Administrative Site Review Application



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Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____

Planner (print): _____

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the <u>Permit and Development Portal</u>. (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan Tier Three Site Plan					
Building and (Check a	Development Type all that apply)	Site Transaction History			
Detached Attached Townhouse Apartment Tiny house Open lot	General Mixed use Civic Cottage Court Frequent Transit Development Option	Subdivision case #: Scoping/sketch plan case #: Certificate of Appropriateness #: Board of Adjustment #: Zoning Case #: Design Alternate #:			
	GENERAL II	NFORMATION			
Development name:					
Inside City limits? Yes	s No				
Property address(es):					
Site P.I.N.(s):					
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). The proposed development includes a storage facility and associated infrastructure including water, sewer, and a wet pond stormwater control measure.					
Current Property Owner	(s):				
Company: 914 DOWLING HOLDINGS LLC Title:					
Address:					
Phone #: Email:					
Applicant Name (If different from owner. See "who can apply" in instructions):					
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder					
Company: Address:					

Phone #:	Email:				
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.					
Developer Contact:					
Company: Title:					
Address:	Address:				
Phone #:	Email:				
Applicant Name:					
Company: 914 DOWLING HOLDINGS LLC	Address:				
Phone #: 919-308-2123 Email:					

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)				
SITE DATA	BUILDING DATA			
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):			
Gross site acreage:	Existing gross floor area to be demolished:			
# of parking spaces proposed:	New gross floor area:			
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):			
Overlay District (if applicable):	Proposed # of buildings:			
Existing use (UDO 6.1.4):	Proposed # of stories for each:			
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)			

STORMWATER INFORMATION				
Imperious Area on Parcel(s):	Impervious Area for Compliance (includes ROW):			
Existing (sf) Proposed total (sf)	Existing (sf) Proposed total (sf)			

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS						
Total # of dwelling units: Total # of hotel bedrooms:						
# of bedroom units: 1br _	2br 3br 4br or more					
# of lots:		Is your project a cottage court?	Yes	No		
A frequent transit development? Yes No						

Continue to Applicant Signature Block on Page Three.

REVISION 1.23.23

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: Date:

Printed Name:

DOWLING STORAGE

914 DOWLING RD, RALEIGH NC, 27610

CITY OF RALEIGH ADMINISTRATIVE SITE **REVIEW SUBMITTAL**

SUBMITTED ON: 11.20.2023

Administrative Site Review Application Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



Phone #:

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Office Use Only: Case #:

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Planner (print):

Site Plan Tier:	Tier Two Site Plan	Tier Three	Site Plan 🖌

Building a (Cheo	nd Development Type ck all that apply)	Site Transaction History		
Detached Attached Townhouse Apartment Tiny house Open lot	 ✓ General Mixed use Civic Cottage Court Frequent Transit Development Option 	Subdivision case #: Scoping/sketch plan case #: Certificate of Appropriateness #: Board of Adjustment #: Zoning Case #: Design Alternate #:		
	GENERAL	INFORMATION		
Development name: D	OWLING STORAGE			
Inside City limits?	Yes 🖌 No 🗌			
Property address(es): ç	914 DOWLING RD, RALEIGH	I, NC 27610		
Site P.I.N.(s): 1723742	2383			
Please describe the sca The proposed devel sewer, and a wet po	ope of work. Include any additions opment includes a storage fa ond stormwater control measu	, expansions, and uses (UDO 6.1.4). cility and associated infrastructure including water, ire.		
Current Property Owr	er(s): 914 DOWLING HOLDI	NGS LLC		
Company: 914 DOWLI	NG HOLDINGS LLC	Title: OWNER		
Address: 2310 S MIA	MI BLVD STE 238 DURHAM	NC 27703		
Phone #: 919-308-21	23 Email: RO	BERT@GANDERDEV.COM		
Applicant Name (If dif	ferent from owner. See "who ca	in apply" in instructions):		
Relationship to owner:	Lessee or contract purchaser	Owner's authorized agent Easement holder		
Company:	Address:			
Page 1 of 3		REVISION 1.23.23		

raleighnc.gov

IOTE: please attach purchase agreement or contract, lease or easement when submitting this form.					
Developer Contact: ROBERT SHUNK					
Company: GANDER DEVELOPMENT		Title: DIRECTOR OF ENTITLEMENTS			
Address: 2310 S MIAMI BOULEVARD,	SUITE 238,	DURHAM NC 27703			
Phone #: 919-308-2123	Email: ROB	ERT@GANDERDEV.COM			
Applicant Name: ROBERT SHUNK					
Company: 914 DOWLING HOLDINGS LLC	Address: 23	10 S MIAMI BLVD STE 238	DURHAM NC 27703		
Phone #: 919-308-2123	Email: ROB	ERT@GANDERDEV.COM			

Email:

(Applicable to all developments)				
SITE DATA	BUILDING DATA			
Zoning district(s) (please provide the acreage of each): CX-3-CU	Existing gross floor area (not to be demolished): N/A			
Gross site acreage: 2.68 AC	Existing gross floor area to be demolished: N/A			
# of parking spaces proposed: 4	New gross floor area: 128,013 SF			
Max # parking permitted (7.1.2.C): NO MAX	Total sf gross (to remain and new): 128,013 SF			
Overlay District (if applicable): SHOD-1	Proposed # of buildings: 1			
Existing use (UDO 6.1.4): VACANT	Proposed # of stories for each: 3			
Proposed use (UDO 6.1.4): SELF-STORAGE	Proposed # of basement levels (UDO 1.5.7.A.6) 1			

STORMWATER INFORMATION					
Impervious Area for Compliance					
l (sf) <u>63620</u>					
′es 🔘 No					
Yes ONo					

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

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Printed Name: ROBERT SHUNK

t Number	Sheet Title
0.00	COVER SHEET
0.20	GENERAL NOTES
C1.00	AS-BUILT SURVEY
C1.00	EXISTING CONDITIONS & DEMOLI
23.00	SITE PLAN
25.00	GRADING AND DRAINAGE I
25.10	SCM DETAILS
26.00	UTILITY PLAN
00.00	SITE DETAILS
09.30	UTILITY DETAILS
_P1.1	LANDSCAPE PLAN
_P2.1	WET POND LANDSCAPE P
_P9.1	LANDSCAPE DETAILS

LANDSCAPE DETAILS ARCHITECTURAL ELEVATIONS

Sheet List Table

RIGHT-OF-WAY OBSTRUCTION NOTES:

LP9.

- 1. PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET
- PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV. 2. THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS
- AND ALL NCDOT STREETS WITHIN RALEIGH'S JURISDICTION.
- 3. A PERMIT REQUEST WITH A TCPED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- 5. ALL TCPED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO: 5.1. MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD) 5.2. PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
- AMERICAN DISABILITY ACT (ADA) REQUIREMENTS 5.4. RALEIGH STREET DESIGN MANUAL (RSDM).
- 6. ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). 7. ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION
- **GENERAL NOTES**
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, NCDENR, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALI NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER AND FACILITY OWNERS (PER NC STATUTE) NO LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 12 WORKING DAYS PRIOR TO BEGINNIN DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
- 4. ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- 5. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.
- 7. THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT, VALVE AND MANHOLE CHANGES, AND HARDSCAPE OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS,
- OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING. 8. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THERE OF SHALL BE SUBMITTED TO THE
- OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- 11. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS. 12. ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING
- BEGUN.

SOLID WASTE: SOLID WASTE TO BE HANDLED VIA ROLL OUT CART. CARTS ARE TO BE STORED OUTSIDE OF BUILDING AND ROLLED TO THE FRONT OF THE BUILDING FOR PICKUP.

ZONING CONDITIONS

DOWLING ROAD, LOCATED APPROXIMATELY 1,000 FT EAST OF I-87, BEING WAKE COUNTY PIN 1723742383. APPROXIMATELY 2.83 ACRES REMAIN ZONED TO CX-3-CU

- CONDITIONS DATED: MAY 19, 2023
- FRONTAGE. ACCESS IS PROPOSED AT DOWLING RD AND IS LIMITED TO A RIGHT IN; RIGHT OUT DRIVEWAY.
- THAT A NEIGHBORHOOD TRANSITION ZONE A TYPE 2 PROTECTIVE YARD (3.5.3.B) OF AN AVERAGE MINIMUM WIDTH OF PIN #1723637837, BEING LOT 8 IN WAKE COUNTY BOOK OF MAPS 1941 PAGE 45).
- 3. THAT ANY PERMITTED GROUND SIGN SHALL BE LIMITED TO A "LOW PROFILE SIGN". ANY PERMITTED GROUND SIGN WILL BE LOW PROFILE.
- 4. IF REQUESTED BY CITY OF RALEIGH'S TRANSIT DIVISION, A TRANSIT STOP EASEMENT BESIDE POOLE ROAD OF 15'X20' SHALL BE INCLUDED IN ANY SITE PLAN SUBMITTED ON SUBJECT PROPERTY. A TRANSIT STOP EASEMENT WILL BE INCLUDED IF REQUESTED BY THE COR TRANSIT DIVISION.
- POOLE ROAD, OLD POOLE ROAD AND DOWLING ROAD. ACKNOWLEDGED - NO EXTERIOR SOUND SYSTEMS ARE PROPOSED WITH THIS PROJECT.
- STADIUM.
- THE SITE PROPOSES A SELF-STORAGE FACILITY WITH ASSOCIATED INFRASTRUCTURE.
- NO CAR WASH WILL BE PROPOSED FOR THIS SITE.
- WITHIN THE UDO.

TRIP GENERATION ESTIMATE

LAND USE (ITE CODE)	INTENSITY	DAILY TRAFFIC	АМ		РМ	
			ENTER	EXIT	ENTER	EXIT
MINI-WAREHOUSE(151)	102,816	163	7	5	9	10

TES RVEY EMOLITION PLAN

NAGE PLAN AILS CAPE PLAN

LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.

APPARATUS (85,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS

ACCESS FROM POOLE ROAD SHALL BE LIMITED TO A MAXIMUM OF ONE "RIGHT IN; RIGHT-OUT" DRIVEWAY FOR THE ENTIRE

TWENTY-FIVE FEET (25') BE PROVIDED ALONG THE SOUTHERN PROPERTY LINE (ADJACENT TO RESIDENTIAL PROPERTY HAVING THE NEIGHBORHOOD TRANSITION ZONE A TYPE 2 IS PROPOSED AT THE SOUTHERN PROPERTY LINE FOR COMPLIANCE.

ANY EXTERIOR SOUND SYSTEMS I.E. RESTAURANT SPEAKERS, SHALL BE DIRECTED AWAY FROM ADJOINING PROPERTY AND

6. THE FOLLOWING USES SHALL BE PROHIBITED UPON THE PROPERTY: ADULT ESTABLISHMENT; BAR; NIGHTCLUB; TAVERN OR LOUNGE, UTILITY SERVICE SUBSTATION; TELECOMMUNICATIONS TOWER; OUTDOOR MOVIE THEATER; OUTDOOR RACETRACK OR

7. CAR WASHES AS A PRINCIPAL USE SHALL BE PROHIBITED; HOWEVER, A SINGLE BAY CAR WASH ASSOCIATED WITH A PRINCIPAL USE, ATTACHED TO THE PRINCIPAL USE BUILDING WHICH MEETS ALL STANDARDS FOR A CAR WASH SHALL BE PERMITTED

CROSS-ACCESS PURSUANT TO UDO SEC. 8.3.5.D BETWEEN PROPERTIES SUBJECT TO THIS CONDITIONAL ZONING DISTRICT WILL BE REQUIRED REGARDLESS OF EXEMPTIONS, VARIANCES, OR DESIGN ALTERNATES OTHERWISE AVAILABLE AS PROVIDED

WE ARE PROPOSING TWO STREET STUBS, SLOPE EASEMENTS, AND CROSS ACCESS EASEMENTS FOR FUTURE CONNECTION.



VICINITY MAP SCALE 1" = 500'

SITE DATA

PROJECT NAME: SITE ADDRESS: COUNTY: PARCEL PIN #: PARCEL OWNER: TOTAL SITE GROSS ACREAGI ROW DEDICATION: NET SITE ACREAGE CURRENT ZONING: PROPOSED ZONING: EXISTING LAND USE PROPOSED LAND USE FLOOD PLAIN DATA: RIVER BASIN: DEVELOPMENT TYPE: MAX BUILDING HEIGHT: PROPOSED BUILDING HEIGHT: PROPOSED NUMBER OF LOTS: TREE CONSERVATION AREA: TOTAL LIMITS OF DISTURBANCE: EXISTING IMPERVIOUS AREA: PROPOSED IMPERVIOUS AREA AMENITY AREA REQUIRED: AMENITY AREA PROVIDED: PARKING DATA:

> REQUIRED PARKING: PROPOSED PARKING: TOTAL PARKING:

DOWLING STORAGE 914 DOWLING RD, RALEIGH NC, 2761 WAKE COUNTY 1723742383 914 DOWLING HOLDINGS LLC 123,215 SF / 2.83 AC 897 SF / 0.02 AC 122,318 SF / 2.81 AC CX-3-CU CX-3-CU VACANT SELF-STORAGE FACILITY N/A NEUSE GENERAL BUILDING TBD 1 12,303 SF / 0.28 AC 124,887 SF / 2.87 AC 304 SF / 0.01 AC 63,620 SF / 1.46 AC 12,232 SF / 0.28 AC 12,259 SF / 0.28 AC

NO MAX





Luke Perkins | Founder Swift Partners PLLC E: luke.perkins@swift-partners.com | W: www.swiftpartners.com M: +1 8287351862 | W: +1 8287351862





GENERAL NOTES:

- 1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, NCDENR, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
- EXISTING SURVEY INFORMATION INCLUDING TOPOGRAPHIC INFORMATION PROVIDED BY SWIFT PARTNERS, UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
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- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS. 11. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS
- ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- 12. ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (85,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.

