

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____	Planner (print): _____
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Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: <u>SUB-0015-2020</u>	
<input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	

GENERAL INFORMATION

Development name: Hilburn Drive Subdivision

Inside City limits? Yes No

Property address(es): **7401 Hilburn Dr.**

Site P.I.N.(s): 0787-44-5555

Please describe the scope of work. Include any additions, expansions, and change of use.
 Site development and construction of 2 duplex buildings.

Current Property Owner/Developer Contact Name:

NOTE: please attach purchase agreement when submitting this form.

Company: Marlowe & Moye, LLC	Title: Developer
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Address: PO Box 20667 Raleigh, North Carolina 27619

Phone #: (919) 844-7888	Email: hmoyeiii@gmail.com
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Applicant Name: Howard Moye

Company: Marlowe & Moye, LLC	Address: PO Box 20667 Raleigh, North Carolina 27619
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Phone #: (919) 844-7888	Email: hmoyeiii@gmail.com
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DEVELOPMENT TYPE + SITE DATE TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): R-10	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 0.92	New gross floor area: 5,025 sf
# of parking spaces required: 8	Total sf gross (to remain and new): 5,025
# of parking spaces proposed: 8	Proposed # of buildings: 2
Overlay District (if applicable):	Proposed # of stories for each: 2
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Attached House	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0 Square Feet: 0	Proposed Impervious Surface: Acres: 0.62 Square Feet: 27,007
Is this a flood hazard area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, please provide: _____	
Alluvial soils: Mantachie (Me)	
Flood study: N/A	
FEMA Map Panel #: 3720078700J	
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

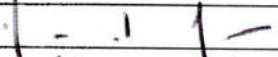
RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: 4	Total # of hotel units:
# of bedroom units: 1br <input type="checkbox"/> 2br <input type="checkbox"/> 3br <input checked="" type="checkbox"/> 4br or more <input type="checkbox"/>	
# of lots: 2	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK

I hereby designate Peter D. Clossen to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

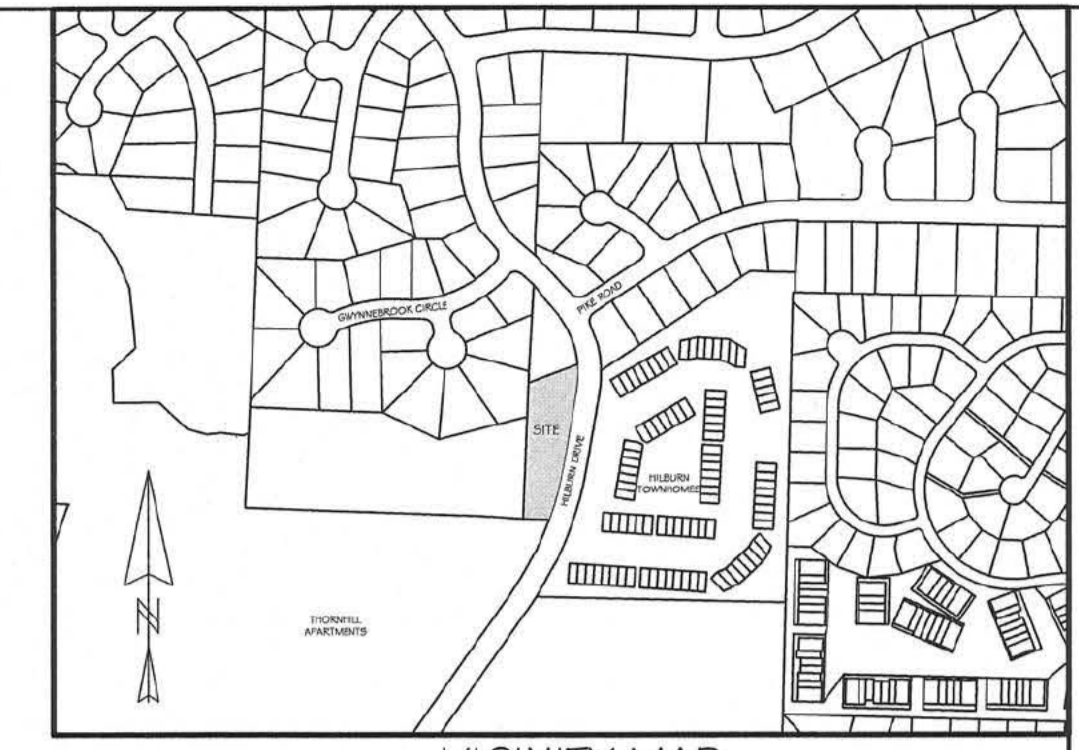
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after six consecutive months of inactivity.

Signature: 	Date: 10.12.20
Printed Name: Howard Moyer Manager	

HILBURN DRIVE DUPLEXES

ADMINISTRATIVE SITE REVIEW

ASR-0082-2020



VICINITY MAP
1"=500'



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<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #:	SUB-0015-2020
<input checked="" type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/lot plan case #:	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #:	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board or Adjustment #:	
		Zoning Case #:	
		Administrative Alterate #:	

GENERAL INFORMATION

Development named: Hilburn Drive Duplexes
Inside City limits? Yes No
Property address(es): 7401 Hilburn Dr.
Site P.I.N.(s): 0787-44-5555
Please describe the scope of work, include any additions, expansions, and change of use.
Site development and construction of 2 duplex buildings.

