

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

**Site Plan Tier:** Tier Two Site Plan  Tier Three Site Plan

Building and Development Type (Check all that apply)		Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____

## GENERAL INFORMATION

Development name: \_\_\_\_\_

Inside City limits? Yes  No

Property address(es): \_\_\_\_\_

Site P.I.N.(s): \_\_\_\_\_

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**Current Property Owner(s):**

Company: \_\_\_\_\_ Title: \_\_\_\_\_

Address: \_\_\_\_\_

Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

**Applicant Name (If different from owner. See “who can apply” in instructions):**

Relationship to owner:  Lessee or contract purchaser  Owner’s authorized agent  Easement holder

Company: \_\_\_\_\_ Address: \_\_\_\_\_

Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b>	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court? <input type="radio"/> Yes <input type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input type="radio"/> No

Continue to Applicant Signature Block on Page 4.

**APPLICANT SIGNATURE BLOCK**



Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

Acting as an authorized agent requires written permission from the property owner for the purposes of making this development approval and/or permit application. Written permission from the property owner to act as an authorized agent must be made available to the City of Raleigh upon request.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that development approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued, and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: 	Date: 10/17/24
Printed Name: Carl Boram	
Signature: 	Date: 10/17/24
Printed Name: <del>Jake Gill</del> Alexis Dunfee	

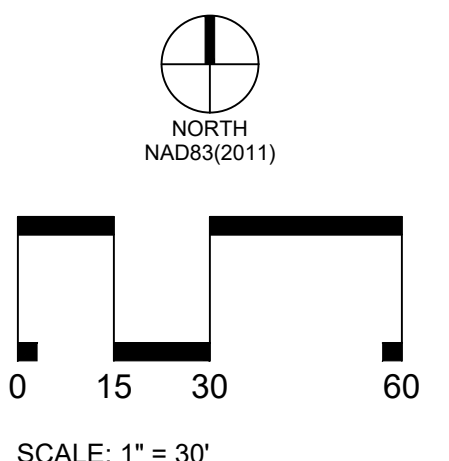
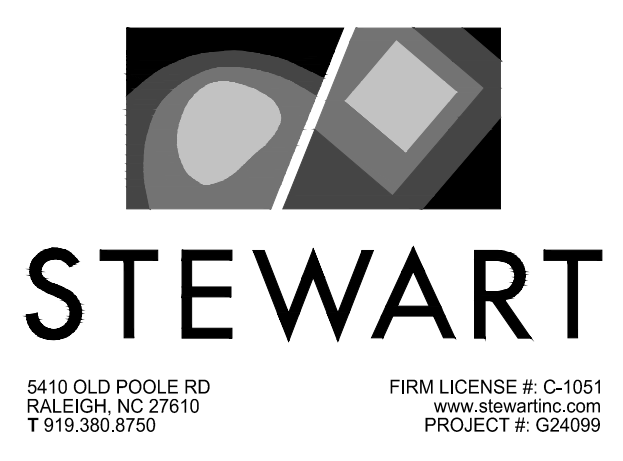
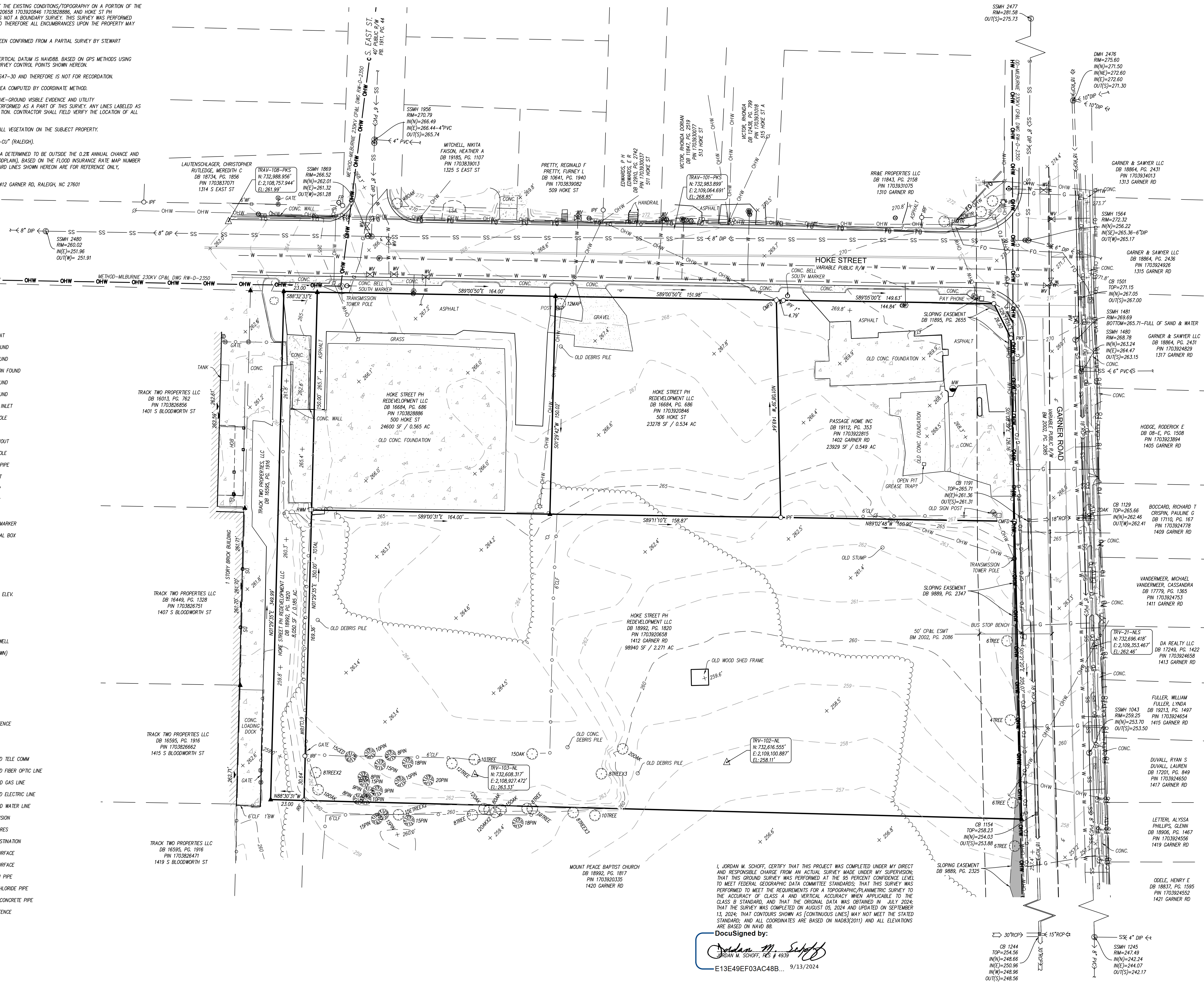


