



Administrative Approval Action

Case File / Name: ASR-0082-2021
DSLC - Thales Academy Buffaloe Rd

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the north side of Buffaloe Rd. The site is located within the corporate city limits of the City of Raleigh. The current address listed as 7003 Buffaloe Rd Street, PIN # 1746048375.

REQUEST: Development of a K-12 Private School. Gross floor area totals 88,334 square feet, for three school buildings, with associated site improvements. The existing property is 16.36 acres, zoned R-4 in the SHOD-1 Overlay District.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 7, 2022 by Withers Ravenel.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Provide a will serve letter from a waste services provider indicating that the site can and will be serviced. The letter shall state that they have reviewed the plans, will be collecting the garbage and recycling, and note that they can collect safely. The will serve letter is to be added to the SPR plan set.
2. Elevations Sheets - Remove duplicate A0-1 sheet, and include East and West Elevations for Building 2 in the SPR. Include average grade calculation reference from grading sheet on the gymnasium elevations.
3. Addressing - Street Name and Addressing approval is required prior to SPR.

Engineering

4. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

Stormwater

5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



Administrative Approval Action

Case File / Name: ASR-0082-2021
DSLC - Thales Academy Buffaloe Rd

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

8. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
9. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Public Access Deed of Easement Required
<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required

<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required
-------------------------------------	---

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



Administrative Approval Action

Case File / Name: ASR-0082-2021
DSLC - Thales Academy Buffaloe Rd

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

4. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
6. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

8. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 2.54 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:



Administrative Approval Action

Case File / Name: ASR-0082-2021
DSLCL - Thales Academy Buffaloe Rd

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

Engineering

1. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

3. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 2.54 acres of tree conservation area.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all tree conservation areas by Urban Forestry Staff.

Stormwater

3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before



Administrative Approval Action

Case File / Name: ASR-0082-2021
DSLC - Thales Academy Buffaloe Rd

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: July 28, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alycia Bailey Taylor Date: 03/31/2022
Development Services Dir/Designee
Staff Coordinator: Cara Russell

1st SUBMITTAL - September 22, 2021
2nd SUBMITTAL - November 19, 2021
3rd SUBMITTAL - January 14, 2022
4th SUBMITTAL - March 7th, 2022



- [illegible]

1. SOLID WASTE SERVICES ARE TO BE PROVIDED BY A PRIVATE CONTRACTOR.
2. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
3. HAS ROLL-OUT DUMPSTERS FOR SOLID WASTE AND RECYCLING COLLECTION. THE DUMPSTERS WILL BE STORED INSIDE THE BUILDING AND ROLLED OUT TO A COLLECTION POINT ON-SITE ON COLLECTION DAY.

1. THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 250 FEET (NMPA 1.3) A NMPA 15 SPRINKLING SYSTEM IS PROPOSED FOR THIS SITE.
2. FIRE HYDRANT SHALL BE LOCATED WITHIN 600' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFR 507.5.4).
3. ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NEST THREADS AND WITH A 5 INCH STORZ CONNECTION.
4. FIRE FLOW ANALYSIS MUST BE PROVIDED AT TIME OF BUILDING PERMIT'S PER THE 2018 NCFR SECTION 507.3.

[illegible]

1. THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER AND SEWER, AS APPROVED IN THESE PLANS IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORK DEPARTMENT AT (919) 606-9261 AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 651-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.
2. FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THE NOTIFICATION FAILURE.
3. FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITS OBTAIN ON THE JOBSITE OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE SHUTDOWNS FROM FUTURE WORK IN THE CITY OF RALEIGH.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NOTED, IF APPLICABLE.



