

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____	Planner (print): _____
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Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached Attached Townhouse Apartment Tiny house Open lot	General Mixed use Civic Cottage Court Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____
GENERAL INFORMATION		
Development name: _____		
Inside City limits? Yes No		
Property address(es): _____		
Site P.I.N.(s): _____		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). The proposed development includes a storage facility and associated infrastructure including water, sewer, and a wet pond stormwater control measure.		
Current Property Owner(s):		
Company: 914 DOWLING HOLDINGS LLC	Title: _____	
Address: _____		
Phone #: _____	Email: _____	
Applicant Name (If different from owner. See “who can apply” in instructions):		
Relationship to owner: Lessee or contract purchaser Owner’s authorized agent Easement holder		
Company: _____	Address: _____	

Phone #:	Email:
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company: 914 DOWLING HOLDINGS LLC	Address:
Phone #: 919-308-2123	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS			
Total # of dwelling units:		Total # of hotel bedrooms:	
# of bedroom units: 1br _____ 2br _____ 3br _____		4br or more _____	
# of lots:	Is your project a cottage court?		Yes No
	A frequent transit development?		Yes No

Continue to Applicant Signature Block on Page Three.


APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

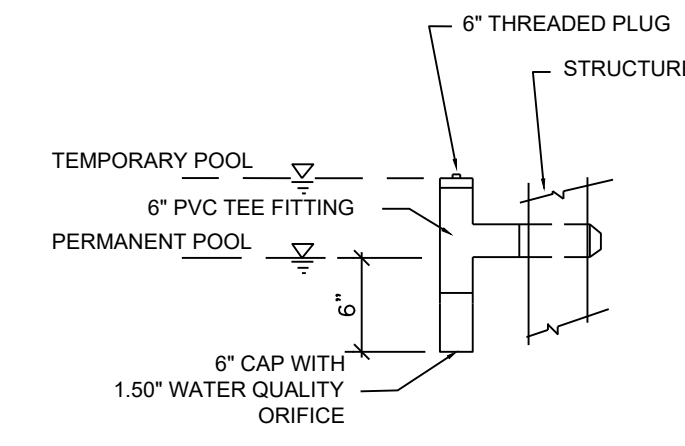
The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date:
Printed Name:	

