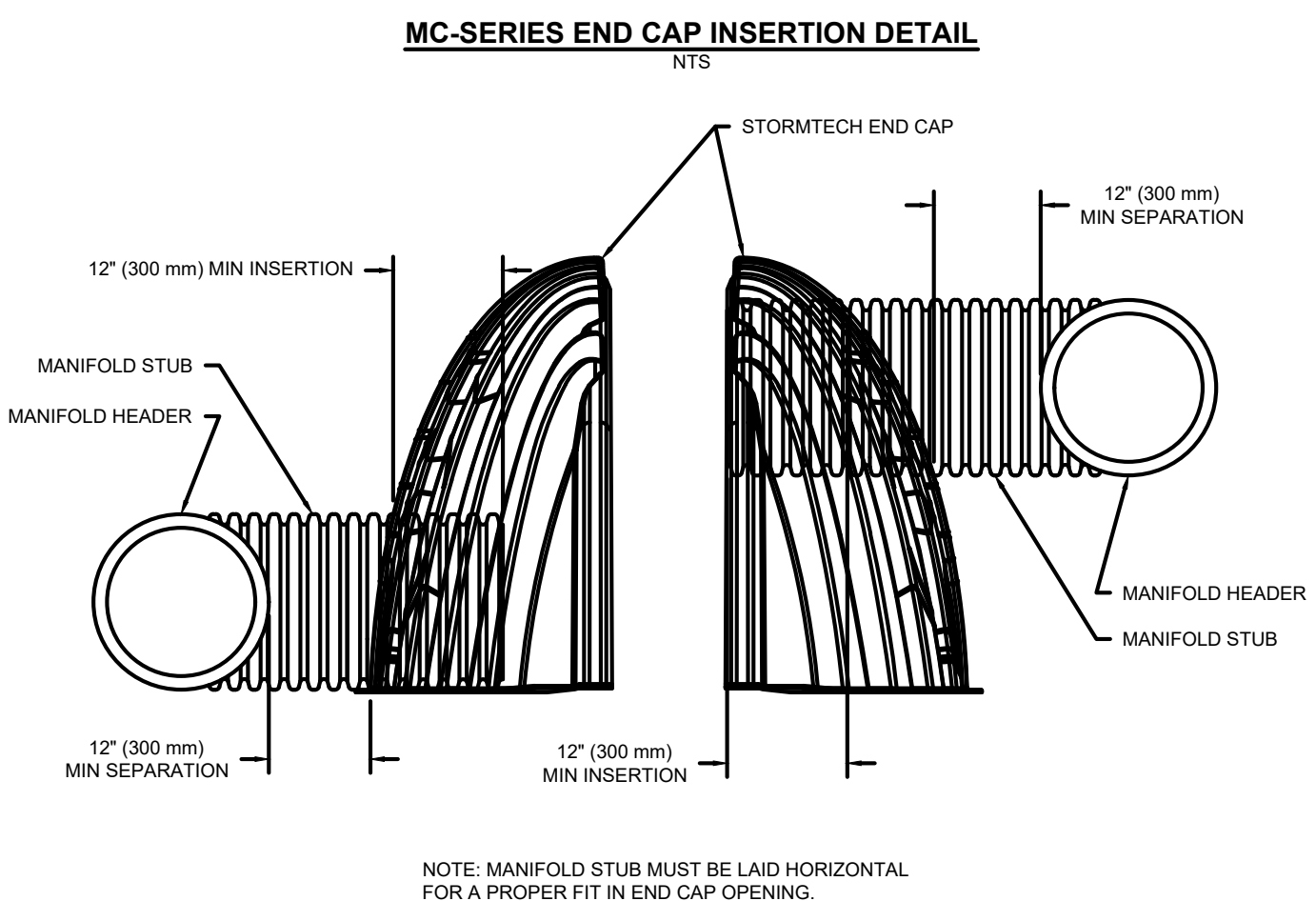
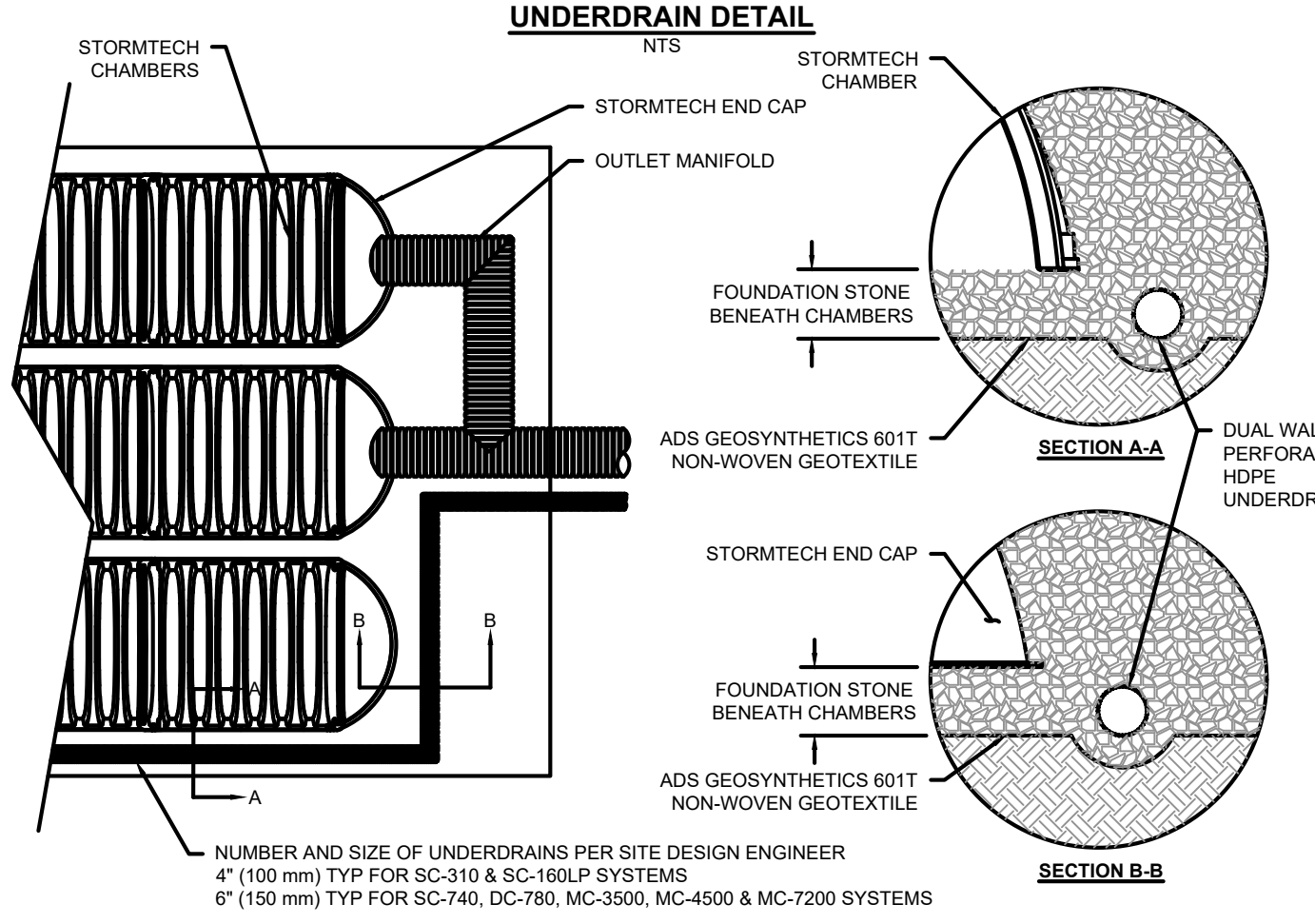
MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER.	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 24" (600 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE A PART OF THE 'C' LAYER.	AASHTO M148 <sup>1</sup> A-1, A-2.4, A-3  OR AASHTO M43 <sup>1</sup> 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10	BEGIN COMPACTIONS AFTER 24" (600 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.	AASHTO M43 <sup>1</sup> 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 <sup>1</sup> 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. <sup>2,3</sup>

PLEASE NOTE:  
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".  
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 9" (230 mm) (MAX) LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.  
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.  
 4. ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



**NOTES:**

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 60x101
- MC-7200 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS"
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/FT<sup>2</sup>. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.



