

Case File / Name: ASR-0082-2021 DSLC - Thales Academy Buffaloe Rd

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the north side of Buffaloe Rd. The site is located within the

corporate city limits of the City of Raleigh. The current address listed as 7003

Buffaloe Rd Street, PIN # 1746048375.

REQUEST: Development of a K-12 Private School. Gross floor area totals 88,334 square feet,

for three school buildings, with associated site improvements. The existing property

is 16.36 acres, zoned R-4 in the SHOD-1 Overlay District.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of

approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 7, 2022 by Withers

Ravenel.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

- Provide a will serve letter from a waste services provider indicating that the site can and will be serviced. The letter shall state that they have reviewed the plans, will be collecting the garbage and recycling, and note that they can collect safely. The will serve letter is to be added to the SPR plan set
- Elevations Sheets Remove duplicate A0-1 sheet, and include East and West Elevations for Building 2 in the SPR. Include average grade calculation reference from grading sheet on the gymnasium elevations.
- 3. Addressing Street Name and Addressing approval is required prior to SPR.

Engineering

4. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

Stormwater

5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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- 6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
- 7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

- 8. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
- 9. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☑ <u>LEGAL DOCUMENTS</u> - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

Ø	Public Access Deed of Easement Required
Ø	Right of Way Deed of Easement Required

☑	Slope Easement Deed of Easement Required

☑ <u>RECORDED MAP(S)</u> - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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- 2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
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Public Utilities

4. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

- 5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
- 6. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
- 7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

8. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 2.54 acres of tree conservation area.

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:



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City of Raleigh **Development Services Department** One Exchange Plaza Raleigh, NC 27602 (919) 996-2492 currentplanning@raleighnc.gov www.raleighnc.gov

Engineering

1. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

- 3. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
- 4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- 5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 2.54 acres of tree conservation area.

The following are required prior to issuance of building occupancy permit:

General

- 1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
- Final inspection of all tree conservation areas by Urban Forestry Staff.

Stormwater

As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before



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permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: July 28, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

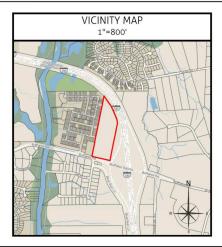
Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alysia Bailsy Taylor Date: 03/31/2022

Development Services Dir/Designee

Staff Coordinator: Cara Russell



GENERAL NOTES

22. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC. BUTCHE OF THE THIRD OF THE WOLLD PROSE CONTINUE BETWEEN CHARGE AND THE STREET OF WORLD THIS SERVICE HAS BEEN BUSINED A MINIMARIE OF Z. WEEKS PROXING THE STREET OF WORLD SELF SERVICE HAVE COLORS OF WORLD SELF SERVICE AND THE STREET OF WORLD SELF-SERVICE AND THE STREET OF SERVICE SERVICE AND THE STREET OF SERVICE SERVICE AND THE SERVI

17.

18. DADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR
18. NATIONED DURING CONSTRUCTION.

METHIN THE SCENT TRANSCES SHOWN ON THIS PLAN AND OBSTRUCTION RETURNING THE TRANSCESS OF THE TRANSCESS OF THE CORRECT OR THE CORRECT OF THE CORRECT OF THE CORRECT OR THE CO

ALL BETAINING WALLS CREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE. NO RETAINING WALLS ARE PERMITTED IN THE RICHT-OF-WAY UNLESS APPROVED BY FENTSYLE HARMY

SOLID WASTE SERVICES ARE TO BE PROVIDED BY A PRIVATE CONTRACTOR. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL ASR-0082-2021

ADMINISTRATIVE SITE REVIEW PLANS FOR THALES ACADEMY

7003 BUFFALOE RD, RALEIGH NC

1st SUBMITTAL - September 22, 2021 2nd SUBMITTAL - November 19, 2021 3rd SUBMITTAL - January 14, 2022 4th SUBMITTAL - March 7th, 2022

			76 194			
Planner (p	int):		124			
eded a Site Plan Tier Verific	ation request can be submitted online via the					
Tier Three Site Plan						
	Site Transaction History				6.10 AC	265,716
Mixed use Scoping/sk Certificate Open lot Board of A	atch plan case #: 500PE-0137-2021 # Appropriateness #:					
		1				x
GENERAL INFORMATIO	N					
Within ETJ - Annexation forthcoming						
a Dood				IDENTIAL DI		
e Road				04		
			or zor	301		? Yes No
		The undersigned indicates of the same of t	ites that the property or	wner(s) is awa	re of this application and that the p	roposed project
Name: Brandon Hafner		herewith, and in accord	lance with the provision	s and regulati	ons of the City of Raleigh Unified I	Development Ordinano
	onstruction(r actings				o approache documentation, and w	m represent the prope
Email: brandon hafner@ca	ell'andrane				conforming to all application require	omosto sonicabio will
	perverser.com		use. I acknowledge the	at this applicat	ion is subject to the filing calendar	
and the same of th						
	n St., Suite 200, Raleigh, NC 27601	which states application		days of inactiv	ity.	
	decide à Sille Piller Ter Verific à la fee for this verification. Ter Three Sille Piller Siller Sil	General Subdivision case #:	code of Site Perm Tire Verification requires can be submitted ordine via the law of the	code of Sis Park Ter Verification required on the submitted ordine via the law for the verification required on the submitted ordine via the law for the verification verification. The Throne Size Park Terminal Control of the Contr	code of Site Park The Tree Virolitation requests can be submitted online via the law of the second on the law of the second on the law of the second on the law of th	code of Sis Ren's Ter Verdication register can be submission order via the season of t