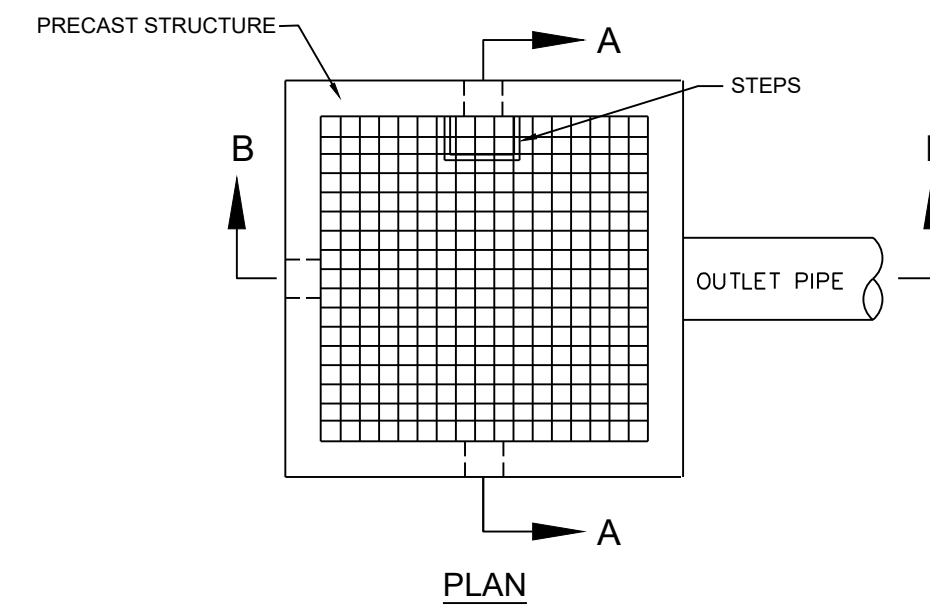


BERM SOIL AND COMPACTION SPECIFICATIONS

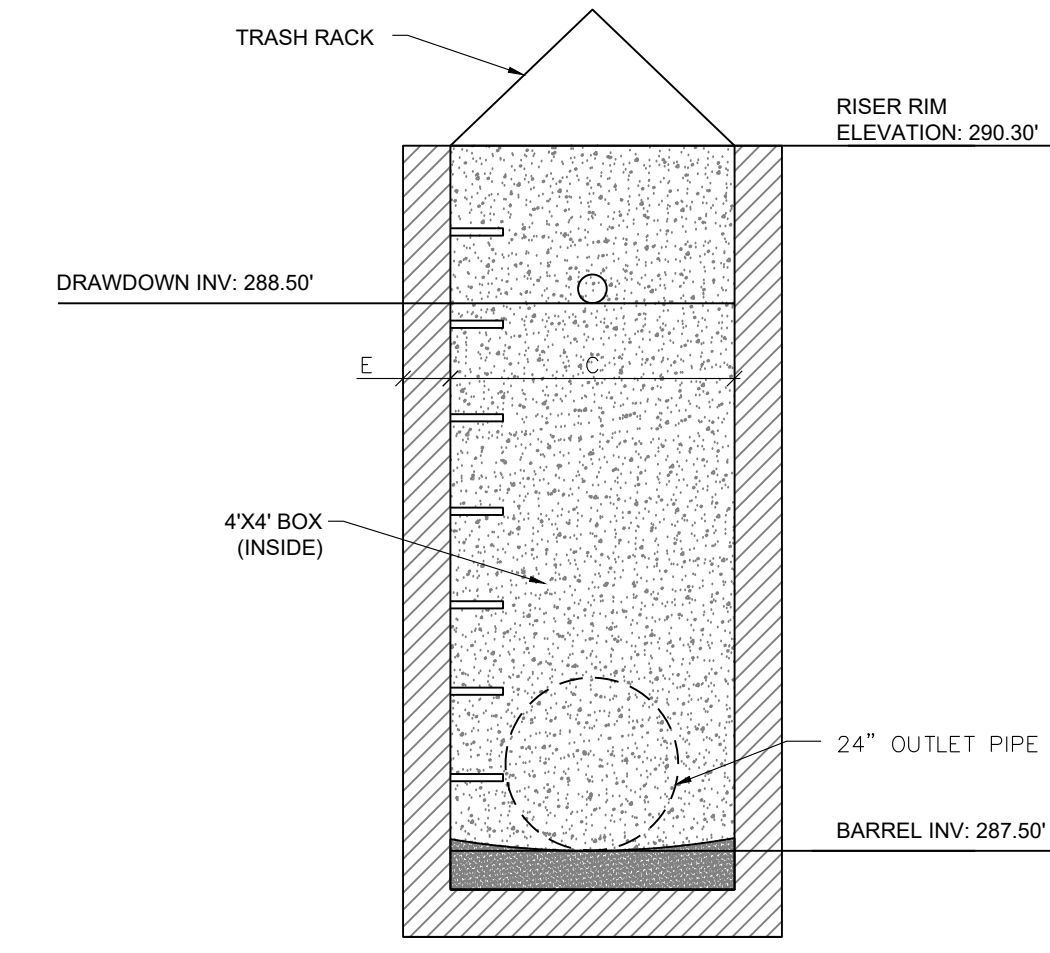
- LOW PERMEABILITY FILL: ASTM D 2487, CL, CH, AND MH SOIL CLASSIFICATION GROUPS OR A COMBINATION OF THESE GROUPS, FREE OF DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER. SHALL HAVE A MAXIMUM DIMENSION OF 3 INCHES. SHALL HAVE A PERMEABILITY OF EQUAL TO OR LESS THAN THAT VALUE INDICATED ON THE DESIGN DRAWINGS WHEN COMPACTED TO THE DEGREE INDICATED ON THE DESIGN DRAWINGS.
- DAM EMBANKMENT/KEY TRENCH: UNIFIED SOIL CLASSIFICATION SYSTEM (USCS) GROUPS ML AND CL ACCORDING TO ASTM D 2487, OR A COMBINATION OF THESE GROUPS, FREE OF ROCK OR GRAVEL LARGER THAN 6 INCHES IN ANY DIMENSION, ROOTS, STUMPS, WOOD, DEBRIS, WASTE, FROZEN MATERIALS, AND OTHER DELETERIOUS MATTER.
 - ALL FILL SOILS USED IN THE DAM EMBANKMENT/KEY TRENCH CONSTRUCTION SHALL BE COMPACTED TO AT LEAST 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM 698).
 - FILL SOILS SHALL BE COMPACTED AT A MOISTURE CONTENT WITHIN -1 TO +3 PERCENT OF OPTIMUM MOISTURE CONTENT