Current Property Owner/Developer Contact Name:
NOTE: please attach purchase agreement when submitting this form.
Company: Marlowe & Moye, LLC Title: Developer
Address: PO Box 20667 Raleigh, North Carolina 27619
Phone #: (919) 844-7888 Email: hmoyle@gmail.com
Appl. Name: Howard Moye
Company: Marlowe & Moye, LLC Address: PO Box 20667 Raleigh, North Carolina 27619
Phone #: (919) 844-7888 Email: hmoyle@gmail.com

Page 1 of 2

DEVELOPMENT TYPE + SITE DATA TABLE
(Applicable to all developments)

SITE DATA		BUILDINGS DATA	
Zoning district (if more than one, please provide the acreage of each): R-10	Existing gross floor area (net to be demolished): 0	Existing gross floor area to be demolished: 0	Total of gross (to remain and new): 5,025
Gross site acreage: 0.92	New gross floor area: 5,025 sq ft		
# of parking spaces required: 8	Proposed # of buildings: 2		
# of parking spaces proposed: 8	Proposed # of stories for each: 2		
Existing use (UDO § 14.1): Vacant			
Proposed use (UDO § 14.1): Attached House			

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.12 Square Feet: 10,400
Proposed Impervious Surface: Acres: 0.22 Square Feet: 19,000

Is this a flood hazard area? Yes No
If yes, please provide: Flood study: 10/1/10 FEMA Map Panel #: 22004301

Neuse River Buffer: Yes No Wetlands: Yes No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: 4 Total # of hotel units: 0
of bedroom units: 1br: 1 2br: 2 3br: 1 4br or more: 0
of lots: 2 Is your project a cottage court? Yes No

SIGNATURE BLOCK

I hereby designate Peter D. Cnosssen as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding the application.

We have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after six consecutive months of inactivity.

Signature: _____ Date: 10/15/20
Printed Name: Peter D. Cnosssen

Page 2 of 2

SITE DATA	
PROJECT NAME	HILBURN DRIVE DUPLEXES
PREPARED BY CONTACT INFORMATION	JONES & CROSSEN ENGINEERING, PLLC P.O. BOX 1062 APEX, NORTH CAROLINA 27502 PHONE - (919) 387-1174 FAX - (919) 387-3375 CONTACT PERSON - PETER D. CROSSEN
OWNER / DEVELOPER CONTACT INFORMATION	MARLOWE & MOYE, LLC PO BOX 20667 RALEIGH, NORTH CAROLINA 27619 PHONE - (919) 844-7888 CONTACT PERSON - HOWARD MOYE
CURRENT PROPERTY ZONING	R-10
WAKE COUNTY PIN	0787-44-5555
TOTAL AREA	0.92 ACRE
R/W DEDICATION	0.02 ACRE
NET SUBDIVISION AREA	0.90 ACRE
PROPOSED USE	ATTACHED HOUSE, 2-UNIT LIVING
PROPOSED NUMBER OF LOTS	2
PROPOSED DENSITY	2.17 UNITS/AC
FRONT SETBACK	10'
REAR SETBACK	20'
SIDE SETBACK	5'
SUBDIVISION CASE NUMBER	SUB-0015-2020

NOTES:

- THE PURPOSE OF THIS ADMINISTRATIVE SITE REVIEW SUBMITTAL IS TO APPROVE THE TWO DUPLEX BUILDINGS FOR CONSTRUCTION.
- THE EXISTING PARCEL IS LESS THAN 2 ACRES SO TREE CONSERVATION AREA IS NOT REQUIRED PER UDO SECTION 9.1.2.
- THIS SUBDIVISION AND PROPOSED USE IS EXEMPT FROM STORMWATER REQUIREMENTS PER UDO SECTION 9.2.2.A.2.b.i.
- THE MAXIMUM IMPERVIOUS SURFACE AREA PERCENTAGE FOR THIS SUBDIVISION SHALL NOT EXCEED 65% PER UDO SECTION 9.2.2.A.4.a.
- DEVELOPMENT PROPOSES PAYMENT OF A FEE-IN-LIEU FOR REQUIRED STREET TREES ALONG HILBURN DRIVE DUE TO THE EXISTING SANITARY SEWER MAIN AND EASEMENT ALONG THE STREET FRONTAGE. FEE-IN-LIEU PAYMENT IS TO BE BASED ON 10 TREES (41.3 LF @ 1" TREE/40 LF = 10 TREES).
- THE ADDITIONAL R/W DEDICATION ON HILBURN DRIVE DOES NOT PROVIDE SUFFICIENT SHOULDER WIDTH TO CONSTRUCT THE REQUIRED COR NEIGHBORHOOD STREET STREETSCAPE. THE MODIFIED STREETSCAPE DIMENSIONS SHALL GENERALLY CONSIST OF A 3.5' PLANTING STRIP, 5' SIDEWALK AND 2.5' MAINTENANCE STRIP AS SHOWN ON SHEET 4.
- DEVELOPMENT PROPOSES INSTALLATION OF 5' SIDEWALK ALONG THE BUILDABLE LOT FRONTAGE ON HILBURN DRIVE. A FEE-IN-LIEU PAYMENT SHALL BE MADE FOR ANY UNCONSTRUCTED SIDEWALK AND INCLUDE THE 1' OF ADDITIONAL SIDEWALK FOR INSTALLED 5' SIDEWALK.
- THE COST OF THE OFF-SITE SIDEWALK AND HANDICAP RAMP FOR CROSSING TO OPPOSITE SIDE EXISTING SIDEWALK AND HANDICAP RAMP ALONG HILBURN DRIVE AT VIENNA CREST DRIVE SHALL BE REIMBURSED.