PREPARED BY:



115 MacKenan Drive | Cary, NC 27511 | t: 919.469.3340 | license #: F-1479 | www.withersravenel.com

WITHERSRAVENEL
137 S. WILMINGTON ST
RALEIGH, NC 27601
919-469-3340
ATTN: DANIEL WHATLEY, PLA

TONY JOHNSON ARCHITECTURE
104 NORTH LOMBARD ST
CLAYTON NC, 27520
919-550-7717
ATTN: TONY JOHNSON

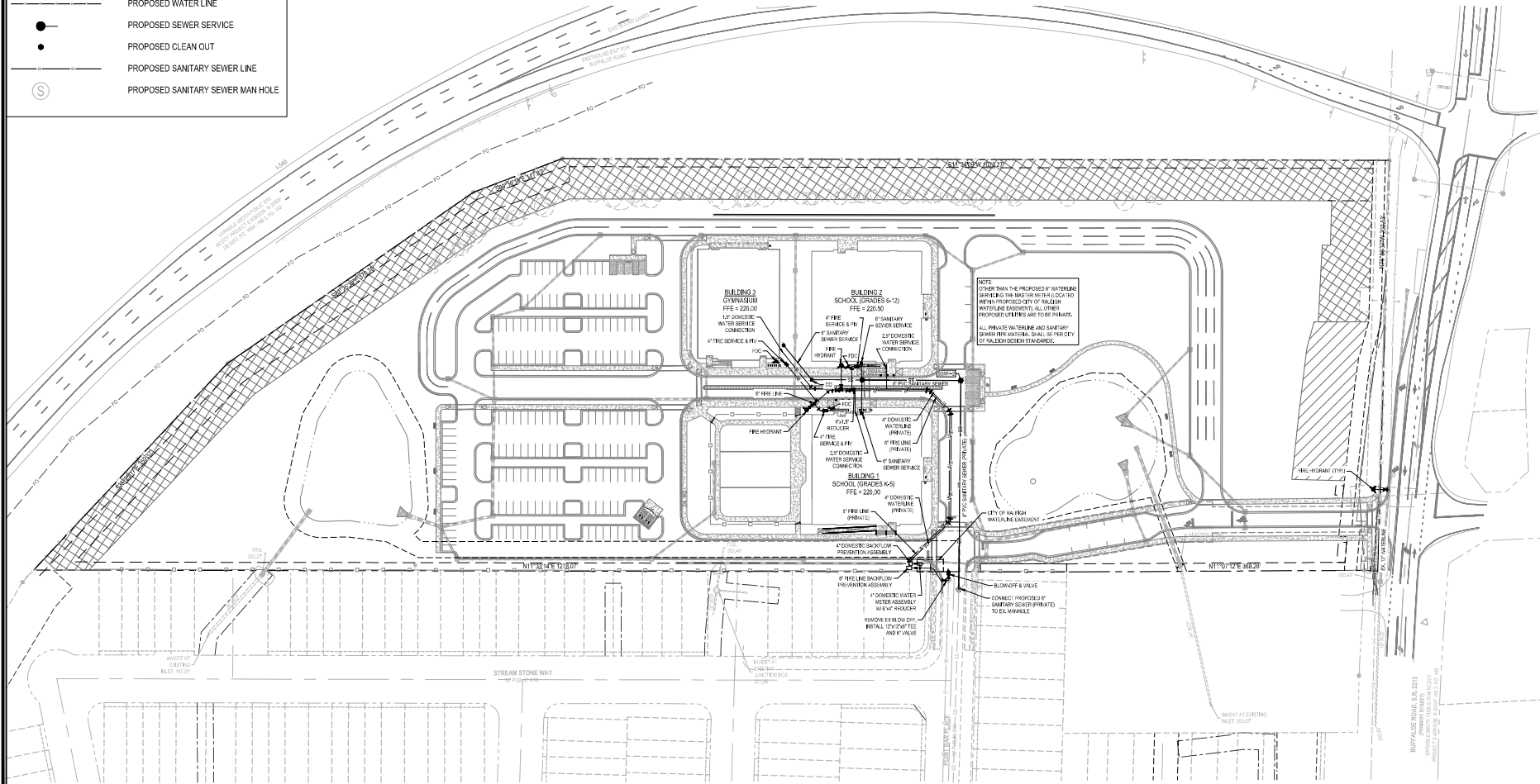
Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER
C0.1	GENERAL NOTES
C1.0	EXISTING CONDITIONS
C1.1	DEMOLITION PLAN
C2.0	SITE PLAN
C2.1	SIGHT LINE PROFILE
C3.0	GRADING & DRAINAGE PLAN
C3.1	SOM 1 PLAN
C3.2	SOM 2 PLAN
C3.3	SOM DETAILS
C4.0	UTILITY PLAN
C4.1	FIRE ACCESS AND ADA PLAN
C4.2	SOLID WASTE ACCESS PLAN
C5.0	SITE DETAILS
C5.1	SITE DETAILS
L1.0	TREE CONSERVATION PLAN
L1.1	AERIAL IMAGE
L2.0	LANDSCAPE PLAN
L2.1	LANDSCAPE DETAILS
A-1-0376A	LIGHTING PLAN (DUKE ENERGY)
A-01	ARCHITECTURAL ELEVATIONS GRADES K-5
A-02	ARCHITECTURAL ELEVATIONS GRADES K-5
A-03	FIRST FLOOR PLAN GRADES K-5
A-04	SECOND FLOOR PLAN GRADES K-5
A-05	ARCHITECTURAL ELEVATIONS GRADES 6-12
A-06	ARCHITECTURAL ELEVATIONS GRADES 6-12
A-07	FIRST FLOOR PLAN GRADES 6-12
A-08	SECOND FLOOR PLAN GRADES 6-12
A-09	ARCHITECTURAL ELEVATIONS GYMNASIUM
A-10	ARCHITECTURAL ELEVATIONS GYMNASIUM
A-11	GYMNASIUM FLOOR PLAN