**GENERAL NOTES**

1. THIS SURVEY MAP IS INTENDED TO REPRESENT THE EXISTING CONDITIONS/TOPOGRAPHY ON A PORTION OF THE PROPERTY OF PASSAGE HOME INC. PIN 1703920846 1703920846, AND HOKE ST PH REDEVELOPMENT LLC, PIN 1703920846, AND IS NOT A BOUNDARY SURVEY. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT AND THEREFORE ALL ENCUMBRANCES UPON THE PROPERTY MAY NOT BE SHOWN.
2. THE PROPERTY LINES SHOWN HEREIN HAVE BEEN CONFIRMED FROM A PARTIAL SURVEY BY STEWART ENGINEERING.
3. HORIZONTAL DATUM IS NAD 83 (2011) AND VERTICAL DATUM IS NAVD83, BASED ON GPS METHODS USING REAL-TIME KINEMATIC SOLUTIONS FOR THE SURVEY CONTROL POINTS SHOWN HEREON.
4. THIS DRAWING DOES NOT CONFORM TO N.C. GS47-30 AND THEREFORE IS NOT FOR RECORDATION.
5. ALL DISTANCES ARE IN U.S. SURVEY FEET. AREA COMPUTED BY COORDINATE METHOD.
6. UTILITIES SHOWN HEREON ARE BASED ON ABOVE-GROUND VISIBLE EVIDENCE AND UTILITY DESIGNATION/MARKING SERVICES (LEVEL B) PERFORMED AS A PART OF THIS SURVEY. ANY LINES LABELED AS OLC OR OLD ARE BASED ON RECORD INFORMATION. CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE COMMENCING CONSTRUCTION.
7. TREES SHOWN HEREON MAY NOT REPRESENT ALL VEGETATION ON THE SUBJECT PROPERTY.
8. THE SUBJECT PROPERTY IS ZONED "OX-4-PL-CU" (RALEIGH).
9. THE SUBJECT PROPERTY LIES IN ZONE X (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE AND FUTURE CONDITIONS 1% ANNUAL CHANCE FLOODPLAIN), BASED ON THE FLOOD INSURANCE RATE MAP NUMBER 3720170300K DATED 7/19/2022. FLOOD HAZARD LINES SHOWN HEREON ARE FOR REFERENCE ONLY, DOWNLOADED FROM FIRM5.NC.GOV.
10. SITE ADDRESS: 500, 506 HOKE ST & 1402, 1412 GARNER RD, RALEIGH, NC 27601