EXISTING CONDITION NOTES:

- 1. THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON A PORTION OF THE PROPERTY AND ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.
- 2. HORIZONTAL DATUM IS NAD 83-2011 AND VERTICAL DATUM IS NAVD88.
- 3. THIS DRAWING DOES NOT CONFORM TO N.C. GS47-30 AND THEREFORE IS NOT FOR RECORDATION.
- 4. UTILITIES SHOWN HEREON ARE BASED ON ABOVE GROUND VISIBLE EVIDENCE AND UTILITY DESIGNATION / MARKING SERVICES PERFORMED BY STEWART INC, AND THE AVAILABLE RECORD INFORMATION. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION. 5. SURVEY INFORMATION COLLECTED BY COMMERCIAL SITE DESIGN
- 6. TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.
- 7. NO WETLANDS HAVE BEEN IDENTIFIED WITHIN THE PROJECT OR PARCEL SHOWN.

DEMOLITION NOTES:

- 1. THE CONTRACTOR SHALL REMOVE CONCRETE (WHERE REQUIRED) TO THE FIRST COLD JOINT OR SAW CUT TO OBTAIN A CLEAN EDGE.
- 2. THE CONTRACTOR SHALL SAWCUT EXISTING ASPHALT (WHERE REQUIRED) TO OBTAIN A CLEAN EDGE.
- CLEANOUTS AND WATER VALVES LOCATED IN AREAS OF DEMOLITION OR SUBSEQUENT CONSTRUCTION SHALL BE
- PROTECTED FROM DAMAGE AND RAISED TO BE FLUSH WITH NEW GRADE. 4. ANY UTILITY SERVICES SHOWN TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY PROVIDER. CONTRACTOR IS RESPONSIBLE FOR APPROPRIATE SEQUENCING OF UTILITY DEMOLITION WITH THE RESPECTIVE UTILITY AGENCIES.
- 5. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL UTILITIES PRIOR TO BEGINNING DEMOLITION OPERATIONS. NOTIFY "NORTH CAROLINA ONE CALL" (TELEPHONE 1-800-632-4949) AT LEAST 48 HOURS PRIOR TO START OF DEMOLITION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL."
- 6. CLEAN SOILS SHALL BE UTILIZED FOR BACKFILL. COMPACTION OF THESE SOILS SHALL BE PERFORMED IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.
- 7. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE REMOVED COMPLETELY, INCLUDING ALL SUBGRADE MATERIALS DIRECTLY ASSOCIATED WITH ITEMS TO BE REMOVED.
- 8. ALL ITEMS DESIGNATED TO BE REMOVED SHALL BE DISPOSED OF LEGALLY OFF-SITE UNLESS OTHERWISE NOTED ON THIS PLAN.
- 9. REFER TO LANDSCAPE AND EROSION CONTROL DRAWINGS FOR TREE PROTECTION PLAN AND REQUIREMENTS.
- 10. ALL DEMOLITION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL JURISDICTIONAL CODES OR REQUIREMENTS.
- 11. TREE PROTECTION FENCING SHALL BE IN PLACE PRIOR TO BEGINNING DEMOLITION
- 12. EROSION CONTROL PERMIT SHALL BE OBTAINED AND ONSITE PRIOR TO BEGINNING DEMOLITION.
- 13. ITEMS DESIGNATED TO BE SALVAGED AND/OR RE-USED SHALL BE REMOVED BY THE CONTRACTOR AND PROVIDED TO THE OWNER. COORDINATE STORAGE LOCATION WITH OWNER'S REPRESENTATIVE.
- 14. WHERE UTILITIES ("TO BE REMOVED") IMPACT THE FOOTPRINT OF THE NEW BUILDING, THE CONTRACTOR SHALL EXECUTE AND REMOVE AN ADDITIONAL 2 FEET OF SOILS TO EITHER SIDE OF THE PIPE, AND 1 FOOT BELOW. CLEAN SUITABLE SOIL SHALL BE UTILIZED FOR BACKFILL AND COMPACTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- 15. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF STORM DRAINAGE PIPING SHALL BE PERFORMED IN SUCH A MANNER THAT THE OLD PIPE AND STRUCTURES REMOVED DO NOT IMPACT DRAINAGE UPSTREAM OF THE SYSTEM. PROVISIONS SHALL BE MADE TO MAINTAIN STORM WATER DRAINAGE PATTERNS DURING CONSTRUCTION. 16. DEMOLITION AND SUBSEQUENT CONSTRUCTION OF UTILITIES (WATER, SEWER, ETC) SHALL BE PERFORMED IN
- SUCH A MANNER THAT THE OLD PIPE AND STRUCTURES REMOVED DO NOT IMPACT OR MINIMIZE SERVICE INTERRUPTION TO EXISTING FACILITIES TO REMAIN. PROVISIONS SHALL BE MADE TO MAINTAIN SERVICE DURING CONSTRUCTION
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES TO THE EXISTING DRIVEWAY, PARKING LOT, SIDEWALK AND CURB AND GUTTER AS A RESULT OF CONSTRUCTION ACTIVITY AND TRAFFIC. CONTRACTOR SHALL MAINTAIN A PRE-CONSTRUCTION VIDEO OR PHOTO DOCUMENTATION TO SHOW NO DAMAGES OCCURRED.
- 18. ALL MATERIALS, FURNISHINGS, UTILITIES, AND PAVEMENT THAT ARE NOT SCHEDULED TO BE DEMOLISHED AND ARE DAMAGED BY THE CONTRACTOR AS A RESULT OF THE DEMOLITION OR CONSTRUCTION OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- 19. WHERE UTILITIES ARE SHOWN TO BE "REMOVED", CONTRACTOR SHALL INCLUDE NECESSARY PLUG OR VALVES TO ENSURE UTILITY LINES TO REMAIN WILL CONTINUE TO BE IN SERVICE. COORDINATE NECESSARY SHUT DOWN AND REMOVAL WITH THE LOCAL JURISDICTION OR UTILITY OWNER.
- 20. CONTRACTOR SHALL PROVIDE PEDESTRIAN INGRESS / EGRESS TO ALL EXISTING BUILDINGS, PARKING LOTS, AND PATHS OF PEDESTRIAN TRAVEL THROUGHOUT THE CONSTRUCTION PERIOD

MATERIALS AND FURNISHINGS NOTES:

- ABBREVIATIONS FOR SPECIFIC HARDSCAPE MATERIALS AND FURNISHINGS ARE LISTED IN THE LEGEND AND ARE USED THROUGHOUT THE DRAWING SET'S HARDSCAPE & FURNISHINGS PLANS, PAVING PATTERN PLANS AND SITE DETAILS.
- REFER TO RELATED SPECIFICATION SECTION FOR SPECIFIC SUBMITTALS OF PRODUCT DATA, SAMPLES, SHOP DRAWINGS, QUALITY ASSURANCE REQUIREMENTS, EXECUTION REQUIREMENTS, AND FOR FURTHER PRODUCT INFORMATION NOT INCLUDED IN THIS SCHEDULE
- 3. CONTRACTOR TO SUBMIT COLOR SAMPLES AND PROVIDE MOCK-UPS FOR ALL CAST IN PLACE CONCRETE FOR APPROVAL BY LANDSCAPE ARCHITECT.

SITE NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE ASSOCIATED GATES AT THE COMPLETION OF THE PROJECT.
- 2. THE CONTRACTOR SHALL REFERENCE THE DESIGN PLANS FOR DIMENSIONS, JOINT LOCATIONS, AND INLAY SPECIFICATIONS NEAR BUILDINGS AND IN COURTYARDS. CONTRACTOR SHALL PROVIDE JOINTS IN
- 3. ALL CONSTRUCTION TRAFFIC SHALL ENTER SITE FROM DOWLING ROAD UNLESS OTHERWISE APPROVED IN WRITING FROM THE OWNER'S REPRESENTATIVE FOR AN ALTERNATE POINT OF ACCESS.
- 4. REFER TO ARCHITECTURAL PLANS FOR BUILDING INFORMATION.
- 5. ALL DIMENSIONS ARE IN DECIMAL FEET TO OUTSIDE FACE OF BUILDINGS, TO CENTERLINES, AND/OR FACE OF CURB UNLESS OTHERWISE NOTED.
- 6. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATES AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION.
- 7. ALL WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE FROM DRAWINGS.
- 8. ALL UTILITIES WITH SURFACE ACCESS SHALL BE LOCATED WITHIN THE PAVING PATTERN AND SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. REFER TO LAYOUT DRAWINGS. 9. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- 10. ALIGN ALL JOINTS, CORNERS, AND EDGES AS SHOWN 11. CONTRACTOR SHALL REFER TO AND COORDINATE WITH ARCHITECTURAL, STRUCTURAL, AND MEP DRAWINGS AT ALL TIMES PRIOR TO AND DURING CONSTRUCTION.
- 12. ALL CURB TAPERS ARE SIX (6') FEET LONG UNLESS OTHERWISE SHOWN ON PLAN.
- 13. WHERE NEW SIDEWALK ADJOINS EXISTING WALK, PROVIDE EXPANSION JOINT BY DRILLING INTO THE FACE OF THE EXISTING WALK FOR PLACEMENT OF DOWELS. TIE NEW SIDEWALKS INTO NEAREST EXISTING PAVEMENT JOINT; MATCH WIDTH OF EXISTING WALKWAY.
- 14. WHERE SIDEWALK OR WALKWAYS ARE ADJACENT TO PARKING SPACES THE WALKWAY SHALL BE A MINIMUM 6.5' WIDE AS MEASURED FROM THE FACE OF CURB.
- 15. MAXIMUM RUNNING SLOPE FOR WALKING SURFACES CANNOT BE GREATER THAN 1:20 AND CROSS SLOPES CANNOT BE GREATER THAN 1:48. HANDICAP SPACES SURFACE SLOPES SHALL NOT EXCEED 1:48 IN ALL DIRECTIONS.
- 16. SIGHT TRIANGLES NOTHING OVER 30" HIGH SHALL BE ALLOWED WITHIN THE SIGHT DISTANCE TRIANGLES. 17. THE SITE SHALL BE FULLY STABILIZED (90% COVERAGE) PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF
- OCCUPANCY OR PROJECT APPROVAL
- 18. HANDICAP RAMPS SHALL BE INSTALLED PER LATEST EDITION OF THE NC BUILDING CODE AND ANSI 117.11 WITH DETECTABLE WARNING DOMES WITH A COLOR CONTRAST OF 70% MINIMUM. SEE DETAILS AND GRADING SPOT ELEVATIONS, IF THE EXISTING CONDITIONS PRECLUDE THE ABILITY TO PROVIDE A MAXIMUM SLOPE 1/12 FOR 6-FEET OR A MAXIMUM CROSS SLOPE OF 1:48 AND A 36" MINIMUM LANDING. THE CONTRACTOR SHALL NOTIFY ENGINEER OR OWNER REPRESENTATIVE PRIOR TO INSTALLATION.
- 19. THE TESTING AGENCY SHALL BE RESPONSIBLE FOR PROVIDING THE ASPHALT AND CONTRACTOR CERTIFICATION MEMO TO NCDOT FOR ALL ROADWAY IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.
- GRADING AND STORM DRAINAGE NOTES: 1. CONTRACTOR SHALL REPORT ANY GRADE DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO
- BEGINNING CONSTRUCTION OPERATIONS.
- 2. THE MAXIMUM SLOPE ALONG ANY HANDICAP ACCESSIBLE PATHWAY SHALL NOT EXCEED 5.0% AND SHALL NOT EXCEED A 2.0% CROSS SLOPE. HANDICAP RAMPS INDICATED ON PLANS SHALL BE A MAXIMUM OF 1/12 SLOPES WITH A MAXIMUM RISE OF 30" BETWEEN LANDINGS. NON-CURB CUT RAMPS SHALL HAVE HANDRAILS AND GUARDS PER DETAILS WITH 5' LANDINGS AT THE BOTTOM AND TOP OF RAMP.
- 3. ALL PROPOSED ELEVATIONS SHOWN ARE EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE SPECIFIED. 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL NEWLY CONSTRUCTED STORM
- DRAINAGE IMPROVEMENTS AND RECEIVING STORM DRAINAGE SYSTEMS REMAIN CLEAN OF SEDIMENT AND DEBRIS. PRIOR TO OWNER ACCEPTANCE OF SYSTEM, THE CONTRACTOR SHALL COORDINATE AND PROVIDE A VISUAL OBSERVATION VIDEO OF ALL STORM DRAINAGE IMPROVEMENTS 12" AND LARGER. THE VISUAL OBSERVATION SHALL BE PERFORMED IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL PROVIDE TWO (2) DVD COPIES OF THE ENTIRE DRAINAGE VISUAL OBSERVATION.
- 5. PRIOR TO ISSUANCE OF A BUILDING CERTIFICATE OF OCCUPANCY THE CONTRACTOR SHALL PROVIDE THE OWNER WITH THE VIDEO INSPECTION OF THE STORM SEWER SYSTEM. (BOTH PUBLIC AND PRIVATE). THIS SUBMITTAL MAY NEED TO BE REVIEWED AND ACCEPTED BY THE LOCAL JURISDICTION PRIOR TO THE ISSUANCE OF THE BUILDING CO.
- 6. REFER TO THE EROSION CONTROL DETAILS SHEET FOR THE SEQUENCE OF CONSTRUCTION 7. INTERIM GRADING SHALL BE PROVIDED THAT ENSURES THE PROTECTION OF STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS, AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, AND WASHOUT.
- 8. INTERIM GRADING SHALL BE PROVIDED TO DIRECT WATER AWAY FROM BUILDINGS AND PREVENT PONDING. 9. TIE ROOF LEADERS WHERE POSSIBLE TO UNDERGROUND STORM SYSTEM. CONTRACTOR TO FIELD VERIFY LOCATE AND INSTALL WHERE POSSIBLE OR AS SHOWN ON PLANS. WHERE ROOF LEADERS DAYLIGHT AT GRADE A SPLASH BLOCK APPROVED BY THE OWNER'S REPRESENTATIVE SHALL BE INSTALLED.
- DIRECTION.
- 11. PROPOSED CONTOURS ARE APPROXIMATE. SPOT ELEVATIONS AND ROADWAY PROFILES SHALL BE USED IN CASE OF DISCREPANCY.
- 12. PLACE BACKFILL AND FILL MATERIALS IN LAYER NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. PLACE BACKFILL AND FILL MATERIALS EVENLY ON ALL SIDES TO REQUIRED ELEVATIONS, AND UNIFORMLY ALONG THE FULL LENGTH OF EACH STRUCTURE. COMPACT SOIL TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698 FOR EACH LAYER OF BACKFILL OR FILL MATERIAL UP TO TWO FEET OF FINISHED GRADE. COMPACT SOIL TO NOT LESS THAN 98 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698 FOR EACH LAYER OF BACKFILL OR FILL MATERIAL FOR THE FINAL TWO FEET.
- 13. SITE GRADING IMMEDIATELY ADJACENT TO FOUNDATION OF BUILDING SHALL SLOPE NOT LESS THAN 1/20 AWAY A MINIMUM OF 2% AWAY FROM BUILDING.
- 14. CONTRACTOR SHALL ADJUST RIM ELEVATIONS OF EXISTING MANHOLES, METERS, VALVES, ETC. AS REQUIRED TO MEET NEW FINISHED GRADES.
- 15. CONTRACTOR SHALL SLOPE GRADES TO ASSURE POSITIVE STORMWATER FLOW TO KEEP WATER FROM POOLING ALONG CURBS AND WALLS.
- 16. TOP OF WALL ELEVATIONS INDICATE THE ELEVATION AT THE TOP OF THE CAP, UNLESS OTHERWISE NOTED.
- 17. BOTTOM OF WALL ELEVATIONS INDICATE THE ELEVATION OF THE FINISHED GRADE.