ASR DRAWING SHEET INDEX

- | | |
|-----|----------------------------|
| 1 | COVER SHEET |
| 2 | EXISTING CONDITIONS PLAN |
| 3 | DEMOLITION PLAN |
| 4 | LOT LAYOUT PLAN |
| 5 | GRADING & STORMWATER PLAN |
| 6 | UTILITY PLAN |
| 7 | DETAILS SHEET |
| A-1 | BUILDING 1 FRONT ELEVATION |
| A-2 | BUILDING 1 REAR ELEVATION |
| A-3 | BUILDING 1 SIDE ELEVATION |
| A-4 | BUILDING 2 FRONT ELEVATION |
| A-5 | BUILDING 2 REAR ELEVATION |
| A-6 | BUILDING 2 SIDE ELEVATION |

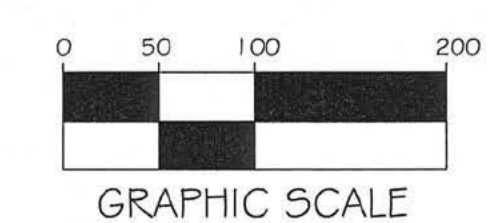
BLOCK PERIMETER EXEMPTION

CITY OF RALEIGH, TC-6-19 SECTION A2b STATES THAT THE MINIMUM SITE AREA APPLICABLE FOR BLOCK PERIMETER IN R-10 ZONING IS 3 ACRES. SINCE THE HILBURN DRIVE SUBDIVISION AREA (0.92 ACRE) IS LESS THAN 3 ACRES, THIS PROJECT IS EXEMPT FROM BLOCK PERIMETER REQUIREMENTS OF UDO ARTICLE 6.3.

PARKING REQUIREMENTS

PARKING SPACES REQUIRED - 8
2 SPACES PER UNIT x 4 UNITS
PARKING SPACES PROVIDED - 8
1 GARAGE SPACE
1 DRIVEWAY SPACE

PRELIMINARY PLANS
NOT FOR CONSTRUCTION



ATTENTION CONTRACTORS

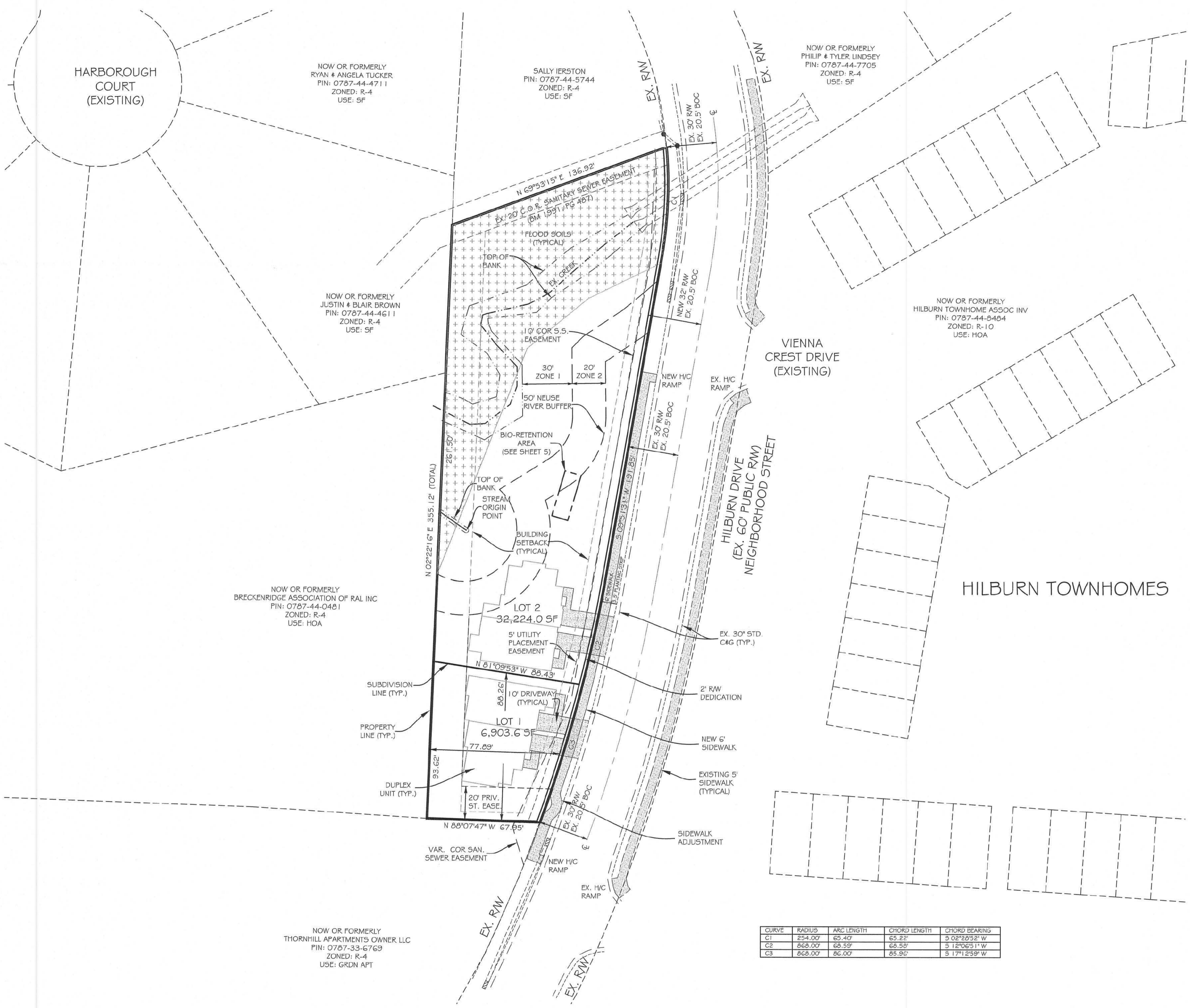
THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF THE WATER AND SEWER, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT 516-2159, AND THE PUBLIC UTILITIES DEPARTMENT AT 996-4540, AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON JOB SITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

SOLID WASTE INSPECTIONS STATEMENT

THE DEVELOPMENT PROPOSES USE OF CITY OF RALEIGH SOLID WASTE SERVICES FOR TRASH PICK-UP. STANDARD 96 GALLON ROLL-OUT CARTS SHALL BE USED FOR THE SINGLE FAMILY LOTS. DUMPSTERS ARE PROVIDED FOR THE TOWNHOMES.



