



Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: <u>ASR-0082-2019</u>		Planning Coordinator: <u>Jermont</u>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision transaction #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Sketch transaction #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: ISH DELICATESSEN			
Inside City limits? <input type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): 200 West Lane St, Raleigh, NC 27603			
Site P.I.N.(s): 1704602523			
Please describe the scope of work. Include any additions, expansions, and change of use. Demolition of existing building and parking area. Construction of a two-story building, driveway, amenity area and planting. Uses in the building are restaurant. Gross area for the building is 5,633 SF.			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company: Dawson Lane LLC		Title:	
Address: 821 Wake Forest Rd			
Phone #: 919.602.6900		Email: russ@lodenproperties.com	
Applicant Name: Emily Rothrock			
Company: Site Collaborative		Address: 821 Wake Forest Rd	
Phone #: 919.805.3586		Email: emily@sitecollaborative.com	

DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): DX-12-UG	Existing gross floor area (not to be demolished): N/A
	Existing gross floor area to be demolished: 1,320 SF
Gross site acreage: .20	New gross floor area: 5,633 SF
# of parking spaces required: 0	Total sf gross (to remain and new): 5,633 SF
# of parking spaces proposed: 0	Proposed # of buildings: 1
Overlay District (if applicable): N/A	Proposed # of stories for each: 2
Existing use (UDO 6.1.4): RESTAURANT	
Proposed use (UDO 6.1.4): RESTAURANT	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: .195 Square Feet: 8,485	Proposed Impervious Surface: Acres: _____ Square Feet: _____
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: _____ Flood stu _____ FEMA Map Panel #: _____	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS

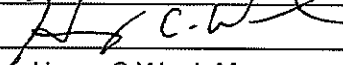
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br: 2br: 3br: 4br or more:	
# of lots:	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Emily Rothrock, PLA to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: 	Date: 10.22.19
Printed Name: Henry C Ward, Manager	



Administrative Site Review Checklist

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

Use this checklist as a guide for Administrative Site Review submittals requirements.
This checklist must be submitted with your application.

MAILED NOTIFICATION REQUIREMENTS
Mailed notice is required for projects that: <ol style="list-style-type: none"> 1. Include new buildings greater than 25,000 square feet, or additions that represent a 10% increase in building area or 25,000 square feet (whichever is greater), AND; 2. The subject property is located within 100 feet of a property that is zoned: R-1, R-2, R-4, R-6, R-10 If your project requires mailed notice, click here to download the letter template and other helpful information.
Please check one of the following: <ul style="list-style-type: none"> Yes, my project meets the mailed notification requirement and my letters are provided with this application. The mailed notification is not applicable for my project.

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Cover sheet and/or second sheet: include project name and location; site data table (<i>include Property Identification Numbers (PINs), Zoning, Overlay District(s), Frontage Type, Current Use(s), Proposed Use(s), Building Square Footage(s), residential density and unit data, existing and proposed parking calculations</i>); general notes; sheet index and legend defining symbols with north arrow; contact information for owner, applicant, and all consultants; vicinity map no smaller than 1"=500' and no larger than 1"=1000'; and adopted zoning conditions (if any)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
2. Existing conditions sheet: including, but not limited to - graphic scale; site size with meets and bounds; setbacks/ build-to lines; existing structures; utilities and easements; topography, infrastructure (<i>adjacent streets with names and r/w width, sidewalks, water, and sewer</i>); built improvements (<i>parking, driveways, alleys</i>); and vegetation	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
3. Demolition plan: Clearly indicate items to be removed	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
4. Proposed site plan: including but not limited to – north arrow and graphic scale; show and distinguish between existing and proposed conditions (<i>structures, streets, driveways, parking, storage areas, service areas, etc.</i>); setback/build-to lines; proposed property lines; streetscape; mechanical equipment (<i>HVAC, generators, etc.</i>); sidewalks, walkways, trails; solid waste facilities; parking and parking calculations (<i>UDO Section 7.1.2</i>); amenity area (<i>UDO Section 1.5.3</i>); open space and/or greenways; transition protective yard (<i>UDO Section 7.2.4</i>); Site Data (<i>Square footages for proposed and existing uses; Parking calculations; amenity area calculations; Setback/Build-to; transitional protective yard type (UDO Section 7.2.4.A); street protective yard type (UDO Section 7.2.4.B.)</i>)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	

Please continue to page two >

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
5. Proposed grading plan: including but not limited to - Limits of land disturbance; grading; structural improvements with finished floor elevations; stream buffers with labels; labeled impervious surfaces (and calculations); tree protection fencing information; retaining walls with top and bottom of wall; stormwater ponds, bioretention facilities, etc.	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>	<input type="checkbox"/>	
6. Proposed stormwater plan: include preliminary stormwater quantity and quality summary and calculations package. If not required, provide notes indicating such and reference UDO section on front cover	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. Proposed Utility Plan: All utilities (shown underground); above ground utilities and equipment with required screening (<i>UDO Section 7.2.5.D.</i>); include Fire	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Lighting Plan: Pole mounted fixture locations and details (with height labeled to top of fixture; building mounted fixture locations; graphics and notes conveying compliance with UDO Section 7.4	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. Proposed tree conservation plan: for secondary tree conservation areas, include two copies of the tree cover report completed by a certified arborist, NC licensed landscape architect, or NC registered forester. If not required, provide notes indicating such and reference UDO section on front cover	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
10. Proposed landscape plan: (<i>UDO Section 7.2</i>) including but not limited to – existing vegetation to remain; proposed landscaping meeting minimum size and species mixing requirements; plant list; label yard types; show and label parking lot landscaping (<i>UDO Section 7.1.7.</i>) include existing and/or proposed parking lot light fixtures	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Architectural Elevations showing existing and/or proposed building height per UDO Section 1.5.7., 2.3, 3.2., and 3.3., transparency per UDO Section 1.5.9., 2.3 and 3.2, and blank wall area per UDO Section 1.5.10.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