WATER QUALITY ORIFICE DETAIL



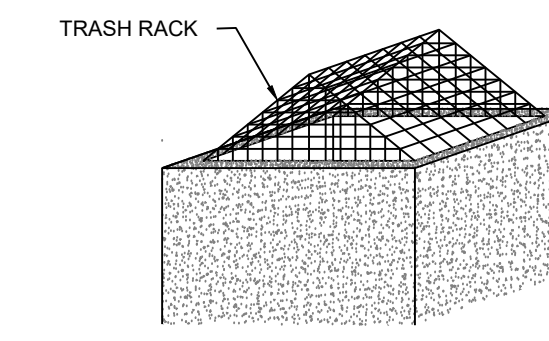
PLAN



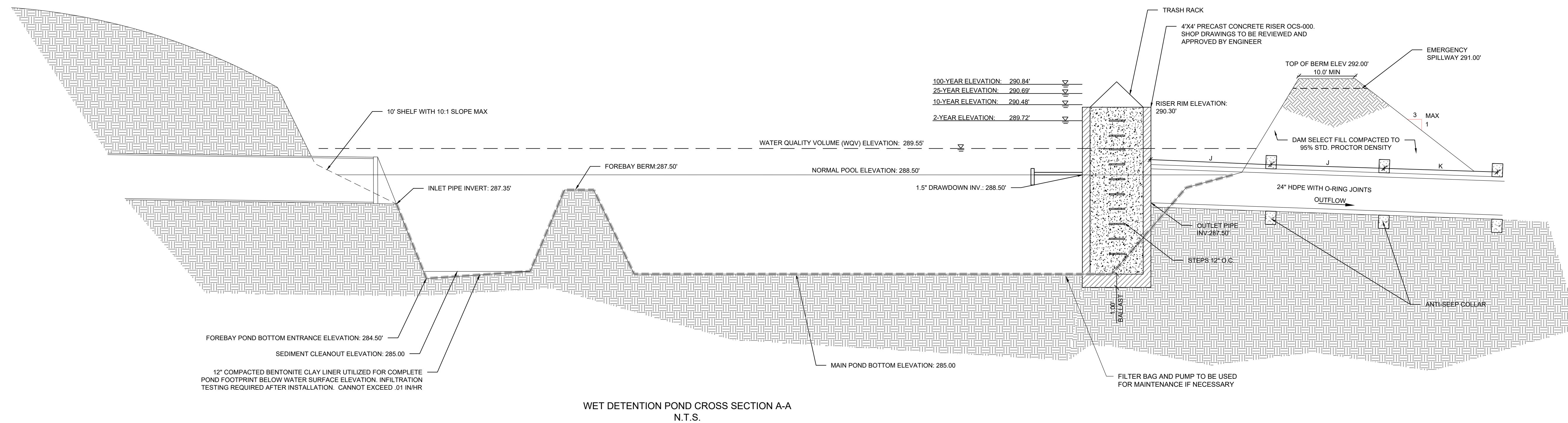
SECTION A-A

DIMENSION CHART

DESCRIPTION	DIMENSION
Inside Dimension of Outlet Structure (ft) (Square Box)	4'x4'
Width of Outlet Structure Walls (in)	6.00
Outlet Pipe Diameter (in)	24
Emergency Weir Width (ft)	25.00
Anti-seep Collar Length and Width (ft)	7.00
Clearance between Outlet Structure and Anti-seep Collar (ft)	10.00
Additional Anti-seep Collar Spacing Downstream (O.C.) (ft)	20.00



ISOMETRIC DETAIL



WET DETENTION POND CROSS SECTION A-A
N.T.S.

GRADING LEGEND:

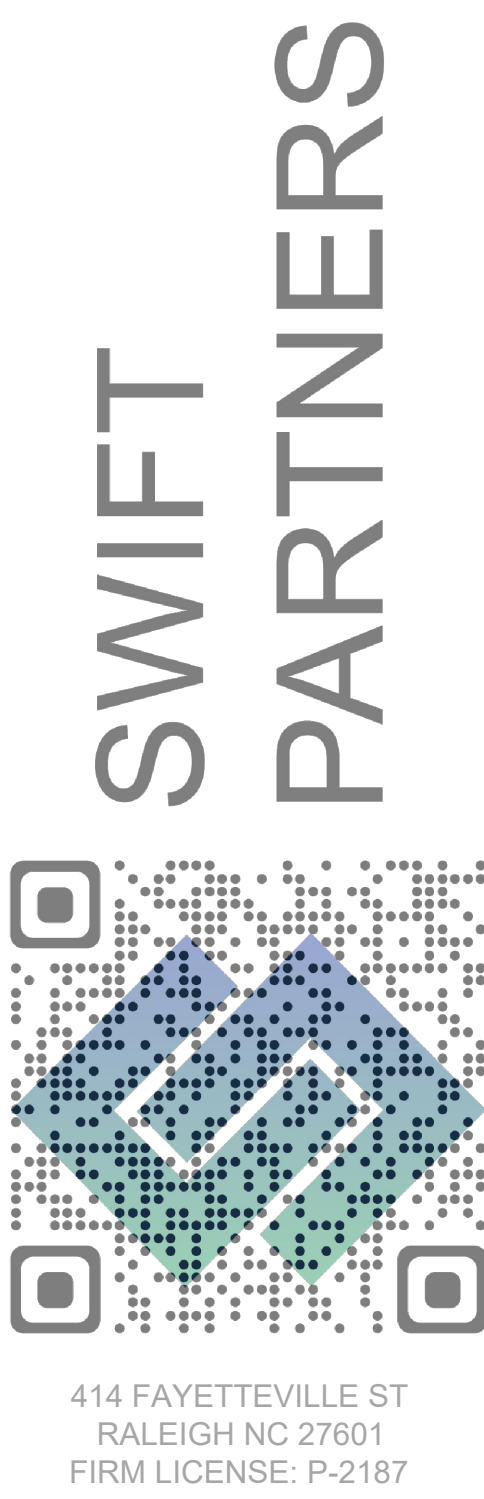
- | SYMBOL | DESCRIPTION |
|----------------|-------------------------|
| --- (thick) | LIMITS OF DISTURBANCE |
| --- (medium) | PROPOSED MAJOR CONTOUR |
| --- (thin) | PROPOSED MINOR CONTOUR |
| --- (dashed) | EXISTING MAJOR CONTOUR |
| --- (dotted) | EXISTING MINOR CONTOUR |
| --- (dash-dot) | PROPOSED STORM DRAINAGE |
| ⊙ | PROPOSED JUNCTION BOX |
| ⊠ | PROPOSED CATCH BASIN |
| ⊞ | PROPOSED AREA DRAIN |
| ⊞ | RIPRAP DISSIPATOR |
| → | FLOW DIRECTION |
| 44.50 | PROPOSED ELEVATION |
| TC 44.50 | TOP/BOTTOM OF CURB |
| BC 44.00 | TOP/BOTTOM OF CURB |
| TW 44.00 | TOP/BOTTOM OF WALL |
| BW 44.00 | TOP/BOTTOM OF WALL |