PAVING PATTERN NOTES:

- 1. END ALL UNIT PAVING PATTERNS WITH A FULL OR HALF SIZE PAVER UNLESS OTHERWISE NOTED. USE OVERSIZE PAVERS WHERE PATTERN ENDS ON A UNIT SMALLER THAN HALF SIZE.
- LAYOUT PLANS FOR FURTHER PAVING LAYOUT INFORMATION.

- 5. PROVIDE CONTINUOUS EXPANSION JOINTS BETWEEN BACK OF CURB AND ADJOINING PAVEMENT.
- 6. PROVIDE CONTINUOUS EXPANSION JOINT BETWEEN ALL VERTICAL SURFACES AND ADJOINING PAVEMENT. 7. ALL DIMENSIONS MEASURED TO CENTERLINE OF JOINTS.
- 8. ALL WRITTEN DIMENSIONS SHALL PREVAIL. DO NOT SCALE FROM DRAWINGS.
- ALL ANGLES 90 DEGREES UNLESS OTHERWISE NOTED.
- 10. ALIGN ALL JOINTS, CORNERS AND EDGES AS SHOWN.
- 11. FINAL LAYOUTS TO BE APPROVED BY LANDSCAPE ARCHITECT.

SIGNAGE, STRIPING AND MARKING NOTES:

- 1. ALL INTERNAL SIGNAGE SHALL BE COORDINATED WITH OWNER FOR ACTUAL LOCATION AT TIME OF INSTALLATION. SIGNAGE LEADING ONTO PUBLIC THOROUGHFARE SHALL BE INSTALLED AT RIGHT OF WAY PER DOT STANDARDS
- 2. ALL PAVEMENT STRIPING (EXCEPT INDIVIDUAL PARKING BAY STRIPING) SHALL BE THERMOPLASTIC REFLECTIVE PAINT. MATERIALS AND DIMENSIONS SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS. PARKING BAY STRIPING SHALL BE WHITE REFLECTIVE PAINT.
- 3. CROSSWALKS SHALL BE CONSTRUCTED OF THERMOPLASTIC MATERIALS AND CONSTRUCTED IN ACCORDANCE WITH STATE DOT SPECIFICATIONS, CONTRACTOR TO INSTALL CROSSWALKS IN SUCH A MANNER THAT CROSSWALKS ARE ALIGNED BETWEEN HANDICAP/WALKWAY ACCESS POINTS OR PERPENDICULAR TO THE ROADWAY / DRIVE LANE.
- 4. ADA SYMBOLS SHOWN THESE DRAWINGS ARE FOR LOCATION PURPOSES ONLY AND NOT INTENDED TO BE PAINTED. CONTRACTOR RESPONSIBLE FOR INSTALLING ALL REQUIRED ADA SIGNAGE

CONSTRUCTION LAYDOWN AREA, PERIMETER FENCE, AND ASSOCIATED GATES. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE REMOVAL OF THE CONSTRUCTION LAYDOWN AREA PERIMETER FENCE AND

WALKWAYS AND HARDSCAPE PER DETAILS OR AS INDICATED ON LANDSCAPE/HARDSCAPE PLAN SHEETS.

10. MAXIMUM SLOPE ACROSS ANY HANDICAPPED PARKING SPACE AND AISLE SHALL NOT EXCEED 2% IN ANY

AWAY FOR MINIMUM DISTANCE OF 10 FEET. ALTERNATIVE METHOD SHALL BE PROVIDED TO DIVERT WATER AWAY FROM FOUNDATION VIA SWALES SLOPED AT A MINIMUM OF 2% OR IMPERVIOUS SURFACES SLOPED

2. LAYOUT OF UNIT PAVING PATTERNS AND CONCRETE JOINTS AS INDICATED ON THIS PLAN. REFERENCE

- 3. PAVERS ABUTTING TRUNCATED DOMES SHALL BE A CONTRASTING COLOR.
- 4. ALIGN ALL TRUNCATED DOME PAVER JOINTS WITH ABUTTING PAVER JOINTS.

- CITY OF RALEIGH STANDARD UTILITY NOTES:
- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- 2. UTILITY SEPARATION REQUIREMENTS: A. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
- B. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS. THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
- D. 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
- E. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
- F. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED 3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY
- THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION. 4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN
- EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY. 5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES
- THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. 6. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- 7. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- 8. INSTALL 3/4" COPPER* WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- 9. INSTALL 4" PVC* SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM. 10. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES
- ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE 11. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO
- CONSTRUCTION 12. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- 13. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-4516 OR FOG@RALEIGHNC.GOV FOR MORE INFORMATION.
- 14. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT, A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FROM THE RW CROSS-CONNECTION COORDINATOR FOR EACH DEVICE PRIOR TO ISSUANCE OF A UC / BLDG PERMIT. CONTACT (919) 996-5923 OR CROSS.CONNECTION@RALEIGHNC.GOV FOR MORE INFORMATION.
- 15. NOTICE FOR PROJECTS WITH REPLACED OR OVERSIZED MAINS: IF THE CITY'S REIMBURSEMENT FOR AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT PROJECT IS \$250,000 OR GREATER - THE PROJECT MUST BE PUBLICLY BID.

SEWER NOTES:

- SANITARY SEWER CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY TRAFFIC BEARING CASTINGS.
- 2. UNLESS OTHERWISE NOTED, ALL SANITARY SEWER MANHOLES ARE 4' DIA.
- 3. MANHOLES LOCATED IN PAVEMENT, CONCRETE OR OTHER TRAFFIC AREAS SHALL BE SET AT GRADE. MANHOLES LOCATED IN OTHER AREAS (I.E. GRASS OR WOODED AREAS) SHALL HAVE THEIR RIMS RAISED SIX INCHES ABOVE THE SURROUNDING GRADE. MANHOLES SUBJECT TO POSSIBLE WATER INFILTRATION SHALL HAVE WATERTIGHT, BOLTED LIDS.
- 4. MINIMUM REQUIRED SLOPES FOR SEWER SERVICES: 4" SEWER SERVICE - 2.00% SLOPE 6" SEWER SERVICE - 1.00% SLOPE
- 8" SEWER SERVICE 0.50% SLOPE 5. UNLESS OTHERWISE NOTED, LOCATE SANITARY SERVICE CLEANOUTS AT ALL HORIZONTAL OR VERTICAL CHANGES IN DIRECTION. MAXIMUM SPACING BETWEEN CLEANOUTS SHALL BE 75 FEET.
- 6. SEWER LINES LESS THAN 3 FEET OF COVER SHALL BE CLASS 50 DUCTILE IRON PIPE. SEWER LINES WITH GREATER THAN 3 FEET OF COVER SHALL BE AS NOTED BELOW: 4" SEWER SERVICE - SCH 80
- 6" SEWER SERVICE SCH 80 8" SEWER SERVICE - SDR-35 SEWER LINES UNDER CONSTRUCTION SHALL BE PROTECTED FROM DIRT, DEBRIS OR OTHER CONTAMINANTS ENTERING THE NEW SYSTEM. A MECHANICAL PLUG SHALL BE UTILIZED BOTH IMMEDIATELY UPSTREAM OF THE NEW CONSTRUCTION AND AT THE FIRST MANHOLE DOWNSTREAM IN
- THE EXISTING SYSTEM. EXISTING STRUCTURES, PIPING AND APPURTENANCES SHALL BE PROTECTED FROM ANY INFLOW OF WATER, DIRT OR DEBRIS DUE TO NEW CONSTRUCTION CONNECTING TO OR IN THE VICINITY OF THE EXISTING SYSTEM. CONTRACTOR TO REMOVE DEBRIS AND PLUG PRIOR TO OCCUPANCY 8. ALL MANHOLES COVERS SHALL BE PAINTED TO LOCAL JURISDICTIONAL REQUIREMENTS.
- WATER NOTES:
- . AS INDICATED, ALL WATERLINES SHALL BE DUCTILE IRON PIPE MEETING THE REQUIREMENTS OF ANSI-AWWA C151 PRESSURE CLASS 350 OR SOFT COPPER TYPE K PIPE PER ASTM B88. IF PVC WATERLINE IS INDICATED ON THE PLANS IT SHALL MEET THE REQUIREMENTS OF AWWA C-900; CLASS 200.
- 2. ALL WATERLINES SHALL HAVE A MINIMUM OF 3.5 FEET OF COVER.
- 3. TESTING NOTES: PRESSURI LEAKAGE SHALL NOT EXCEED THE MAXIMUM ALLOWABLE LEAKAGE SPECIFIED IN AWWA C 600. MINIMUM TEST PRESSURE SHALL BE 150 PSI FOR DOMESTIC AND 200 PSI FOR FIRE PROTECTION. BACTERIOLOGICA TWO SAMPLES FOR BACTERIOLOGICAL SAMPLING SHALL BE COLLECTED AT LEAST 24 HOURS APART. IF CONTAMINATION IS INDICATED, THEN THE DISINFECTION PROCEDURE AND TESTING SHALL BE REPEATED UNTIL SATISFACTORY RESULTS ARE OBTAINED.
- 4. THE CHLORINE IN HEAVILY CHLORINATED WATER FLUSHED FROM MAINS NEEDS TO BE NEUTRALIZED BEFORE DISCHARGE. CONTRACTORS SHALL NEUTRALIZE HEAVILY CHLORINATED WATER FLUSHED FROM MAINS PRIOR TO DISCHARGE OR TRANSPORT ALL HEAVILY CHLORINATED WATER OFFSITE FOR PROPER DISPOSAL.
- 5. PAINT VALVE COVERS, FIRE HYDRANTS AND OTHER WATER APPARATUS TO MEET THE LOCAL JURISDICTIONAL REQUIREMENTS.