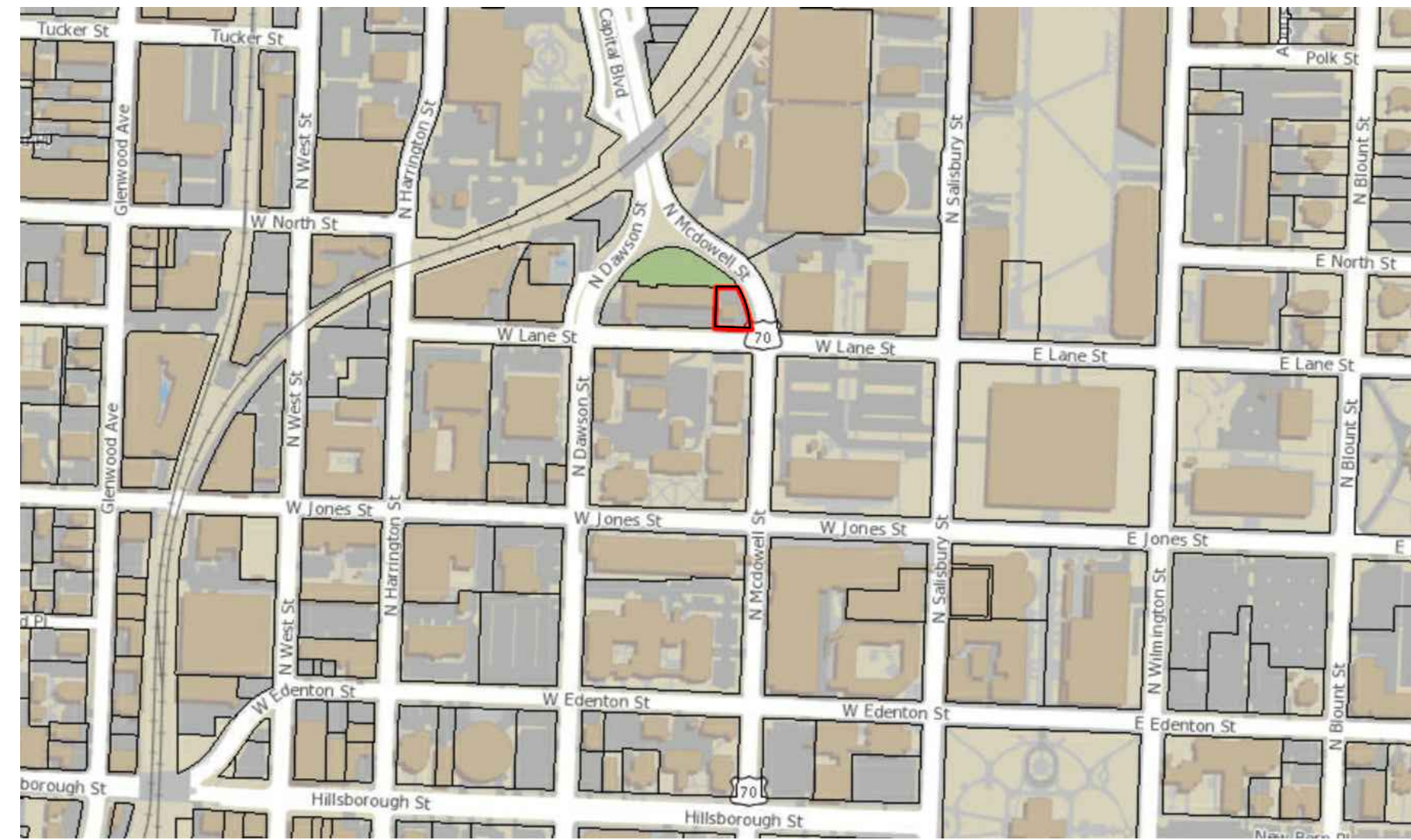
NOTE: Revisions to previously approved site plans must contain the following minimum information:

REQUIREMENTS FOR REVISIONS TO EXISTING SITE PLANS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
1. Provide documentation showing Development Services Staff have approved the proposed site plan changes as a revision	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Provide narrative of the proposed revisions on the cover page and modify the project name to include revision	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. List date of previously approved site plan.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Cloud areas of proposed change on all applicable sheets, and provide a legend specifying the proposed changes on all applicable sheets	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Provide updated site data table including building square footages, parking calculations, etc.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Provide documented history of impervious surfaces with dates	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

ISH DELICATESSEN

ADMINISTRATIVE SITE REVIEW

CITY OF RALEIGH CASE # :



VICINITY MAP

SCALE: 1" = 400'