GENERAL NOTES:

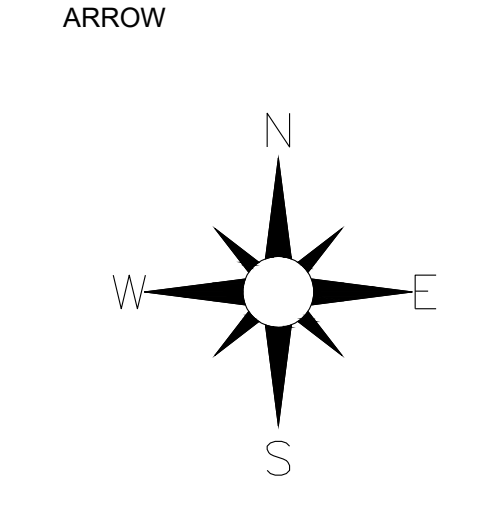
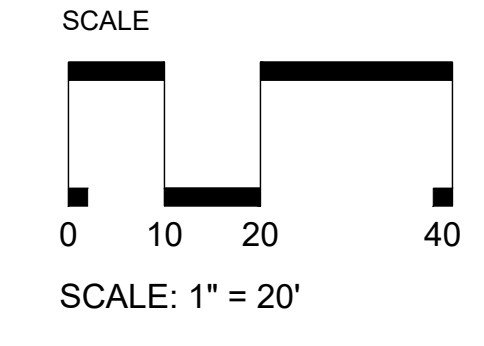
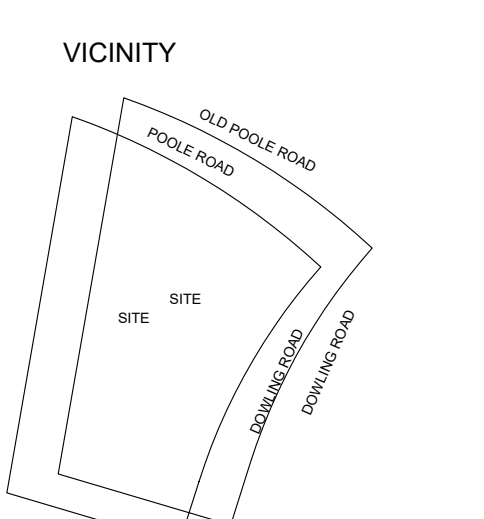
- PRECAST STRUCTURES SHALL CONFORM TO LATEST ASTM C-913 SPEC FOR "REINFORCED CONCRETE WATER AND WASTE WATER STRUCTURES".
- CONCRETE PIPE FROM OCS-001 TO FES-001 SHALL HAVE O-RING SEALS WITH EXTERNAL BUTYL JOINT WRAP AT ALL JOINTS.
- 30" BARREL CONNECTION TO BE INSTALLED USING 2.1 OK STM CONNECTOR MEETING ASTM C-1478 (ALOK PRODUCTS, TULLYTOWN, PA).
- SHOP DRAWINGS MUST BE SUBMITTED AND APPROVED BY THE ENGINEER BEFORE CONSTRUCTION.
- GEOTECHNICAL ENGINEER SHALL MONITOR DAM AND OUTLET STRUCTURE INSTALLATION. ALL FILL AREAS SHALL BE COMPACTED TO 95% OF THE MATERIALS MAXIMUM DRY DENSITY UNLESS OTHERWISE DICTATED BY GEOTECHNICAL ENGINEER.
- DRAINAGE AREA MUST BE STABILIZED PRIOR TO INSTALLATION PERMANENT STORMWATER CONTROL MEASURE.
- PRIOR TO FINAL CERTIFICATE OF OCCUPANCY SURVEYOR SEALED AS-BUILT DRAWINGS OF WATER QUALITY BASIN AND OUTLET STRUCTURE SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL AND WET POND TO PASS INSPECTION.
- PER NCDEQ MANUAL, INTERIOR SLOPES MAY BE NO STEEPER THAN 3:1.