[illegible]

NOTE:
THIS PROJECT IS EXEMPT FROM BLOCK PERIMETER STANDARDS PER UDO SECTION
8.3.2.A.1.b.ix. TC-6-19

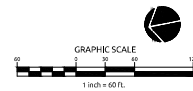


SYMBOL	DESCRIPTION
	PROPOSED WATER SERVICE METER
	PROPOSED BACKFLOW PREVENTOR
	PROPOSED PROPOSED FIRE HYDRANT
	PROPOSED FDC
	PROPOSED WATER LINE
	PROPOSED SEWER SERVICE
	PROPOSED CLEAN OUT
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY SEWER MAN HOLE



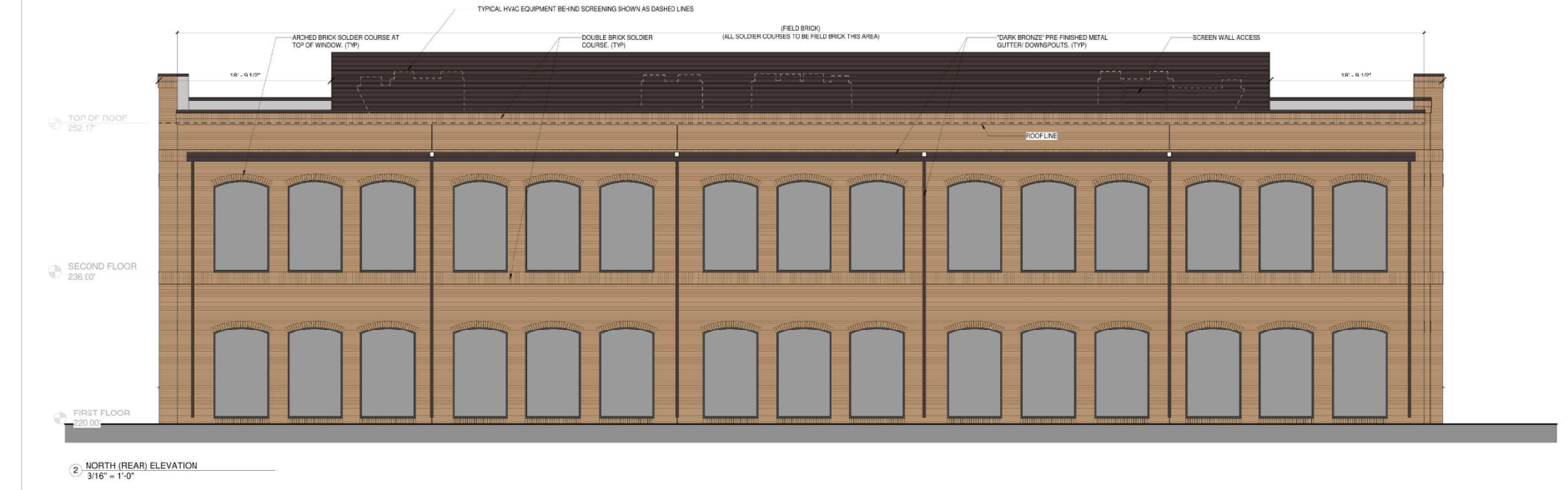
UTILITY NOTES:

1. ALL PROPOSED ON-SITE SANITARY SEWER SHALL BE PRIVATE, REQUIRING NO PUBLIC EASEMENTS
2. ALL PROPOSED ON-SITE WATERLINE SHALL BE PRIVATE, REQUIRING NO PUBLIC EASEMENTS, WITH EXCEPTION OF THE PROPOSED 6" PUBLIC WATERLINE, EXTENDING FROM POINT BAR PLACE TO THE PROPOSED MASTER METER LOCATION





NOTES:
REFER TO SHEET C3.0 FOR AVERAGE GRADE CALCULATIONS
PER UDO 1.5.3- MAXIMUM BUILDING HEIGHT IS 40 FT / 3 STORIES



THALES ACADEMY GRADES K-5

BUILDING 1

945-545-2773
Tony Johnson Architecture LLC
104 North Leonard St
Chapel Hill, NC 27601
Tony Johnson Architecture LLC

TONY JOHNSON
ARCHITECTURE

ISSUE DATE:	03-07-2022
REVISION:	
PROJECT #:	2021-070
ELEVATIONS - SOUTH AND NORTH	

SHEET
A-01



① WEST ELEVATION
3/16" = 1'-0"



② EAST ELEVATION
3/16" = 1'-0"

THALES ACADEMY GRADES K-5

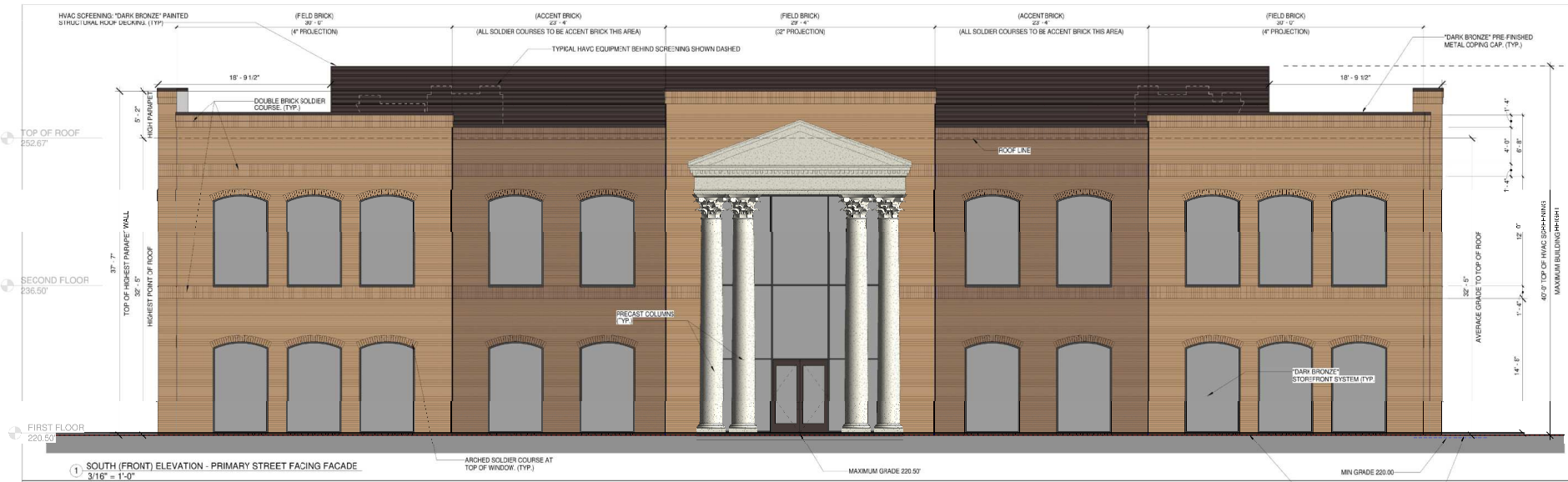
BUILDING 1

949.549.2772
Tony Johnson Architecture LLC
104 North L Street, 5th
Chapel Hill, NC 27601
tonyjohnsonarchitect.com

**TONY
JOHNSON**
ARCHITECTURE

REVISION: 00-07-2023
PROJECT #: 2021-070
ELEVATIONS - EAST
AND WEST

SHEET
A-02



NOTES:
REFER TO SHEET C3.0 FOR AVERAGE GRADE CALCULATIONS
PER UDO 1.5.7- MAXIMUM BUILDING HEIGHT IS 40 FT / 3 STORIES



THALES ACADEMY GRADES 6-12

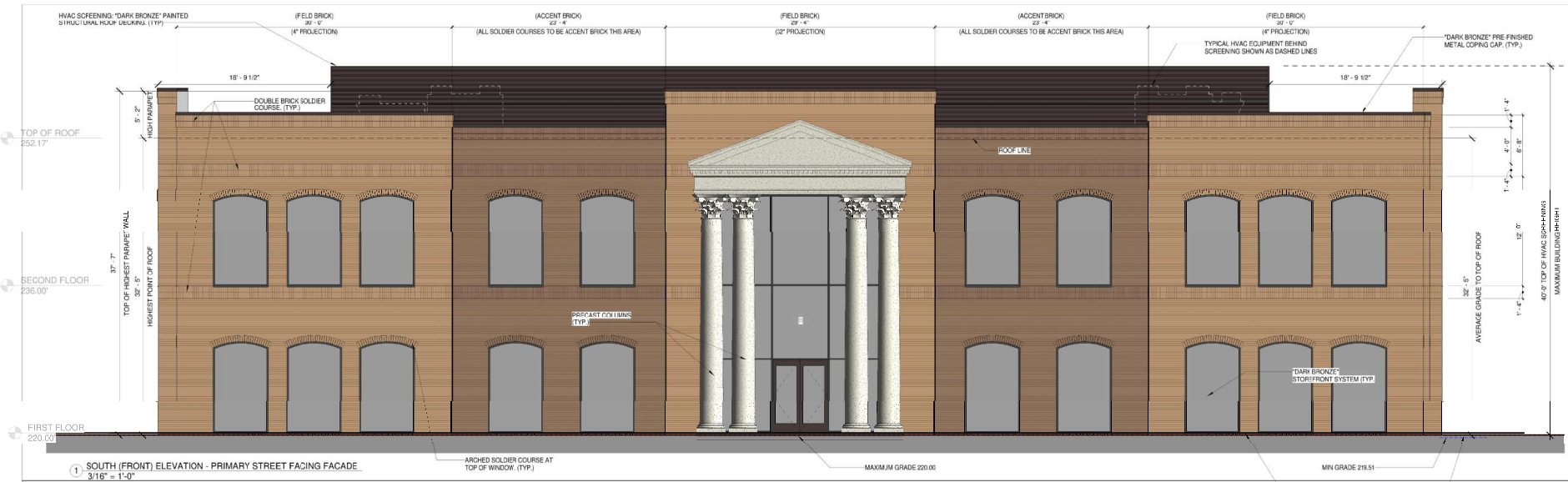
BUILDING 2

100-000-0000
Tony Johnson Architecture
100 North Lombard St
Chapel Hill, NC 27514
Tony Johnson Architecture