DEVELOPMENT SERVICES

Administrative Site Review Application

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Office Use Only: Transaction #:		Planning Coordinator:										
<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>Building Type</th> <th>Site Transaction History</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/> Detached</td> <td><input checked="" type="checkbox"/> General</td> </tr> <tr> <td><input type="checkbox"/> Attached</td> <td><input type="checkbox"/> Mixed use</td> </tr> <tr> <td><input type="checkbox"/> Apartment</td> <td><input type="checkbox"/> Open lot</td> </tr> <tr> <td><input type="checkbox"/> Townhouse</td> <td><input type="checkbox"/> Civic</td> </tr> </tbody> </table>		Building Type	Site Transaction History	<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Subdivision transaction #: _____ Sketch transaction #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Administrative Alternate #: _____
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GENERAL INFORMATION

Development name: ISH DELICATESSEN

Inside City limits? Yes No

Property address(es): **200 West Lane St, Raleigh, NC 27603**

Site P.I.N.(s): 1704602523

Please describe the scope of work. Include any additions, expansions, and change of use.
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Current Property Owner/Developer Contact Name:
NOTE: please attach purchase agreement when submitting this form.
 Company: Dawson Lane LLC Title: _____
 Address: 821 Wake Forest Rd _____
 Phone #: 919.602.6900 Email: russ@lodenproperties.com
 Applicant Name: Emily Rothrock
 Company: Site Collaborative Address: 821 Wake Forest Rd
 Phone #: 919.805.3586 Email: emily@sitecollaborative.com

Page 1 of 2

revision 05.01.19
raleighnc.gov

DEVELOPMENT TYPE - SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
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Proposed use (UDO 6.1.4): RESTAURANT	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: .195	Square Feet: 8,485	Proposed Impervious Surface: Acres: _____	Square Feet: _____
---	--------------------	--	--------------------

Is this a flood hazard area? Yes No

If yes, please provide:
 Alluvial soils: _____
 Flood sta: _____
 FEMA Map Panel #: _____
 Neuse River Buffer Yes No Wetlands Yes No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: _____	Total # of hotel units: _____
# of bedroom units: 1br: _____ 2br: _____ 3br: _____ 4br or more: _____	
# of lots: _____	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK

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Signature: [Signature] Date: 10.22.19
 Printed Name: Henry C Ward, Manager

Page 2 of 2

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SHEET INDEX	
COV	COVER
L100	EXISTING CONDITIONS
L101	DEMOLITION PLAN
L200	LAYOUT & MATERIALS PLAN
L201	SITE DETAILS
L202	SITE DETAILS
L203	SITE DETAILS
L300	GRADING PLAN
L400	PLANTING PLAN
L401	PLANTING NOTES & DETAILS
U100	UTILITY PLAN
A300	BUILDING ELEVATIONS

SOLID WASTE SERVICES:

- SOLID WASTE ON SITE TO UTILIZE PRIVATE SERVICE.
- ALL ON-SITE AMENITIES RELATED TO GARBAGE DISPOSAL INCLUDING - BUT NOT LIMITED TO - DUMPSTER ENCLOSURE, PAVEMENT, AND CURB RADII SHALL COMPLY WITH THE CITY'S SOLID WASTE DESIGN MANUAL. REFER TO SHEET L200 FOR MORE DETAILS.

STORMWATER

- THIS PROJECT DOES NOT INCREASE OVERALL IMPERVIOUS SURFACE AREA FROM EXISTING CONDITIONS AND THEREFORE IS EXEMPT FROM REQUIRED STORMWATER CONTROLS IN ACCORDANCE WITH CITY OF RALEIGH UDO 9.2.2.A.3.C

LIGHTING PLAN

- THIS PROJECT DOES NOT HAVE ANY ADDITIONAL PARKING LOT LIGHTING AT THIS TIME. LIGHTING FOR THE BUILDING WILL BE PROVIDED AT BUILDING PERMITS IN ACCORDANCE WITH SEC. 7.4

TREE CONSERVATION

- THE LOT SIZE IS UNDER 2 ACRES AND THEREFORE IS NOT REQUIRED TO PROVIDE A TREE CONSERVATION PLAN PER SEC. 9.1.2.

ADDITIONAL NOTES

- PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT, A PEDESTRIAN DETOUR AND TRAFFIC CONTROL PLAN MUST BE APPROVED AND PERMITS ISSUED WHEN THE SIDEWALK AND DRIVEWAY ARE REMOVED.
- PRIOR TO THE ISSUANCE OF SITE PERMITS, AN NCDOT DRIVEWAY PERMIT MUST BE APPROVED AND ANY COMMENTS MUST BE INCORPORATED INTO THE SITE DRAWINGS TO THE CITY OF RALEIGH.