SITE LEGEND: SYMBOL

DESCRIPTION PROPOSED BUILDING PROPOSED CONCRETE SIDEWALK PROPOSED BRICK SIDEWALK PROPOSED HEAVY DUTY PAVEMENT PROPOSED CONCRETE PAVERS PROPOSED GRAVEL PROPOSED CURB & GUTTER PROPOSED STOP BAR PROPOSED CROSSWALK PROPOSED 6' WIDE ------ STANDARD CROSSWALK PROPOSED 10' WIDE HIGH VISIBILITY CROSSWALK PROPOSED SIGN ____ H/C PROPOSED ADA PARKING SPACE PROPOSED KEYSTONE WALL PROPOSED CIP WALL PROPOSED WHEEL STOP PROPOSED GRAVEL TRAIL PROPOSED ASPHALT TRAIL PROPOSED TREELINE PROPOSED VEHICLE GATE (X' WIDE) □-● PROPOSED LIGHT PROPOSED BIKE RACK PROPOSED BENCH PROPOSED BOLLARD • PROPOSED PEDESTRIAN STEEL PLATE

LIMITS OF DISTURBANCE PROPOSED TREE CONSERVATION AREA — BUILDING SETBACK ---- PARKING SETBACK TRANSITION YARD

NOTES:

1. SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.

AMENITY AREA CALCULATIONS:

AMENITY AREA REQUIRED (10% OF SITE AREA): 122,318 SF * 10% = 12,232 SF REQUIRED

AMENITY AREA PROVIDED: AMENITY AREA = 12,327 SF ADA ACCESSIBLE AMENITY AREA > 50%

SITE DATA

PROJECT NAME: SITE ADDRESS: COUNTY: PARCEL PIN #: PARCEL OWNER: TOTAL SITE GROSS ACREAGE: ROW DEDICATION: NET SITE ACREAGE: CURRENT ZONING: PROPOSED ZONING: EXISTING LAND USE: PROPOSED LAND USE: FLOOD PLAIN DATA: RIVER BASIN: DEVELOPMENT TYPE: MAX BUILDING HEIGHT: PROPOSED BUILDING HEIGHT: PROPOSED NUMBER OF LOTS: TREE CONSERVATION AREA: TOTAL LIMITS OF DISTURBANCE: EXISTING IMPERVIOUS AREA: PROPOSED IMPERVIOUS AREA: AMENITY AREA REQUIRED: AMENITY AREA PROVIDED: PARKING DATA: REQUIRED PARKING: PROPOSED PARKING: TOTAL PARKING:

DOWLING STORAGE 914 DOWLING RD, RALEIGH NC, 27610 WAKE COUNTY 1723742383 914 DOWLING HOLDINGS LLC 123,215 SF / 2.83 AC 897 SF / 0.02 AC 122,318 SF / 2.81 AC CX-3-CU CX-3-CU VACANT SELF-STORAGE FACILITY N/A NEUSE GENERAL BUILDING 45' TBD 12,303 SF / 0.28 AC 124,887 SF / 2.87 AC 304 SF / 0.01 AC 63,620 SF / 1.46 AC 12,232 SF / 0.28 AC 12,259 SF / 0.28 AC NO MAX 4

ZONING CONDITIONS

DOWLING ROAD, LOCATED APPROXIMATELY 1,000 FT EAST OF I-87, BEING WAKE COUNTY PIN 1723742383. APPROXIMATELY 2.83 ACRES REMAIN ZONED TO CX-3-CU CONDITIONS DATED: MAY 19, 2023

- 1. ACCESS FROM POOLE ROAD SHALL BE LIMITED TO A MAXIMUM OF ONE "RIGHT IN; RIGHT-OUT" DRIVEWAY FOR THE ENTIRE FRONTAGE.
- ACCESS IS PROPOSED AT DOWLING RD AND IS LIMITED TO A RIGHT IN; RIGHT OUT DRIVEWAY. 2. THAT A NEIGHBORHOOD TRANSITION ZONE A TYPE 2 PROTECTIVE YARD (3.5.3.B) OF AN
- AVERAGE MINIMUM WIDTH OF TWENTY-FIVE FEET (25') BE PROVIDED ALONG THE SOUTHERN PROPERTY LINE (ADJACENT TO RESIDENTIAL PROPERTY HAVING PIN #1723637837, BEING LOT 8 IN WAKE COUNTY BOOK OF MAPS 1941 PAGE 45). THE NEIGHBORHOOD TRANSITION ZONE A TYPE 2 IS PROPOSED AT THE SOUTHERN
- PROPERTY LINE FOR COMPLIANCE.
- 3. THAT ANY PERMITTED GROUND SIGN SHALL BE LIMITED TO A "LOW PROFILE SIGN". ANY PERMITTED GROUND SIGN WILL BE LOW PROFILE. 4. IF REQUESTED BY CITY OF RALEIGH'S TRANSIT DIVISION, A TRANSIT STOP EASEMENT BESIDE
- POOLE ROAD OF 15'X20' SHALL BE INCLUDED IN ANY SITE PLAN SUBMITTED ON SUBJECT PROPERTY. A TRANSIT STOP EASEMENT WILL BE INCLUDED IF REQUESTED BY THE COR TRANSIT DIVISION.
- 5. ANY EXTERIOR SOUND SYSTEMS I.E. RESTAURANT SPEAKERS. SHALL BE DIRECTED AWAY FROM ADJOINING PROPERTY AND POOLE ROAD, OLD POOLE ROAD AND DOWLING ROAD. ACKNOWLEDGED - NO EXTERIOR SOUND SYSTEMS ARE PROPOSED WITH THIS PROJECT.
- 6. THE FOLLOWING USES SHALL BE PROHIBITED UPON THE PROPERTY: ADULT ESTABLISHMENT; BAR; NIGHTCLUB; TAVERN OR LOUNGE, UTILITY SERVICE SUBSTATION; TELECOMMUNICATIONS TOWER; OUTDOOR MOVIE THEATER; OUTDOOR RACETRACK OR STADIUM.
- THE SITE PROPOSES A SELF-STORAGE FACILITY WITH ASSOCIATED INFRASTRUCTURE. 7. CAR WASHES AS A PRINCIPAL USE SHALL BE PROHIBITED; HOWEVER, A SINGLE BAY CAR WASH ASSOCIATED WITH A PRINCIPAL USE, ATTACHED TO THE PRINCIPAL USE BUILDING WHICH MEETS ALL STANDARDS FOR A CAR WASH SHALL BE PERMITTED.
- NO CAR WASH WILL BE PROPOSED FOR THIS SITE. 8. CROSS-ACCESS PURSUANT TO UDO SEC. 8.3.5.D BETWEEN PROPERTIES SUBJECT TO THIS
- CONDITIONAL ZONING DISTRICT WILL BE REQUIRED REGARDLESS OF EXEMPTIONS, VARIANCES, OR DESIGN ALTERNATES OTHERWISE AVAILABLE AS PROVIDED WITHIN THE UDO.

WE ARE PROPOSING TWO STREET STUBS, SLOPE EASEMENTS, AND CROSS ACCESS EASEMENTS FOR FUTURE CONNECTION.

GRADING LEGEND: SYMBOL DESCRIPTION

200 200 	LIMITS OF DISTURBANCE PROPOSED MAJOR CONTOUR PROPOSED MINOR CONTOUR EXISTING MAJOR CONTOUR EXISTING MINOR CONTOUR PROPOSED STORM DRAINAGE PROPOSED JUNCTION BOX
	PROPOSED CATCH BASIN
	PROPOSED AREA DRAIN
	RIPRAP DISSIPATOR
64	FLOW DIRECTION
44.50	PROPOSED ELEVATION
TC 44.50 BC 44.00	TOP/BOTTOM OF CURB
TW 46.00 BW 44.00	TOP/BOTTOM OF WALL

NOTES:

1. SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.

AVERAGE GRADE CALCULATIONS					
DOWLING RD					
HIGHEST PROPOSED GRADE	307.99				
LOWEST PROPOSED GRADE	305.65				
BUILDING FFE (FIRST FLOOR)	304.00				
AVERAGE GRADE	306.82				

DESCRIPTION	
Inside Dimension of Outlet Structure (ft) (Square Box)	
Width of Outlet Structure Walls (in)	
Outlet Pipe Diameter (in)	
Emergency Weir Width (ft)	
Anti-seep Collar Length and Width (ft)	
Clearance between Outlet Structure and Anti-seep Collar (ft)	
Additional Anti-seep Collar Spacing Downstream (O.C.) (ft)	

WET DETENTION POND CROSS SECTION A-A N.T.S.

GRADING LEGEND:

YMBOL	DESCRIPTION
200	LIMITS OF DISTURBANCE PROPOSED MAJOR CONTOUR PROPOSED MINOR CONTOUR
200	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED STORM DRAINAGE
$\langle \mathbb{D} \rangle$	PROPOSED JUNCTION BOX
	PROPOSED CATCH BASIN
	PROPOSED AREA DRAIN
	RIPRAP DISSIPATOR
	FLOW DIRECTION
44.50	PROPOSED ELEVATION
TC 44.50 BC 44.00	TOP/BOTTOM OF CURB
TW 46.00 BW 44.00	TOP/BOTTOM OF WALL

GENERAL NOTES:

- PRECAST STRUCTURES SHALL CONFORM TO LATEST ASTM C-913 SPEC FOR "REINFORCED CONCRETE WATER AND WASTE WATER STRUCTURES."
- 2. CONCRETE PIPE FROM OCS-001 TO FES-001 SHALL HAVE O-RING SEALS WITH EXTERNAL BUTYL JOINT WRAP AT ALL JOINTS.
- 3. 30" BARREL CONNECTION TO BE INSTALLED USING Z-LOK STM CONNECTOR MEETING ASTM C-1478 (A-LOK PRODUCTS, TULLYTOWN,
- 4. SHOP DRAWINGS MUST BE SUBMITTED AND APPROVED BY THE ENGINEER BEFORE CONSTRUCTION.
- 5. GEOTECHNICAL ENGINEER SHALL MONITOR DAM AND OUTLET STRUCTURE INSTALLATION. ALL FILL AREAS SHALL BE COMPACTED TO 95% OF THE MATERIALS MAXIMUM DRY DENSITY UNLESS OTHERWISE DICTATED BY GEOTECHNICAL ENGINEER.
- 6. DRAINAGE AREA MUST BE STABILIZED PRIOR TO INSTALLATION PERMANENT STORMWATER CONTROL MEASURE.
- 7. PRIOR TO FINAL CERTIFICATE OF OCCUPANCY, SURVEYOR SEALED AS-BUILT DRAWINGS OF WATER QUALITY BASIN AND OUTLET STRUCTURE SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL AND WET POND TO PASS INSPECTION.
- 8. PER NCDEQ MANUAL, INTERIOR SLOPES MAY BE NO STEEPER THAN 3:1.

NOTES:

1. SEE SHEET C0.10 FOR GENERAL, SITE, GRADING AND PLANTING NOTES.

DEAD-END FIRE APPARATUS ACCESS ROAD TURNAROUND (APPENDIX D)

YARD FDC - 8" RPDA BFP (CORPUD APPROVED)

PROPOSED FIRE HYDRANT PROPOSED WATER VALVE EXISTING SANITARY SEWER MANHOLE S PROPOSED SANITARY SEWER MANHOLE PROPOSED CLEANOUT OCO -O PROPOSED FDC PROPOSED BACKFLOW METER PIV PROPOSED POST INDICATOR VALVE (PIV) 000 GREASE INTERCEPTOR _____ ____ 300' HYDRANT COVERAGE CIRCLE LIMITS OF DISTURBANCE

NOTES:

1. SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.

UTILITY LEGEND:

DATE:11.20.2023 CHECKED BY:L^A DRAWN BY:MC PROJECT: DOWI PROJECT #: C20 SHEET TITLE UTILIT sheet no.

ASPHALT PAVING SCHEDULE

Description ROADWAY DUTY PARKING STANDARD DUTY PARKING HEAVY DUTY ASPHALT PATCH (FULL DEPTH)

WHERE EXISTING ASPHALT MEETS NEW ASPHALT, SAW CUT EXISTING ASPHALT TO PROVIDE A CLEAN EDGE. FINAL LIFT OF ASPHALT IN PARKING LOT BY OTHERS (N.I.C.) 3. CONTRACTOR SHALL INSTALL FINAL LIFT OF ASPHALT (A2) FOR ROADWAY CONSTRUCTION

ASPHALT PAVEMENT N.T.S.