- NOTES:**
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 2. BOUNDARY AND EXISTING CONDITIONS INFORMATION WAS TAKEN FROM A DIGITAL FILE PROVIDED BY ELINGBURG LAND SURVEY COMPANY.
 3. TOPOGRAPHIC INFORMATION FOR THE SITE WAS TAKEN FROM A DIGITAL FILE PROVIDED BY ELINGBURG LAND SURVEY COMPANY.
 4. NO FEMA MAPPED FLOOD PLAINS EXIST ON THIS SITE PER FEMA MAP NUMBER 3720078700J DATED MAY 2, 2006.
 5. THE SITE HAS BEEN REVIEWED FOR WETLANDS, NEUSE RIVER BUFFERS AND CREEKS BY SOIL & ENVIRONMENTAL CONSULTANTS, INC. THE BUFFERED STREAM IS BASED ON TOP OF BANK SURVEY SHOTS BY ELINGBURG LAND SURVEY COMPANY.
 6. THE EXISTING PARCEL IS LESS THAN 2 ACRES SO TREE CONSERVATION AREA IS NOT REQUIRED PER UDO SECTION 9.1.2.
 7. THIS SUBDIVISION AND PROPOSED USE IS EXEMPT FROM STORMWATER REQUIREMENTS PER UDO SECTION 9.2.A.2.3.
 8. THE MAXIMUM IMPERVIOUS SURFACE AREA PERCENTAGE FOR THIS SUBDIVISION SHALL NOT EXCEED 65% PER UDO SECTION 9.2.A.4.a.
 9. DEVELOPMENT PROPOSES PAYMENT OF A FEE-IN-LIEU FOR REQUIRED STREET TREES ALONG HILBURN DRIVE DUE TO THE EXISTING SANITARY SEWER MAIN AND EASEMENT ALONG THE STREET FRONTAGE.
 10. DEVELOPMENT PROPOSES PAYMENT OF A FEE-IN-LIEU FOR THE UNCONSTRUCTED PORTION OF SIDEWALK ALONG THE HILBURN DRIVE STREET FRONTAGE. FEE-IN-LIEU SHALL BE BASED ON COR STANDARD 6' WIDE SIDEWALK.
 11. OFF-SITE SIDEWALK WILL REQUIRE ADJUSTMENT IN THE OFFSET DISTANCE FROM BACK-OF-CURB GIVEN THE LIMITED EXISTING SHOULDER WIDTH ALONG HILBURN DRIVE.
 12. CONSTRUCTION COST OF OFF-SITE SIDEWALK SHALL BE ELIGIBLE FOR REIMBURSEMENT.
 13. THE LOT 2 DUPLEX ENCROACHMENT INTO ZONES 1 AND 2 OF THE NEUSE RIVER BUFFER HAS BEEN APPROVED BY PERMITTING THROUGH THE NCDWR (PERMIT NO. DW#20-0357).
 14. CONDITIONS OF APPROVAL UNDER NCDWR PERMIT NUMBER DW#20-0357 INCLUDE APPROVAL OF A STORMWATER MANAGEMENT PLAN FOR LOT 2 (SEE SHEET 5) AND PAYMENT OF COMPENSATORY MITIGATION FOR THE NEUSE RIVER BUFFER IMPACTS.

EXISTING SITE DATA

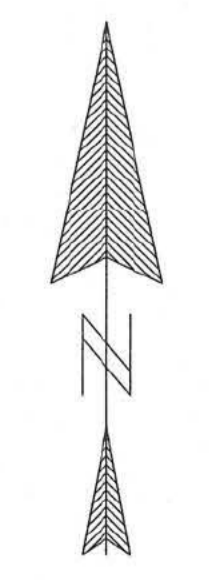
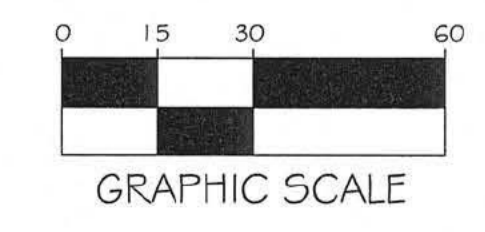
SITE ADDRESS	7401 HILBURN DRIVE
FIN NUMBER	0787-44-5555
DEED BOOK	DB 017427, PG 2448-2475
RECORDED MAP	BK 1998, PG 1110
ZONING	R-10
ACREAGE	0.92 ACRE

OVERALL SITE DATA

ZONING	R-10
PARCEL INFORMATION	R-10
ACREAGE	0.92 ACRE
RAW DEDICATION	0.02 ACRE
NET SUBDIVISION AREA	0.90 ACRE
PROPOSED LOTS	
LOT 1	0.16 ACRE
LOT 2	0.74 ACRE
PROPOSED USE	ATTACHED HOUSE