APPLICANT

CaptiveAire, Inc. 4641 PARAGON PARK ROAD RALEIGH, NC 27616

ATTN: BRANDON HAFNER

PREPARED BY:



Engineers | Planners | Surveyors

115 MacKenan Drive | Cary, NC 27511 | t: 919.469.3340 | license #: F-1479 | www.withersravenel.com

PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIF COMPONENTS OF THE APPROVED PLAY, AND ENSURE ALL PERMITS ARE ISSUED. THE CITY OF RALEICH BEQUIRES AN APPROVED RICHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND INCIDIT ROAD WITHIN RALEIG BURKINGTON ALL TRAFFIC CONTROL SICHAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR READWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MOTOD.

A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO INGHTOFWAYSERVICES/RYALEIGHNC.GOV AT WWW.PALEIGHNC.GOV REVWORD PROHID-FWAY SERVICES.

SOLID WASTE INSPECTION STATEMENT

FIRE DEPARTMENT NOTES

RIGHT-OF-WAY OBSTRUCTION NOTES

HAS ROLL OUT DUMPSTERS FOR SOLID WASTE AND RECYCLING COLLECTION. THE DUMPSTERS WILL BE STORED INSIDE THE BUILDING AND ROLLED OUT TO A COLLECT POINT ON SITE ON COLLECTION DAY.

THE APPARATUS ROAD SURFACE IS REQUIRED TO BE WITHIN 250 FEET (NEPA 13): A NEPA 13 SPRINKLING SYSTEM IS PROPOSED FOR THIS SITE.

FRE HYDRANT SHALL BE LOCATED WITHIN 600' AS MEASURED ALONG THE PATH OF APPARATUS ACCESS ROAD (NCFC 507.5.1). ALL NEW FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 5 INCH STORZ CONNECTION. FIRE FLOW ANALYSIS MUST BE PROVED AT TIME OF BUILDING PERMITS PER THE 2018 NCFC, SECTION 507.3.

ALL PUBLIC SOCIALISM AND SEA ACCOUNTS HELD OF DESTROATED MEMORAL VEHICLA WHICH AND ADDRESS FOR THE SECOND SEPTEMBER TO THE WAS DESTROATED AND ALTERNATIVE PROSERVED AND ALTERN

ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

ATTENTION CONTRACTORS

- THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER AND SEWER AS APPROVED IN THESE PLANS IS RESPONSIBLE FOR THE EXTENSION OF WATER AND SEWER AS APPROVED IN THESE PLANS IS RESPONSIBLE FOR CONTACTING THE PUBLIC W.
 DEPARTMENT AT \$100 FREAMS, AND THE RUBLIC UTILITIES DEPARTMENT AT \$100 FREATHERST AND THESE PLANS IS RESPONSIBLE FOR THESE CONSTRUCTION.
- FALLISE TO NOT BY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONEYTARY FINES AND REDUIRE REINSTALLATION OF ANY WATER OR SENER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTHICATION FALURE.
- FALLINE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE LOGSITE OR ANY OTHER VIOLATION OF CITY OF RALEICH STANDARDS WILL RESULT IN A FIVE AND POSSIBLE EXCLUSION, FROM PUTURE WORK IN THE CITY OF RALEICH.
- TRACTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AND NODOT, IF APPLICABLE

ENGINEER WITHERSRAVENEL 115 MACKENAN DRIVE

CARY NC 27511

919-469-3340

ATTN: DAVE BARTONE, P.E.

