

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>		
Building Type		Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: SCOPE-0137-2021
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____
<input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> Civic	Board of Adjustment #: _____
		Zoning Case #: _____
		Administrative Alternate #: _____
GENERAL INFORMATION		
Development name: THALES ACADEMY		
Inside City limits? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Within ETJ - Annexation forthcoming _____		
Property address(es): 7003 Buffalo Road		
Site P.I.N.(s): 1746-04-8375		
Please describe the scope of work. Include any additions, expansions, and change of use. Proposed private school for grades K-12 to include (2) school buildings and (1) gymnasium with associated site improvements.		
Current Property Owner/Developer Contact Name: Brandon Hafner		
NOTE: please attach purchase agreement when submitting this form.		
Company: CaptiveAire		Title: VP Construction/Facilities
Address: 4641 Paragon Park Rd, Raleigh, NC 27616		
Phone #: 919-427-1646		Email: brandon.hafner@captiveair.com
Applicant Name: Courtney Landoll		
Company: WithersRavenel		Address: 137 S. Wilmington St., Suite 200, Raleigh, NC 27601
Phone #: 919-238-0387		Email: clandoll@withersravenel.com

DEVELOPMENT TYPE + SITE DATE TABLE

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): R-4	Existing gross floor area (not to be demolished): N/A
	Existing gross floor area to be demolished: N/A
Gross site acreage: 16.36	New gross floor area: 88,334 SF
# of parking spaces required: 92	Total sf gross (to remain and new): 88,334 SF
# of parking spaces proposed: 206	Proposed # of buildings: 3
Overlay District (if applicable): SHOD-1	Proposed # of stories for each: 3
Existing use (UDO 6.1.4): VACANT	
Proposed use (UDO 6.1.4): SCHOOL	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0 Square Feet: 0	Proposed Impervious Surface: Acres: 6.10 Square Feet: 265,716
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: Shown on Imaps. We are awaiting results from soil scientist. Imaps shows Wy and AfA soil types	
Flood study: _____	
FEMA Map Panel #: _____	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input type="checkbox"/>

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/>

SIGNATURE BLOCK

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Courtney Landoll will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: <u>Courtney H. Landoll</u>	Date: 9-21-2021
Printed Name: Courtney Landoll	

ASR-0082-2021

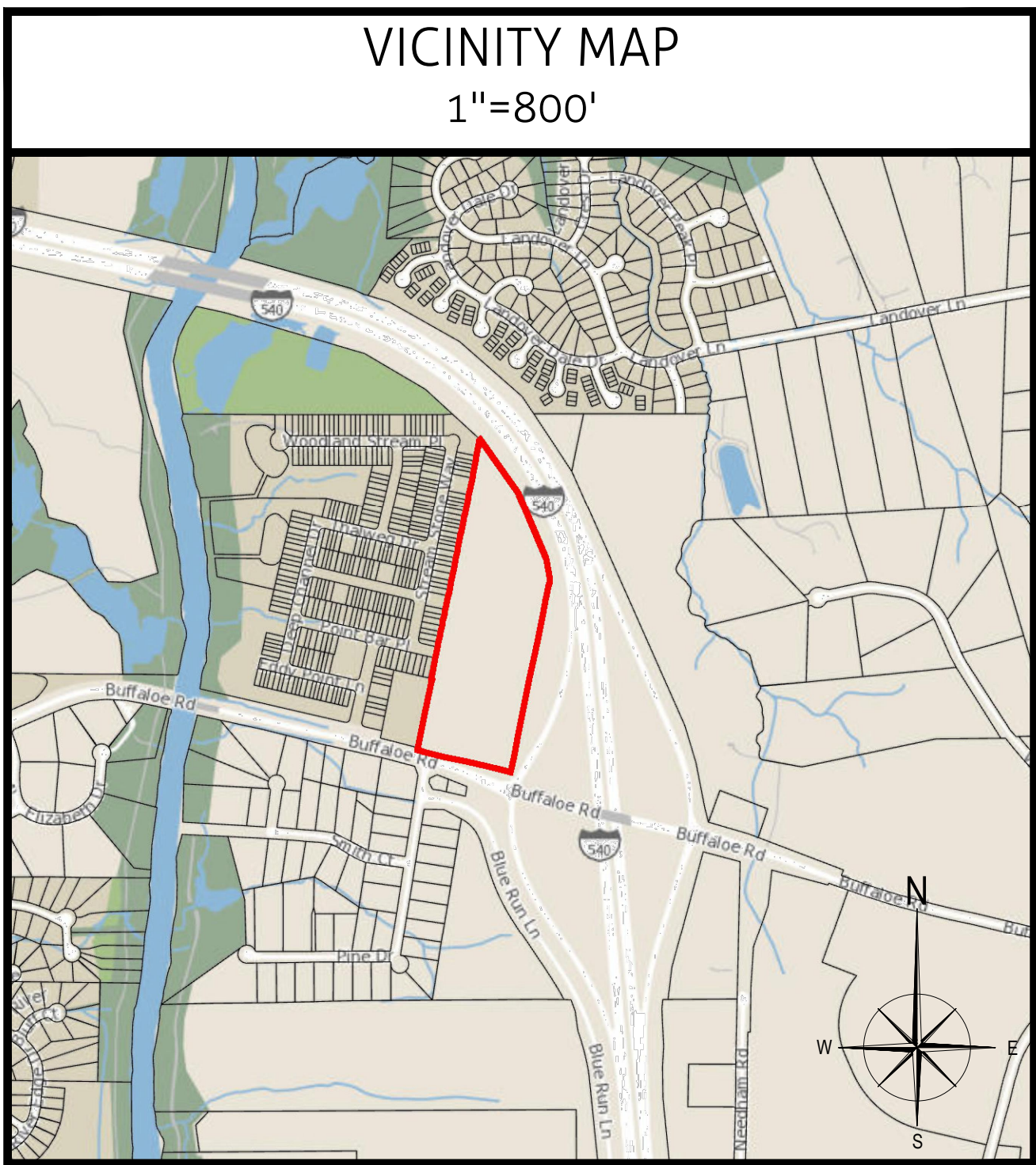
ADMINISTRATIVE SITE REVIEW PLANS FOR THALES ACADEMY 7003 BUFFALOE RD, RALEIGH NC