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	234.00'	63.40'	65.22'	S 02°20'32" W
C2	868.00'	68.59'	68.58'	S 12°06'51" W
C3	868.00'	86.00'	85.98'	S 17°12'59" W

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**



SCALE	1"=30'	DRAWN	PDC
DATE	OCTOBER 14, 2020		
REVISION			
SHEET	4		
PROJECT	1764		

NOTE: PLANS DESIGNED UNDER 2018 NORTH CAROLINA RESIDENTIAL CODE.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO DESIGN TECH, INC. FOR CORRECTIONS OR REVISIONS. CONTRACTOR SHALL VERIFY ALL LOCAL BUILDING CODES WHERE HOMES TO BE BUILT. IF NO ENGINEERING STRUCTURAL DESIGN, ONCE CONSTRUCTION BEGINS, CONTRACTOR WILL ASSUME ALL RESPONSIBILITY. FOUNDATIONS ARE DESIGNED TO COMPLY WITH 2018 NCRC.

REVISIONS:	
DATE:	NAME:

DRAWN BY:
RKR
CHECKED BY:

DATE:
9-10-20
PLAN NO.
HILBURN



FRONT ELEVATION SCALE: 1/4"=1'-0"

BUILDING 1

LIST OF ABBREVIATIONS	
CLG. : CEILING	ABV. : ABOVE
HGT. : HEIGHT	C.O. : CASED OPENING
D.O. : DOUBLE OVEN	REF.G. : REFRIGERATOR
WD. : WOOD	D.W. : DISHWASHER
CONT. : CONTINUOUS	T.B.D. : TO BE DETERMINED
CONC. : CONCRETE	W.I.C. : WALK IN CLOSET
COL. : COLUMN	W : WASHER
ELLIP. : ELLIPSE	D : DRYER
W/ : WITH	SHWR. : SHOWER
TRANS. : TRANSOM	DN. : DOWN
CANT. : CANTILEVER	K.S. : KNEE SPACE
M.O. : MASONRY OPENING	TYP. : TYPICAL
5S= 5 SHELVES	
1R/1S = 1 ROD AND 1 SHELF	
2R/2S = 2 RODS AND 2 SHELVES	
SD= SMOKE DETECTOR	
CMD= CARBON MONOXIDE DETECTOR	

GENERAL PLAN NOTES			
1.) SEE CHAPTER 6 OF 2018 NCRC FOR WALL CONSTRUCTION.	5.) ALL ANGLED WALLS ARE 45° UNLESS NOTED OTHERWISE.	9.) ALL CABINET DESIGNS/LAYOUTS TO BE VERIFIED WITH OWNER VIA SHOP DRAWINGS FROM CABINET MANUF.	12.) FINISHES OF SCREEN PORCH COLUMNS, RAILS, FLOORS, CEILINGS, SCREEN DOOR SYSTEM, AND DOOR TO PORCH BY BLDR. & OWNER, PER CONTRACT SPECIFICATIONS
2.) TEMPERED GLASS TO BE USED AT ALL SAFETY REQUIRED LOCATIONS ACCORDING TO 2018 NCRC SECTION R308.4.	6.) VERIFY ALL WINDOW SIZES, RADIUS, AND DETAILS WITH CHOSEN MANUFACTURE.	10.) ALL FLOOR COVERINGS AND FINISHES BY OWNER/ BLDR. COORDINATE HEIGHTS DUE TO THICKNESS CHANGES.	13.) FINISHES FOR CLOSET SHELVING AND ROD BY BLDR. & OWNER, PER CONTRACT SPECIFICATIONS
3.) DWELLING/GARAGE FIRE SEPARATION SHALL PER TABLE 302.6 OF 2018 NCRC.	7.) LOCATE DORMER FACE TO ALLOW 4" MIN. BELOW WINDOW FRAME.	11.) ALL WINDOW GLAZING TO HAVE 0.32 U-FACTOR MIN. SEE TABLE E-4A, E-4B	14.) FINISHES OF ALL INTERIOR BASE BOARD, CLG. DETAIL / MOLDING, OPENING DETAILS, PASS-THRU, WAINSCOTTING DETAILS BY BLDR. & OWNER, PER CONTRACT SPECIFICATIONS
4.) ALL HABITABLE ROOMS SHALL MEET LIGHT/VENTILATION & EGRESS AS REQUIRED IN 2018 NCRC SECTIONS R303.1 AND R310	8.) FLOOR PLAN NOTATIONS GOVERN OVER ELEVATION SCALE.		

ACCESSORIES LEGEND
PROVIDE BLOCKING FOR:
TB = TOWEL BAR MR = MAGAZINE RACK
TP = TOILET PAPER MC = MEDICINE CABINET
TR = TOWEL RING
NOTE:
SELECTION BY OWNER PER BUILDER CONTRACT SPECIFICATIONS
NOTE:
SEE ROOF PLAN FOR KNEEWALL HEIGHTS AND LOCATIONS.
-GRADE LINES ARE ASSUMED. VERIFY WITH FINAL GRADING PLAN.

MARLOWE & MOYE LLC
HILBURN RD



REAR ELEVATION

SCALE: 1/4"=1'-0"

BUILDING 1

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.

REVISIONS:	
DATE:	NAME:

DRAWN BY:
RKR
CHECKED BY:

DATE:
9-10-20
PLAN NO.
HILBURN



MARLOWE & MOYE LLC
HILBURN RD

COPYRIGHT © 2020 BY DESIGN TECH, INC. ALL RIGHTS RESERVED. NO PART OF THESE PLANS MAY BE USED, REPRODUCED, STORED IN A RETRIEVAL SYSTEM, OR TRANSMITTED IN ANY FORM BY ANY MEANS, ELECTRONIC, MECHANICAL, PHOTOCOPIING, RECORDING, OR OTHERWISE WITHOUT THE PERMISSION OF DESIGNTECH, INC.