**NOMINAL CHAMBER SPECIFICATIONS**

SIZE (W X H X INSTALLED LENGTH)	CHAMBER STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT (NOMINAL)
100.0" X 60.0" X 78.1" (2540 mm X 1524 mm X 2010 mm)	179.9 CUBIC FEET (4.98 m <sup>3</sup> )	267.3 CUBIC FEET (7.56 m <sup>3</sup> )	205 lbs. (92.9 kg)

**NOMINAL END CAP SPECIFICATIONS**

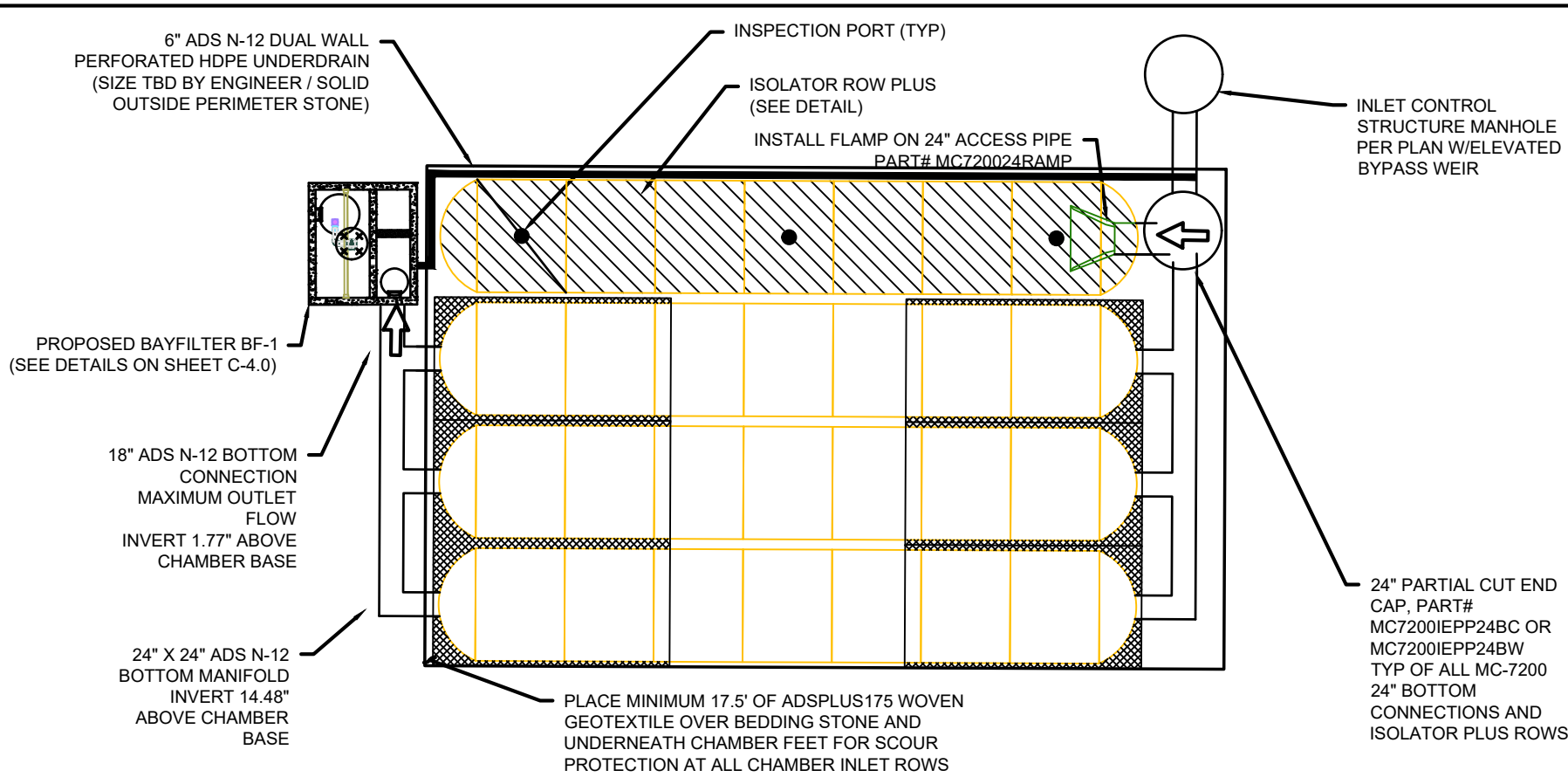
SIZE (W X H X INSTALLED LENGTH)	END CAP STORAGE	MINIMUM INSTALLED STORAGE*	WEIGHT (NOMINAL)
90.0" X 81.0" X 32.8" (2286 mm X 1549 mm X 833 mm)	39.5 CUBIC FEET (1.12 m <sup>3</sup> )	115.3 CUBIC FEET (3.26 m <sup>3</sup> )	90 lbs. (40.8 kg)

\*ASSUMES 12" (305 mm) STONE ABOVE, 9" (229 mm) STONE FOUNDATION AND BETWEEN CHAMBERS, 12" (305 mm) STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY.

PARTIAL CUT HOLES AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"  
 PARTIAL CUT HOLES AT TOP OF END CAP FOR PART NUMBERS ENDING WITH "T"  
 END CAPS WITH "A" PREFABRICATED WELDED STUB END WITH "V"

PART #	STUB	B	C
MC7200IEPP06T	42.54" (1081 mm)	---	---
MC7200IEPP06B	6" (150 mm)	42.54" (1081 mm)	0.86" (22 mm)
MC7200IEPP08T	40.50" (1029 mm)	---	---
MC7200IEPP08B	8" (200 mm)	40.50" (1029 mm)	1.01" (26 mm)
MC7200IEPP10T	38.37" (975 mm)	---	---
MC7200IEPP10B	10" (250 mm)	38.37" (975 mm)	1.33" (34 mm)
MC7200IEPP12T	35.69" (907 mm)	---	---
MC7200IEPP12B	12" (300 mm)	35.69" (907 mm)	1.55" (39 mm)
MC7200IEPP15T	32.72" (831 mm)	---	---
MC7200IEPP15B	15" (375 mm)	32.72" (831 mm)	1.70" (43 mm)
MC7200IEPP18T	29.38" (746 mm)	---	---
MC7200IEPP18TW	18" (450 mm)	29.38" (746 mm)	---
MC7200IEPP18B	---	---	1.97" (50 mm)
MC7200IEPP18BW	---	---	---
MC7200IEPP21T	23.05" (585 mm)	---	---
MC7200IEPP21TW	24" (600 mm)	23.05" (585 mm)	---
MC7200IEPP24B	---	---	2.28" (57 mm)
MC7200IEPP24BW	---	---	---
MC7200IEPP30BW	30" (750 mm)	---	2.85" (73 mm)
MC7200IEPP36BW	36" (900 mm)	---	3.25" (83 mm)
MC7200IEPP42BW	42" (1050 mm)	---	3.55" (90 mm)