1st SUBMITTAL - September 22, 2021

2nd SUBMITTAL - November 19, 2021

3rd SUBMITTAL - January 14, 2022

4th SUBMITTAL - March 7th, 2022



GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S), PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUESTED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALEIGH, NORTH CAROLINA OFFICE BY CARY, NORTH CAROLINA OFFICE IN DIGITAL FORMAT AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS.
- ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RIGHT OF WAY SHOWN ON PLANS TO BE 30" CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER, AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 24" CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON PLANS.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, UNLESS OTHERWISE STATED ON PLANS.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACES (S) AND HC ACCESS AISLES(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHMENT.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR MIXED-USE/COMMERCIAL DRIVEWAY. NO DRIVEWAYS SHALL ENCRONCH ON THIS MINIMUM CORNER CLEARANCE.
- WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
- ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER GUIDANCE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT / TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACT ENGINEERING INSPECTIONS AT 919.996.2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.

SOLID WASTE INSPECTION STATEMENT

- SOLID WASTE SERVICES ARE TO BE PROVIDED BY A PRIVATE CONTRACTOR.
- THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
- HAS ROLL OUT DUMPSTERS FOR SOLID WASTE AND RECYCLING COLLECTION. THE DUMPSTERS WILL BE STORED INSIDE THE BUILDING AND ROLLED OUT TO A COLLECTION POINT ON SITE ON COLLECTION DAY.

FIRE DEPARTMENT NOTES

- THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 250 FEET (NFA 13); A NFA 13 SPRINKLING SYSTEM IS PROPOSED FOR THIS SITE.
- FIRE HYDRANT SHALL BE LOCATED WITHIN 600' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCF 507.5.1).
- ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION.
- FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMITS PER THE 2018 NCF, SECTION 507.3.

RIGHT-OF-WAY OBSTRUCTION NOTES

- STREET, LANE, AND SIDEWALK CLOSURES OR DETOURS, PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
- A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV AT WWW.RALEIGHNC.GOV KEYWORD "RIGHT-OF-WAY SERVICES".
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

ATTENTION CONTRACTORS

- THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER AND SEWER, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2409, AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 987-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.
- FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONEYPAY FINES AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT IMPROVED AS A RESULT OF THIS NOTIFICATION FAILURE.
- FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTEAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NCDOT, IF APPLICABLE.

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Site Plan Tier:	Tier Two Site Plan <input type="checkbox"/>	Tier Three Site Plan <input checked="" type="checkbox"/>
Building Type	Site Transaction History	
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		Zoning Case #: _____
		Administrative Alternate #: _____

GENERAL INFORMATION

Development name: THALES ACADEMY

Inside City limits? Yes ☐ No ☒ Within ETJ - Annexation forthcoming

Property address(es): **7003 Buffalo Road**

Site P.I.N.(s): 1746-04-8375

Please describe the scope of work. Include any additions, expansions, and change of use.
Proposed private school for grades K-12 to include (2) school buildings and (1) gymnasium with associated site improvements.

Current Property Owner/Developer Contact Name: Brandon Hafner

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Company: CaptiveAire Title: VP Construction/Facilities

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Phone #: 919-427-1646 Email: brandon.hafner@captiveaire.com

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Phone #: 919-238-0387 Email: clandoll@withersravenel.com

Page 1 of 2

REVISION 02.19.21

raleighnc.gov

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): R-4 76	Existing gross floor area (not to be demolished): N/A
Gross site acreage: 16.36 194	Existing gross floor area to be demolished: N/A
# of parking spaces required: 78	New gross floor area: 88,334 SF
# of parking spaces proposed: 184	Total sf gross (to remain and new): 88,334 SF
Overlay District (if applicable): SHOD-1	Proposed # of buildings: 3
Existing use (UDO 6.1.4): VACANT	Proposed # of stories for each: 3
Proposed use (UDO 6.1.4): SCHOOL	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0 Square Feet: 0	Proposed Impervious Surface: Acres: 5.96 Square Feet: 265,113
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Alluvial soils: Shown on maps. We are awaiting results from soil scientist. Maps shows W1 and A1A soil types X	
Flood study: _____	
FEMA Map Panel #: _____	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: # of bedroom units: 1br 2br 3br	Total # of hotel units: 4br or more
# of lots:	Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/>

SIGNATURE BLOCK

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Signature: Courtney Landoll Date: 9-21-2021

Printed Name: Courtney Landoll

Page 2 of 2

REVISION 02.19.21

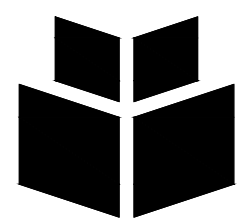
raleighnc.gov

APPLICANT

CaptiveAire, Inc.
4641 PARAGON PARK ROAD
RALEIGH, NC 27616

ATTN: BRANDON HAFNER

PREPARED BY:



WithersRavenel
Engineers | Planners | Surveyors

115 MacKenan Drive | Cary, NC 27511 | t: 919.469.3340 | license #: F-1479 | www.withersravenel.com

ENGINEER

WITHERSRAVENEL
115 MACKENAN DRIVE
CARY, NC 27511
919-469-3340
ATTN: DAVE BARTONE, P.E.