SEE NOTE SEE NOTE 2 3 3

A1 (FINAL LIFT) (S9.5B)	A2 (S9.5B)	B (I19.0B)	C (ABC)	
	1.5"	4"	10"	
1.5"	1.5"		6"	
1.5"	1.5"	2.5"	8"	
	1.5"	6"	0"	

ARROW

ARROW

SCALE

Date 11.07.2023 (Rov. ##.####) Zoning 11.544 ST 2.66 M/C That takes 11.544 ST 2.66 M/C PNL 7/22/4283 11.544 ST 2.66 M/C Stata Trean Required (2 or 10 PL per 2.00 gt) 24.022 V 200 F 12.15 M/C Stata Trean Required (2 or 10 PL per 2.00 gt) 24.021 V/L 0.3 F 0.15 K/C Stata Trean Required (2 or 10 PL per 2.00 gt) 12.0 K 0.3 F 0.4 K/C 0.1 K/C Stata Trean Required (2 or 10 PL per 2.00 gt) 12.0 K 0.3 F 0.4 K/C 0.1 K/C Stata Trean Required (2 or 10 PL per 2.00 gt) 12.0 K 0.3 F 0.4 K/C 0.1 K/C Stata Trean Required (2 or 10 PL per 2.00 gt) 10.0 K 0.5 K/C 0.0 K F 0.0 K F Stata Trean Required (2 or 10 PL per 2.00 L/C) 300 L 0.0 K F 0.0 K F 0.0 K F Stata Trean Required (2 or 10 PL per 2.00 L/C) 300 L 0.0 K F 0.0 K F 0.0 K F Stata Trean Required (2 or 10 PL per 2.00 L/C) 300 L 0.0 F 0.0 K F 0.0 K F Stata Trean Required (2 Os 10 PL per 2.0 L/C) PL per 2.0 K PL per	City of Raleigh UDO Lanscape & Screening Requirements Project: 919 Dowling							
Zaniag 115.847.87 258 Act Dis 10.2207483 115.844.85 2.86 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.82.00 2.8	Date: 11.07.2023 (Rev. ##.##.####)							
That area ItSAM Second	Zoning							
PMI 1/24/243 PMI 2/24/243 PMI 2/2 200 PMI 2/2 200 <th>Tract area</th> <th>115.014</th> <th>0.5</th> <th></th> <th></th> <th>0.00</th> <th></th>	Tract area	115.014	0.5			0.00		
vehicle 24.202 FF Shade Tiese Required (30.110 hp #2000 c) 24.250 / 1 2000 1 12.8 Shade Tiese Required (30.100 hp #2000 c) 22.8 / 0.1 1 12.8 1 12.8 Everyone Shrabe Required (37.000 LP) 12.8 1 12.8 1 12.8 1 12.8 1 12.8 1 12.8 1 12.8 1 12.8 1 12.8 1 12.8 1 12.8 1 12.8 1 12.8 1 12.8 1 1.8 1.8 1 1.8 1.8 1 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.8 1.8 1.8 1.8 1.9 1.8 1.8 1.8 1.8 1.8 1.8 1.8 1.9 1.8 1.8 1.8 1.8 1.8 1.8 1.8 1.8 1.8 1.8 1.8 1.8 1.8 1.8 1.8	PIN: 1723/42383 Vehicular Parking Lot Plantings & Screening	115,844	SF			2.66	AC	
Shake Trees Required (2 od. 10 M per 2000 g) 24,050.01 2000 1 12.1 EA Velocide Preking La Screening	Vehicular Parking Lot Hanting's d Screening					24,525	SF	
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Ventuer Parking Los Severing ID <	Shade Trees Provided (3" cal. 10' ht)					12	EA	
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Street Parkings & Street Protective Yard - Dowling Rd / S.R. 2545 (Sec.7.2.4.B) Image: Comparison of the Comparison	Evergreen Shrubs Required (3' ht, @ 30/100 LF)	12.0	×	0.3	-	5.0	FA	
Yan Type Image of Right (Way) Image of Right (Way)<	Street Plantings & Street Protective Yard - Dowling Rd / S.R. 2545 (Sec.7.2.4.B)				1	_		
Length of Kight of Way Image of Kight of Way	Yard Type					15' T	ype C2	
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anate mes Provided (3 cal. 10 mt.g av 0.6. average) 2 EA Street Plantings & Street Protective Yard - Old Poole Rd / S.R. 1007 (Sec. 7.2.4.B) Yard Type 164 x 0.04 = 6.6 Street Plantings & Street Protective Yard - Old Poole Rd / S.R. 1007 (Sec. 7.2.4.B) 164 x 0.04 = 6.8 Proposed Evergreen Trees 1 164 x 0.04 = 6.8 Proposed Evergreen Trees Royided 1 7.6 Length of Right of Way 1 6.4 6.8 Proposed Evergreen Trees Royided 1 7.6 Evergreen Trees Royided In % 2.5 5.7% Evergreen Trees Provided In % 1 7.6 Evergreen Strude Required (3' cal. 10' ht @ 40' o.c. average) 164 x 0.15 2.4 Street Plantings & Street Provided (3' cal. 10' ht @ 40' o.c. average) 1 6.4 4 Street Plantings & Street Provided (3' cal. 10' ht @ 40' o.c. average) 1 6.4 4 6.4 Street Plantings & Street Protective Yard - Poole Rd / S.R. 1007 Xereme 6-Lane, Divided 4 6.4 5.6 Street Plantings & Street Protective Yard - Poole Rd / S.R. 1007 Xereme 6-Lane, Divided 1 6	Shade Trees Required (3" cal. 10' ht @ 40' o.c. average)	390	/	40	-	9.0	EA	
Street Protective Vard - Old Poole Rd / S.R. 1007 (Sec.7.2.4.B) Image: Street Protective Vard - Old Poole Rd / S.R. 1007 (Sec.7.2.4.B) Yard Type Image: Street Protective Vard - Old Poole Rd / S.R. 1007 (Sec.7.2.4.B) Image: Street Protective Vard - Old Poole Rd / S.R. 1007 (Sec.7.2.4.B) Yard Type Image: Street Protective Vard - Old Poole Rd / S.R. 1007 (Sec.7.2.4.B) Image: Street Protective Vard - Old Poole Rd / S.R. 1007 (Sec.7.2.4.B) Proposed Deciptions Trees Image: Street Protective Vard - Old Poole Rd / S.R. 1007 (Sec.7.2.4.B) Image: Street Protective Vard - Old Poole Rd / S.R. 1007 (Sec.7.2.4.B) Evergreen Trees Provided Image: Street Protective Vard - Ocole Rd / S.R. 1007 (Sec.7.2.4.B) Image: Street Protective Vard - Ocole Rd / S.R. 1007 (Sec.7.2.4.B) Street Provided Street Provi	Shade Trees Provided (3" cal. 10" ht @ 40" o.c. average)				-	2	EA EA	
Yard Type 16 Type C Length of Kight of Way 164 164 LF Shade Trees Required (3' cal. 10' ht @ 4/100 LF) 164 × 0.04 164 LF Proposed Deciduous Trees 164 2 3 EA Total Shade Trees Provided 1 3 EA 4 EA Total Shade Trees Provided 1 3 EA 4 EA Evergreen Trees Provided 1 4 EA EA Evergreen Trees Provided 1 4 EA Evergreen Shubs Required (3' cal. 10' ht @ 40' co. average) 164 4 EA EVergreen Shubs Required (4' cal. 10' ht @ 40' co. average) 1 1 EA Shade Trees Required (3' cal. 10' ht @ 40' co. average) 1 1 EA EVergreen Trees Provided B 1 1 EA Street Planings & Street Protective Yard - Poole Rd / S.R. 1007 Xereue 6-Lane, Divide: Sec Eabou 1 1 EA Street Planings & Street Protective Yard - Poole Rd / S.R. 1007 Xereue 6-Lane, Divide: Sec Eabou 1 1 EA Sec Eabou 1 1 EA 1 1	Street Plantings & Street Protective Yard - Old Poole Rd / S.R. 1007 (Sec.7.2.4.B)							
Length of Right of Way Image 1 (b)	Yard Type					15' T	ype C2	
Shade Trees Required (3' cal. 10' ht @ 4/100 LF) 164 X 0.04 = 6.6 Proposed Dediduous Trees 3 EA F 4 EA Total Shade Trees Provided 1 7 EA F EA Evergreen Trees Required (50% of Total Required Trees) 3.35 EA Evergreen Trees Provided 4 EA Evergreen Trees Provided 57% 57% 57% Evergreen Shrubs Required (Min. 36' ht @ 15 shrubs/100 LF) 164 X 0.15 = 2.4.6 EA Evergreen Shrubs Required (3' cal. 10' ht @ 40' o.c. average) 164 X 4 0 4.0 EA Shade Trees Revided (3' cal. 10' ht @ 40' o.c. average) 164 X 4 0 4.0 EA Shade Trees Revided (3' cal. 10' ht @ 40' o.c. average) 1 1 EA 1 EA Shade Trees Revided (3' cal. 10' ht @ 40' o.c. average) 1 1 EA 1 EA Shade Trees Provided beneath OHE (1.5' cal. 6' ht @ 20' o.c. average) 1 1 EA Not Required 1 EA Street Tr	Length of Right of Way					164	LF	
mitplosed Devaluations frees 1 3 DEA Proposed Evargneen Trees 4 EA Total Shade Trees Provided 7 EA Evergreen Trees Provided in % 35 EA Evergreen Trees Provided (Mn. 36' ht@ 15 shrubs/100 LF) 164 X 0.15 24.6 Evergreen Shrubs Required (Mn. 36' ht@ 15 shrubs/100 LF) 164 X 0.15 24.6 Evergreen Shrubs Required (Mn. 36' ht@ 10 c. average) 164 / 40 4.0 EA Shade Trees Required (3' cal. 10' ht.@ 40' o.c. average) 164 / 40 4.0 EA Shade Trees Rouided (3' cal. 10' ht.@ 40' o.c. average) 1 1 EA Shade Trees Rouided (3' cal. 10' ht.@ 40' o.c. average) 1 1 EA Street Provided (3' cal. 10' ht.@ 40' o.c. average) 1 1 EA Street Provided (3' cal. 10' ht.@ 40' o.c. average) 1 Not Required See below Yad Type 1 Not Required See below See below Street Trees 1 0 EA Set See below 1 Not Required Street Req	Shade Trees Required (3" cal. 10' ht @ 4/100 LF)	164	х	0.04	=	6.6		
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Evergreen Trees Required (50% of Total Required Trees) 3.5 EA Evergreen Trees Provided 4 EA Evergreen Trees Provided in % 57% 57% Evergreen Shrubs Required (Min. 36" ht @ 15 shrubs/100 LF) 164 x 0.15 2.4.6 EA Evergreen Shrubs Provided 25 25 25 25 25 Shade Trees Required (3" cal. 10" ht @ 40 o.c. average) 164 / 40 4.0 EA Shade Trees Required (3" cal. 10" ht @ 40 o.c. average) 164 / 40 4.0 EA Street Thantings & Street Protective Yard - Poole Rd / S.R. 1007 Xerenue 6-Lane. Divider. 50 FT Special Hightway Overlay District 1 Buffer Required 1 See below Street Trees Required (3" cal. 10" ht @ 40" o.c. average) 164 / 40 4.0 EA Undersbry Trees Provided (3" cal. 10" ht @ 40" o.c. average) 164 / 40 4.0 EA Street Trees 164 / 40 4.0 EA 50 FT Special Hightway Overlay District 1 Buffer Required (3" cal. 10" ht @ 40" o.c. average) 10 10 50 FT Special Hightway Overlay District 1 Buffer (Sec. 3.1) 10 1	Total Shade Trees Provided					7	EA	
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	Required Wall or Fence between 6.5' - 9' in Height		L	I Min.	6.5'	Height Fence P	rovided	
					-			

ΡL	ANT LIST-THIS SHEET ONLY		MINIMUM INSTALL		MATURE SIZE			
QTY	SYM	A BOTANICAL NAME COMMON NAME		CALIPER	HEIGHT	HEIGHT	SPREAD	REMARKS
TREES							-	
3	CC	Cercis canadensis 'Merlot'	Merlot Redbud	1.5" MIN	6' MIN	15'	15'	NPY/Deciduous Understory Tree
8	CJ	Cryptomeria japonica	Cryptomeria	3" MIN	10' MIN	30'-50'	20'-30'	SPY/Evergreen Shade Tree
8	CM Celtis 'Magnifica' Magnifica		Magnifica Sugar Hackberry	3" MIN	10' MIN	50'	40'	SPY/NPY/Deciduous Shade Tree
4	PC	Prunus caroliniana	Carolina Cherry Laurel	1.5" MIN	6' MIN	15'-30	15'-20'	NPY/Evergreen Understory Tree
10	PS	Pinus strobus	Eastern White Pine	3" MIN	10' MIN	50'	30'	SPY/NPY/Evergreen Shade Tree
21	PSC	Pistacia chinensis	Chinese Pistache	1.5" MIN	6' MIN	20'-30'	20'-30'	SPY/Street Tree/Deciduous Understory
14	QN	Quercus nuttalli	Nuttall Oak	3" MIN	10' MIN	75'	50'	SPY/NPY/Street Tree/Deciduous ShadeTree
12	QP	Quercus phellos	Willow Oak	3" MIN	10' MIN	75'	50'	VPL/Deciduous Shade Tree
SHRUBS								
48	DEH	EH Distylium 'Emerald Heights' Emerald Heights Dystilium			36" MIN	5'-6'	5'-6'	SPY/Evergreen Shrub
74	EKM	Euonymus kiautschovicus 'Manhattan'	Manhattan Euonymus		36" MIN	5'	5'	NPY/Evergreen Shrub
36	JSG	Juniperus × pfitzeriana 'Sea Green'	Sea Green juniper		36" MIN	4'-6'	6'-8'	SPY/Evergreen Shrub
9	VT	Viburnum tinus	Laurustinus Viburnum		36" MIN	Maintain as	5' min hedge	SPY/Screening/Evergreen Shrub

SEE LP2.1 FOR WET POND AREA LANDSCAPE PLAN. SEE LP9.1 & LP9.2 FOR LANDSCAPE DETAILS & NOTES.