SITE DATA SUMMARY	
PROJECT NAME	ISH DELICATESSEN
EXISTING STREET ADDRESS	200 W LANE STREET, RALEIGH, NC
LOT AREA	2 ACRES
CURRENT ZONING	DX-12-UG
OVERLAY DISTRICT(S)	NONE
PARCEL NUMBER	1704602523
REAL ID NUMBER	0010961
DEED BOOK / DEED PAGE	BM 10417 / PG 143
EXISTING GROSS BUILDING AREA	1,320 SF
EXISTING BUILDING USE	RESTAURANT
PROPOSED GROSS BUILDING AREA	5,633 SF
PROPOSED BUILDINGS USES	RESTAURANT
EXISTING IMPERVIOUS AREA	8,485 SF
PROPOSED IMPERVIOUS AREA	8,241 SF
NET CHANGE IN IMPERVIOUS AREA	-244 SF
TOTAL AREA DISTURBED	8,927 SF (2) AC

CONTACT INFORMATION

PROPERTY OWNER
 DAWSON LANE LLC
 821 WAKE FOREST RD
 RALEIGH, NC 27604
 CONTACT: RUSS JONES
 PHONE: 919.602.6900
 EMAIL: RUSS@LODENPROPERTIES.COM

ARCHITECT
 CLEARSCAPES
 311-200 W MARTIN STREET, RALEIGH, NC 27601
 CONTACT: JON ZELLWEGER
 PHONE: 919.821.2775
 EMAIL: JZ@CLEARSCAPES.COM

LANDSCAPE ARCHITECT
 SITE COLLABORATIVE, INC.
 821 WAKE FOREST RD
 RALEIGH, NC 27604
 CONTACT: EMILY ROTHROCK
 PHONE: 919.805.3586
 EMAIL: EMILY@SITECOLLABORATIVE.COM

CIVIL ENGINEER
 WAKE LAND DESIGN, PLLC
 P.O. BOX 418
 CLAYTON, NC 27528
 CONTACT: JASON MEADOWS
 PHONE: 919.889.2614
 EMAIL: JASON@WAKELANDDESIGN.COM

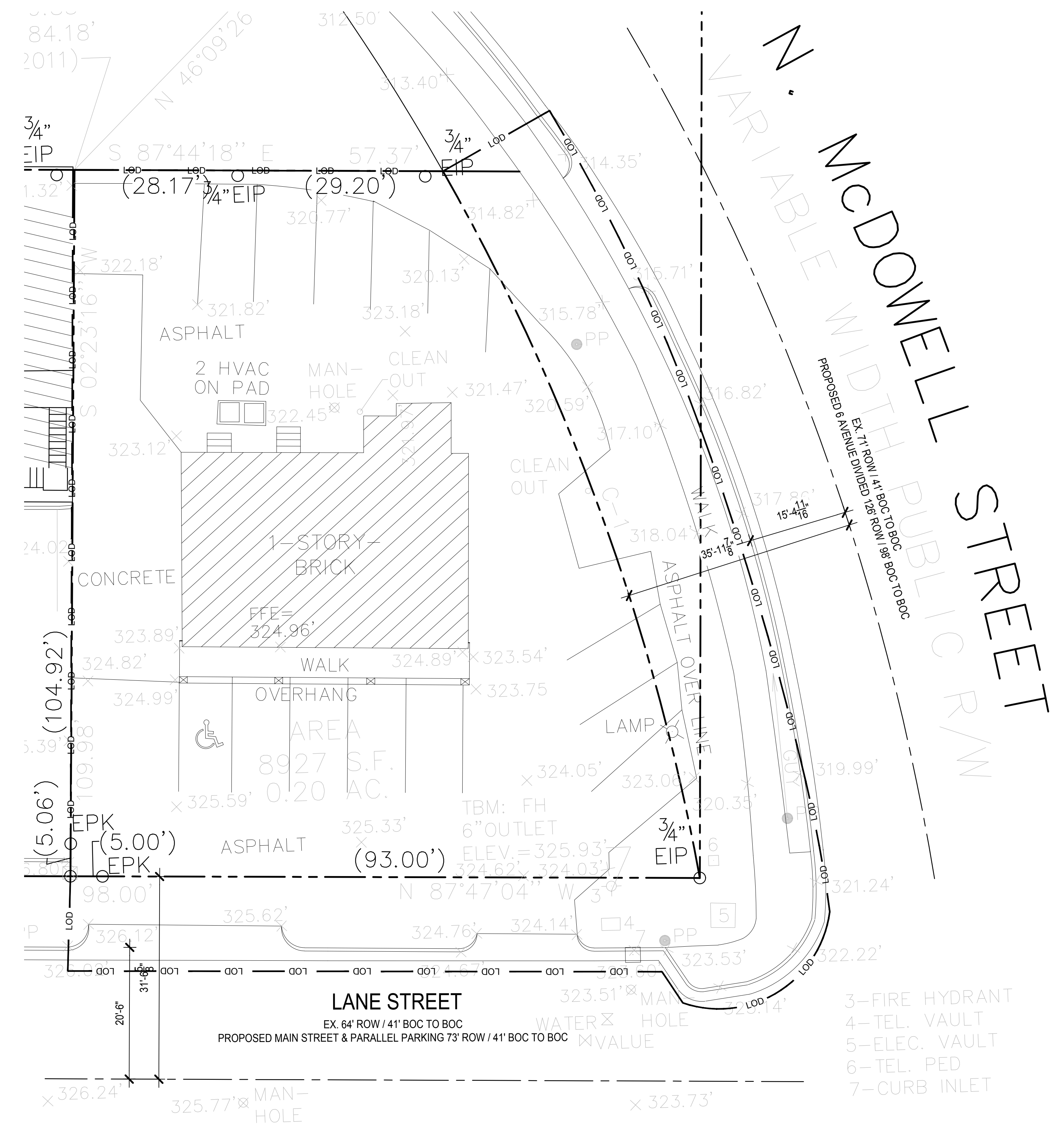


REUSE OF DOCUMENT
 This document is the property of Site Collaborative Inc. The ideas and design incorporated on this document is an instrument of professional service and shall not be used for any other project without written authorization of Site Collaborative Inc.