**LEGEND**

- △ CONTROL POINT
- IPF IRON PIPE FOUND
- IRF IRON ROD FOUND
- CMF CONCRETE MON FOUND
- MGF MAG NAIL FOUND
- R/M R/W MON FOUND
- ⊕ STORM CURB INLET
- ⊕ STORM MANHOLE
- DS DOWN SPOUT
- ⊕ SEWER CLEANOUT
- ⊕ SEWER MANHOLE
- \* SVP SEWER VENT PIPE
- ⊕ FIRE HYDRANT
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ GAS METER
- FP FIBER OPTIC MARKER
- ⊕ TS TRAFFIC SIGNAL BOX
- ⊕ HH HANDHOLE
- ⊕ GUY WIRE
- ⊕ LIGHT POLE
- ⊕ UTILITY POLE
- 100.00' FINISH FLOOR ELEV.
- ⊕ MAILBOX
- ⊕ SIGN
- ⊕ GATE
- ⊕ MW MONITORING WELL
- TREE TREE (UNKNOWN)
- CED CEDAR
- MAP MAPLE
- MYR MYRTLE
- OAK OAK
- PIN PINE
- CHAIN LINK FENCE
- WOOD FENCE
- TREELINE
- UNDERGROUND TELE COMM
- FO UNDERGROUND FIBER OPTIC LINE
- G UNDERGROUND GAS LINE
- E UNDERGROUND ELECTRIC LINE
- W UNDERGROUND WATER LINE
- CATV CABLE TELEVISION
- OHW OVERHEAD WIRES
- UNKNOWN DESTINATION
- CONCRETE SURFACE
- CONCRETE SURFACE
- DIP DUCTILE IRON PIPE
- PVC POLYVINYL CHLORIDE PIPE
- RCP REINFORCED CONCRETE PIPE
- CLF CHAIN LINK FENCE
- WF WOOD FENCE