QUERCUS NUTTALLI 3" CAL. 10' HT. MIN. STREET TREE / A2 NPY / DECIDUOUS SHADE TREE

QUERCUS PHELLOS 3" CAL. 10' HT. MIN. VPL / DECIDUOUS SHADE TREE

DISTYLIUM 'EMERALD HEIGHTS', 36" HT. MIN. C2 SPY / EVERGREEN SHRUB

EUONYMUS KIAUTSCHOVICUS 'MANHATTAN', 36" HT. MIN. A2 NPY / EVERGREEN SHRUB

JUNIPERUS × PFITZERIANA 'SEA GREEN', 36" HT. MIN. C2 SPY / EVERGREEN SHRUB

VIBURNUM TINUS, 36" HT. MIN. SPY / SCREENING / EVERGREEN HEDGE

REFERENCE: TCZ-009-23

LANDSCAPE PLAN

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Swift Partners	V SISS
	510 South Wilmington Street Raleigh, NC 27601 tel 919.835.1500 1218 Chestnut St. 7th Floor Philadelphia, PA 19107 tel 215.545.012 [,]
Raleigh, North Carolina 27610	ASR-XXX-2023 (Admin. Site Review)

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VIEW

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SITE

TRATIVE

16. PLANTINGS IN ROWS OR GROUPINGS SHALL BE MATCHED WITH RESPECT TO SIZE AND FORM

			DUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION AND CONSENT OF JDAVIS ARCHITECTS, PC	JEDEVIED A CALOR A CA
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CITY TREE MANUAL OCTOBER 2021

CHAPTER 2 TREE PLANTING AND MAINTENANCE

THIS CHAPTER OUTLINES THE STANDARDS FOR PLANTING AND MAINTAINING TREES ON PROPERTY OWNED OR CONTROLLED BY THE CITY OF RALEIGH.

B. TREE PLANTING ON CITY PROPERTY

THE PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT IS RESPONSIBLE FOR PLAN REVIEW, INSPECTION, MONITORING AND ENFORCEMENT ASSOCIATED WITH TREE PLANTING AND MAINTENANCE ON PROPERTY OWNED OR CONTROLLED BY THE CITY.

- 1. DEVELOPMENT, PRIVATE CITIZEN OR CONTRACT PLANTING ON CITY OWNED OR CONTROLLED PROPERTY BY ANY INDIVIDUAL OR ORGANIZATION OTHER THAN THE CITY. THESE PROJECTS ARE AT THE EXPENSE OF THE REQUESTOR AND REQUIRE A TREE IMPACT PERMIT.
- PARTNERSHIP PLANTING UNDERTAKEN BY NON-PROFIT ORGANIZATIONS, PUBLIC-PRIVATE PARTNERSHIPS, AND CIVIC GROUPS. UNLESS WORK IS DONE UNDER STRICT GUIDANCE AND OVERSIGHT BY THE URBAN FORESTER. THESE PROJECTS ARE AT THE EXPENSE OF THE REQUESTOR AND REQUIRE A TREE IMPACT PERMIT.
- C. REQUESTS FOR TREE PLANTING
- 1. REQUESTS FOR TREE PLANTING AND TREE IMPACT PERMITS ARE EVALUATED IN THE ORDER IN WHICH THEY ARE RECEIVED. 2. TREE PLANTING IS CONTINGENT ON THE PLANTING SEASON, AVAILABILITY OF PLANT MATERIAL, SITE
- SUITABILITY, STAFFING, AND FUNDING
- 3. THE URBAN FORESTER OR DESIGNEE WILL PRIORITIZE TREE PLANTING REQUESTS ACCORDING TO THE FOLLOWING CRITERIA:
 - A. NEEDS BASED: AREAS IDENTIFIED WITH THE GREATEST TREE CANOPY DEFICITS
 - B. PRE-IDENTIFIED LOCATIONS: AREAS EARMARKED FOR BEAUTIFICATION IMPROVEMENTS
 - C. ON DEMAND: CITY DEPARTMENTS, VOLUNTEER GROUPS, NEIGHBORHOODS, CITIZENS, AND DEVELOPMENT

D. TREE QUALITY STANDARDS

- 1. GENERAL: FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, AND OTHER FEATURES INDICATED ON DRAWINGS AND COMPLYING WITH ANSI Z60.1, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING AND A VISIBLE ROOT FLARE. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT
- TREES WITH MULTIPLE LEADERS, UNLESS SPECIFIED, WILL BE REJECTED. TREES WITH DAMAGED OR CROOKED LEADERS, BARK ABRASIONS, SUNSCALD, DISFIGURING KNOTS, INSECT DAMAGE, OR CUTS ON LIMBS OVER 1/2 IN. IN DIAMETER THAT ARE NOT COMPLETELY CLOSED, OR ROOT FLARE MORE THAN 2" BELOW SURFACE OF ROOT BALL WILL BE REJECTED
- 3. SPECIES SELECTION
 - A. SELECTED TREE SPECIES SHALL BE OF A CULTIVAR THAT IS SUPERIOR IN FORM AND DISEASE RESISTANCE. PREFERENCE WILL BE GIVEN TO STREET TREES GROWN SPECIFICALLY FOR URBAN CONDITIONS.
 - B. EXOTIC INVASIVE SPECIES ARE NOT PERMITTED.
 - C. TREES TO BE INSTALLED UNDER OVERHEAD POWERLINES SHALL HAVE A MATURE HEIGHT OF NO GREATER THAN 30FT.
 - D. ALL SPECIES SELECTIONS SHALL BE REVIEWED BY THE URBAN FORESTER OR DESIGNEE.
 - E. SPECIES DIVERSITY IS ENCOURAGED TO IMPROVE OVERALL URBAN FOREST HEALTH.
 - F. ALL PLANT MATERIAL AND INSTALLATION WORK SHALL CONFORM TO THE STANDARDS DETAILED IN THIS MANUAL, THE AMERICAN NATIONAL STANDARDS FOR TREE CARE OPERATIONS, ANSI A300 AND NURSERY STOCK, ANSI Z60.1 AND APPROVED CITY STANDARD DETAILS.
- 4. ALL PLANT MATERIAL SHALL BE FREE OF ALL PESTS, DISEASES, AND CANKERS, IN HEALTHY CONDITION, AND FREE OF MECHANICAL DAMAGE AT THE TIME OF PLANTING AS DETERMINED BY URBAN FORESTRY STAFF.
- PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF LARGER SIZE MAY BE USED IF ACCEPTABLE TO URBAN FORESTER,
- WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
- 6. LABEL EACH PLANT OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CUI TIVAR IF APPLICABLE
- WHEN MORE THAN ONE PLANT OF ANY SPECIES IS PLANTED, ALL PLANT MATERIAL SHALL BE UNIFORM IN SIZE AND SHAPE WHEN POSSIBLE. ALL PLANT MATERIAL SHALL HAVE FULL FORM WITH EVEN-SPACED BRANCHING. ONE-SIDED PLANTS OR TIGHT ROW PLANTS ARE NOT ACCEPTABLE IF THE GROWTH HABIT IS ADVERSELY AFFECTED.
- 8. TREE AND SHRUB MEASUREMENTS
 - A. MEASURE ACCORDING TO ANSI Z60.1 WITH BRANCHES AND TRUNKS OR CANES IN THEIR NORMAL POSITION. DO NOT PRUNE TO OBTAIN REQUIRED SIZES.
 - B. INSTALLATION SIZE FOR RIGHT OF WAY TREES.
 - SHADE TREES SHALL BE A MINIMUM OF 3" CALIPER AND 10' TALL.
 - UNDERSTORY TREES SHALL BE A MINIMUM OF 1.5" CALIPER FOR SINGLE STEM AND 6' TALL FOR BOTH SINGLE AND MULTI-STEMMED TREES.
- 9. BALLED AND BURLAP (B&B), CONTAINER AND BARE ROOT PLANT MATERIALS
 - A. TREES DESIGNATED B&B SHALL BE PROPERLY DUG WITH FIRM, NATURAL BALLS OF SOIL WITH BALL SIZE NOT LESS THAN DIAMETER AND DEPTH RECOMMENDED BY ANSI Z60.1 FOR TYPE AND SIZE OF TREE, RETAINING AS MANY FIBROUS ROOTS AS POSSIBLE. BALLS SHALL BE FIRMLY WRAPPED WITH BIODEGRADABLE BURLAP AND SECURED WITH NAILS AS RECOMMENDED BY ANSI Z60.1.
 - B. THE ROOT FLARE SHALL BE APPARENT AT THE SURFACE OF THE ROOT BALL, OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOT BALL IN ORDER TO ESTABLISH THE CORRECT GRADE. TREES SHALL BE REJECTED IF THE ROOT FLARE HAS BEEN BURIED LONG ENOUGH FOR THE STEM TO SPROUT ADVENTITIOUS ROOTS. TREES WITH LOOSE, BROKEN, PROCESSED, OR MANUFACTURED ROOT BALLS WILL NOT BE ACCEPTED.
 - C. CONTAINER-GROWN STOCK SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED EXTERIOR PLANTS GROWN IN A CONTAINER WITH WELL-ESTABLISHED ROOT SYSTEM REACHING SIDES OF CONTAINER AND MAINTAINING A FIRM BALL WHEN REMOVED FROM CONTAINER. THE ROOT FLARE SHALL BE APPARENT AT SURFACE OF BALL. OR THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING EXCESS SOIL FROM THE TOP OF THE ROOT BALL IN ORDER TO ESTABLISH THE CORRECT GRADE. CONTAINER SHALL BE RIGID ENOUGH TO HOLD BALL SHAPE AND PROTECT ROOT MASS DURING SHIPPING AND BE SIZED ACCORDING TO ANSI Z60.1 FOR KIND, TYPE, AND SIZE OF EXTERIOR PLANT REQUIRED.
 - D. BARE ROOT MATERIAL SHALL BE GROWN IN THE GROUND IN THE NURSERY WITHOUT ARTIFICIAL ROOT RESTRICTION DEVICES, SUCH AS CONTAINERS OR FABRIC BAGS, UNDER FAVORABLE GROWING CONDITIONS AND WHICH HAVE RECEIVED THE PROPER CULTURAL TREATMENT TO DEVELOP A WELL-BRANCHED ROOT SYSTEM. AFTER HARVEST, THE SOIL IS REMOVED FROM THE ROOTS.
- 10. DELIVERY, STORAGE AND HANDLING
 - A. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK. BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD. DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY.
 - B. HANDLE PLANTING STOCK BY ROOT BALL. HEAVIER MATERIAL SHALL BE HANDLED WITH STRAPS ON THE ROOT BALL AND APPROPRIATE EQUIPMENT SUCH AS A SMALL SKID STEER LOADER.
 - C. DELIVER BARE-ROOT STOCK PLANTS FRESHLY DUG. IMMEDIATELY AFTER DIGGING UP BARE-ROOT STOCK, PACK ROOT SYSTEM IN WET STRAW, HAY, OR OTHER SUITABLE MATERIAL TO KEEP ROOT SYSTEM MOIST UNTIL PLANTING.
 - D. DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN SIX HOURS AFTER DELIVERY, SET EXTERIOR PLANTS IN THEIR APPROPRIATE ASPECT (SUN, FILTERED SUN, OR SHADE), PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
 - SET BALLED STOCK ON GROUND AND COVER BALL WITH SOIL, PEAT MOSS, SAWDUST, OR OTHER ACCEPTABLE MATERIAL.
 - DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING.
 - WATER ROOT SYSTEMS OF EXTERIOR PLANTS STORED ON-SITE WITH A FINE-MIST SPRAY.
 - WATER AS OFTEN AS NECESSARY TO MAINTAIN ROOT SYSTEMS IN A MOIST, BUT NOT OVERLY-WET CONDITION
 - HEEL-IN BARE-ROOT STOCK. SOAK ROOTS THAT ARE IN DRY CONDITION IN WATER FOR TWO HOURS. REJECT DRIED-OUT PLANTS

11. NURSERY

A. PLANTS SHALL BE GROWN WITHIN ONE COLD HARDINESS ZONE OF THE PROJECT SITE. B. PROVIDE DIGITAL PHOTOS FROM THE NURSERY WITH HEIGHT IDENTIFIED FOR REVIEW BY THE URBAN FORESTER OR DESIGNEE PRIOR TO DIGGING OR SHIPPING. ALL TREES SHALL ALSO BE REVIEWED AND APPROVED PRIOR TO INSTALLATION EITHER AT PLACE OF PURCHASE, NURSERY, HOLDING YARD OR WORK SITE BY THE URBAN FORESTER OR DESIGNEE