NOTE: ALL DIMENSIONS ARE NOMINAL



**PROPOSED LAYOUT**

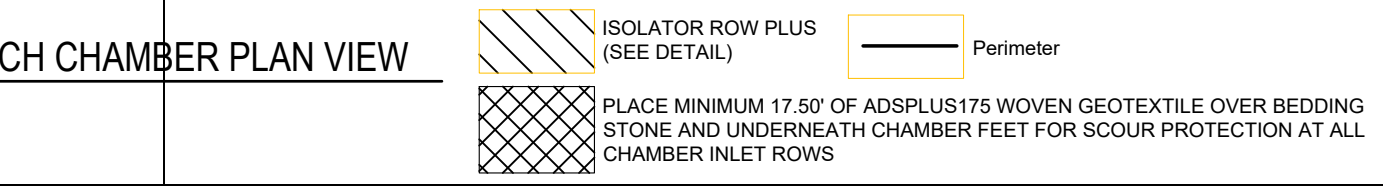
72	STORMTECH MC-7200 CHAMBERS
16	STORMTECH MC-7200 END CAPS
12	STONE ABOVE (m)
2	STONE BELOW (m)
40	STONE VOID
TBD	INSTALLED SYSTEM VOLUME (CF) (PERIMETER STONE INCLUDED)
6344	SYSTEM AREA (SF) (BASE STONE INCLUDED)
TBD	SYSTEM PERIMETER (ft)

**INSPECTION & MAINTENANCE**

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
    - REMOVE OPEN LID ON NYLOPLAST INLINE DRAIN
    - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
    - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
    - LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
    - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
  - ALL ISOLATOR PLUS ROWS
    - REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
    - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
      - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
      - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
    - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
  - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
  - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

**NOTES**

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



**MC-7200 STORMTECH CHAMBER SPECIFICATIONS**

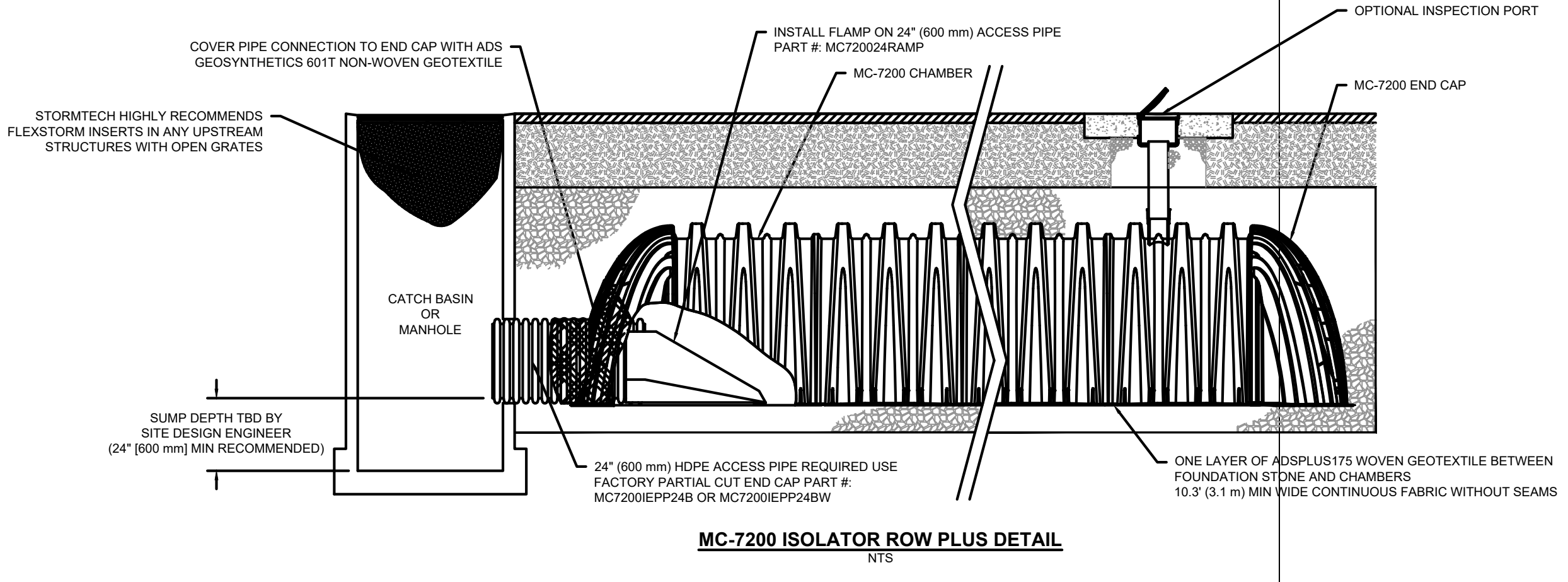
- CHAMBERS SHALL BE STORMTECH MC-7200.
- CHAMBERS SHALL BE ARCH-SHAPED AND SHALL BE MANUFACTURED FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 60x101.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORTS THAT WOULD IMPED FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL BE DESIGNED, TESTED AND ALLOWABLE LOAD CONFIGURATIONS DETERMINED IN ACCORDANCE WITH ASTM F2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". LOAD CONFIGURATIONS SHALL INCLUDE: 1) INSTANTANEOUS (<1 MIN) AASHTO DESIGN TRUCK LIVE LOAD ON MINIMUM COVER 2) MAXIMUM PERMANENT (75-YR) COVER LOAD AND 3) ALLOWABLE COVER WITH PARKED (1-WEEK) AASHTO DESIGN TRUCK.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
  - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
  - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
  - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, a) THE ARCH STIFFNESS CONSTANT SHALL BE GREATER THAN OR EQUAL TO 450 LBS/FT<sup>2</sup>. THE ASC IS DEFINED IN SECTION 6.2.8 OF ASTM F2418. AND b) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES (ABOVE 73° F / 23° C), CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.
- ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. UPON REQUEST BY THE SITE DESIGN ENGINEER OR OWNER, THE CHAMBER MANUFACTURER SHALL SUBMIT A STRUCTURAL EVALUATION FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE AS FOLLOWS:
  - THE STRUCTURAL EVALUATION SHALL BE SEALED BY A REGISTERED PROFESSIONAL ENGINEER.
  - THE STRUCTURAL EVALUATION SHALL DEMONSTRATE THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD. THE MINIMUM REQUIRED BY ASTM F2787 AND BY SECTIONS 3 AND 12.12 OF THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS FOR THERMOPLASTIC PIPE.
  - THE TEST DERIVED CREEP MODULUS AS SPECIFIED IN ASTM F2418 SHALL BE USED FOR PERMANENT DEAD LOAD DESIGN EXCEPT THAT IT SHALL BE THE 75-YEAR MODULUS USED FOR DESIGN.
- CHAMBERS AND END CAPS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

**IMPORTANT - NOTES FOR THE BIDDING AND INSTALLATION OF MC-7200 CHAMBER SYSTEM**

- STORMTECH MC-7200 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
  - STONESHOOTER LOCATED OFF THE CHAMBER BED
  - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
  - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELLED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM - 9" (230 mm) SPACING BETWEEN THE CHAMBER ROWS.
- INLET AND OUTLET MANIFOLDS MUST BE INSERTED A MINIMUM OF 12" (300 mm) INTO CHAMBER END CAPS.
- EMBEDMENT STONE SURROUNDING CHAMBERS MUST BE A CLEAN, CRUSHED, ANGULAR STONE MEETING THE AASHTO M43 DESIGNATION OF #3 OR #4.
- STONE SHALL BE BROUGHT UP EVENLY AROUND CHAMBERS SO AS NOT TO DISTORT THE CHAMBER SHAPE. STONE DEPTHS SHOULD NEVER DIFFER BY MORE THAN 12" (300 mm) BETWEEN ADJACENT CHAMBER ROWS.
- STONE MUST BE PLACED ON THE TOP CENTER OF THE CHAMBER TO ANCHOR THE CHAMBERS IN PLACE AND PRESERVE ROW SPACING.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIAL BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