LANDSCAPE ARCHITECT

WITHERSRAVENEL
137 S. WILMINGTON ST
RALEIGH, NC 27601
919-469-3340
ATTN: DANIEL WHATLEY, PLA

ARCHITECT

TONY JOHNSON ARCHITECTURE
104 NORTH LOMBARD ST
CLAYTON NC, 27520
919-550-7717
ATTN: TONY JOHNSON

Sheet List Table

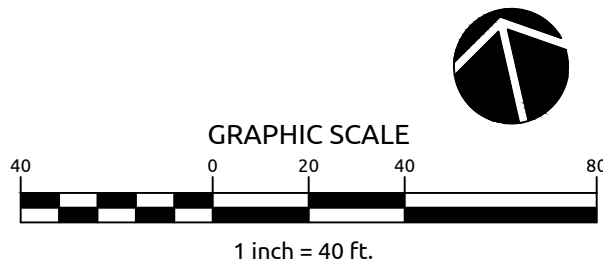
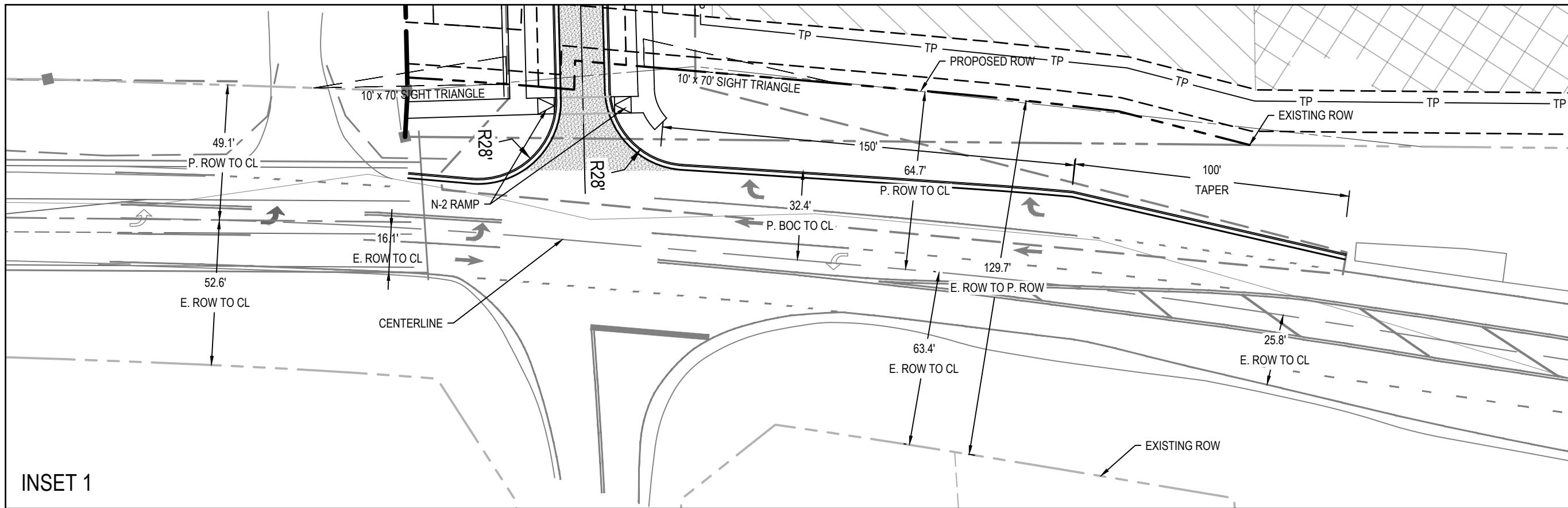
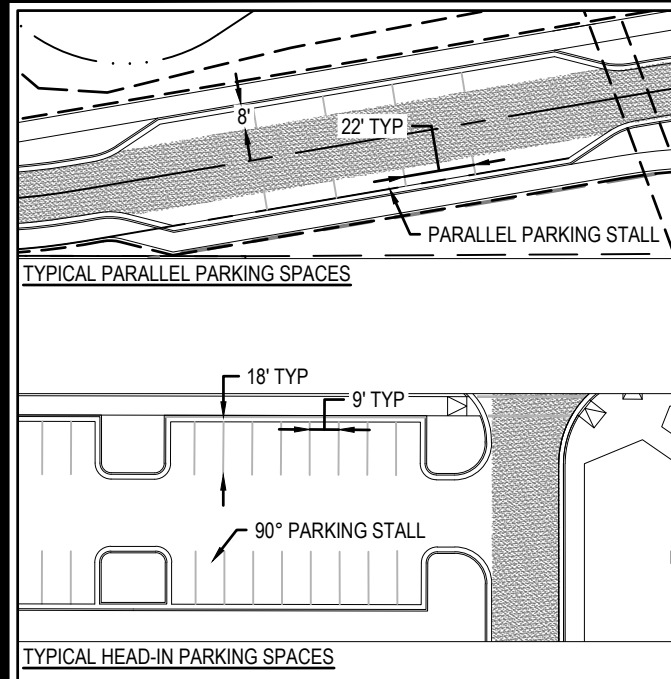
Sheet Number	Sheet Title
C0.0	COVER
C0.1	GENERAL NOTES
C1.0	EXISTING CONDITIONS
C1.1	DEMOLITION PLAN
C2.0	SITE PLAN
C2.1	SIGHT LINE PROFILE
C3.0	GRADING & DRAINAGE PLAN
C3.1	SCM 1 PLAN
C3.2	SCM 2 PLAN
C3.3	SCM DETAILS
C4.0	UTILITY PLAN
C4.1	FIRE ACCESS AND ADA PLAN
C4.2	SOLID WASTE ACCESS PLAN
C5.0	SITE DETAILS
C5.1	SITE DETAILS
L1.0	TREE CONSERVATION PLAN
L1.1	AERIAL IMAGE
L2.0	LANDSCAPE PLAN
L2.1	LANDSCAPE DETAILS
21-0376A	LIGHTING PLAN (DUKE ENERGY)
A-01	ARCHITECTURAL ELEVATIONS GRADES K-5
A-02	ARCHITECTURAL ELEVATIONS GRADES K-5
A-03	FIRST FLOOR PLAN GRADES K-5
A-04	SECOND FLOOR PLAN GRADES K-5
A-05	ARCHITECTURAL ELEVATIONS GRADES 6-12
A-06	ARCHITECTURAL ELEVATIONS GRADES 6-12
A-07	FIRST FLOOR PLAN GRADES 6-12
A-08	SECOND FLOOR PLAN GRADES 6-12
A-09	ARCHITECTURAL ELEVATIONS GYMNASIUM
A-10	ARCHITECTURAL ELEVATIONS GYMNASIUM
A-11	GYMNASIUM FLOOR PLAN