LANDSCAPE ARCHITECT

137 S. WILMINGTON ST RALFIGH NC 27601 919-469-3340

ATTN: DANIEL WHATLEY, PLA

WITHERSRAVENEL TONY JOHNSON ARCHITECTURE

104 NORTH LOMBARD ST CLAYTON NC. 27520 919-550-7717 ATTN: TONY JOHNSON

ARCHITECT



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SITE DATA							
SITE ADDRESS:	700SBUFFALOE RD	BICYCLE PARKIN	G REQU	RED:			
PINs:	1745-04-6375	SCHOOL (K-8): SHORT TERM: 32 CLASSROOMS @ 1 SPACE / 2 CLASSROOMS					
DEED BOOK AND PAGE:	DB 017011 PG 01557	SHORT TERM REQUIRED: 16 SPACES					
ZONING DISTRICT:	Ref.	LONG TERM: 32 CLASSROOMS (§ 3 SPACES / CLASSROOM					
OVERLAY DISTRICTION	8H00 -1	LONG TERM REQUIRED: 96 SPACES					
GROSS SITE ACREAGE:	16.36 AC	SCHOOL (9-12): SHORT TERM: 12 CLASSROOMS @ 1 SPACE / CLASSROOM					
ROW DEDICATION:	0.29 AC	SHORT TERM REQUIRED: 12 SPACES					
NET ACREAGE:	16,07 AC	LONG TERM: 12 CLASSROOMS (\$ 2 SPACE / CLASSROOM					
EXISTING USE:	WIGANT	LONG TERM REQUIRED: 24 SPACES					
PROPOSED USE:	SCHOOL	TOTAL BICYCLE PARKING PROVIDED:					
				SHORT TERM: 26 SPACES*			
BUILDING INFORMATION:	PROPOSED BUILDINGS: 3	LONG TERM: 4 SPACES*					
	BUILDING 1: SCHOOL BUILDING (K-5): 37,290 SF	1 BIKE RACK = 2 BIKE FARKING SPACES					
	BUILDING 2: SCHOOL BUILDING (6-12): 17,290 SF TOTAL CLASSROOMS: 44	"PER UDO SECTION 7.1.7 J NO MORE THAN 30 BICYCLE PARKING SPACES SHALL BE REQUIRED PER SITE					
	BUILDING 3: GYMNASIJM: 13,754 SF LARGEST ASSEMBLY = 300 SEATS	SANITARY SEWE	R FLOW:				
	ACADEMIC SPACE - 590 SE			DENT x 600 STUDENTS =	9,000 GPD		
	HUNDLING OF HUL - 199 of			DENT x 600 STUDENTS =	9,000 GPD		
PRIMARY STREET FRONTAGE:	BUFFALCE ROAD	PROPOSED GYMNASIJM: NIA TO			TOTAL: 18,000 GPD		
VEHICULAR PARKING:		IMPERVIOUS SUI	MUNRY:	EUSTING IMPERVIOUS:	e AC		
	EST ASSEMBLY AREA (BUILDING 3) (6:1/5 SEATS			PROPOSED IMPERMOUS	6.10 AC		
	REQUIRED: 60 SPACES			DIFFERENCE:	6.10 AC INCREASE		
SCHOOL (\$ 12): 8 855 SE DE 9-12 ACL	IDEMIC SPACE (0.1) 600 SF	DISTURBED ARE	A:		11.7 AC		
	DEMIC SPACE (\$17600 SF				10%		
	BECHERED 16 SPACES	TREE CONSERVATION REQUIRED: TREE CONSERVATION AREA PROMIDED:			10%		
				IDED FOR MITIGATION PER UDG 7.12 DI	13,57%		
TOTAL CODE REQUIRED PARKING: 76 SPACES (MIN.)		y-bollione w		BED 1 011 MI 1011 D1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1			
ALLOWABLE PARKING (150%):	114 SPACES (MAX.)						
TOTAL PARKING PROVIDED:	194 SPACES (6 AOA SPACES), MAX, EXCEEDED THROUGH MITISATION PER UDO 7.1.2 D						
	5% ADDITIONAL TCA ADDED FOR PARKING MTRGATION, UDO 7.1.2.D						
NOTE:							

THIS PROJECT IS EXEMPT FROM BLOCK PERIMETER STANDARDS PER UDO SECTION

- ALL WORK SHALL BE IN ACCORDANCE WITH CITY OF BALLEGH STANDARDS AND SPECIFICATIONS THE CONTRACTOR SHALL COORDINATE ALL REVIOUSL EFFORTS WITH THE CONTRACTOR SHALL COORDINATE ALL REVIOUSL EFFORTS WITH THE CONNER PRIOR TO COMMENCING WORK.
- SPECIAL CURE SHALL BE TAMEN TO PROTECT MOD MAINTAIN ALL EXISTING FEATURES.