**NOTES FOR CONSTRUCTION EQUIPMENT**

- STORMTECH MC-7200 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
  - THE USE OF EQUIPMENT OVER MC-7200 CHAMBERS IS LIMITED:
    - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
    - NO RUBBER Tired LOADER, DUMP TRUCK, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH MC-3500/MC-7200 CONSTRUCTION GUIDE".
    - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH MC-7200 CONSTRUCTION GUIDE".
  - FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY USING THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.
- CONTACT STORMTECH AT 1-888-892-2694 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



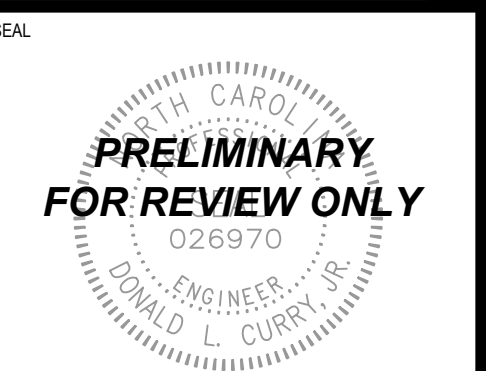
CUSTOM PREFABRICATED INVERTS ARE AVAILABLE UPON REQUEST. INVENTORIED MANIFOLDS INCLUDE 12-24" (300-600 mm) SIZE ON SIZE AND 15-48" (375-1200 mm) ECCENTRIC MANIFOLDS. CUSTOM INVERT LOCATIONS ON THE MC-7200 END CAP CUT IN THE FIELD ARE NOT RECOMMENDED FOR PIPE SIZES GREATER THAN 10" (250 mm). THE INVERT LOCATION IN COLUMN 'B' ARE THE HIGHEST POSSIBLE FOR THE PIPE SIZE.

DRAWN BY: J. B. BARR, REVISED BY: J. B. BARR, DATE: 02/01/2021, 8:47 PM, PROJECT: LAKE WHEELER EXPANSION - RALEIGH COUNTY, WEST VIRGINIA, 1500 DETAILS.DWG, PLOTTED: 10/14/2024 10:55 AM

REVISIONS  
 DATE: 10.11.2024  
 HORIZ. SCALE: N.T.S.  
 CONG. SHEET SIZE: 24" x 36"  
 FILE NO.: 2021-1067

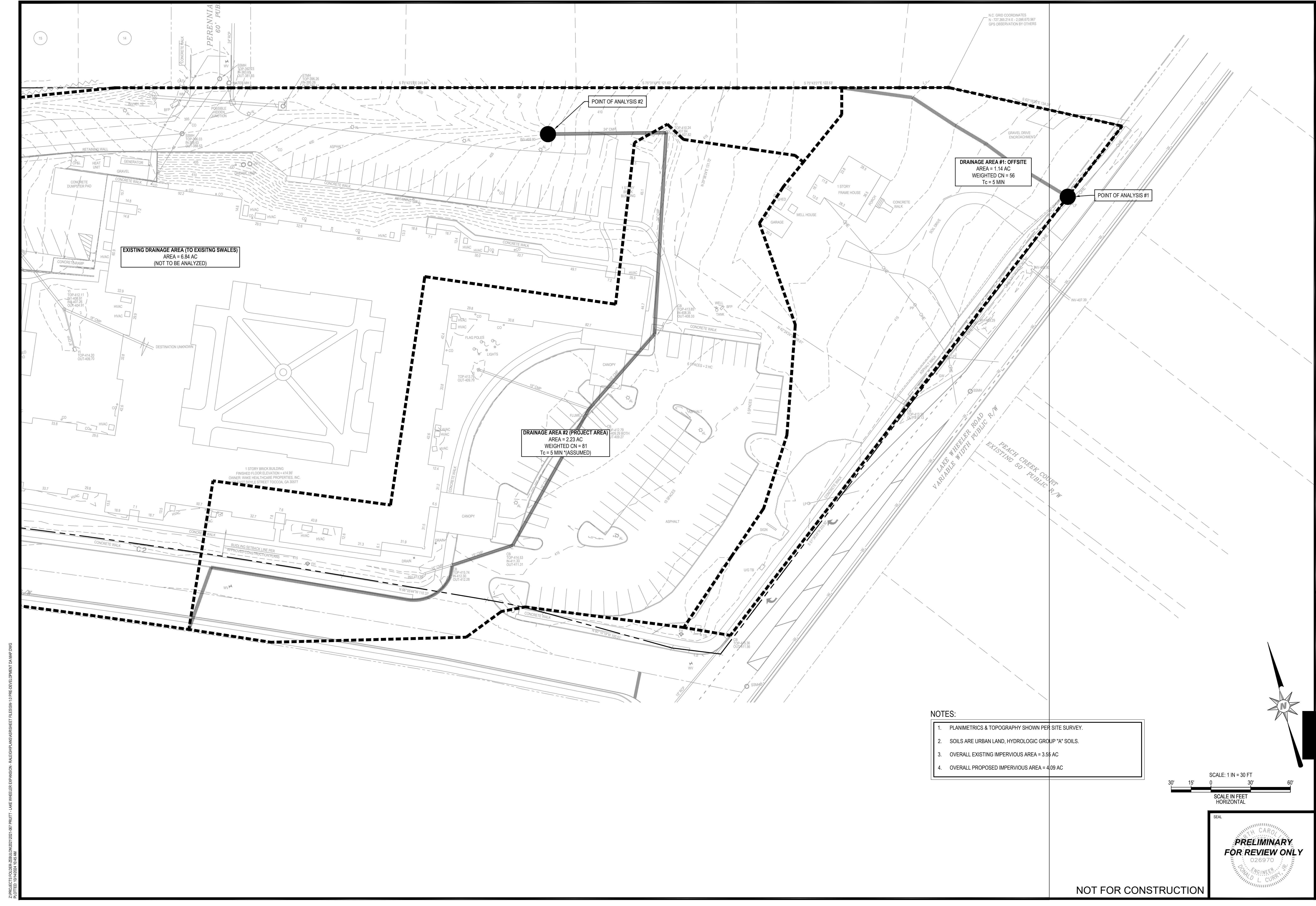
**PRUITT WAKE HEALTHCARE EXPANSION**  
**SCM DETAILS II**

208 S. Fidelity Avenue  
 Fuquay-Varina, NC 27090  
 T (919) 552-2649  
 F (919) 552-2643



**Curry**  
 ENGINEERING  
**D-2.1**





EXISTING DRAINAGE AREA (TO EXISTING SWALES)  
AREA = 6.84 AC  
(NOT TO BE ANALYZED)

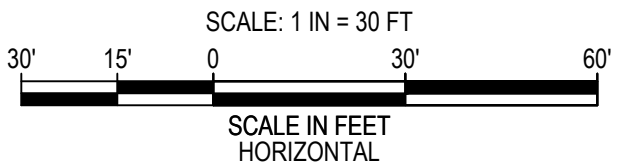
DRAINAGE AREA #2 (PROJECT AREA)  
AREA = 2.23 AC  
WEIGHTED CN = 81  
Tc = 5 MIN (ASSUMED)