- 12. OBSERVATION AND REJECTION
- A. URBAN FORESTER OR DESIGNEE MAY OBSERVE TREES AT PLACE OF PURCHASE, NURSERY HOLDING YARD. OR AT SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS. SPECIES. VARIETY, SIZE, AND QUALITY. URBAN FORESTER RETAINS RIGHT TO OBSERVE TREES FURTHER FOR SIZE AND CONDITION OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES, AND LATENT DEFECTS AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROGRESS OF WORK. REMOVE REJECTED TREES IMMEDIATELY FROM PROJECT SITE.
- 13. SUBSTITUTIONS
 - A. REQUESTS FOR SUBSTITUTION FOR THE LISTED PLANT MATERIAL MUST BE MADE TO THE URBAN FORESTER IN WRITING. THE REQUEST SHALL INCLUDE A MINIMUM OF 5 NURSERIES ATTEMPTED FOR LOCATION AND CONTACT INFORMATION. SUBSTITUTIONS WILL BE CONSIDERED IF THE LISTED MATERIAL CANNOT BE LOCATED OR CONFIRMED BY KNOWN SUPPLIERS PLANT SUPPLIERS MUST BE RESEARCHED AND LOCATED PRIOR TO SUBMITTAL. IF PLANT MATERIAL SUBSTITUTIONS ARE TO BE MADE AFTER AWARD OF THE CONTRACT OR PERMIT, THE SUBSTITUTION MUST BE OF SIMILAR GROWTH HABIT, FORM, AND CHARACTERISTICS; SIMILAR IN SPECIFIED SIZE; AND EQUAL IN PRICE AND SUBJECT TO APPROVAL OR REJECTION BY THE URBAN FORESTER.
- B. IF FOR ANY REASON TREES CANNOT BE INSTALLED ACCORDING TO THE PLANS A REQUEST SHALL BE MADE TO THE URBAN FORESTER IN WRITING. THE CONTRACTOR SHALL INFORM THE CITY AND ALTERNATE PLANTING LOCATIONS SHALL BE SELECTED FOR APPROVAL BY THE URBAN FORESTER. E. TREE QUALITY STANDARDS
- 1. PLEASE REFER TO CITY OF RALEIGH STANDARD DETAILS LOCATED AT RALEIGHNC.GOV
- 2. LINEAR SPACING AND LOCATION
 - A. TREES WILL BE PLANTED IN ACCORDANCE WITH SPACING REQUIREMENTS DETAILED IN THE UNIFIED DEVELOPMENT ORDINANCE UNLESS OTHERWISE DIRECTED BY THE URBAN FORESTER OR DESIGNEE
 - B. TREES TO BE INSTALLED UNDER OVERHEAD UTILITY LINES SHALL HAVE A MATURE HEIGHT OF NO GREATER THAN 30FT.
 - C. GROUPED PLANTINGS
 - GROUPING TREES WHEREVER POSSIBLE AND DESIGNING TREE PITS OR MULCH AREAS THAT ALLOW SHARED ROOT SPACE PROVIDES A NUMBER OF BENEFITS TO THE HEALTH AND LONGEVITY OF URBAN TREES. DESIGNS THAT GROUP TREES ARE FAVORED OVER INDIVIDUAL PLANTINGS
- 3. EXECUTION A. TREE AND SHRUB EXCAVATION
 - PLANTING HOLE: EXCAVATE CIRCULAR PITS WITH SIDES SLOPED INWARD. TRIM BASE LEAVING CENTER AREA RAISED SLIGHTLY TO SUPPORT ROOT BALL AND ASSIST IN DRAINAGE. DO NOT FURTHER DISTURB BASE. SCARIFY SIDES OF PLANT PIT SMEARED OR SMOOTHED DURING EXCAVATION.
 - EXCAVATE APPROXIMATELY THREE TIMES AS WIDE AS BALL DIAMETER FOR ALL PLANT MATERIAL.
 - PLANTING HOLES SHALL BE NO DEEPER THAN THE ROOT FLARE OF THE TREE OR PLANT WHICH SHALL BE INSTALLED AT GRADE, A MAXIMUM OF 2 INCHES ABOVE GRADE, AND NEVER BELOW GRADE
 - SOIL REMOVED FROM EXCAVATIONS MAY BE USED AS BACKFILL PROVIDED IT MEETS THE SPECIFIED PLANTING SOIL MIX REQUIREMENTS.
 - OBSTRUCTIONS: NOTIFY URBAN FORESTER IF UNEXPECTED ROCK OR OBSTRUCTIONS
 - DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS. DRAINAGE: PLANTING HOLES NOT ASSOCIATED WITH A DRAIN SYSTEM SHALL DRAIN FULLY
 - WITHIN A 12-HOURPERIOD. NOTIFY URBAN FORESTER IF SUBSOIL CONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PITS.
 - B. TREE AND SHRUB PLANTING
 - BALL AND BURLAP
 - a. SET BALLED AND BURLAPPED STOCK PLUMB AND IN CENTER OF PIT OR TRENCH WITH ROOT FLARE AT GRADE. A MAXIMUM OF 2 INCHES ABOVE ADJACENT FINISH GRADES. AND NEVER BELOW GRADE. DO NOT MANEUVER BY TRUNK. HANDLE BY ROOT BALL
 - b. REMOVE BURLAP AND WIRE BASKETS FROM THE TOP ½ OF ROOT BALL, CUT OFF AND DISCARD FROM HOLE, BUT DO NOT REMOVE FROM UNDER ROOT BALLS. REMOVE PALLETS, IF ANY, BEFORE SETTING, DO NOT USE PLANTING STOCK IF ROOT BALL IS CRACKED OR BROKEN BEFORE OR DURING PLANTING OPERATION.
 - c. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS, TAMPING GENTLY TO SETTLE MIX AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PIT IS APPROXIMATELY ONE-HALF BACKFILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE WATER IS ABSORBED. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF PLANTING SOIL MIX.
 - CONTAINER
 - a. SET CONTAINER-GROWN STOCK PLUMB AND IN CENTER OF PIT OR TRENCH WITH ROOT FLARE AT GRADE, A MAXIMUM OF 2 INCHES ABOVE ADJACENT FINISH GRADES, AND NEVER BELOW GRADE. DO NOT MANEUVER BY TRUNK. HANDLE BY ROOT BALL ONLY.
 - b. CAREFULLY REMOVE ROOT BALL FROM CONTAINER WITHOUT DAMAGING ROOT BALL OR PLANT. GENTLY LOOSEN THE ROOTS AND CUT ANY GIRDLING ROOTS IN AT LEAST TWO PLACES
 - c. PLACE PLANTING SOIL MIX AROUND ROOT BALL IN LAYERS, TAMPING TO SETTLE MIX AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PIT IS APPROXIMATELY ONE-HALF BACKFILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE WATER IS ABSORBED. WATER AGAIN AFTER
 - BARE ROOT
 - a. FOLLOW THE METHOD FOR CONTAINER PLANTING. STAKING REQUIRED.

PLACING AND TAMPING FINAL LAYER OF PLANTING SOIL MIX.

- C. TREES IN SIDEWALKS, PITS, GRATES AND TREE LAWNS
 - TREE GRATES
 - a. 4' X 6' GRAY IRON, ADA COMPLIANT
 - b. TREE GRATES SHALL HAVE A PROVISION FOR TRUNK EXPANSION OF THE TREE. SUCH
 - AS POP OUT CONCENTRIC RINGS IN THE GRATE AROUND THE TRUNK. c. NO UTILITIES OR ELECTRICAL CONDUITS ARE PERMITTED WITHIN THE TREE PIT OR GRATE. UTILITIES MAY RUN BELOW AND THROUGH THE SUBSURFACE ROOT EXPANSION INFRASTRUCTURE.
 - TREES SHALL BE CENTERED IN THE PIT
 - TREE PITS SHALL ACCOMMODATE A DEPTH OF 3' OF PLANTING SOIL.

 - HIGH QUALITY PLANTING SOIL SHALL BE USED IN THE PIT DIRECTLY BELOW THE GRATE
- DRAINAGE SHALL BE PROVIDED. D. TREE LAWN
 - MINIMUM 6 FEET WIDE TREE LAWN.
 - TREE CENTERED IN AREA.
 - 600 CUBIC FEET OF HIGH-QUALITY PLANTING SOIL IN THE IMMEDIATE AREA WHERE TREE IS TO BE PLACED.

MAY ONLY BE USED IN COMBINATION WITH OTHER OPTIONS OR IN CASES WHERE CONNECTIONS TO AVAILABLE SOIL SPACE ACHIEVES THE 600 CUBIC

WHEN ROOT EXPANSION PATHS EXTEND UNDER THE SIDEWALK ENSURE

20-FOOT MINIMUM EXTENSION FOR EACH PATH. CONNECT TO ADJACENT ROOT

- E. REQUIRED SUBSURFACE ROOT EXPANSION
 - HIGH-QUALITY PLANTING SOIL OR STRUCTURAL SOIL SHALL BE USED TO ACCOMPLISH THE
 - SOIL VOLUME REQUIREMENT.
 - 600 CUBIC FEET OF SUBSURFACE ROOT EXPANSION AREA REQUIRED PER TREE.

MINIMUM DENSITY REQUIREMENTS ARE MET.

a. STRUCTURAL SOIL

d. SUSPENDED PAVEMENT

c. ROOT PATHWAYS

c.2.

c.3.

b. SUBSURFACE SOIL CONTAINMENT STRUCTURE

FEET REQUIREMENT

PATHS WHEN POSSIBLE.

e. EXCEPTIONS AND DESIGN ALTERNATIVES ARE ENCOURAGED TO ACHIEVE SOIL VOLUME: G. TREE PROTECTION URBAN FORESTER REVIEW REQUIRED. DESIGNS THAT GROUP TREES AND CONNECT ROOT SPACES WILL BE FAVORED AS WELL AS THE INTRODUCTION OF LID MATERIALS AND TECHNOLOGY.

F. ORGANIC MULCHING

- APPLY 3 INCH AVERAGE THICKNESS OF ORGANIC MULCH EXTENDING 12 INCHES BEYOND EDGE OF PLANTING PIT OR TRENCH. DO NOT PLACE MULCH WITHIN 3 INCHES OF TRUNKS OR STEMS. ROOT FLARE SHALL BE VISIBLE AT BASE OF ALL PLANT MATERIAL.
- MULCH SHALL BE THE RESPONSIBILITY OF THE ADJACENT PROPERTY OWNER TO REFRESH AS NEEDED AND KEEP FREE OF DEBRIS AND TRASH.

- BACKFILL DIRECTLY IN TREE PIT OR PLANTING AREA SHALL BE HIGH-QUALITY PLANTING SOIL SUITABLE FOR SUCCESSFUL GROWTH.
- IF SOIL ON SITE IS SUITABLE IT MAY BE MIXED AT A RATE OF 50% WITH HIGH-QUALITY PLANTING
- SOIL MUST BE FREE OF SUBSOIL, HARD CLODS, STONE, RESIDUES OR UNDESIRABLE
- MATERIALS, STICKS, WEED SEED AND UNIFORM IN QUALITY. • THE URBAN FORESTER OR DESIGNEE MAY REJECT UNSUITABLE SOIL.

H. GUYING AND STAKING

- DO NOT STAKE UNLESS THE TREE BECOMES UNSTABLE OR IT IS A HIGH WIND AREA.
- REMOVE ALL STAKING MATERIAL AFTER 1 YEAR.
- LEAVE SLIGHT SLACK IN TIE TO PROMOTE TRUNK TAPER.
- UPRIGHT STAKING AND TYING: WHEN REQUIRED USE A MINIMUM OF 3 STAKES. SET VERTICAL STAKES AND SPACE TO AVOID PENETRATING ROOT BALLS OR ROOT MASSES. SUPPORT TREES WITH TWO STRANDS OF TIE WIRE ENCASED IN HOSE SECTIONS OR ARBORIST TAPE AT CONTACT POINTS WITH TREE TRUNK. ALLOW ENOUGH SLACK TO AVOID RIGID RESTRAINT OF TREE. SPACE STAKES EQUALLY AROUND TREES AND ATTACH FLAGS TO EACH GUY WIRE FOR

F. MAINTENANCE AND WARRANTY STANDARDS

VISIBILITY.

A TREE IMPACT PERMIT IS REQUIRED FOR MAINTENANCE ACTIVITIES

IT IS THE ADJACENT PROPERTY OWNER'S RESPONSIBILITY TO MAINTAIN THE MULCH RING OR TREE GRATE AROUND TREES IN THE RIGHT OF WAY AND PREVENT STRING TRIMMER OR MOWER DAMAGE.

A 2-YEAR WARRANTY AND MAINTENANCE PERIOD IS REQUIRED AFTER THE FINAL INSPECTION OF PERMITTED PLANTING.