SITE DATA

SITE ADDRESS: 7003 BUFFALOE RD	BICYCLE PARKING REQUIRED:
PIN: 1746-04-8375	SCHOOL (K-8): SHORT TERM : 32 CLASSROOMS @ 1 SPACE / 2 CLASSROOMS
DEED BOOK AND PAGE: DB 017011 PG 01557	SHORT TERM REQUIRED: 16 SPACES
ZONING DISTRICT: R-4	LONG TERM: 32 CLASSROOMS @ 3 SPACES / CLASSROOM
OVERLAY DISTRICT(S): SHOD - 1	LONG TERM REQUIRED: 96 SPACES
GROSS SITE ACREAGE: 16.36 AC	SCHOOL (9-12): SHORT TERM : 12 CLASSROOMS @ 1 SPACE / CLASSROOM
ROW DEDICATION: 0.29 AC	SHORT TERM REQUIRED: 12 SPACES
NET ACREAGE: 16.07 AC	LONG TERM: 12 CLASSROOMS @ 2 SPACE / CLASSROOM
EXISTING USE: VACANT	LONG TERM REQUIRED: 24 SPACES
PROPOSED USE: SCHOOL	TOTAL BICYCLE PARKING PROVIDED:
	SHORT TERM: 26 SPACES*
	LONG TERM: 4 SPACES*
BUILDING INFORMATION:	1 BIKE RACK = 2 BIKE PARKING SPACES
PROPOSED BUILDINGS: 3	*PER UDO SECTION 7.1.7 J NO MORE THAN 30 BICYCLE PARKING SPACES SHALL BE REQUIRED PER SITE
BUILDING 1: SCHOOL BUILDING (K-5): 37,290 SF	
BUILDING 2: SCHOOL BUILDING (6-12): 37,290 SF	
TOTAL CLASSROOMS: 44	
BUILDING 3: GYMNASIUM: 13,754 SF	
LARGEST ASSEMBLY = 300 SEATS	
ACADEMIC SPACE = 590 SF	
PRIMARY STREET FRONTAGE: BUFFALOE ROAD	TOTAL: 18,000 GPD
VEHICULAR PARKING:	
SCHOOL (K-8): 300 SEATS IN LARGEST ASSEMBLY AREA (BUILDING 3) @ 1 / 5 SEATS	IMPERVIOUS SUMMARY: EXISTING IMPERVIOUS: 0 AC
REQUIRED: 60 SPACES	PROPOSED IMPERVIOUS: 6.10 AC
	DIFFERENCE : 6.10 AC INCREASE
SCHOOL (9-12): 8,855 SF OF 9-12 ACADEMIC SPACE @ 1 / 600 SF	
GYM: 590 SF OF ACADEMIC SPACE @ 1 / 600 SF	
REQUIRED: 16 SPACES	DISTURBED AREA: 11.7 AC
	TREE CONSERVATION REQUIRED: 10%
	TREE CONSERVATION AREA PROVIDED: 15.67%
TOTAL CODE REQUIRED PARKING: 76 SPACES (MIN.)	
ALLOWABLE PARKING (150%): 114 SPACES (MAX.)	
TOTAL PARKING PROVIDED: 194 SPACES (6 ADA SPACES), MAX. EXCEEDED THROUGH MITIGATION PER UDO 7.1.2 D	
5% ADDITIONAL TCA ADDED FOR PARKING MITIGATION, UDO 7.1.2 D	