DRAINAGE AREA #1: OFFSITE  
AREA = 1.14 AC  
WEIGHTED CN = 56  
Tc = 5 MIN

POINT OF ANALYSIS #2

POINT OF ANALYSIS #1

- NOTES:
1. PLANIMETRICS & TOPOGRAPHY SHOWN PER SITE SURVEY.
  2. SOILS ARE URBAN LAND, HYDROLOGIC GROUP "A" SOILS.
  3. OVERALL EXISTING IMPERVIOUS AREA = 3.55 AC
  4. OVERALL PROPOSED IMPERVIOUS AREA = 4.09 AC



NOT FOR CONSTRUCTION

**PRUITT WAKE HEALTHCARE EXPANSION  
PRE-DEVELOPMENT DA MAP**

T (919) 552-2849  
F (919) 552-2843  
208 S. Fidelity Avenue  
Fayetteville, NC 27408

**Curry**  
ENGINEERING  
**SW-1.0**

REVISIONS	DATE	FILE NO.	CRG. SHEET SIZE
	10.11.2024	20213867	24" x 36"

P:\WORKSPACE\2024\20241010\20241010-PRUITT\_WAKE\_HEALTHCARE\_EXPANSION-RALEIGH\ANALYSIS\DA MAP\DA MAP.DWG  
 PLOTTED: 10/14/2024 10:55 AM



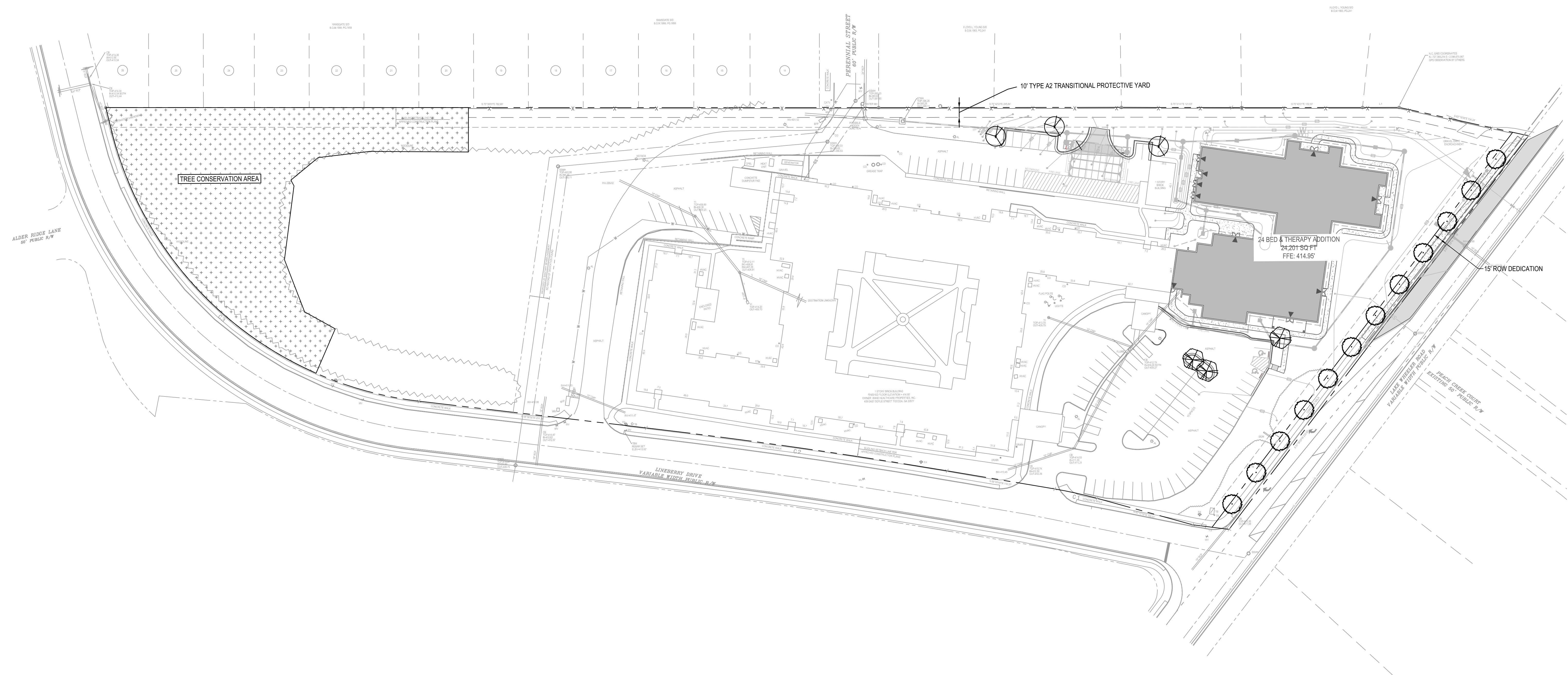








**LEGEND:**  
 TREE CONSERVATION AREA



**CITY OF RALEIGH LANDSCAPE NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS.
2. NO PERMIT FOR THE CONSTRUCTION, RECONSTRUCTION, EXTENSION, REPAIR OR ALTERATION OF ANY BUILDING, STRUCTURE OR USE OF LAND AND NO BUILDING OR LAND OR ANY PART OF ANY BUILDING OR LAND, MAY BE OCCUPIED OR USED UNTIL LANDSCAPING HAS BEEN PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UDO.
3. THE DEVELOPMENT SERVICES DIRECTOR CANNOT ISSUE A CERTIFICATE OF COMPLIANCE UNTIL ALL LANDSCAPING HAS BEEN INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UDO.
4. A TEMPORARY CERTIFICATE OF COMPLIANCE MAY BE ISSUED WHEN THE DEVELOPMENT SERVICES DIRECTOR DETERMINES THAT DUE TO THE UNAVAILABILITY OF PLANT MATERIAL OR WEATHER CONCERNS, PLANTING LANDSCAPING WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS FOR A PERIOD OF UP TO 1 YEAR FOLLOWING THE DATE OF APPLICATION FOR A CERTIFICATE OF COMPLIANCE.
5. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TPP-03.
6. TREE AND SHRUB PLANTINGS SHOULD NOT INTERFERE WITH THE SAFE VEHICULAR AND PEDESTRIAN CIRCULATION ON THE SITE.
7. LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING AISLES OR THE APPROACH TO ANY STREET INTERSECTION.
8. ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE SIGHT TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.
9. TREES CANNOT BE PLANTED WITHIN A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE.
10. NO REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED INSIDE UTILITY AND DRAINAGE EASEMENTS, EXCLUDING OVERHEAD EASEMENTS, WITHOUT THE CONSENT OF THE CITY AND THE EASEMENT HOLDER.
11. THE OWNER OR TENANT IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED LANDSCAPING IN GOOD HEALTH. ANY DEAD, UNHEALTHY OR MISSING LANDSCAPING MUST BE REPLACED WITH LANDSCAPING THAT CONFORMS TO THE UDO WITHIN 30 DAYS (OR WITHIN 180 DAYS WHERE WEATHER CONCERNS WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS). IN THE EVENT THAT REQUIRED LANDSCAPE IS SEVERELY DAMAGED DUE TO AN UNUSUAL WEATHER OCCURRENCE OR OTHER ACT OF NATURE, THE OWNER OR TENANT MAY HAVE 2 YEARS TO REPLACE THE REQUIRED LANDSCAPING.
12. ALL PLANTING AREAS MUST BE STABILIZED FROM SOIL EROSION IMMEDIATELY UPON PLANTING AND MUST BE MAINTAINED FOR THE DURATION OF THE USE.
13. ALL REQUIRED LANDSCAPING SHALL BE ALLOWED TO REACH ITS REQUIRED SIZE AND SHALL BE MAINTAINED AT THAT REQUIRED SIZE.
14. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