 INCLUDING BELOW GROUND, NOT IMMRCED FOR REMOVAL. IN THE EXENT OF ANY IMPACT TO
 SOCH FRATURES, THE CONTRACTOR SHALL PERFORM REPAIR MIDDER RESTORE TO ORIGINAL
 CONCITION AS OF START OF WORK.
- NO DEMOLITION DEBRIS IS TO BE STORED ON SITE. ALL DEVOLITION MATERIAL TO BE PROMPTLY REMOVED FROM THE SITE OR PLACED IN APPROPRIATE CONTAINERS.
- TRAFFIC CONTROL IS CONTRACTOR'S RESPONSIBILITY.
- SAVICUT EXISTING ASPHALT AT LOCATION SHOWN ON PLANS.
- SITE DEMOLITION SEQUENCE TO BE PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN A RIGHT OF WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LINEIS) AND/OR ADEMIALK FROM THE TRANSPORTATION OPERATION OF VECTOR WORKS DEPARTMENT.
- THE CONTRACTOR SHALL OBTAIN A TREE IMPACT PERMIT TO REMOVE ANY TREES EXISTING IN THE STREET RIGHTS-OF-WAY.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT PUBLIC WORKS DEPARTMENT FOR FURTHER
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRI-CORS REQUISION HEETING WITH THE CITY OF MELETING PUBLIC WORKS DEPARTMENT? TRANSPORTATION FELL SUBSCIENCES STORT TO DRIVE MIT HES EQUITION COMPONENTS OF THE PLAN AND ORDINATION OF THESE TALL THIS DURING CONSTRUCTION. CONTRACT ENGINEERING DEPORTATION OF THESE CAPACITY OF STORT OF THE MEETING.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCO IMOST CURRENT EDITION.
- THE PROTECTION OF THE MOTOR MASS CONSIDER CONTROL OF A WEEKS PRIOR TO THE ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINNUM OF 2 WEEKS PRIOR TO THE START OF WORK, SEE "MIGHT-DE-WAY CLOSURES" ON WAW PALEDHING, SOY, COMPLETE AND SEND THE INSHIP OF TAKEN OSSTRUCTION PERMITTED INSHITS PRIVATE SEND SEND ALIGHING, SOY,
- PRIOR TO CONSTRUCTION REGINANCIALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE
- CONTRACTOR BERRICITLY ANNEED TO FELD LOCATE AND UPERFY LOCATION OF ALE DISTING ULLILIES PRIDE TO CONSTRUCTION. LOCATION OF DISTING UNCERSORUNG UTILITIES SHOWN ON PLANS IS APPRODUNCE. BASED ON BEST AVAILABLE INFORMATION AND SHOULD BE CONSIDERED APPRODUNKE.
- CONTRACTOR TO REPORT ANY DISCREPANCIES TO THE ENGINEER AND CALL BIT FOR FIELD LOCATION OF UNDERGROUND UTLITIES PRIOR TO ANY CONSTRUCTION ACTIMITIES.

GENERAL NOTES:

- ALL CONSTRUCTION AND INSTERIALS SHALL BE IN ACCORDANCE WITH CITY OF PALEIGH AND NODOT STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL OBTAIN A RIGHT OF WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVELL ABOND DARKING SPACE OF A STRONG IX SOME DESTINATION OF SECURITY SERVICES AT LEAST AS HOW DESTINATION OF SECURITY SERVICES AT LEAST AS HOW DESTINATION.
- F CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORSD DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF FERMITS OR RECORDING OF ANY PLAT FOR THIS DEPARTMENT FROM TO ISSUANCE OF FERMITS OR RECORDING OF ANY PLAT FOR THIS DEPARTMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION
- ALL SURVEY INFORMATION PROVIDED TO WITHERSRAVENEL, RALLIGH, NORTH CAROLINA OFFICE BY WITHERSRAVENEL, CARY, NORTH CAROLINA OFFICE INCIDITAL FORMAT IN JUNE 2019, AND SUPPLEMENTAL INFORMATION WAS DETANED FROM WARE COUNTY GET IN USE 2019.
- ALL PROPOSED CURB AND GUTTER WITHIN PUBLIC RISHT OF WAY SHOWN ON PLANS TO BE 50° CITY OF RALEIGH STANDARD CONCRETE CURB AND GUTTER AND ALL OTHER PROPOSED CURB AND GUTTER TO BE 20° CONCRETE CURB AND GUTTER UNLESS OTHERWISE STATED ON LAWS. ALL DIVENSIONS SHOWN ARE TO BACK OF CURB. UNLESS OTHERWISE STATED ON PLANS.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RACIUS OF 25 MINIMUM.
- DIMPSTERISHENCE OF THE SHALL BE COMPATED FINITH MATERIAL AND OR COLOR OF THE PRINCIPAL BUILDING.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRICE TO CONSTRUCTION AND REPORT ANY DISCREPANCES TO THE PROBLEM FOR THE DISCREPANCES TO THE PROBLEM FOR THE DISCREPANCE ANY CONSTRUCTION ACTIVITIES. CALL S11 FOR FIELD LOCATION OF LIMITERS AND MITTIES.
- HANDICAP PARKING SPACE(S) AND HO ACCESS ABLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2N) GRACE IN ANY DIRECTION(S) PER ADA STANDARDS.
- 13. PROVIDE SIGNAGE AND STRIPPING OF HANDICAP SPACES PER ADA STANDARDS.
- ALL RETAINING WILLS GREATER THAN 30° IN HEIGHT SHALL INCLUDE SAFETY RALL OR, FENCE, NO RETAINING WALLS ARE PERMITTED IN THE RIGHT-OF-WAY UNLESS APPROVED BY ENCROACHWENT AGREEMENT.
- 15. THE INTIMUM CORNER CLEARANCE FROM THE CURBLINE OF INTERSECTING STREETS SHALL BE AT LEAST 50 FEET FROM THE POINT OF TANGENCY OF THE CURB FOR INDEPLIES COMMERCIAL DEVICENCY. NO DRIVEWAYS SHALL ENCENCY OF THE MINIMUM CORNER CLEARANCE.
- 16. ALL RAMPS AND HANDRAILS SHALL CONFORM TO ANSI STANDARDS.
- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIWITED TO TELEPHIONE AND CARLE PEDESTALS, LUCRIDGAL TRANSPORRIES, BROWLOW DEVICE HOTBOX ETC; SHALL BE SCHELINED FROM OFF-RITE VIEWBY PERSONERS PRISE, PEDEC OR WALL.
- EXPONENTIAL REPORT AND AND PROPERTY OF YEAR OF THE PROPERTY OF THE FOREIGN WHICH AND PROPER WITH HORSELTY OBSERVED AND ALL DRIVEN AND PROPER WITH HORSELTY OBSERVED AND ALL TERRATE PEDESTRAIN ROUTES OURNE CONSTRUCTION WILL BE REQUIRED TO BE CONFLIGHT WITH THE PERE LIGHTS OF WAY ACCESS
- If Uniforesety conditions develop during construction, refer to "City of raleigh street design manual and contact rural works department for Further Buldance.
- 20. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF PALESH-PRELIVORIES CEPARATION. TRANSPORTATION FIELD SERVICES STAFF TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAY AND PREMITING OF THESE FAIGUTHES DURING CONSTRUCTION. CONTRACT ENGINEERING INSPECTIONS AT 915-988-3000 TO SET UP THE MEETING.
- 21. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- 22. THE CONTROL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCO (MOST CURRENT EXCITION).
- 2). ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WERS PRIOR TO THE START OF WORK. SEE "MOST SCHWY CLOSURES ON WINNING MEANS COVE, COMPLETE AND SIND THE MICH CHI-DAWY OSSTRUCTION PERMITTO MICHTOPHAY SERVICESTICAL EXPRICACION.
- 24. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- 25. ROW AND/OR EASEMENT DEDICATION PLAT IS REQUIRE FOR THIS PROJECT PRIOR TO GITY ACCEPTANCE OF UTILITIES 26. ALL ACCESSIBLE ROUTES SHALL COMPLY WITH ANSINC A117.1-3000 SECTIONS 402 & 403
- 27. PROPOSED SIGNAGE IS NOT INCLUDED IN THIS SUBMITTAL AS IT WILL BE REVIEWED AND APPROVED THROUGH SPRANATE SUBMITTAL
- 28. CONTRACTOR TO WORK WITH CITY AND UTILITY OWNERS TO VACATE EXISTING UNNECESSARY EASEMENTS.

CONSTRUCTION NOTES:

- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITHIN A INNIVUM AMOUNT OF INCONVENIENCE TO TRAFFE!
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCO (MOST CURRENT EDITION).
- NAME AND LUMBER CENTRAL WAS A PROPERTY OF THE PROPERTY OF THE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT AT 919-31G-2456 TO OBTAIN A STREET GUT PERMIT.
- 5. PRIOR TO CONSTRUCTION BEGINNING ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES. THE CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, DRIVEWAY PIPES, CLIRB & GUTTER, SIDEWALKS & STREETS TO EXISTING CONDITION OR BETTER.
- FT THE EXISTING ROADWAY WIDTH IS REDUCED TO LESS THAN 20 FEET OF TRAVELWAY AT ANY TIME, A LANE CLOSURE WILL BE REQUIRED PER THE MUTCH.