TONY JOHNSON
ARCHITECTURE

REVISIONS
PROJECT # 2021-070
ELEVATIONS - SOUTH AND NORTH

SHEET
A-05



NOTES:
REFER TO SHEET C3.0 FOR AVERAGE GRADE CALCULATIONS
PER UDO 1.5.7- MAXIMUM BUILDING HEIGHT IS 40 FT / 3 STORIES



THALES ACADEMY GRADES K-5

BUILDING 1

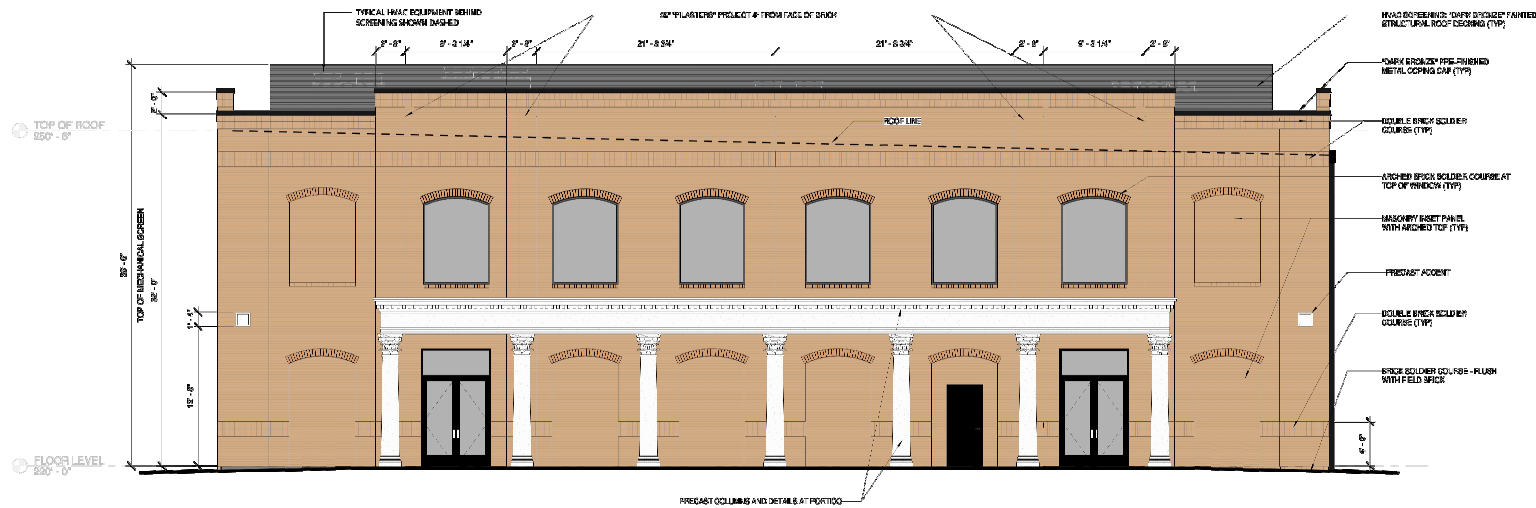
101-545-0717
Tony Johnson Architecture
101 North Leonard St.
Chapin, NC 29206
Tony.johnson@tjarch.com