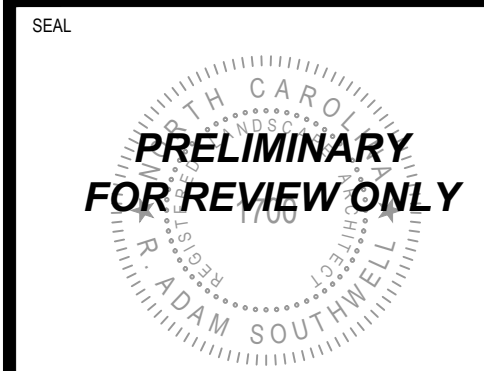
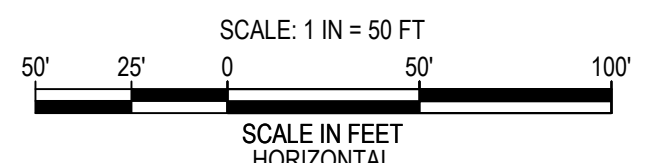
**ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS**

REVISIONS	DATE: 05-XX-2024	HORIZ. SCALE: 1" = 50'
	FILE NO. 2021-087	ORIG. SHEET SIZE: 24 x 36

**PRUITT WAKE HEALTHCARE EXPANSION  
 OVERALL LANDSCAPE PLAN**

T (919) 552-2800  
 F (919) 552-2043  
 200 S. Eglar Avenue  
 Cary, NC 27513

**Curry**  
 ENGINEERING  
 L-2.0



NOT FOR CONSTRUCTION

D:\000000\000000\DESIGN - RLC\PROJECTS\CURRY ENGINEERING\PRUITT WAKE HEALTHCARE EXPANSION\CAD\210 OVERALL LANDSCAPE PLAN.DWG  
 DATE: 05-XX-2024