STORM DRAINAGE NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEICH STANDARD SPECIFICATIONS & DETAILS. THE CONTRACTOR SHALL VEHIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO BESIMANG CONSTRUCTION, THE LOCATION OF DISTRIBUTILITIES SHOWN ON THE PURKS IS BASED ON THE BEST AVAILABLE INFORMATION, BUT CAN SE CONSIDERED ONLY AS APPROVATE.
- ALL STORM DRAINAGE PIPE SHALL HAVE A MINIMUM COVER OF 2 PEET TO THE PIPE CROWN IN TRAFFIC, UNLESS APPROVED BY THE CITY OF PALLEDIA.
- 4. ALL STORM DRAINAGE FIRE SHALL HAVE A MINIMUM COVER OF 1 FOOT TO THE FIRE CROWN IN NON-TRAFFIC AREAS.
- MANTAN 15" MIN. YERTICAL SEPARATION AT ALL WATERWAN 8 RCP STOMM DRAIN CROSSINGS, WANTAN 14" MIN. YERTICAL SEPARATION AT ALL SWATTANY SEVER 8 RCP STORID DRAIN CROSSINGS, WHERE ABEQUATE SEPARATIONS CANNOT BE CHEEKES, SEPEROT DEF WATERNIS AS CONCRETE COURLE HAVINGS "FINE CLERAWING SPEECO REPUBLICATION AT A SHAPE WATER SEPARATION OF THE S
- MAINTAIN 12" VERTICAL SEPARATION AT ALL RCP STORM AND RCP STORM CROSSING.
- STORM SEMER SHALL BE REINFORCED CONCRETE PIPE (RCF) CONFORMING TO ASTMICTR, THEIR II OR THRILE IV., JOHNS SHALL BE SCALED WITH A PLASTIC CEMENT PUTTY MEETING FEDERAL, SPECIFICATIONS SS-8-20210, SUCH AS RAMMEK OR BUTTA TRIBERS SEMANT.
- 8. STORM SEWER PIPE ENDS SHALL BE FURNISHED WITH REINFORCED CONCRETE HEAD WALLS UNLESS OTHERWISE SPECIFIED ON PLANS.
- EACH DRANAGE STRUCTURE SHALL HAVE A SHAPED INVERT CONSTRUCTED FROM CONCRETE, AND A BEACHWITH A
 MAXIMUM ST SLOPE. THE BENCH SHALL BEGIN AT A HEIGHT OF ORGENIZE THE PIPE DIMMETER FOR 12 TO \$1 NOW HITE
 NOST-HOT FOR PIPE COUNTER FOR 30 SHOW HEY, AND ONE-FUNCTIVE DEUTHERS FOR PIPE GRAFTER THAN SHOWS.
- ENERGY DISSIPATERS SHALL BE INSTALLED AT ALL STORM SEWER DISCHARGE POINTS, A FABRIC OR WASHED STONE BARRIER SHALL BE INSTALLED BETWEEN THE DISSIPATION PAD AND THE NATURAL GROUND.
- 11. ALL STORM DRAINAGE EASEMENTS SHALL BE "PRIVATE" UNLESS OTHERWISE SPECIFIED
- THE CONTRACTOR SHALL NOTIFY THE CITY OF RALEISH ENGINEERING DEPARTMENT AT 919-930-9430 TO SCHEDULE CONSTRUCTION INSPECTIONS.
- 13. STORM PIPE TRENCH EXCAVATION AND BACKFILING SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF RALEICH STANDARD REPORTED BY ADDITION OF THE RESERVE OF THE PERFORMENT OF THE PE

- STANDARD UTILITY NOTES (AS APPLICABLE):

 1. ALL MUTINIUS & CONSTRUCTION METHODS SHALL BE IN ACCOMMINED WITH CITY OF INJURIES BESIDN STANDARDS, PETULIS & SPECIFICATIONS (PETPENCE COMPUL) HARDSCOK, COMPOSITION,
- Assemble a construction of the control of the

- ALL HOLD WINES.

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- DEFINITION OF THE PROPERTY OF
- MARKALE IN ALL DEPOSMENTAL PERBITS APPLICABLE TO THE PROLECT MUST BE COTAMIC PROMINCORD, USACE MAD OR FEMA FOR ANY REPREMEDIATION AND AND OR FLOCKPULARITY PROCESSES. THE CONSTRUCTION OF THE CONSTRUCTION.

- ADDIT THE OF ANY PROPRIETATION STATE OF ADDITIONAL PROPRIETATION OF THE TOTAL CONTINUES AND ADDITIONAL PROPRIETATION OF TH
- AND INSIDER THANKING RAD FALCING DENTIFED FRE ROUTE SHALL BE HAVINALM 35 AT BACK OF CURB.
 ALL PROPOSED BLALLIANSS WILL HAVE FIRE SPRINKLER SYSTEM INSTALLED.