NOTE:
SEE ROOF PLAN FOR KNEEWALL
HEIGHTS AND LOCATIONS.

NOTE:
GRADE LINES ARE ASSUMED. VERIFY
WITH FINAL GRADING PLAN.

CONTRACTOR SHALL VERIFY ALL CONDITIONS
AND DIMENSIONS PRIOR TO CONSTRUCTION.
IF ANY DISCREPANCIES ARE FOUND,
CONTACT DESIGNER IMMEDIATELY.
DESIGNER SHALL NOT BE RESPONSIBLE FOR
ANY ERRORS OR OMISSIONS.
THIS DOCUMENT IS THE PROPERTY OF
DESIGNER. IT IS TO BE USED ONLY
FOR THE PROJECT AND SITE SPECIFICALLY
IDENTIFIED. IT IS NOT TO BE REPRODUCED,
COPIED, OR TRANSMITTED IN ANY FORM OR
BY ANY MEANS, ELECTRONIC, MECHANICAL,
PHOTOCOPYING, RECORDING, OR BY ANY
INFORMATION STORAGE AND RETRIEVAL
SYSTEM, WITHOUT THE WRITTEN PERMISSION
OF DESIGNER. ALL RIGHTS RESERVED.
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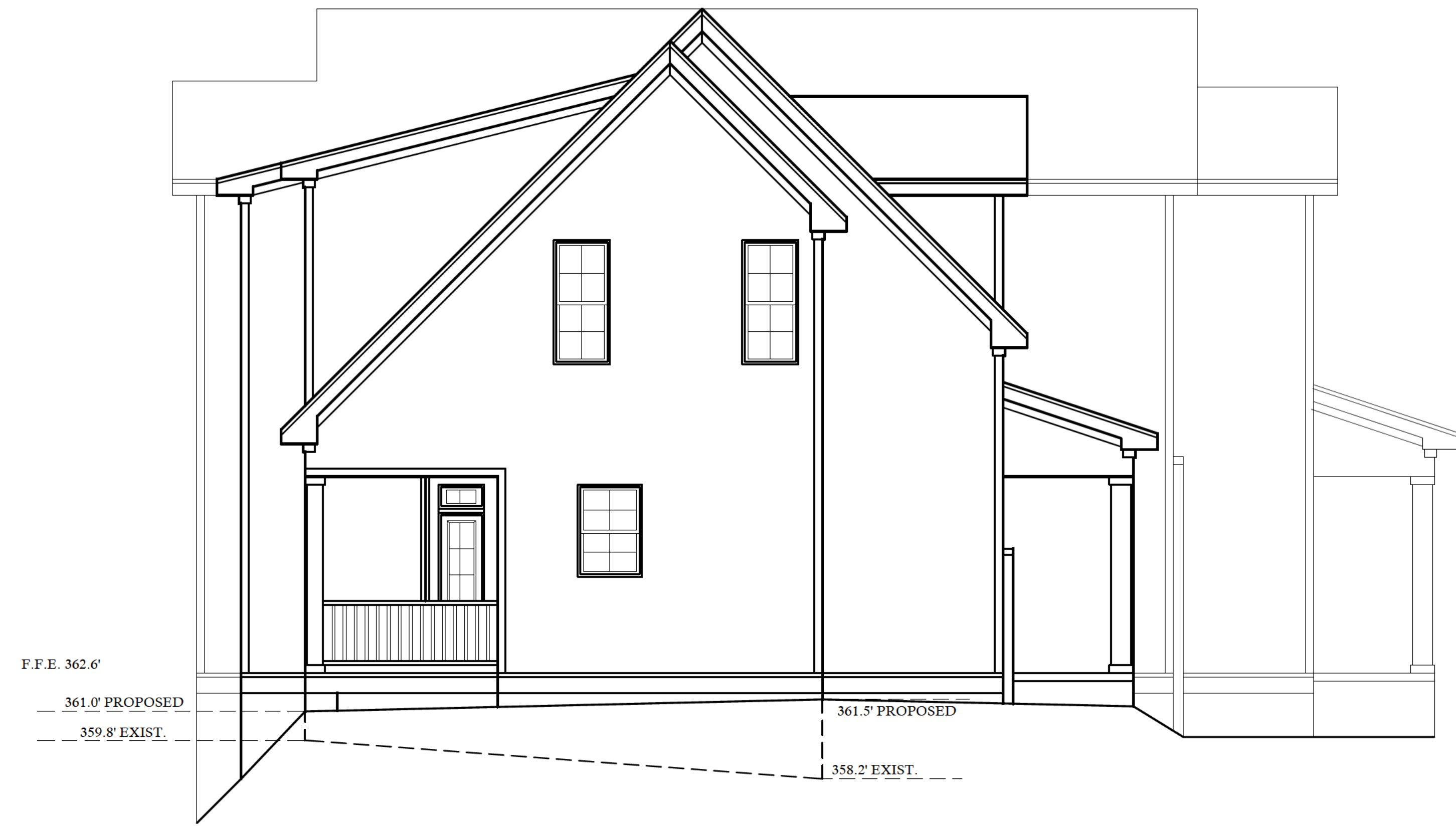
REVISIONS:	
DATE:	NAME:

DRAWN BY:
RKR
CHECKED BY:

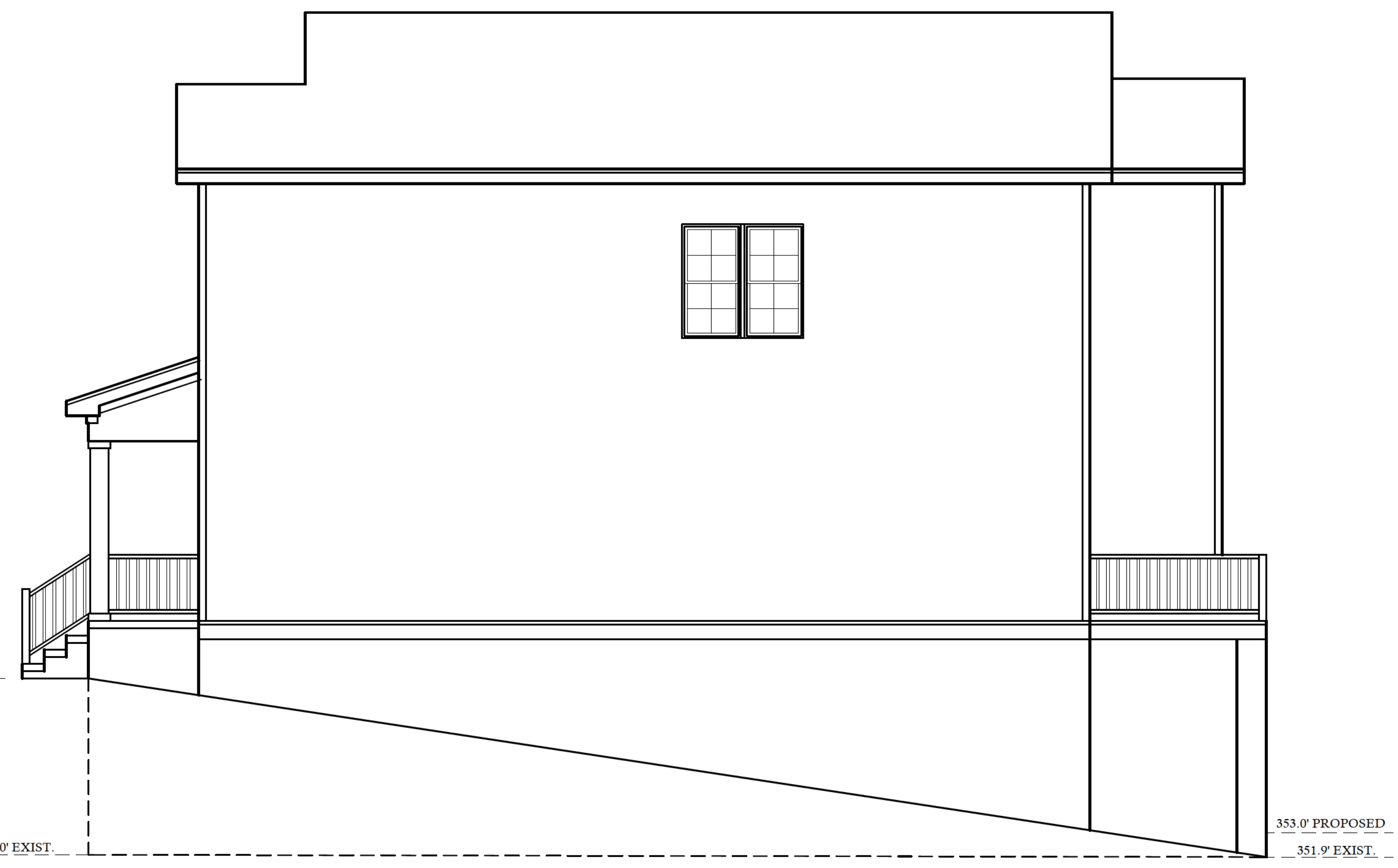
DATE:
9-10-20
PLAN NO.
HILBURN



MARLOWE & MOYE LLC
HILBURN RD



LEFT ELEVATION SCALE: 1/4"=1'-0"



RIGHT ELEVATION SCALE: 1/4"=1'-0"

BUILDING 1

F.F.E. 362.6'
361.0' PROPOSED
359.8' EXIST.

361.5' PROPOSED
358.2' EXIST.

360.0' PROPOSED

352.0' EXIST.

353.0' PROPOSED
351.9' EXIST.

NOTE: PLANS DESIGNED UNDER 2018 NORTH CAROLINA RESIDENTIAL CODE.



FRONT ELEVATION SCALE: 1/4"=1'-0"

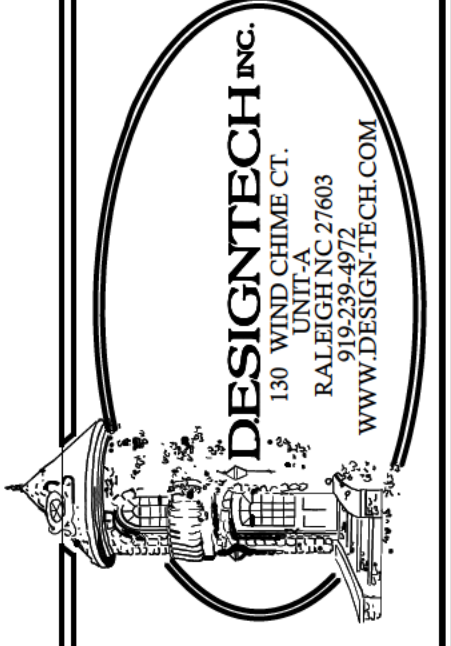
BUILDING 2

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO DESIGNTECH, INC. FOR CORRECTIONS OR TO THE LOCAL BUILDING DEPARTMENT. HOMES TO BE BUILT IF NO ENGINEERING CONSULT WITH LOCAL ENGINEER FOR STRUCTURAL DESIGN. ONCE CONSTRUCTION BEGINS, CONTRACTOR WILL ASSUME ALL RESPONSIBILITY. THIS PLAN IS DESIGNED TO COMPLY WITH 2018 NCBC.