ISH DELICATESSEN
 Loden Properties
 200 West Lane St, Raleigh, NC

PROJECT NUMBER: 18123.01
PROJECT PHASE: ADMINISTRATIVE SITE REVIEW
DATE: 10.22.2019
SHEET TITLE: COVER
SHEET NUMBER: COV

REUSE OF DOCUMENT
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- 3-FIRE HYDRANT
- 4-TEL. VAULT
- 5-ELEC. VAULT
- 6-TEL. PED
- 7-CURB INLET

ISH DELICATESSEN
 Loden Properties
 200 West Lane St, Raleigh, NC

PROJECT NUMBER:
 18123.01

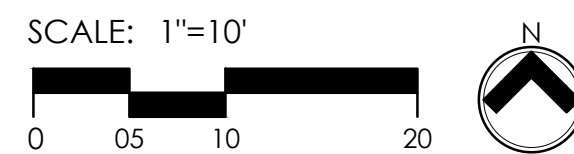
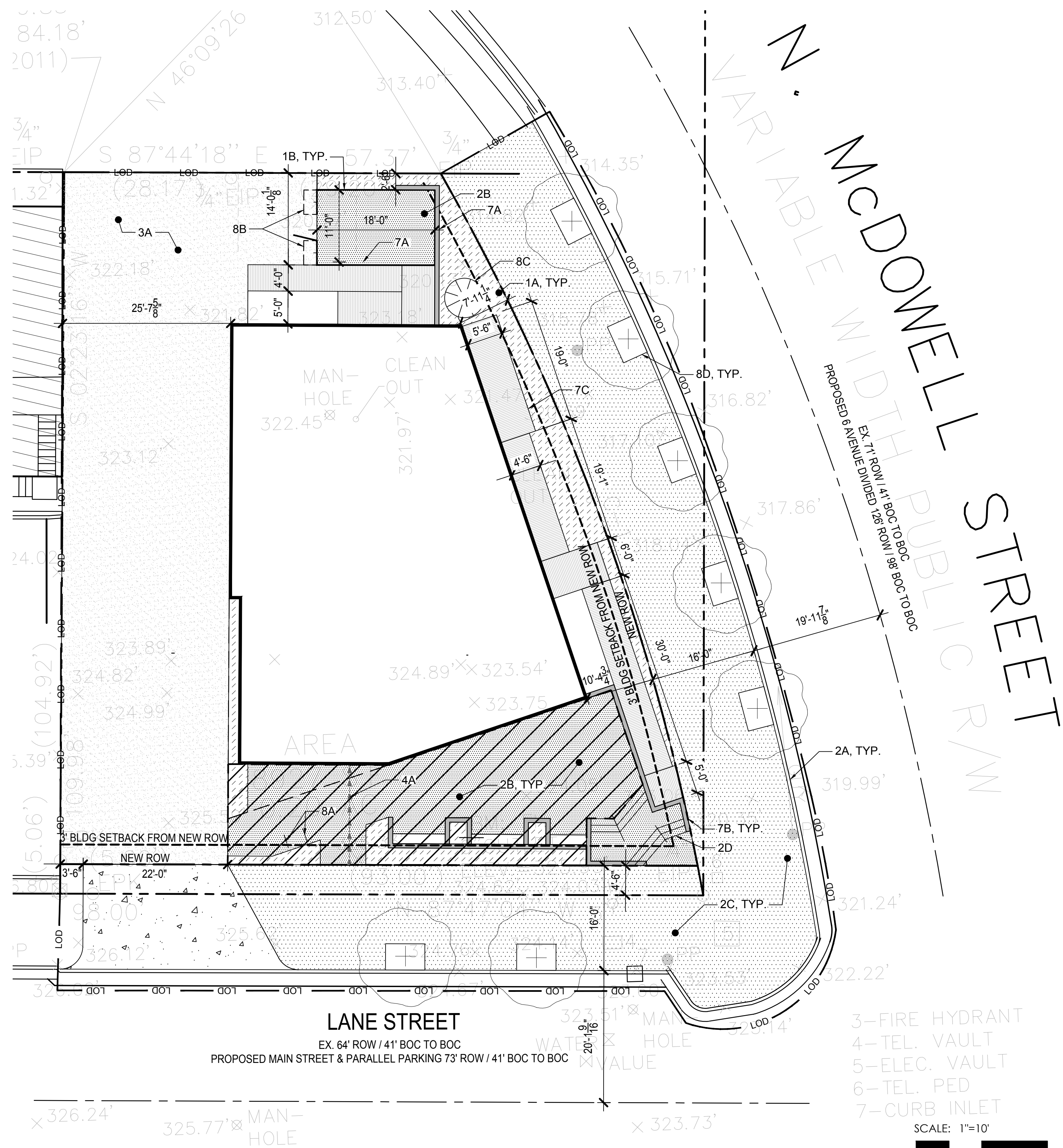
PROJECT PHASE:
 ADMINISTRATIVE
 SITE REVIEW

DATE:
 10.22.2019

SHEET TITLE:
 EXISTING
 CONDITIONS

SHEET NUMBER:

L100



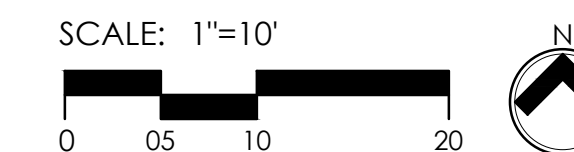
KEYNOTE LEGEND (FURNISH AND INSTALL)

KEY	DESCRIPTION	DETAIL / SHEET
1A	PLANTING BED - TRIPLE SHREDDED HARDWOOD MULCH - SEE PLANTING PLAN	--
1B	LIMITS OF PLANTING BED - 4" DEEP "V" SPADED EDGE - SEE PLANTING PLAN	--
2A	30" WIDE CONCRETE CURB & GUTTER PER CITY OF RALEIGH STANDARDS (INSIDE R.O.W ONLY)	T-10.26.1/L 202
2B	4" THICK CONCRETE PAVING. SAWCUT EXISTING TO NEAREST CONTROL JOINT.	1/L201
2C	4" THICK CONCRETE SIDEWALK PER CITY OF RALEIGH STANDARDS	T-30.01/L203
2D	CONCRETE STEPS WITH HANDRAIL - 1' TRED / 6" RISER	8/L201
3A	HEAVY DUTY ASPHALT	4/L201
4A	ACCESSIBLE ROUTE - 5% MAX. LONGITUDINAL SLOPE, 2% MAX. CROSS SLOPE	--
4B	ACCESSIBLE CURB RAMP WITH WARNING DETECTION DEVICE PER CITY OF RALEIGH STANDARD	T-20.01.2/L 202
7A	DUMPSTER ENCLOSURE TO MATCH ARCHITECTURE - PER CITY OF RALEIGH STANDARDS.	5,6/L201
7B	CONCRETE MODULAR RETAINING WALL - SEE GRADING PLAN	7/L201
7C	BUILDING EGRESS RAMP & LANDING WITH HANDRAIL	
8A	BIKE RACK - ANOVA FURNISHINGS MODEL CIRCLEBRS2. SURFACE MOUNTED INSTALLED PER MANUFACTURERS SPECIFICATIONS.	5/L203
8B	WALL MOUNTED & COVERED BIKE RACK	9/L201
8C	FUTURE CISTERN TO BE SELECTED BY OWNER	---
8D	STANDARD CITY OF RALEIGH TREE GRATE	TPP-06/L203

VEHICLE PARKING						
	USE	AREA (SF)	DESCRIPTION	REQUIRED	PROVIDED	
	EXISTING	RESTAURANT	1,320	1 space / 150 SF	0 per DX Zoning / UDO 7.1.3.A.1.e	12
	PROPOSED	RESTAURANT	5,633	1 space / 150 SF	0 per DX Zoning / UDO 7.1.3.A.1.e	0

BICYCLE PARKING (SHORT TERM)				BICYCLE PARKING (LONG TERM)**		
USE	DESCRIPTION	REQUIRED	PROVIDED	DESCRIPTION	REQUIRED	PROVIDED
RESTAURANT	1 space / 50,000 SF (min. 4)	4	4	1 space / 25,000 SF (min. 4)	4	4
TOTAL		4	4		4	4