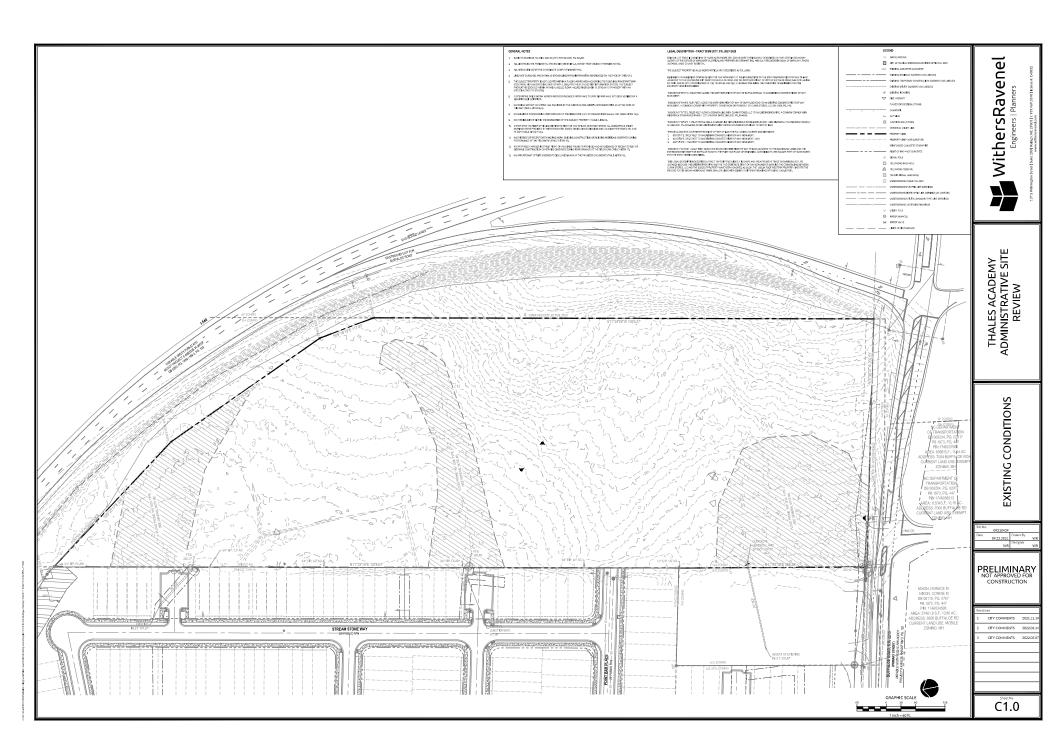


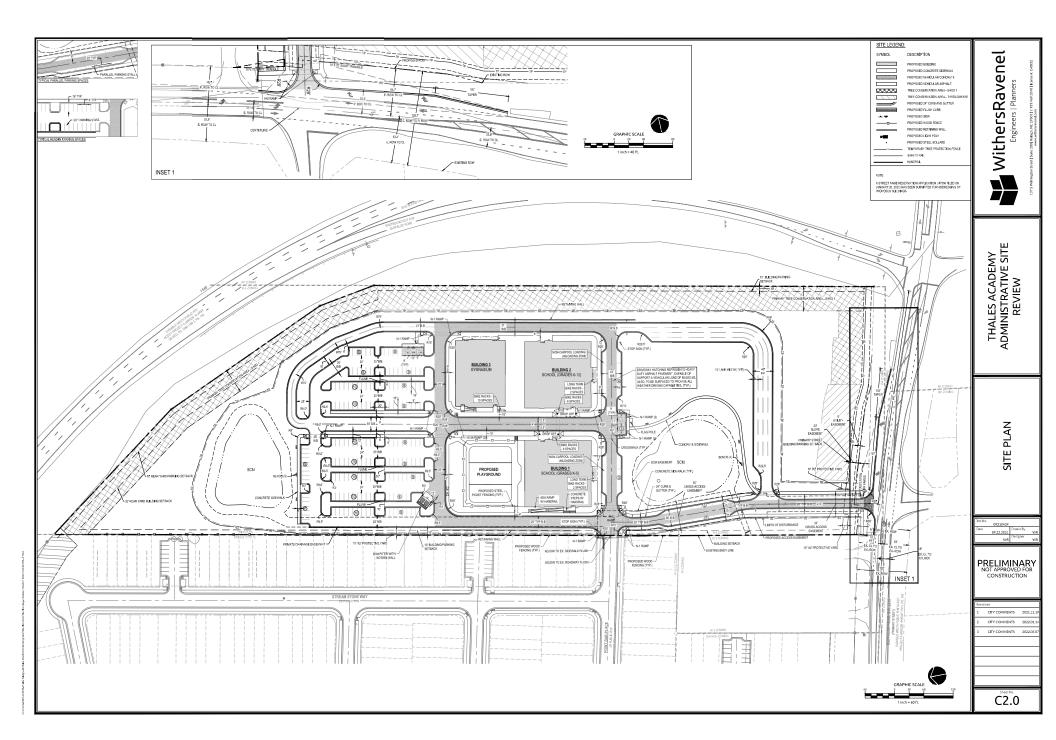
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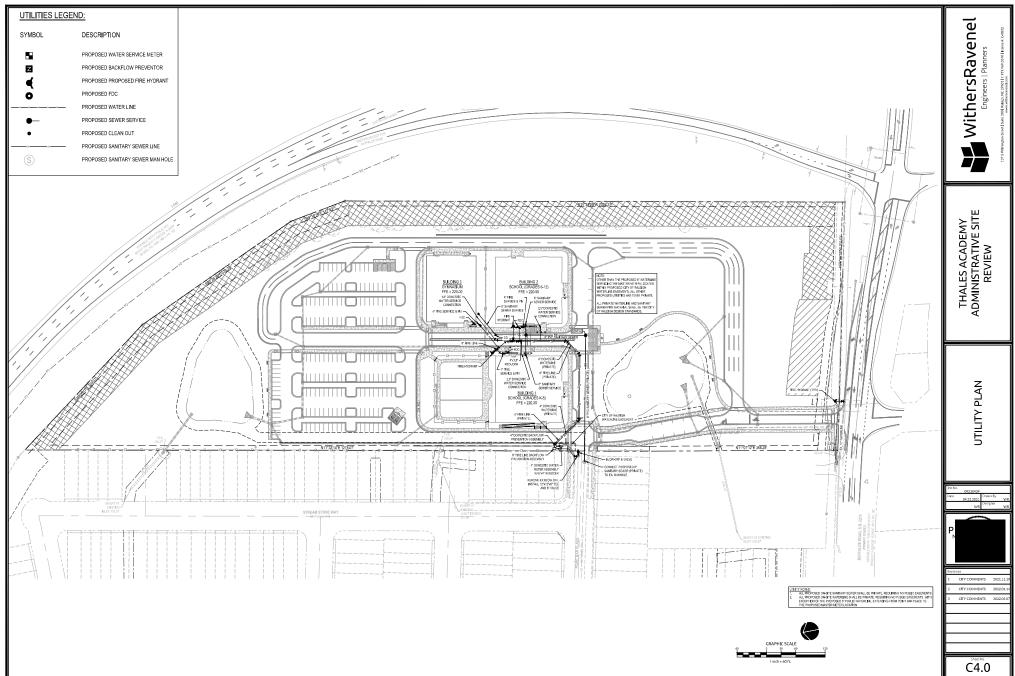