REVISIONS:	
DATE:	NAME:

DRAWN BY:
RKR
CHECKED BY:

DATE:
9-10-20
PLAN NO.
HILBURN



MARLOWE & MOYE LLC
HILBURN RD

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REAR ELEVATION

SCALE: 1/4"=1'-0"

BUILDING 2

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION.

REVISIONS:	
DATE:	NAME:

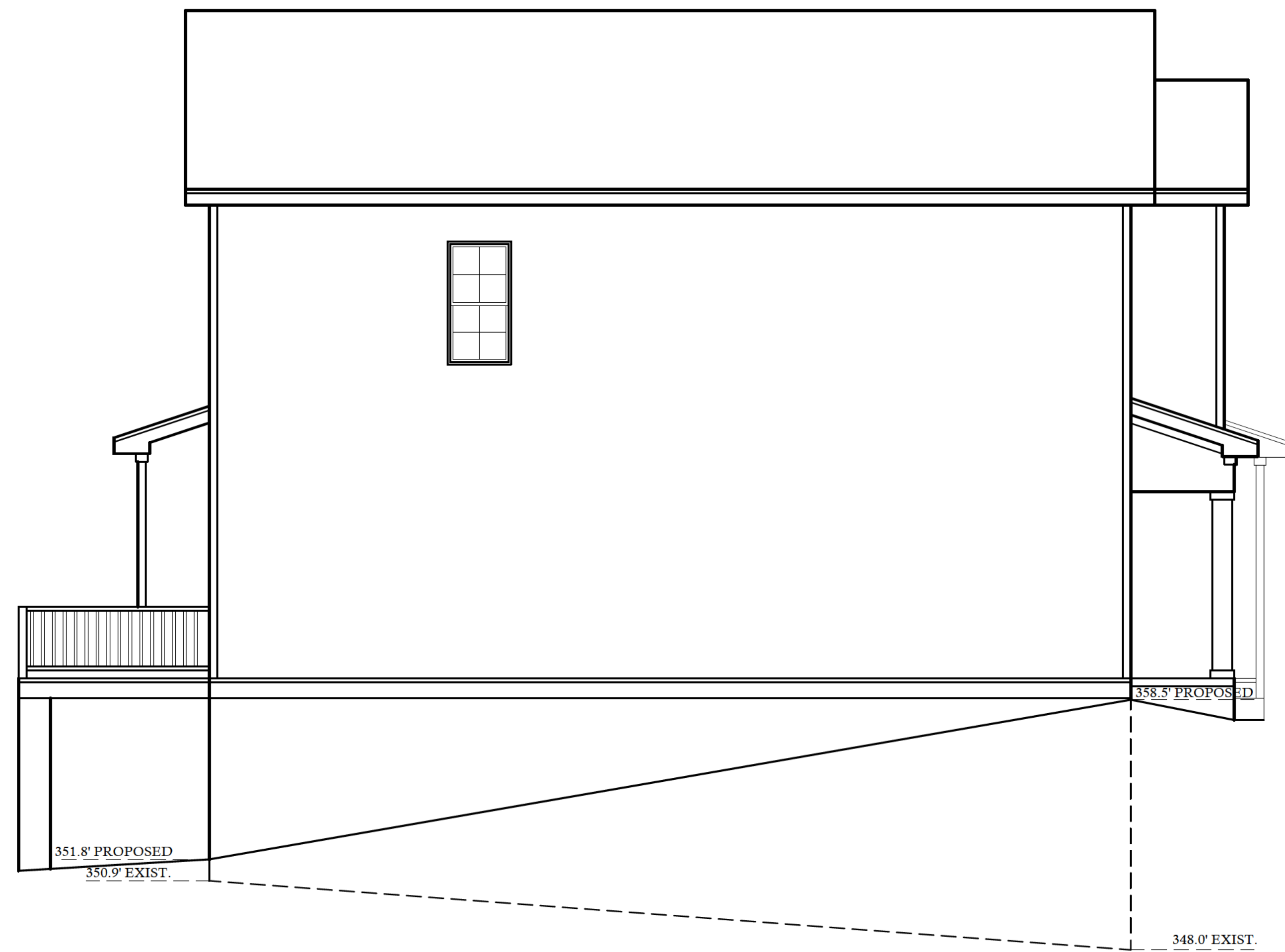
DRAWN BY:
RKR
CHECKED BY:

DATE:
9-10-20
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MARLOWE & MOYE LLC
HILBURN RD

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LEFT ELEVATION

SCALE: 1/4"=1'-0"

BUILDING 2



RIGHT ELEVATION

SCALE: 1/4"=1'-0"

NOTE:
SEE ROOF PLAN FOR KNEEWALL
HEIGHTS AND LOCATIONS.

NOTE:
GRADE LINES ARE ASSUMED. VERIFY
WITH FINAL GRADING PLAN.

REVISIONS:
DATE: NAME:

DRAWN BY:
RKR
CHECKED BY:

DATE:
9-10-20
PLAN NO.
HILBURN



MARLOWE & MOYE LLC
HILBURN RD

SHEET NO
3
OF

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