**TONY
JOHNSON**
ARCHITECTURE

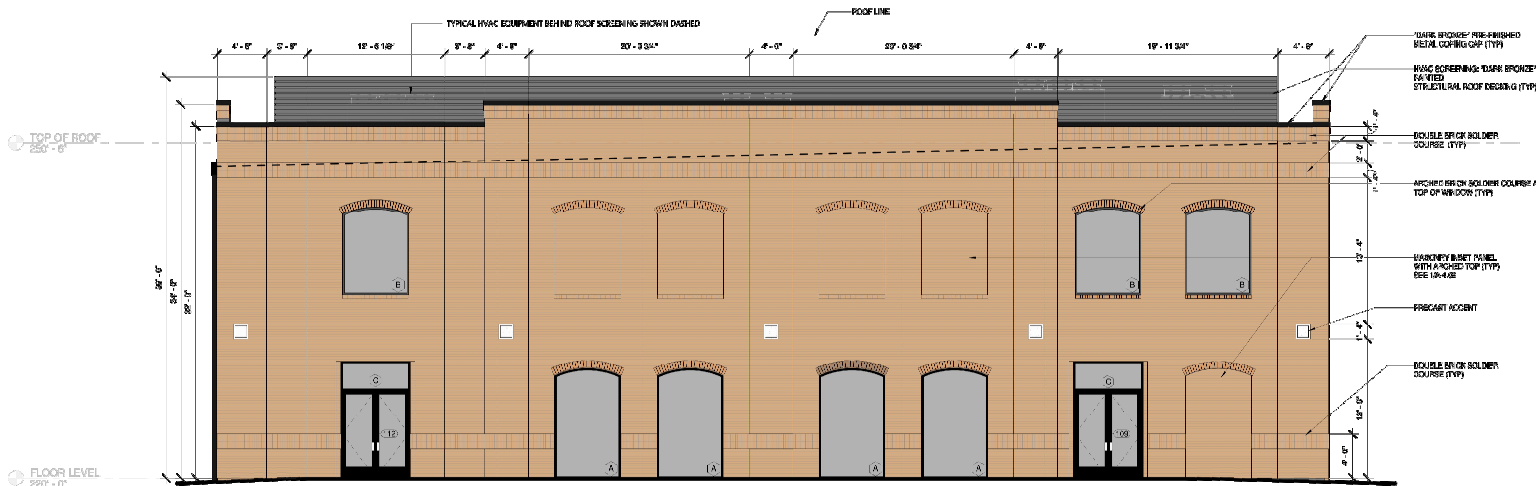
REVISIONS: 00-07-0000
REVISION # 2021-07-0
ELEVATIONS - SOUTH
AND NORTH