NOTES:

- SEE SHEET C0.10 FOR GENERAL, SITE, GRADING AND PLANTING NOTES.



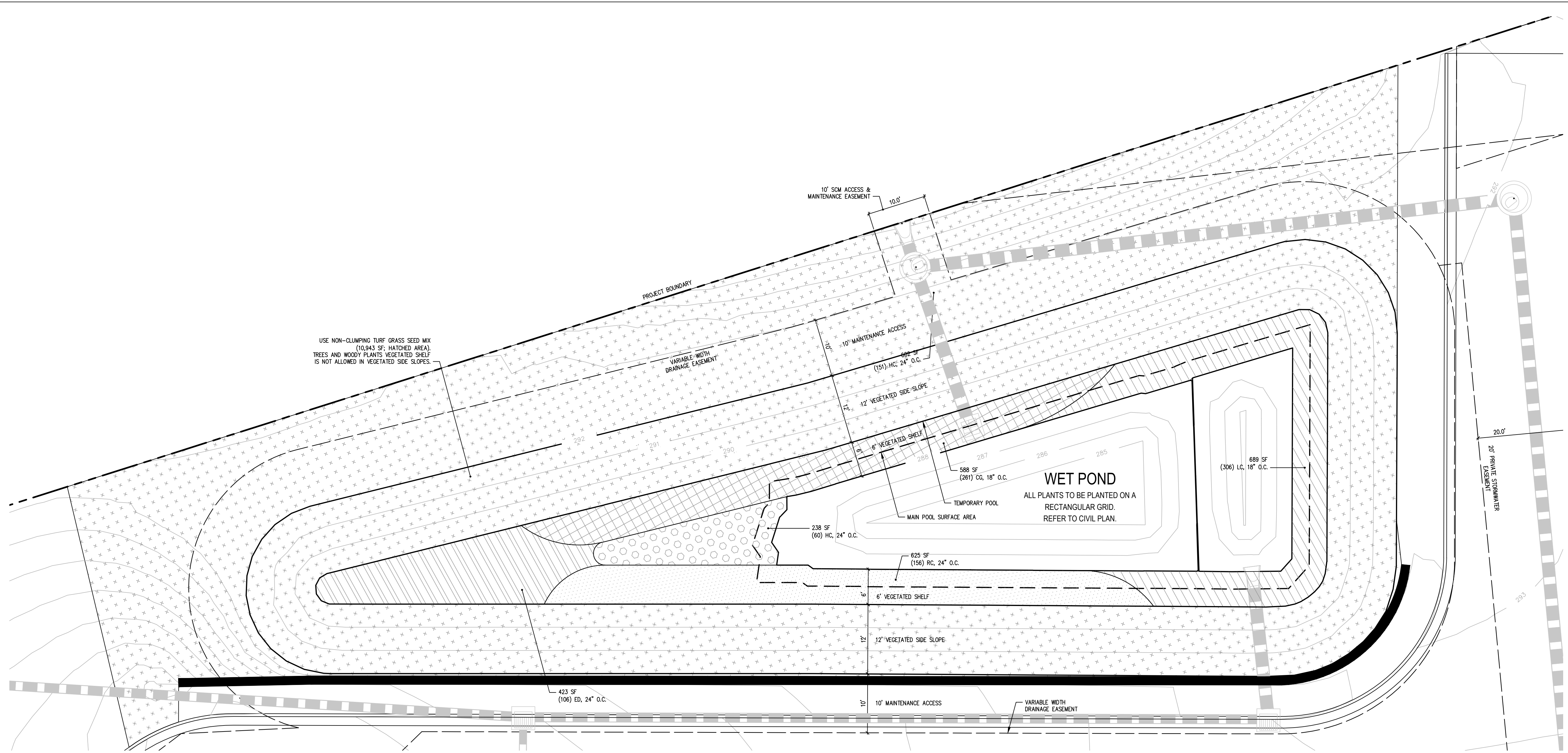
No.	Date	Description



DATE: 11.20.2023
 DRAWN BY: JWP
 PROJECT: DOWLING STORAGE
 PROJECT #: C202339
 SHEET TITLE: SCM DETAILS

SHEET NO.
C5.10

11/8/2023 10:38 AM P:\3200\23129-919-Dowling-RA-4-LAND\BP\DWG\23129-919_Dowling-LP05.dwg



USE NON-CLUMPING TURF GRASS SEED MIX (10,843 SF, HATCHED AREA). TREES AND WOODY PLANTS VEGETATED SHELF IS NOT ALLOWED IN VEGETATED SIDE SLOPES.

WET POND
ALL PLANTS TO BE PLANTED ON A RECTANGULAR GRID. REFER TO CIVIL PLAN.

- WET POND LANDSCAPE NOTE:**
- ALL PLANTS TO BE PLANTED ON A RECTANGULAR GRID, NOT ON A TRIANGULAR GRID.
 - A SOIL ANALYSIS SHOULD BE CONDUCTED WITHIN THE STORMWATER WETLAND TO DETERMINE THE VIABILITY OF SOILS FOR HEALTHY VEGETATION GROWTH. IMPORTED OR IN-SITU SOILS MAY BE AMENDED WITH ORGANIC MATERIAL, DEPENDING ON SOIL ANALYSIS RESULTS, TO ENHANCE SUITABILITY AS PLANTING MEDIA. THE FIRST 12 INCH DEPTH OF THE SOIL SHALL BE ADJUSTED AS NEEDED. MINIMUM 2-MAXIMUM 10% OF ORGANIC CONTENT IS REQUIRED FOR THE SOIL IN PLANTING AREA.
 - CONTAMINATED SOIL SHALL NOT BE USED.
 - SOILS SHALL BE STABILIZED WITH VEGETATION IMMEDIATELY TO AVOID EROSION.