- 1. TREE AND PLANT MAINTENANCE A. MAINTAIN PLANTINGS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, MULCHING, RESTORING PLANTING SAUCERS, ADJUSTING AND REPAIRING TREE-STABILIZATION DEVICES, RESETTING TO PROPER GRADES OR VERTICAL POSITION, AND PERFORMING OTHER OPERATIONS AS REQUIRED TO ESTABLISH HEALTHY, VIABLE PLANTINGS. SPRAY OR TREAT AS REQUIRED TO KEEP PLANTS FREE OF INSECTS AND DISEASE.
 - B. FILL IN AS NECESSARY SOIL SUBSIDENCE THAT MAY OCCUR BECAUSE OF SETTLING, RUTTING OR DAMAGE BY EQUIPMENT OR OTHER PROCESSES. REPLACE MULCH MATERIALS DAMAGED OR LOST IN AREAS OF SUBSIDENCE
 - APPLY TREATMENTS AS REQUIRED TO KEEP PLANT MATERIALS, PLANTED AREAS AND SOILS FREE OF PESTS AND PATHOGENS OR DISEASE. USE INTEGRATED PEST MANAGEMENT PRACTICES WHENEVER POSSIBLE TO MINIMIZE THE USE OF PESTICIDES AND REDUCE HAZARDS. TREATMENTS INCLUDE PHYSICAL CONTROLS SUCH AS HOSING OFF FOLIAGE, MECHANICAL CONTROLS SUCH AS TRAPS, AND BIOLOGICAL CONTROL AGENTS.

2. WATERING INSTRUCTIONS

- A. PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND WATERING EQUIPMENT TO CONVEY WATER FROM SOURCES.
- B. SCHEDULE WATERING TO COMPLY WITH THE CITY OF RALEIGH WATER CONSERVATION ORDINANCE. WATERING VOLUMES SHOULD BE BASED UPON DELIVERY OF INCH OF MOISTURE PER WEEK TO THE PLANT IF PRECIPITATION DOES NOT MEET THAT AMOUNT DURING THE ACTIVE GROWING SEASON
- DEFINED AS APRIL 1 THROUGH NOVEMBER 1 D. SUPPLEMENTAL WATER SHALL BE APPLIED DURING THE ESTABLISHMENT PERIOD AS FREQUENTLY AS 3 TIMES PER WEEK AND DURING PERIODS OF DROUGHT OR EXCESSIVE HEAT.
- E. USE A SLOW FLOW HOSE END DEVICE AND WATER EACH TREE AT THE BASE FOR SEVERAL MINUTES. COMMERCIALLY AVAILABLE WATER BAGS ARE ACCEPTABLE. AT EACH VISIT MAKE SURE THE BAG IS EMPTY, THOROUGHLY SOAK THE ROOT BALL, THEN REFILL THE BAG CHECKING THE EMITTERS ALLOW FREE FLOW OF WATER TO ENSURE THE BAG WILL DRAIN. ALL WATERING BAGS SHALL BE REMOVED FROM TREES STARTING NOVEMBER 1 UNTIL APRIL 1 OF FOLLOWING YEAR.

MULCH

- MAINTAIN A 3-INCH AVERAGE THICKNESS OF ORGANIC MULCH EXTENDING 12 INCHES BEYOND EDGE OF PLANTING PIT OR TRENCH. TYPICAL MATERIAL IS SHREDDED HARDWOOD, PINE BARK, WOOD CHIPS OR PINE STRAW (NOT PERMITTED WITHIN 10' OF STRUCTURES).
- B. MULCH TO THE DRIP LINE OF MATURE TREES.
- C. DO NOT PLACE MULCH WITHIN 3 INCHES OF TRUNKS OR STEMS. ROOT FLARE SHALL BE VISIBLE AT BASE OF ALL PLANT MATERIAL.
- D. KEEP MULCH FREE OF WEEDS, TRASH AND DEBRIS
- THE MULCH RING PREVENTS STRING TRIMMER, MOWER AND OTHER MECHANICAL DAMAGE. IT ALSO IMPROVES SOIL QUALITY, MOISTURE AND TEMPERATURE EXCHANGE, AESTHETICS AND OVERALL HEALTH AND LONGEVITY OF THE URBAN TREE

4. TREE GRATES

- A. TREE GRATE MAINTENANCE IS THE RESPONSIBILITY OF THE ADJACENT PROPERTY OWNER. MAINTAIN GRATES FREE OF WEEDS TRASH AND DEBRIS
- REPLENISH GRAVEL AS NEEDED TO MAINTAIN AN EVEN SURFACE. GRAVEL SHALL MATCH EXISTING MATERIAL; TYPICALLY GRAY PEA GRAVEL/ #67 WASHED STONE GRAVEL.
- C. NOTIFY URBAN FORESTER IF THE TREE GRATE IS GIRDLING TREE OR CAUSING DAMAGE TO TREE.

5. PESTICIDE AND HERBICIDE APPLICATION

- APPLY PESTICIDES AND OTHER CHEMICALS AND BIOLOGICAL CONTROL AGENTS IN ACCORDANCE WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION AND MANUFACTURER'S WRITTEN RECOMMENDATIONS. COORDINATE APPLICATIONS WITH CITY OPERATIONS AND OTHERS IN PROXIMITY TO THE WORK. NOTIFY URBAN FORESTER BEFORE EACH APPLICATION IS PERFORMED OR AS SPECIFIED IN PERMIT
- B. PRE-EMERGENT HERBICIDE: APPLY TO TREE, SHRUB AND GROUND-COVER AREAS IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS. DO NOT APPLY TO SEEDED AREAS.
- POST-EMERGENT HERBICIDE: APPLY ONLY AS NECESSARY TO TREAT ALREADY-GERMINATED WEEDS AND IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.

6. TREE PRUNING

A. ALL TREE PRUNING SHALL BE DONE BY OR UNDER THE SUPERVISION OF AN ISA CERTIFIED ARBORIST B. ANSI A-300 PRUNING STANDARDS SHALL APPLY (CHAPTER 6)

7. ROOT PRUNING

- A. AREA FOR ROOT PRUNING MUST BE APPROVED BY AN ISA CERTIFIED ARBORIST TO PREVENT A HAZARDOUS TREE CONDITION (CHAPTER 6)
- B. ACCEPTABLE METHODS OF CUTTING ARE BY SHARP HAND PRUNERS, LOPPERS, HAND SAW OR HYDRAULIC TOOLS. IMPLEMENT MUST LEAVE A CLEAN CUT.
- C. IF EXCAVATION CAUSES PRUNED ROOTS OVER 1.5" IN DIAMETER TO REMAIN EXPOSED FOR MORE THAN 24 HOURS, ROOTS ON TREE SIDE SHALL BE KEPT MOIST. BACKFILL WITH TOPSOIL, MOIST MULCH, OR DRAPE WITH WET BURLAP
- D. WHERE CONCRETE IS POURED ADJACENT TO PRUNED ROOTS HEAVY DUTY PLASTIC SHALL BE INSTALLED AGAINST THE TREE SIDE OF THE PRUNED ROOTS TO PREVENT UPTAKE (TOXIC TO TREE)

8. TREE REPLACEMENT OF WARRANTIED TREES

- A. TREES SHALL BE REPLACED IN THE NEXT PLANTING SEASON IF THEY ARE MORE THAN 25% DEAD, IN RAPID DECLINE, ARE INFESTED BY INSECTS OR DISEASE, HAVE LOST THE NATURAL SHAPE DUE TO DEAD BRANCHES, EXCESSIVE PRUNING INCLUDING VANDALISM, INADEQUATE OR IMPROPER MAINTENANCE, OR ARE FAILING DUE TO OTHER CAUSES.
- B. REPLACEMENT TREES INSTALLED AFTER THE 1ST YEAR OF A 2-YEAR WARRANTY/MAINTENANCE PERIOD SHALL GET A FULL 1 YEAR OF WARRANTY/MAINTENANCE FROM THE TIME OF PLANTING
- C. DEAD, DYING, DISEASED OR VANDALIZED TREES THAT ARE DESTROYED SHALL BE REMOVED WITHIN 15 BUSINESS DAYS.
- D. REPLACEMENT TREE SPECIES MAY BE CHANGED WITH APPROVAL FROM URBAN FORESTER OR DESIGNEE

A TREE PROTECTION PLAN IS REQUIRED FOR ANY ACTIVITY IMPACTING CITY TREES INTENDED TO REMAIN.

1 TREE PROTECTION PLAN

- A. SUBMIT PROJECT PLANS SHOWING TREE PROTECTION WITH THE TREE IMPACT PERMIT REQUEST.
- B. TREE PROTECTION PLAN SHALL INCLUDE ALL THAT APPLY
 - EXISTING TREES ON SITE CRITICAL ROOT ZONES OF PROTECTED TREES
 - TREE PROTECTION FENCING DELINEATION AND SPECIFICATION
 - OTHER PRODUCTS FOR PROTECTION (MULCH/MATTING/ETC.)
 - REMEDIATION
- 2. TREE PROTECTION FENCING SHALL BE INSTALLED AT A MINIMUM RADIUS OF THE CRITICAL ROOT ZONE (CRZ) OF TREES (CRZ DEFINED AS RADIUS 1.25' FEET PER CALIPER INCH AT DBH FROM TRUNK OF TREE).
- 3. TREE PROTECTION SIGNAGE REQUIRED EVERY 50 FEET.
- 4. IF CONSTRUCTION OCCURS WITHIN THE CRZ AT LEAST 12" OF MULCH SHALL BE PLACED AND/OR LOGGING MATS WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE AND IDENTIFY ON PLAN.
- 5. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.
- 6. THERE WILL BE ZERO TOLERANCE FOR STORING OR PARKING VEHICLES, SUPPLIES, OR EQUIPMENT UNDER PROTECTED TREES.
- 7. REMEDIATION INCLUDES BUT IS NOT LIMITED TO REPLACEMENT. PRUNING. SUPPLEMENTAL WATER. MULCH NUTRITION (FERTILIZER, ORGANIC MATTER, ETC.), INSECT/DISEASE CONTROL, STAKING AND COMPACTION MITIGATION
- 8. AFTER CONSTRUCTION OR IMPACT PROTECTION DEVICES SHALL BE REMOVED. MULCH OR OTHER MATERIALS USED FOR A ROOT BUFFER SHALL BE REMOVED BY HAND WITHIN THE CRITICAL ROOT ZONE. IT MAY BE REMOVED MECHANICALLY BEYOND THIS ZONE. THERE SHALL BE 3" OF MULCH LEFT ON SITE AS DESCRIBED IN SECTION F.3 OF THIS CHAPTER.

CONTENT: CITY OF RALEIGH STANDARD

DETAILS AND NOTES FOR CITY TREE

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REVISIONS:

DRAWN BY:

CHECKED BY: KT

PROJECT: | SP-23129.200

ISSUE: Administrative Site Review 11.09.2023

LANDSCAPE NOTES:

AWAY FROM TREE TRUNKS OR STEMS.

NO CURBING EXISTS.

DOCUMENTS.

1. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION

5. LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

6. ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.

2. THE PLAN DEPICTS REQUIRED PLANTINGS REQUIRED BY THE CITY OF RALEIGH.

13. MIN. 20' DISTANCE SHALL BE PROVIDED BETWEEN LIGHT POLES AND TREE TRUNKS.

15. TREES SHALL NOT BE IN THE CURVE TRANSITIONING FROM ONE STREET TO ANOTHER.

16. TREES WITHIN 20 FT. OF OVERHEAD POWER LINE(S) SHOULD BE UNDERSTORY TREES.

14. TREES SHALL BE 30' MIN FROM STOP SIGNS AND 10' MIN FROM DRIVEWAYS AND UTILITY POLES.

4. ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.

- SPACES.

BACKFLOW-DEVICE HOTBOX; ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE OR WALL.

- 18. A TREE IMPACT PERMIT IS REQUIRED FOR TREES INSTALLED IN THE PUBLIC RIGHT-OF-WAY PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.

17. CONTRACTOR SHALL NOT PLANT TREES/SHRUBS AT ANY LOCATION WHERE THEY WILL INTERFERE WITH PEDESTRIANS EXITING AUTOS PARKED IN PARALLEL

3. ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.

ALL PLANTING BEDS ARE TO BE MULCHED TO A DEPTH OF 3 INCHES, WITH AGED TRIPLE SHREDDED HARDWOOD MULCH FROM A SINGLE SOURCE COMMERCIAL

ALL LAWN AREAS TO BE SEEDED OR/AND SODDED AS PER MANUFACTURE'S SPECIFICATIONS. REFER TO LANDSCAPE PLAN(S). ALL DISTURBED AREA SHALL EITHER BE MULCH OR LAWN.

WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE,

HVAC EQUIPMENT AND UTILITY DEVICES (TO INCLUDE, BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS; ELECTRICAL TRANSFORMERS;

12. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.

BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF

ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY

AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION

VENDOR WITH A MAXIMUM PARTICLE SIZE OF 2 INCHES, FREE OF WEED SEED AND WASTE MATERIALS. NO PINE STRAW PERMITTED. KEEP MULCH 4 TO 6 INCHES

- 19. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO).
 - LANDSCAPE NOTES SCALE: NTS