SHEET

A-01



① EAST ELEVATION
27'0\"/>



② WEST ELEVATION
27'0\"/>

THALES ACADEMY GYMNASIUM

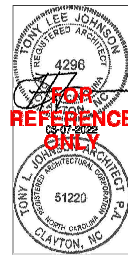
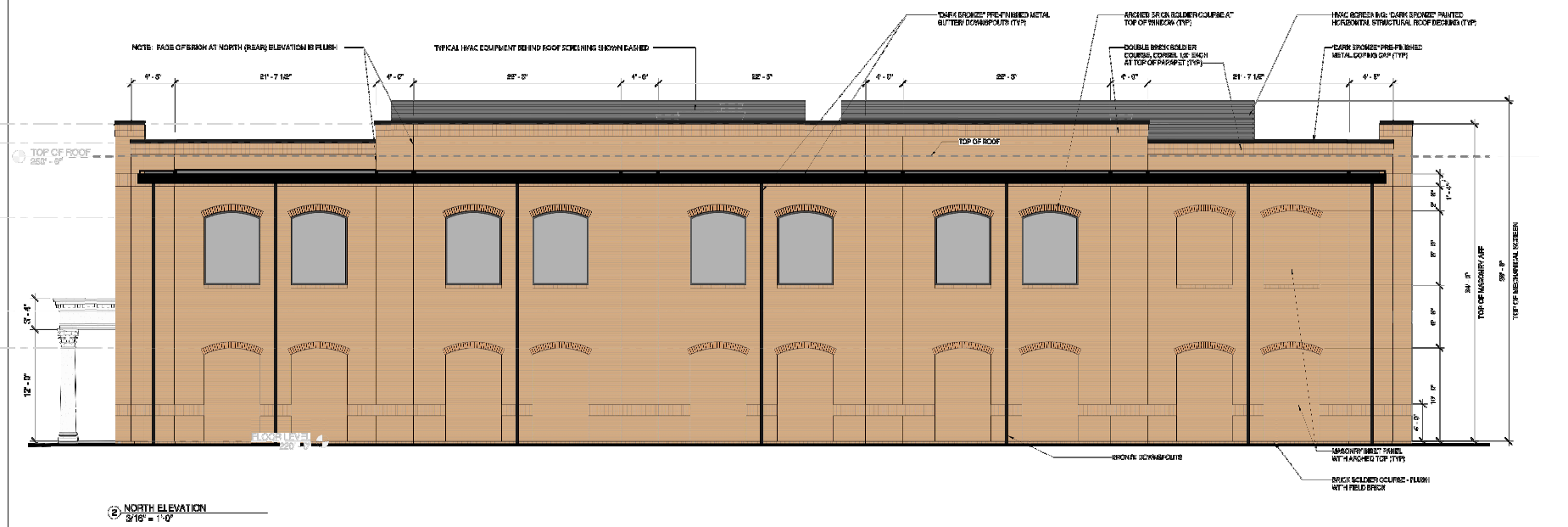
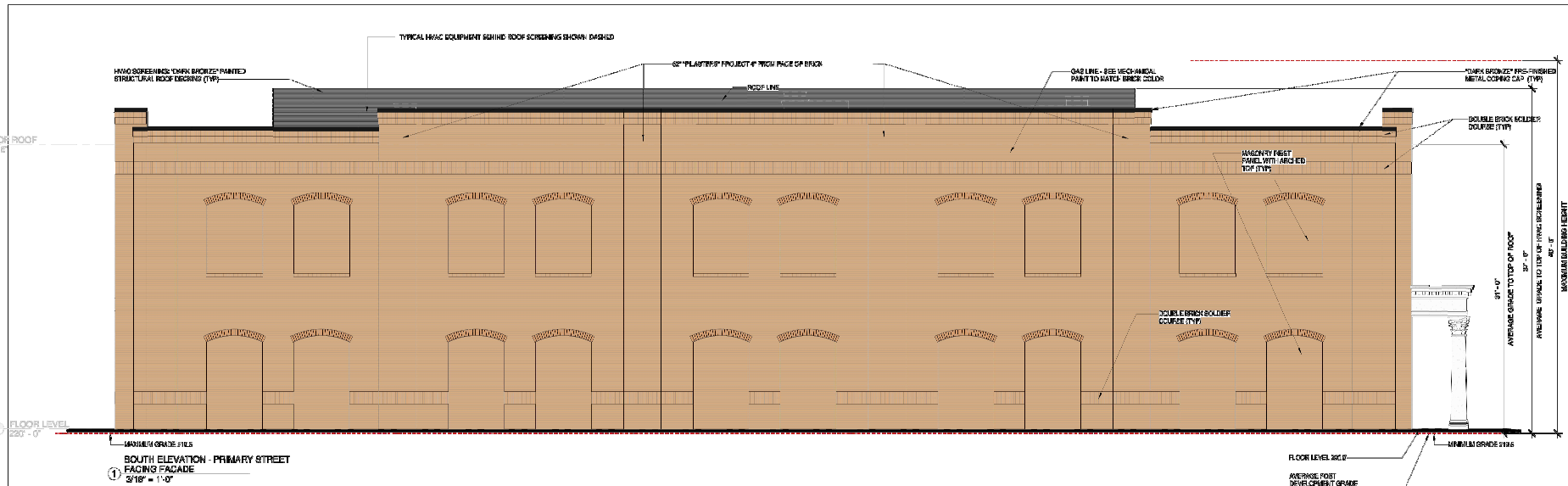
BUILDING 3

001-550-1773
Tony Johnson Architecture LLC
100 North Lincoln Blvd. #3
Channahon, IL 61008
TonyJohnsonArch.com

**TONY
JOHNSON**
ARCHITECTURE

DATE: 03-07-2025
BY: JH
PROJECT: 2024-052
ELEVATIONS - EAST
AND WEST

A-09



THALES ACADEMY GYMNASIUM
BUILDING 3



DATE	03-07-2025
PROJECT	3021-052
ELEVATIONS - SOUTH AND NORTH	
100%	

A-10