 - PLANT INSTALLATION SHALL BE DONE FROM AVERAGE LAST SPRING FROST UNTIL SEVERAL WEEKS BEFORE THE AVERAGE FIRST FALL FROST.
 - PLANTS THAT GROW IN SHALLOW WATER MUST HAVE AT LEAST 3' ABOVE-WATER FOLIAGE WHEN INSTALLED. THIS CAN BE ACHIEVED BY ADJUSTING THE WATER LEVEL OF THE WETLAND TO ACCOMMODATE PLANTS WITH SHORTER FOLIAGE OR BY ORDERING PLANTS THAT HAVE AT LEAST A 9' FOLIAGE HEIGHT WHEN INSTALLED IN THIS ZONE.
 - SHALLOW WATER ZONE SHALL BE MAINTAINED 0-9" BELOW PERMANENT POOL.
 - TEMPORARY INUNDATION ZONE SHALL BE MAINTAINED 0-15' ABOVE THE PERMANENT POOL.
 - PROPOSED PLANTS SHALL COME FROM A NURSERY 0 FURTHER SOUTH THAN USDA HARDINESS ZONE 8b TO ENSURE GREATER SURVIVABILITY OF THE PLANTING.
 - OBTAIN LANDSCAPE ARCHITECT'S APPROVAL OF ANY PLANT SPECIES CHANGE PRIOR TO THE INSTALLATION. REPLACEMENT PLANT SHALL BE STRAIGHT SPECIES INSTEAD OF CULTIVATED VARIETY OF NATIVE PLANTS.
 - CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION.
 - THE PLAN DEPICTS CODE PLANTINGS REQUIRED BY THE CITY OF LUMBERTON, NORTH CAROLINA.
 - ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
 - ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF LUMBERTON.
 - ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.
 - PLANTINGS IN ROWS OR GROUPINGS SHALL BE MATCHED WITH RESPECT TO SIZE AND FORM.