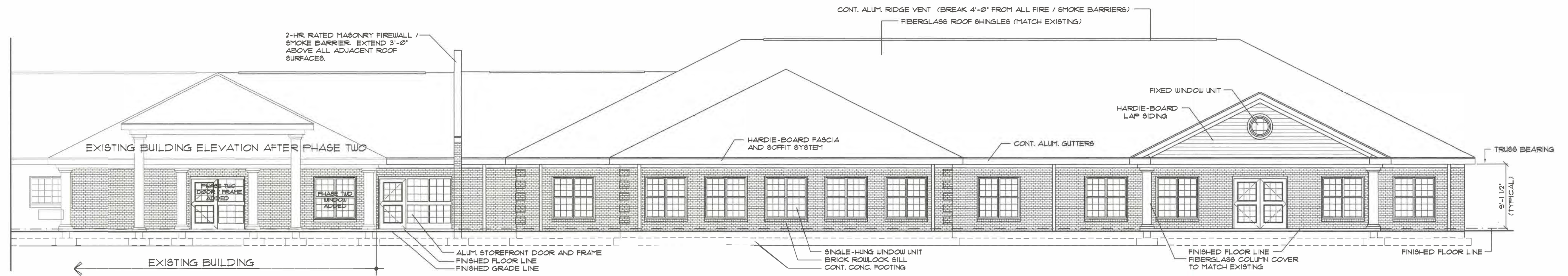




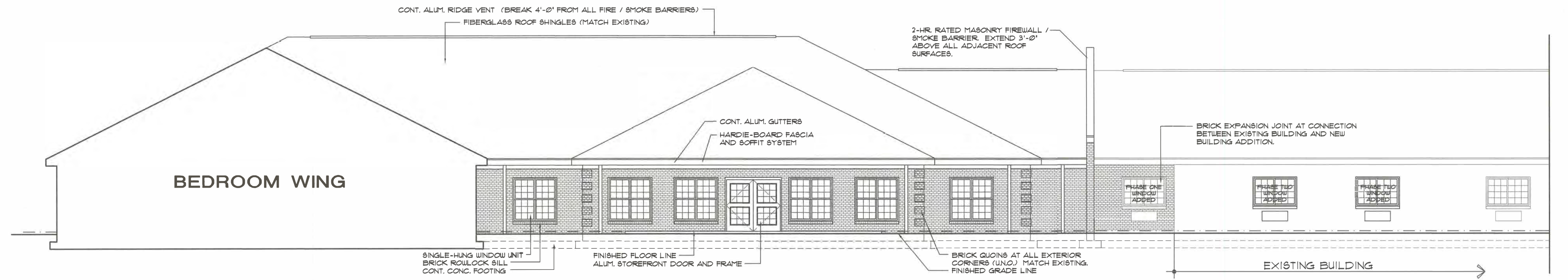




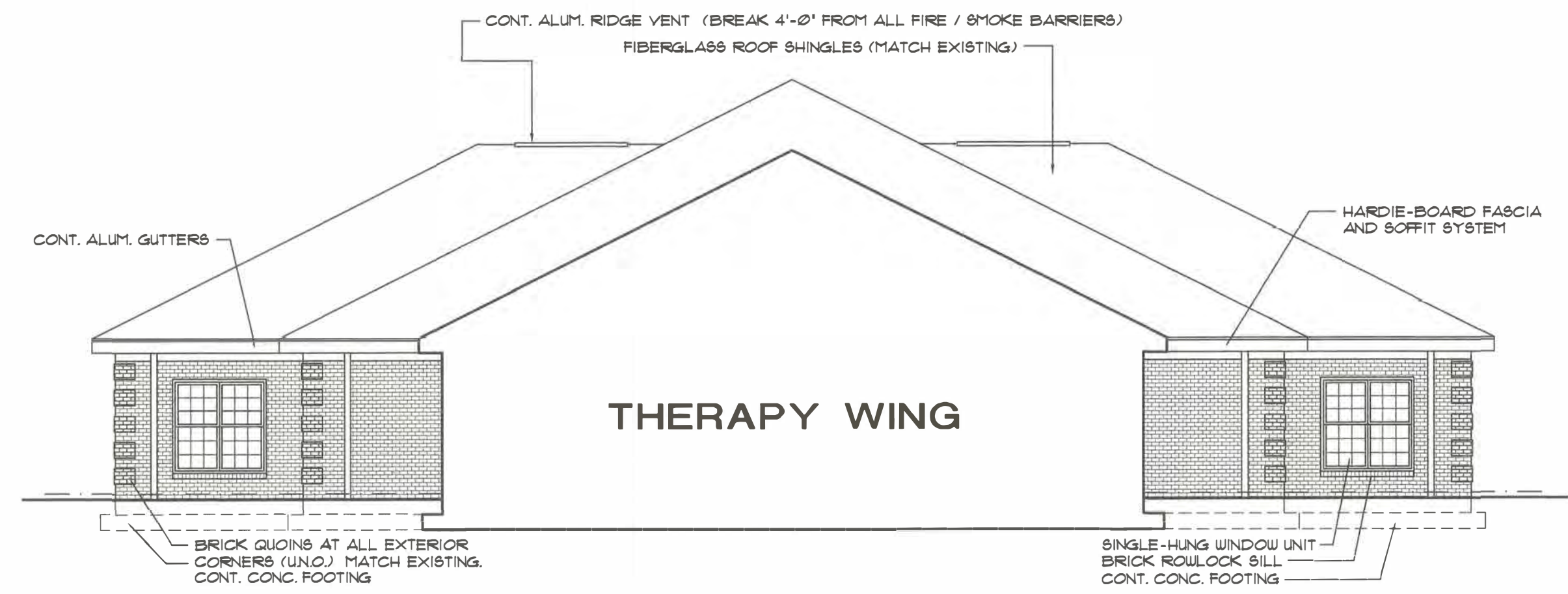




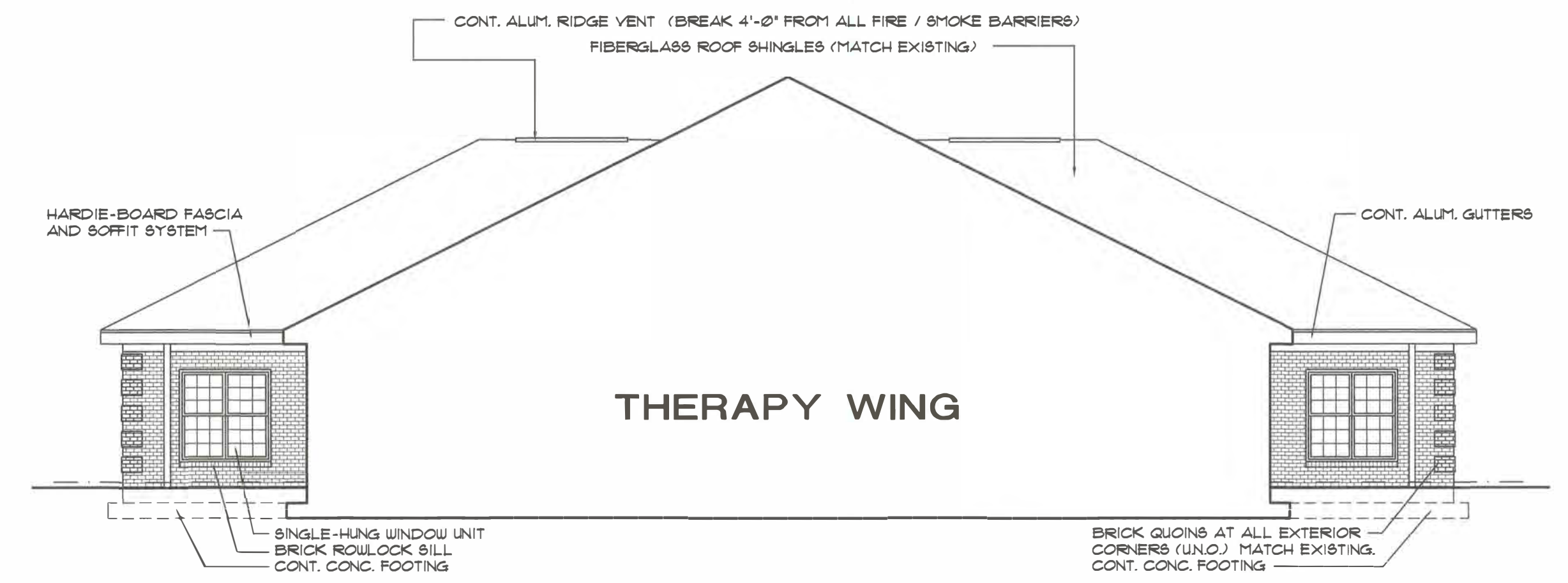
1201 **ELEVATION**  
SCALE: 1/8" = 1'-0"



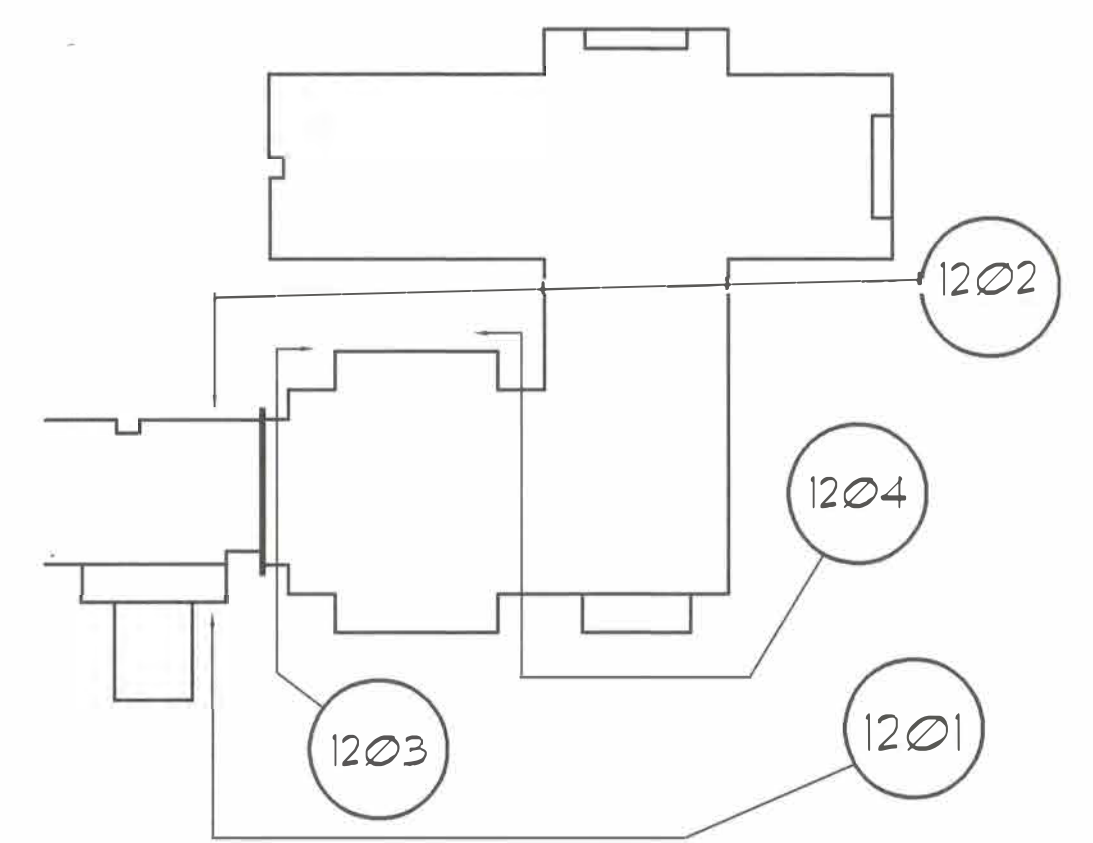
1202 **ELEVATION**  
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1203 **ELEVATION**  
SCALE: 1/8" = 1'-0"