AMENITY AREA REQUIREMENTS				
ZONING	LOT AREA (SF)	PERCENT (%)	REQUIRED (SF)	PROPOSED (SF)
DX-12	8,927	10	893	1,111



GENERAL SITE NOTES

- ALL CONSTRUCTION IN RIGHT-OF-WAY PER CITY OF RALEIGH STANDARD.
- SIDEWALKS ALONG RIGHT-OF-WAY ARE PUBLIC AND MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. EXISTING PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION ARE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PAVEMENTS TO SLOPE POSITIVELY AWAY FROM ALL BUILDINGS. PONDING OF WATER IS PROHIBITED.
- PROVIDE CONSTRUCTION JOINTS IN CONCRETE WALKWAYS AS SHOWN IN PLANS. IF NOT SHOWN ON PLANS - MAX SPACING @ 10'
- THROUGHOUT PROJECT SITE. ALL DIMENSIONS TO BE FIELD VERIFIED. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY. ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING, TO CENTERLINE, CENTER TO CENTER ON STRIPES, AND/OR FACE OF CURB, UNLESS OTHERWISE NOTED.
- BUILDING AND PUBLIC ROADWAY STAKE OUT SHALL BE PERFORMED BY A REGISTERED LAND SURVEYOR.
- GUARDRAILS MUST BE INSTALLED ON THE OPEN SIDES OF ELEVATED WALKING SURFACES THAT EXCEED 30 INCHES IN HEIGHT. ALL GUARDRAILS MUST BE A MINIMUM HEIGHT OF 42 INCHES ABOVE THE LEADING EDGE OF THE TREAD OR WALKING SURFACE. GUARDRAILS SHALL HAVE BALUSTERS SUCH THAT A 4 INCH DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENING UP TO A HEIGHT OF 34 INCHES. FROM 34 INCHES TO 42 INCHES ABOVE THE WALKING SURFACE, A 8 INCH DIAMETER SPHERE SHALL NOT PASS.
- THE CONTRACTOR, AT ALL TIMES, MUST KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY THE CONTRACTOR, THE CONTRACTOR'S EMPLOYEES OR THE CONTRACTOR'S SUBCONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITH THE EXPRESS WRITTEN PERMISSION OF THE OWNER.
- LANDSCAPE ARCHITECT AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE, ARE BASED ON A FIELD DATA PROVIDED TO LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL LOCATE EXISTING UTILITIES, UNDERGROUND LINES, AND STRUCTURES AS NECESSARY TO AVOID DAMAGING OR DESTROYING EXISTING SERVICES.
- THE CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING THE ACTUAL AND EXACT LOCATION, SIZE, AND MATERIAL COMPOSITION OF ANY EXISTING WATER OR SEWER SERVICE PROPOSED FOR CONNECTION OR USE ON THIS PROJECT. THE RELOCATION OF ANY UTILITY SERVICES REQUIRED TO COMPLETE ANY PORTION OF THESE CONSTRUCTION PLANS.
- CONTRACTOR SHALL MAINTAIN AN "AS BUILT" SET OF DRAWINGS TO RECORD ANY FIELD CHANGES, ALONG WITH ANY PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER AT THE END OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMITS AS ISSUED, AND ANY AND ALL APPLICABLE STATE, COUNTY AND LOCAL CODES.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED OR RESTORED TO THEIR ORIGINAL CONDITION, AND TO THE SATISFACTION OF THE OWNER OF THE IMPROVEMENTS.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, AND/OR ANY OTHER REQUIREMENTS WHICH MUST BE MET UNDER CONTRACT.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS.
- CONTRACTOR SHALL COORDINATE CONSTRUCTION OF ALL UNDERGROUND UTILITIES FOR THIS PROJECT WITH THE OWNER'S REPRESENTATIVE PER ALL APPLICABLE REGULATIONS.
- CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTOR'S ON SITE AND UTILITY PROVIDERS DURING CONSTRUCTION TO ENSURE SMOOTH TRANSITION BETWEEN DISCIPLINES.
- ALL DEMOLITION, AND ANY SUBSEQUENT CONSTRUCTION, SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS SET FORTH AND APPROVED BY THE CITY OF RALEIGH. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS. ALL TREE PROTECTION FENCING SHALL REMAIN IN PLACE DURING CONSTRUCTION.
- TRAFFIC CONTROLS FOR ANY UTILITY WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE PERFORMED IN COMPLIANCE WITH STANDARDS OF THE NORTH CAROLINA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CROSSWALK MARKINGS WITHIN RIGHT-OF-WAY SHALL BE CONSTRUCTED OF THERMOPLASTIC MATERIALS AND CONSTRUCTED IN ACCORDANCE WITH MUTCD SPECIFICATIONS. CONTRACTOR TO INSTALL CROSSWALKS IN SUCH A MANNER THAT CROSSWALKS ARE ALIGNED BETWEEN HANDICAP/WALKWAY ACCESS POINTS OR PERPENDICULAR TO THE ROADWAY / DRIVE LANE.
- ALL SIGNS AND PAVEMENT MARKINGS ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) AND NCDOT STANDARDS.
- ALL SIGNS SHALL USE PRISMATIC SHEETING THAT MEETS MINIMUM RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST EDITION OF THE MUTCD.



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ISH DELICATESSEN
Loden Properties
200 West Lane St, Raleigh, NC

PROJECT NUMBER:
18123.01

PROJECT PHASE:
ADMINISTRATIVE
SITE REVIEW

DATE:
10.22.2019

SHEET TITLE:
LAYOUT &
MATERIALS
PLAN

SHEET NUMBER:
L200



WAKE LAND DESIGN, PLLC
 CIVIL ENGINEERING
 PROJECT MANAGEMENT
 LAND PLANNING
 RALEIGH ZONING SPECIALIST

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 RALEIGH, NC 27529

Project
ISH DELICATESSEN

Process
 ADMINISTRATIVE SITE REVIEW

Revisions		
Number	Description	Date

Approvals

Drawing Title
UTILITY PLAN

Sheet Number
U100

Date Issued 10/22/19

GENERAL SITE NOTES

- CONTRACTOR SHALL CONFIRM ALL SIZES, MATERIALS, AND LOCATION OF ALL EXISTING UTILITIES.
- ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC UTILITIES DETAILS AND SPECIFICATIONS.

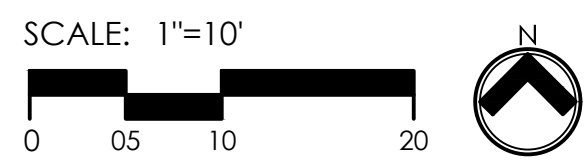
STANDARD UTILITY NOTES (as applicable):

- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
- Utility separation requirements:
 - A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to waterline specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
 - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed in the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to waterline specifications.
 - 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
 - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
 - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
- Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
- Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
- 3.0' minimum cover is required on all water mains & sewer forcemains. 4.0' minimum cover is required on all reuse mains.
- It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
- Install 3/4" copper* water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. *NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.*
- Install 4" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
- Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
- All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
- NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
- Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FGD Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-2334 or timothy.beasley@raleighnc.gov for more information.
- Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919)-996-5923 or joanie.hartley@raleighnc.gov for more information.