Stormwater Wet Pond Area Calculations
Project: 919 Dowling
Date: 11.09.2023 (Rev. xx.xx.2023)

VEGETATED SHELF			
Vegetated Shelf Area			1,730 SF
Diverse Species of Herbaceous, Native Vegetation Required			3 SP
Diverse Species of Herbaceous, Native Vegetation Provided			5 SP
Herbaceous, Native Vegetation Required (50 Plants Per 200 SF)	2,563 / 200	x 50	= 641 EA
Herbaceous, Native Vegetation Provided			889 EA

PLANT LIST - WET POND AREA PLANTINGS ONLY

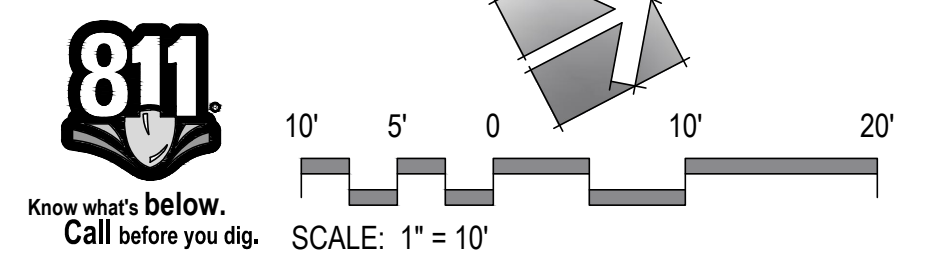
QTY	SYM	BOTANICAL NAME	COMMON NAME	CONTAINER (MIN)	REMARKS
HERBACEOUS PLANTS					
261	CG	Chelone glabra	White Turtlehead	1 QT	18" O.C.
106	ED	Eupatridadelphus dubius	Dwarf Joe Pye Weed	1 QT	24" O.C.
60	HC	Hibiscus coccineus	Scarlet MRose allow	1 QT	24" O.C.
306	LC	Lobelia cardinalis	Cardinal Flower	1 QT	18" O.C.
156	RC	Rhynchospora colorata	Starrush Whitebp	1 QT	24" O.C.

SEE LP1.1 FOR LANDSCAPE PLAN.
SEE LP9.1 & LP9.2 FOR LANDSCAPE DETAILS & NOTES

REFERENCE: TCZ-009-23

ASR-XXXX-2023

WET POND AREA
LANDSCAPE PLAN



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ADMINISTRATIVE SITE REVIEW ONLY. NOT FOR CONSTRUCTION.

PROJECT:	SP-23129.200	DATE
ISSUE:	Administrative Site Review	11.09.2023
REVISIONS:		
DRAWN BY:	SB	
CHECKED BY:	KT	
CONTENT:	WET POND AREA LANDSCAPE PLAN	

LP2.1

Swift Partners
914 Dowling Road
Raleigh, North Carolina 27610

JDAVIS
510 South Wilmington Street | Raleigh, NC 27601 | tel 919.835.1500
1218 Chestnut St., 7th Floor | Philadelphia, PA 19107 | tel 215.545.0121
ASR-XXXX-2023 (Admin. Site Review)
REFERENCE: TCZ-009-23