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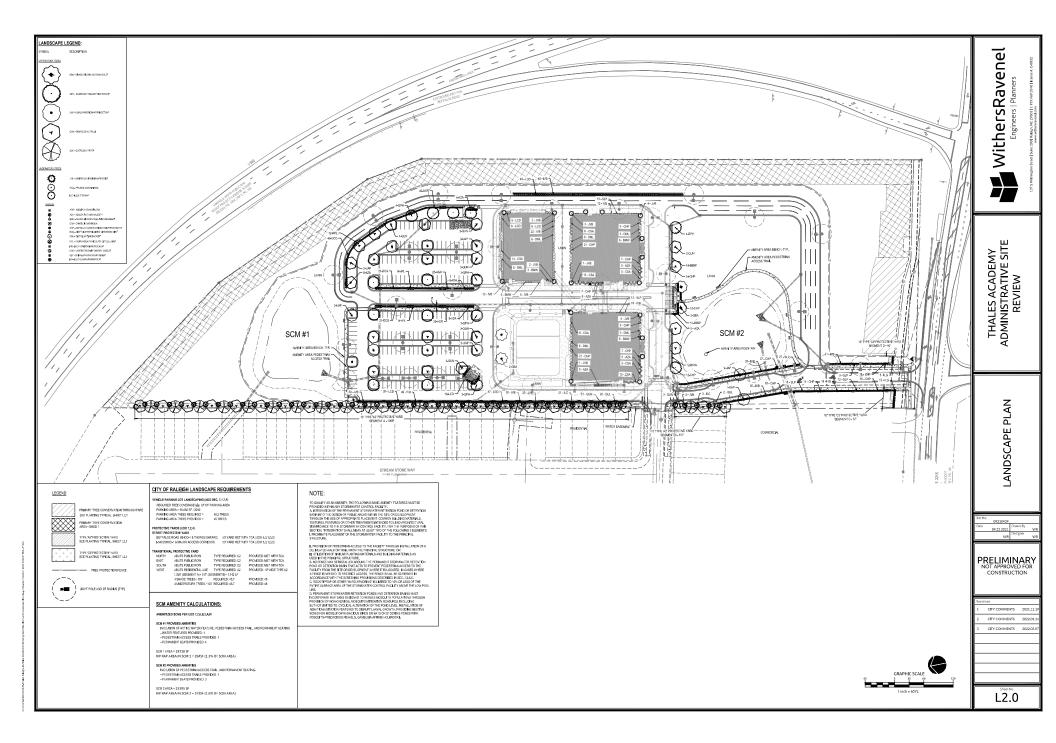
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