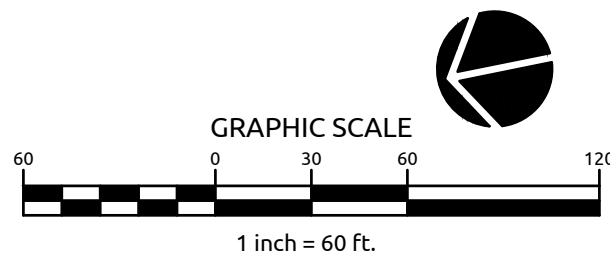
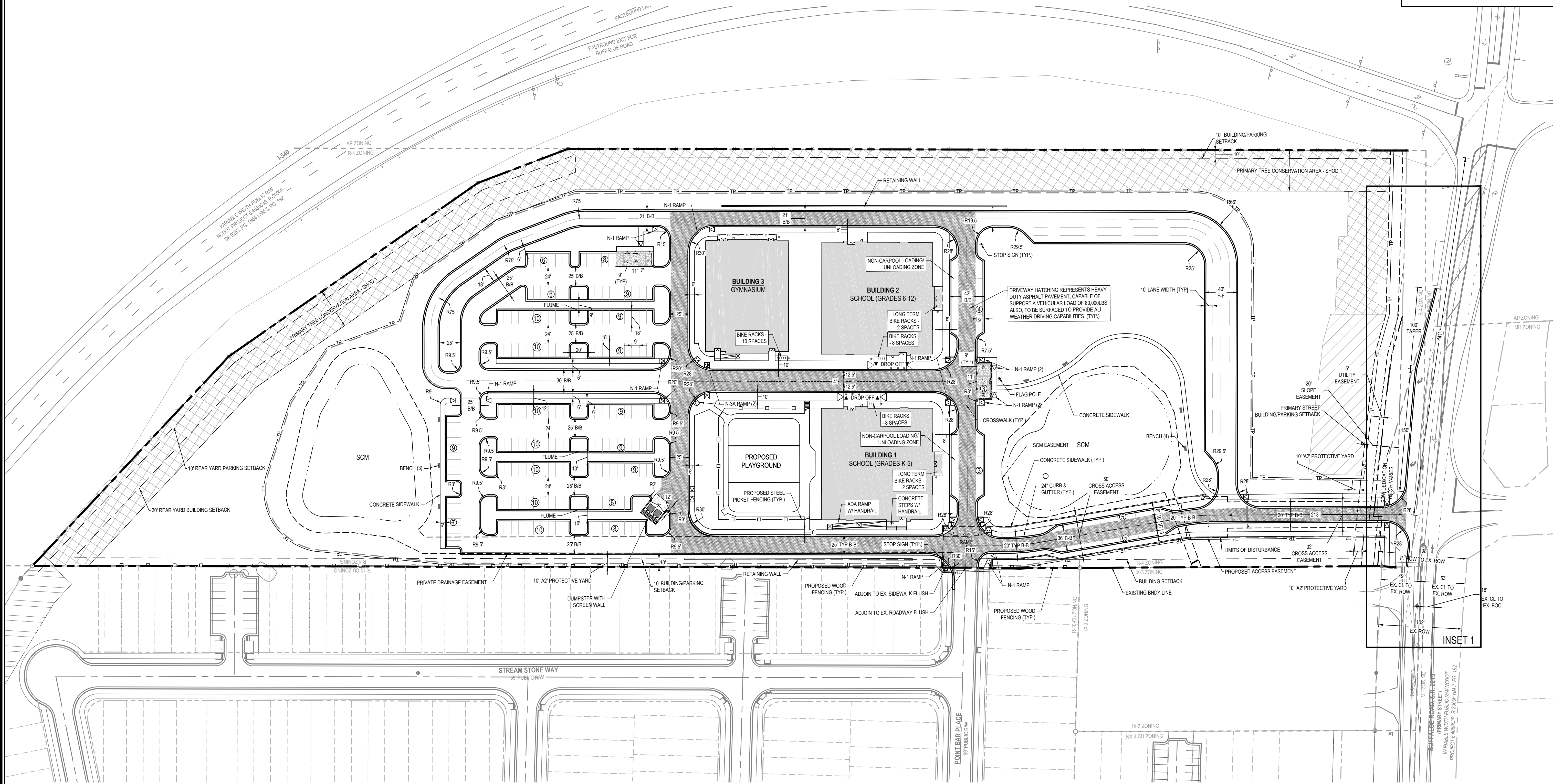
NOTE:

THIS PROJECT IS EXEMPT FROM BLOCK PERIMETER STANDARDS PER UDO SECTION 8.3.2.A.1.b.ix. TC-6-19



SITE LEGEND:	
SYMBOL	DESCRIPTION
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED VEHICULAR CONCRETE
[Symbol]	PROPOSED VEHICULAR ASPHALT
[Symbol]	TREE CONSERVATION AREA - SHOD 1
[Symbol]	TREE CONSERVATION AREA - THROUGHFARE
[Symbol]	PROPOSED 24" CURB AND GUTTER
[Symbol]	PROPOSED FLUSH CURB
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED WOOD FENCE
[Symbol]	PROPOSED RETAINING WALL
[Symbol]	PROPOSED LIGHT POLE
[Symbol]	PROPOSED STEEL BOLLARD
[Symbol]	TEMPORARY TREE PROTECTION FENCE
[Symbol]	SAFETY RAIL
[Symbol]	HANDRAIL