LEGEND

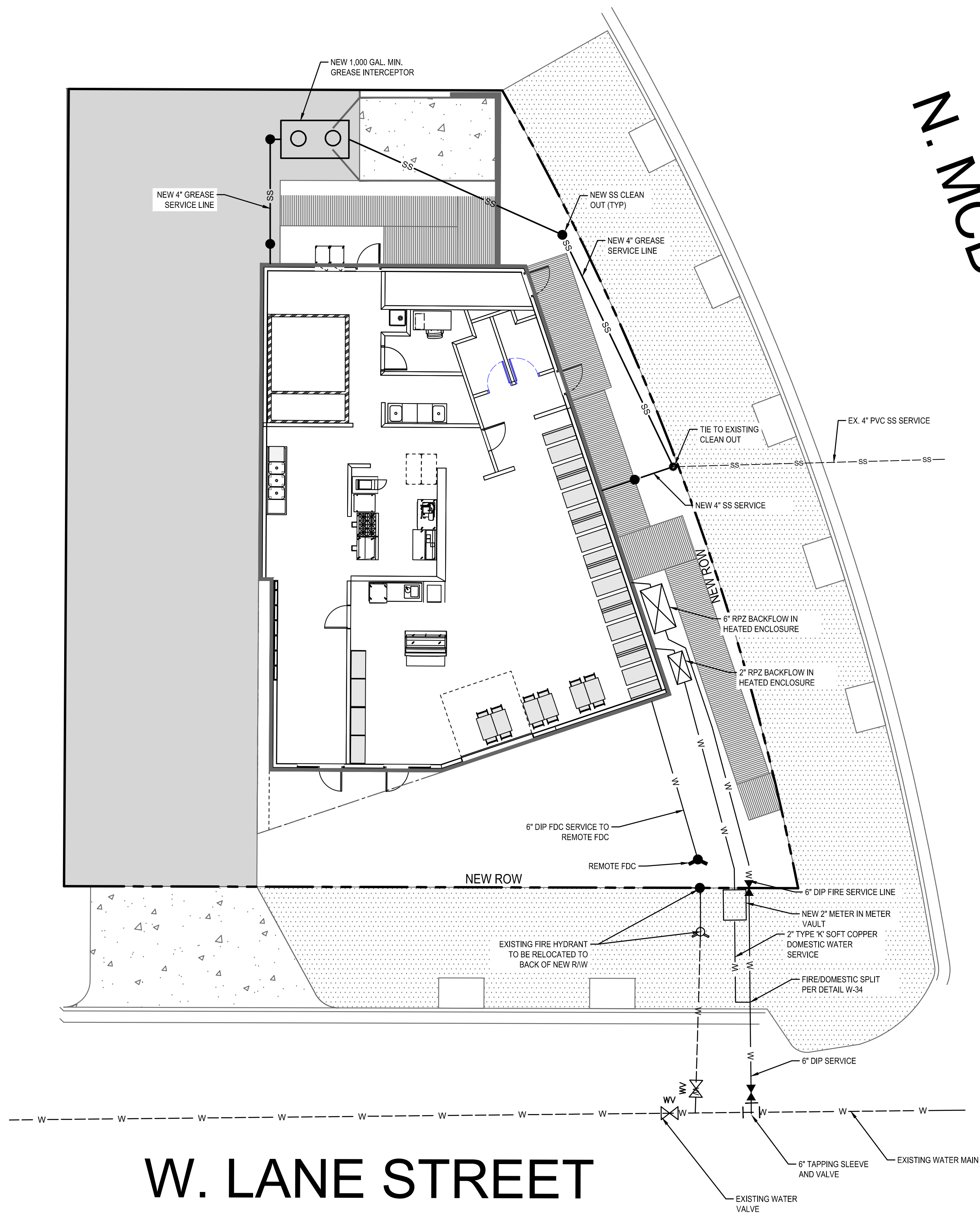
- BM BOOK OF MAPS
- DB DEED BOOK
- PG PAGE
- N/F NOW OR FORMERLY
- R/W RIGHT OF WAY
- EIP EXISTING IRON PIPE
- EMAG EXISTING MAG NAIL
- EPK EXISTING PK NAIL
- ERRS EXISTING RAILROAD SPIKE
- ENAIL EXISTING NAIL FOUND
- ERF EXISTING RAIL FOUND
- ECM EXISTING CONCRETE MONUMENT
- IPS IRON PIPE SET
- MAG MAG NAIL SET
- CP COMPUTED POINT
- RCP REINFORCED CONCRETE STORM PIPE
- PP POWER POLE
- GUY GUY ANCHORS

- EXISTING POWER POLE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING WATER VALVE
- PROPOSED WATER VALVE
- EXISTING WATER METER
- PROPOSED WATER METER
- EXISTING HOT BOX
- PROPOSED HOT BOX
- EXISTING MANHOLE
- PROPOSED MANHOLE
- BOUNDARY LINE
- RIGHT OF WAY LINE
- LINES NOT SURVEYED
- EASEMENT LINES
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SANITARY SEWER LINE
- PROPOSED SANITARY SEWER LINE



N. MCDOWELL STREET

W. LANE STREET



Drawing Title
UTILITY PLAN

Sheet Number
U100

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 Loden Properties
 200 West Lane St, Raleigh, NC

PROJECT NUMBER:
 2019_0270

PROJECT PHASE:
 ADMINISTRATIVE SITE REVIEW

DATE:
 10.22.2019

SHEET TITLE:
 BUILDING ELEVATIONS

SHEET NUMBER:

A300