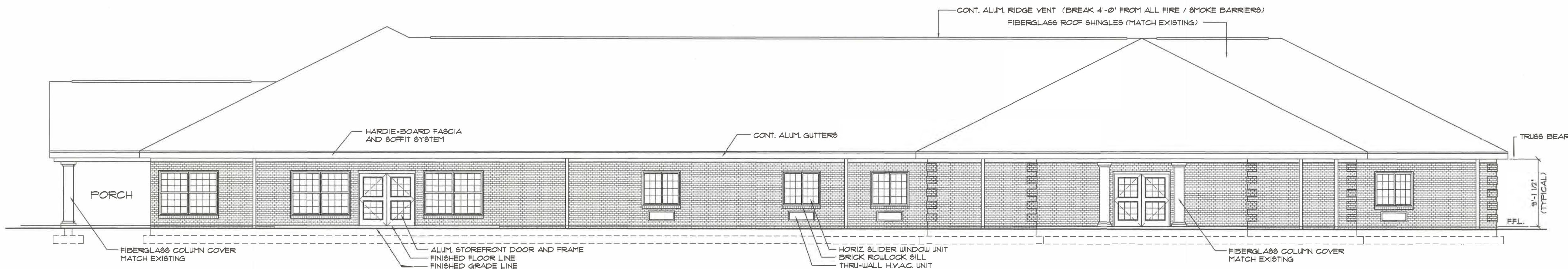


1204 **ELEVATION**  
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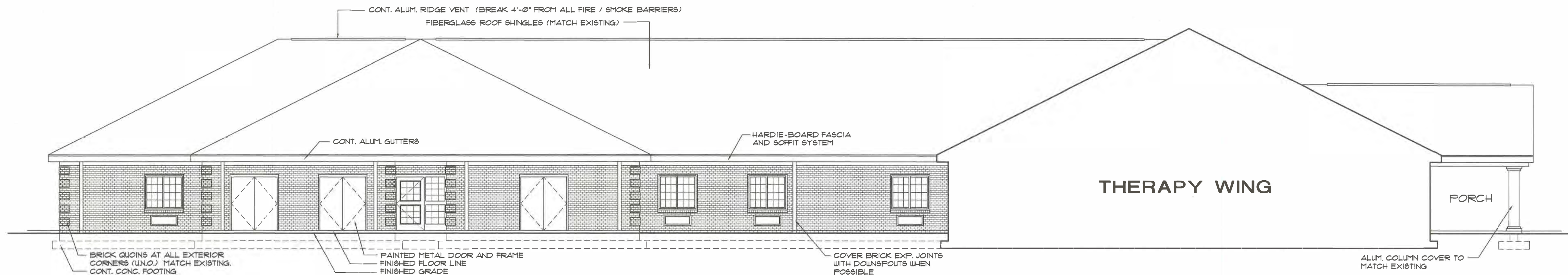


**ELEVATION KEY**

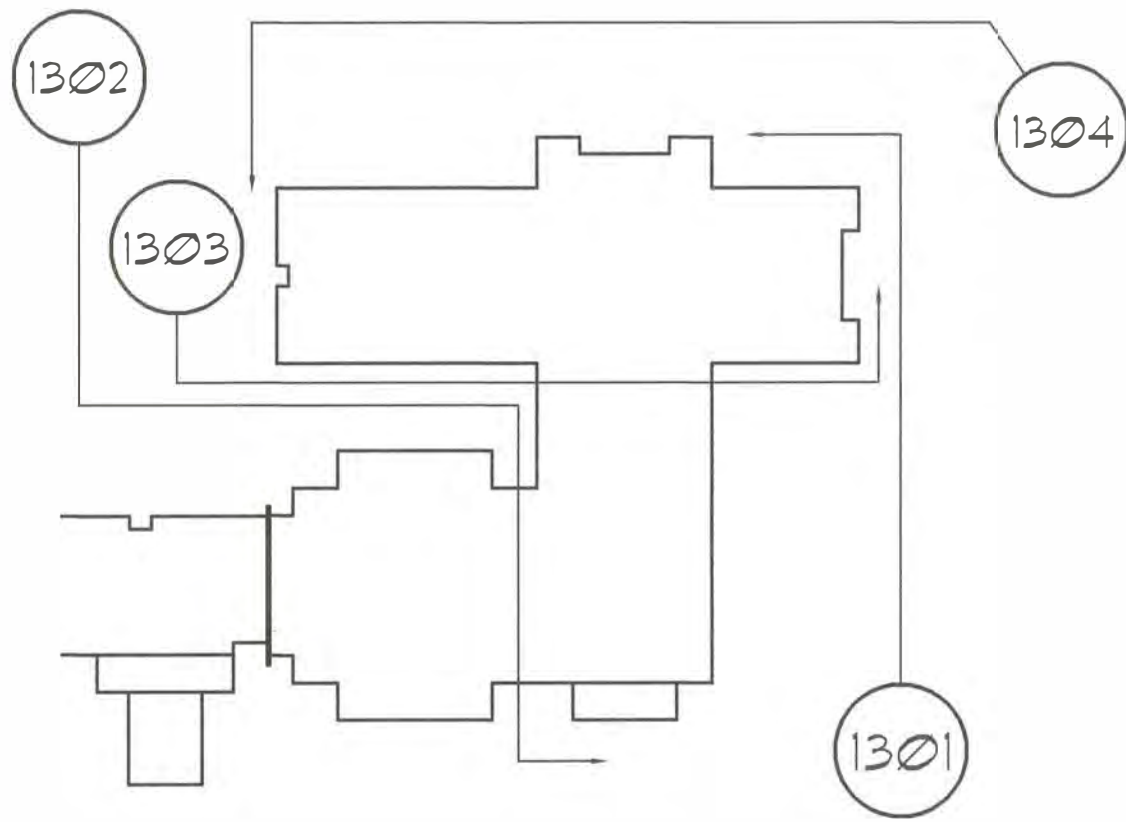




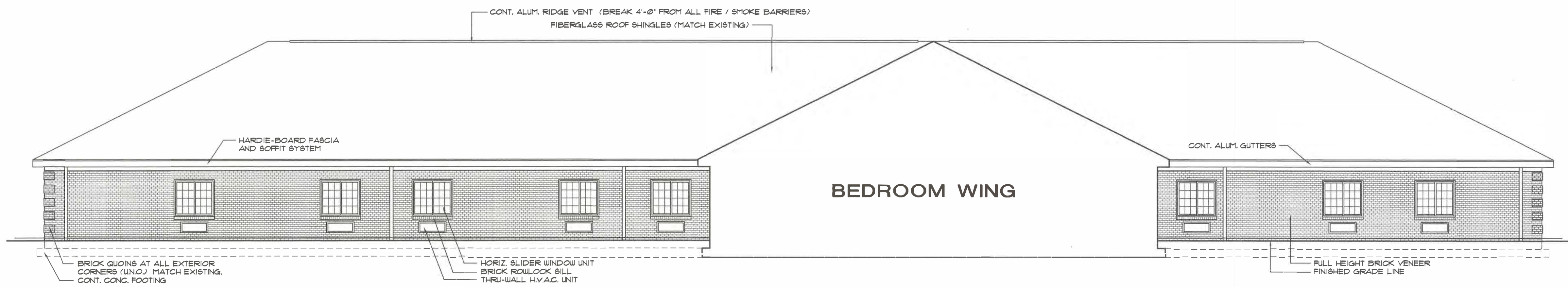
**1301 ELEVATION**  
SCALE: 1/8" = 1'-0"



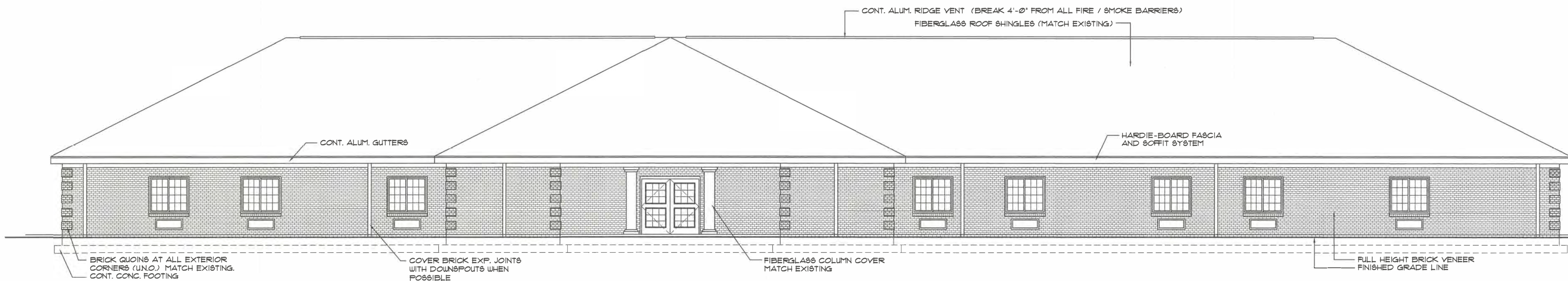
**1302 ELEVATION**  
SCALE: 1/8" = 1'-0"



**ELEVATION KEY**



**1303 ELEVATION**  
SCALE: 1/8" = 1'-0"



**1304 ELEVATION**  
SCALE: 1/8" = 1'-0"