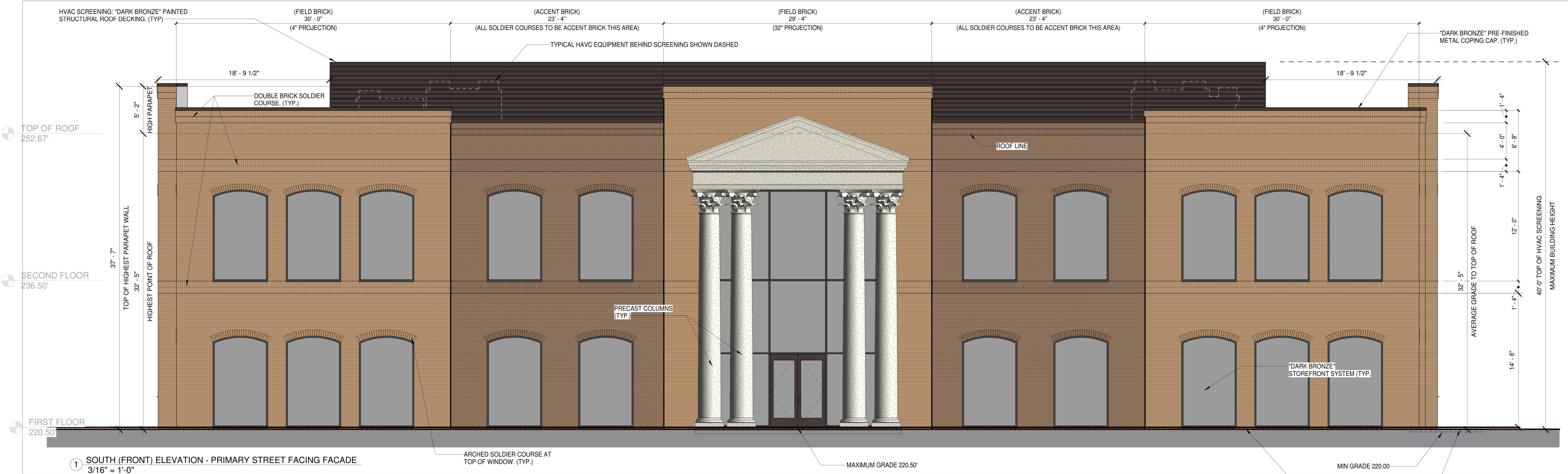
NOTE:
A STREET NAME RESERVATION APPLICATION (#7366 FILED ON JANUARY 20, 2021) HAS BEEN SUBMITTED FOR ADDRESSING OF PROPOSED BUILDINGS.



Job No.	09210439
Date	09-22-2021
Drawn By	WR
Designer	WR

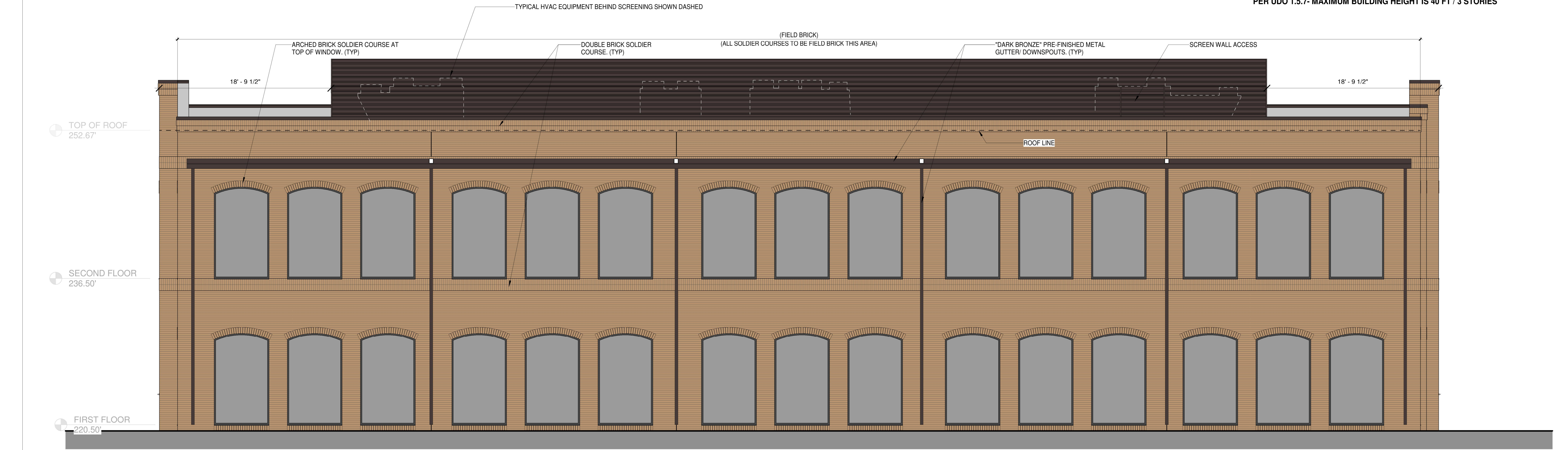
PRELIMINARY
NOT APPROVED FOR
CONSTRUCTION

Revisions		
1	CITY COMMENTS	2021.11.19
2	CITY COMMENTS	2022.01.14
3	CITY COMMENTS	2022.03.07



① SOUTH (FRONT) ELEVATION - PRIMARY STREET FACING FACADE
3/16" = 1'-0"

NOTES:
REFER TO SHEET C3.0 FOR AVERAGE GRADE CALCULATIONS
PER UDO 1.5.7- MAXIMUM BUILDING HEIGHT IS 40 FT / 3 STORIES



② NORTH (REAR) ELEVATION
3/16" = 1'-0"

THALES ACADEMY GRADES 6-12

BUILDING 2

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ISSUE DATE: 03-07-2022
REVISION:

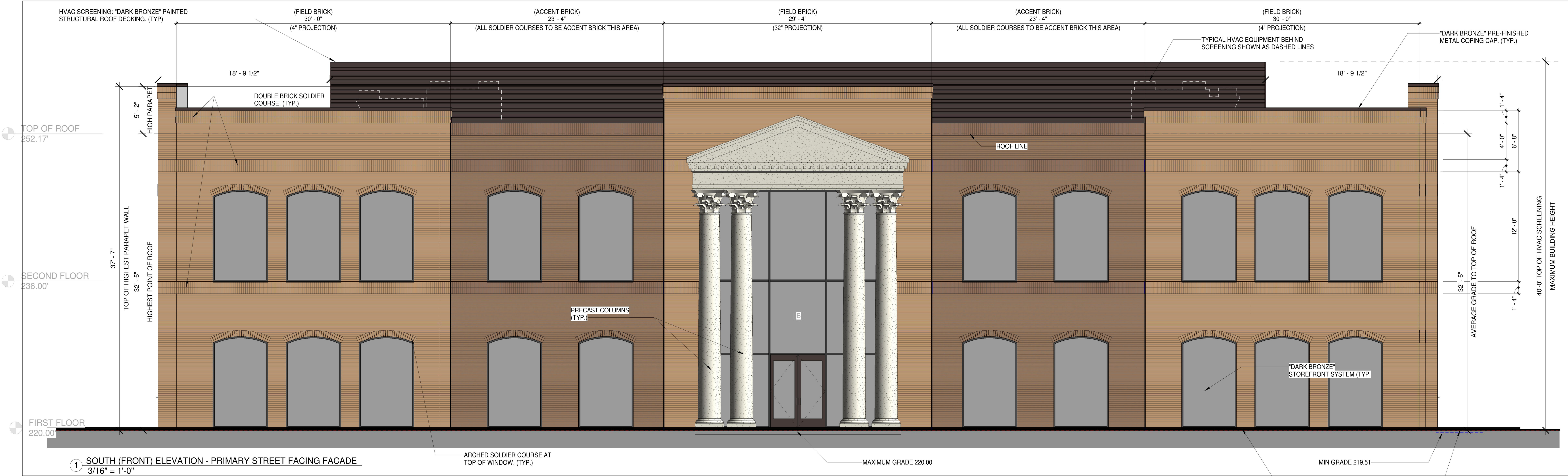
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PROJECT #: 2021-070

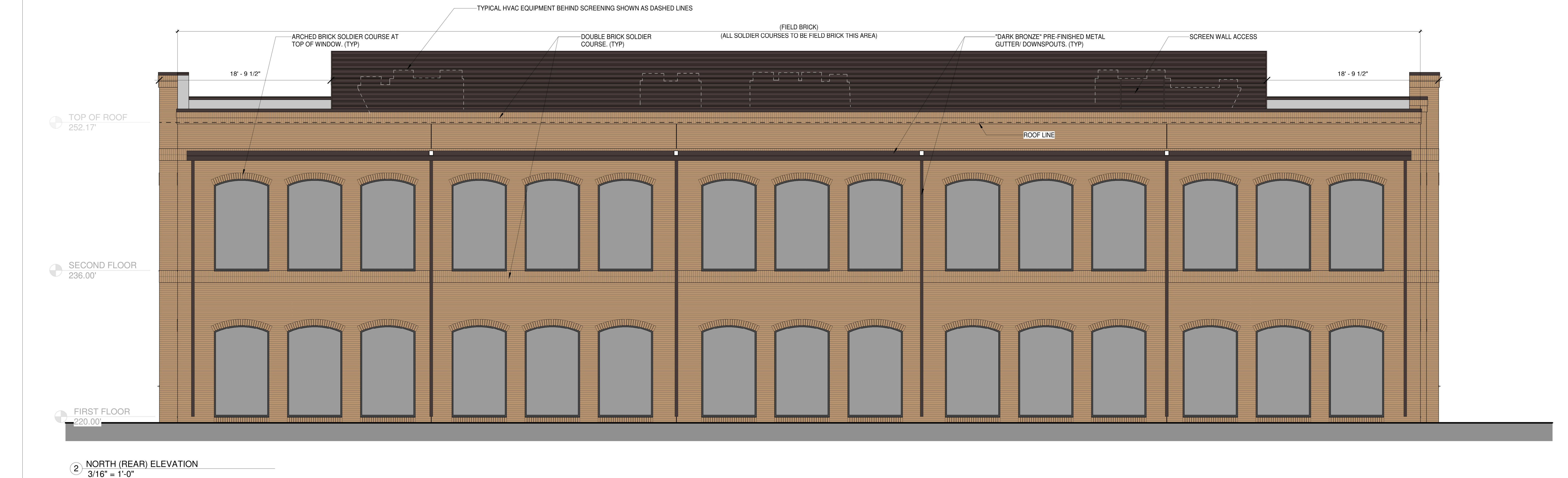
ELEVATIONS - SOUTH
AND NORTH

SHEET

A-05



NOTES:
REFER TO SHEET C3.0 FOR AVERAGE GRADE CALCULATIONS
PER UDO 1.5.7- MAXIMUM BUILDING HEIGHT IS 40 FT / 3 STORIES



THALES ACADEMY GRADES K-5

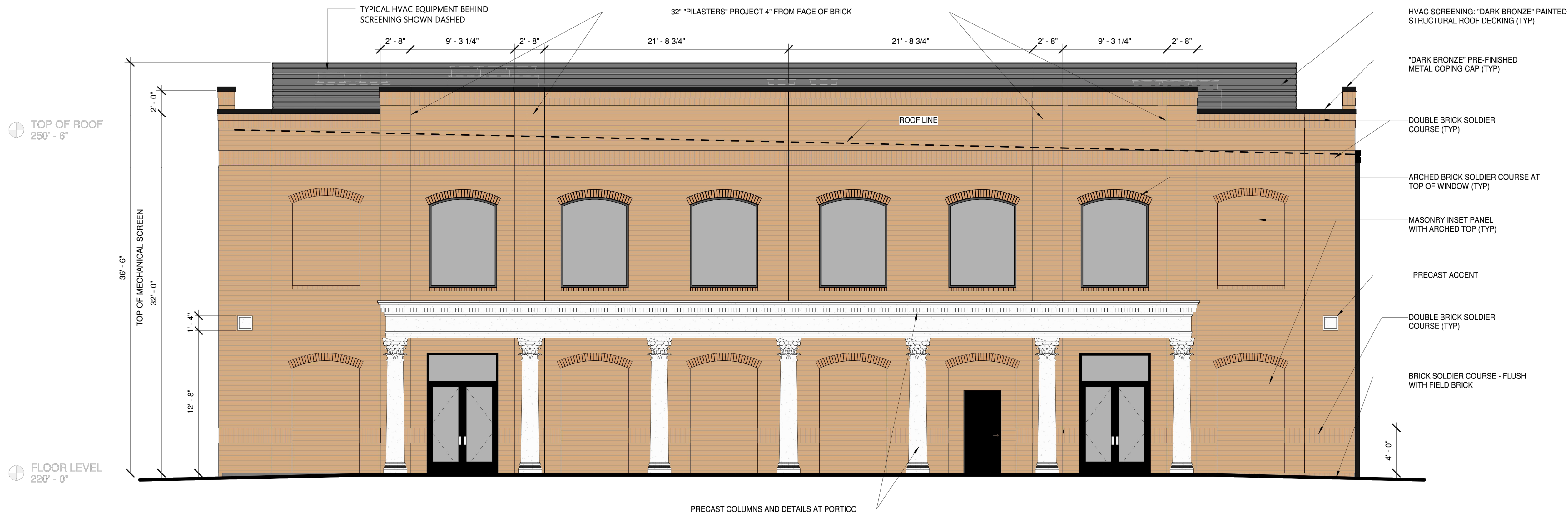
BUILDING 1

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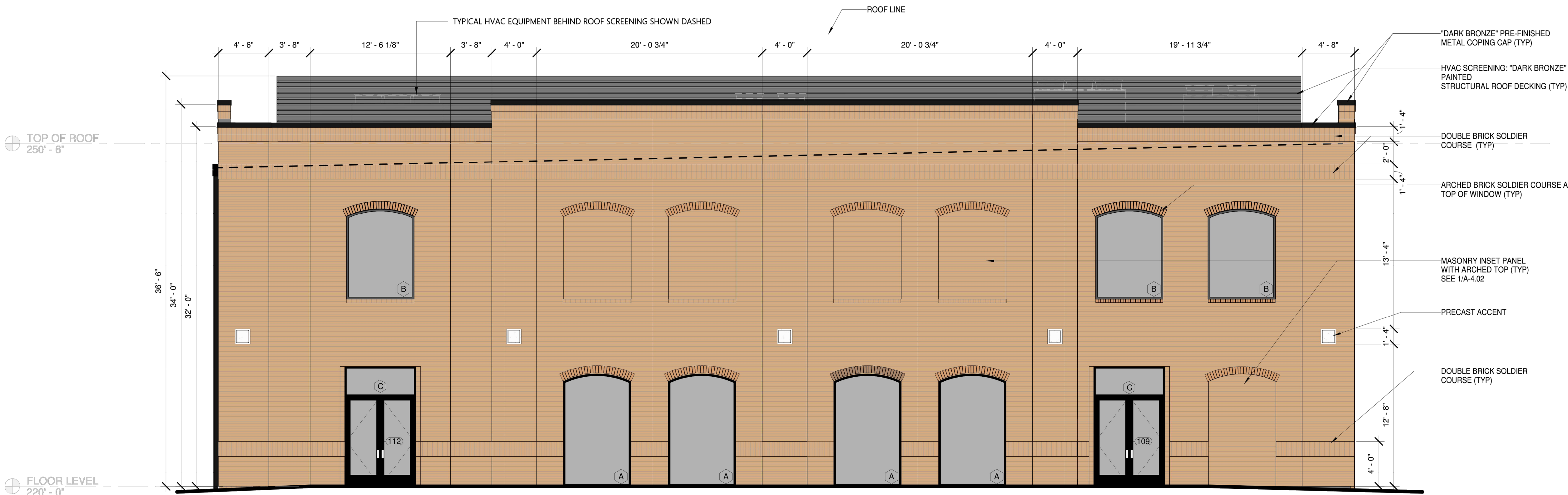
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ISSUE DATE	03-07-2022
REVISION	
PROJECT #	2021-070
ELEVATIONS- SOUTH AND NORTH	

SHEET
A-01



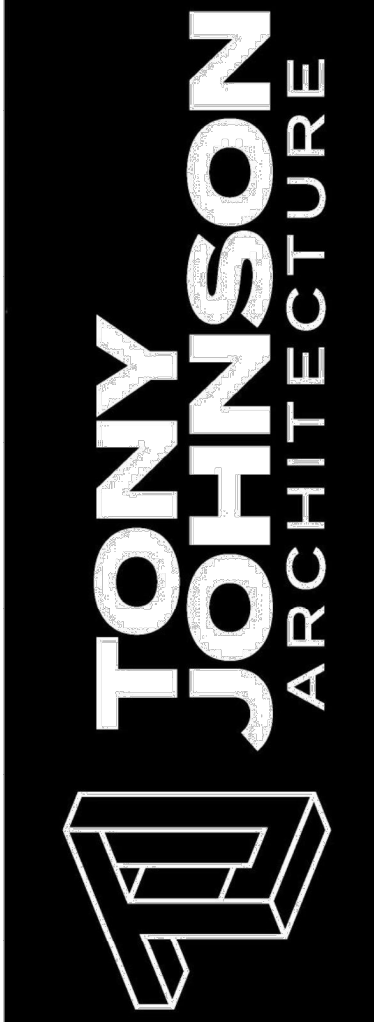
① EAST ELEVATION
3/16" = 1'-0"



② WEST ELEVATION
3/16" = 1'-0"

THALES ACADEMY GYMNASIUM
BUILDING 3

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PROJECT #	2021-052
ELEVATIONS - EAST AND WEST	

SHEET
A-09



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A-10