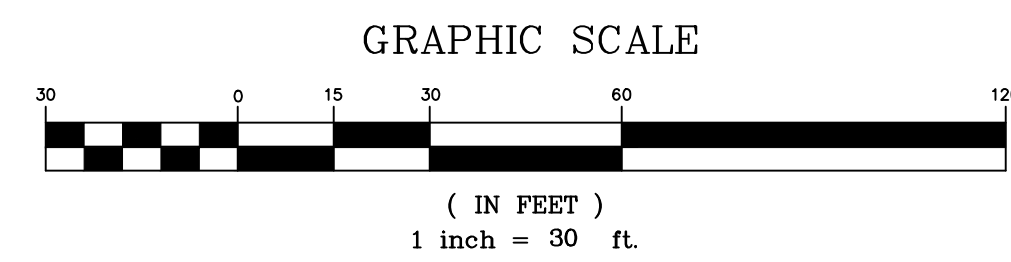
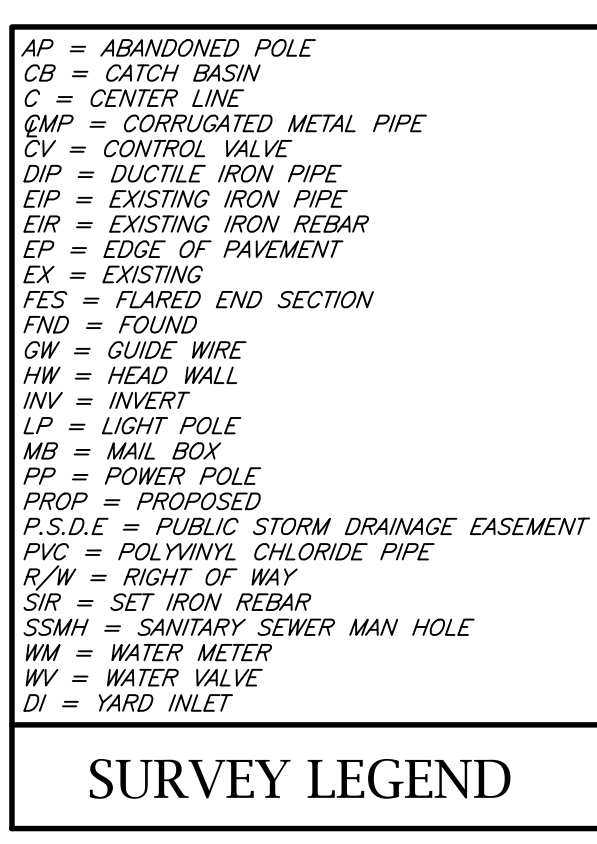
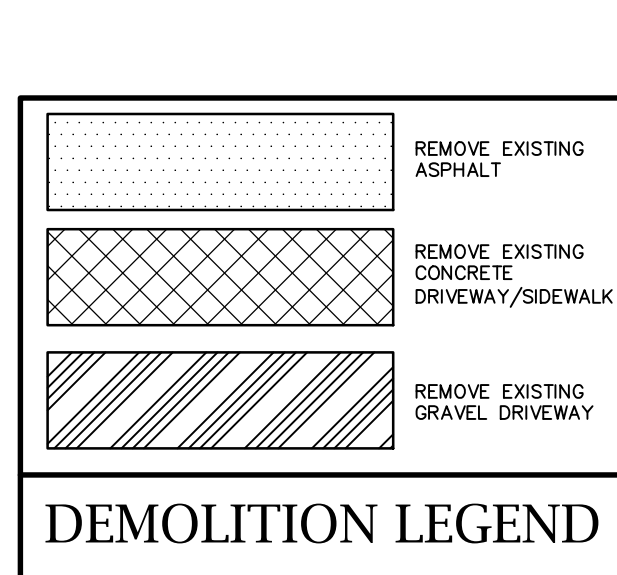
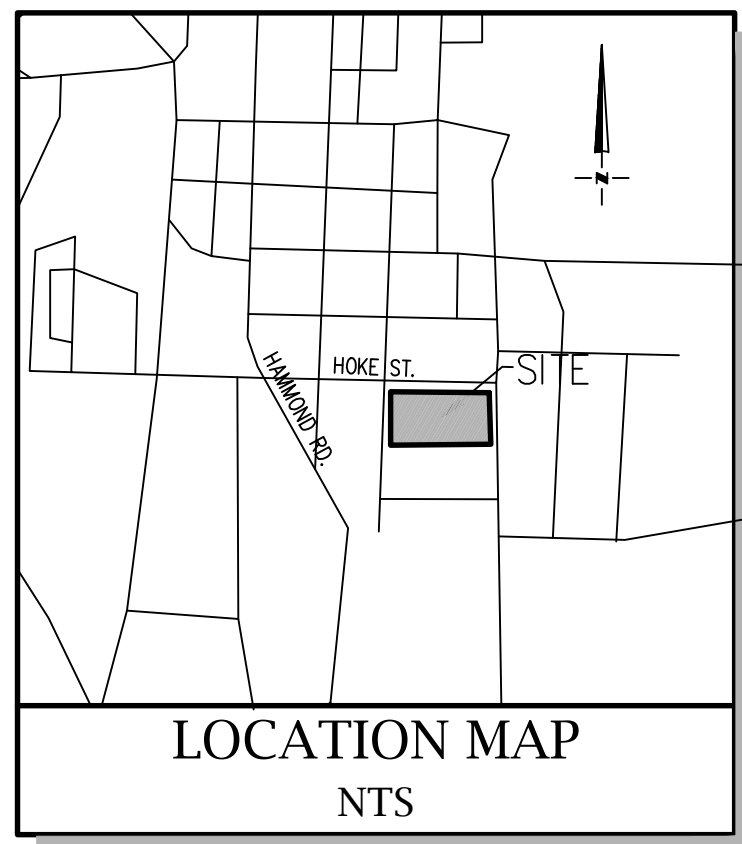
**EXISTING CONDITIONS SURVEY FOR:**  
**HOKE STREET APARTMENTS**  
 RALEIGH TOWNSHIP, CITY OF RALEIGH  
 WAKE COUNTY, NORTH CAROLINA  
 DATE: 08/05/2024 SCALE: 1" = 30'  
 PREPARED FOR: WALLICK COMMUNITIES

Revisions:

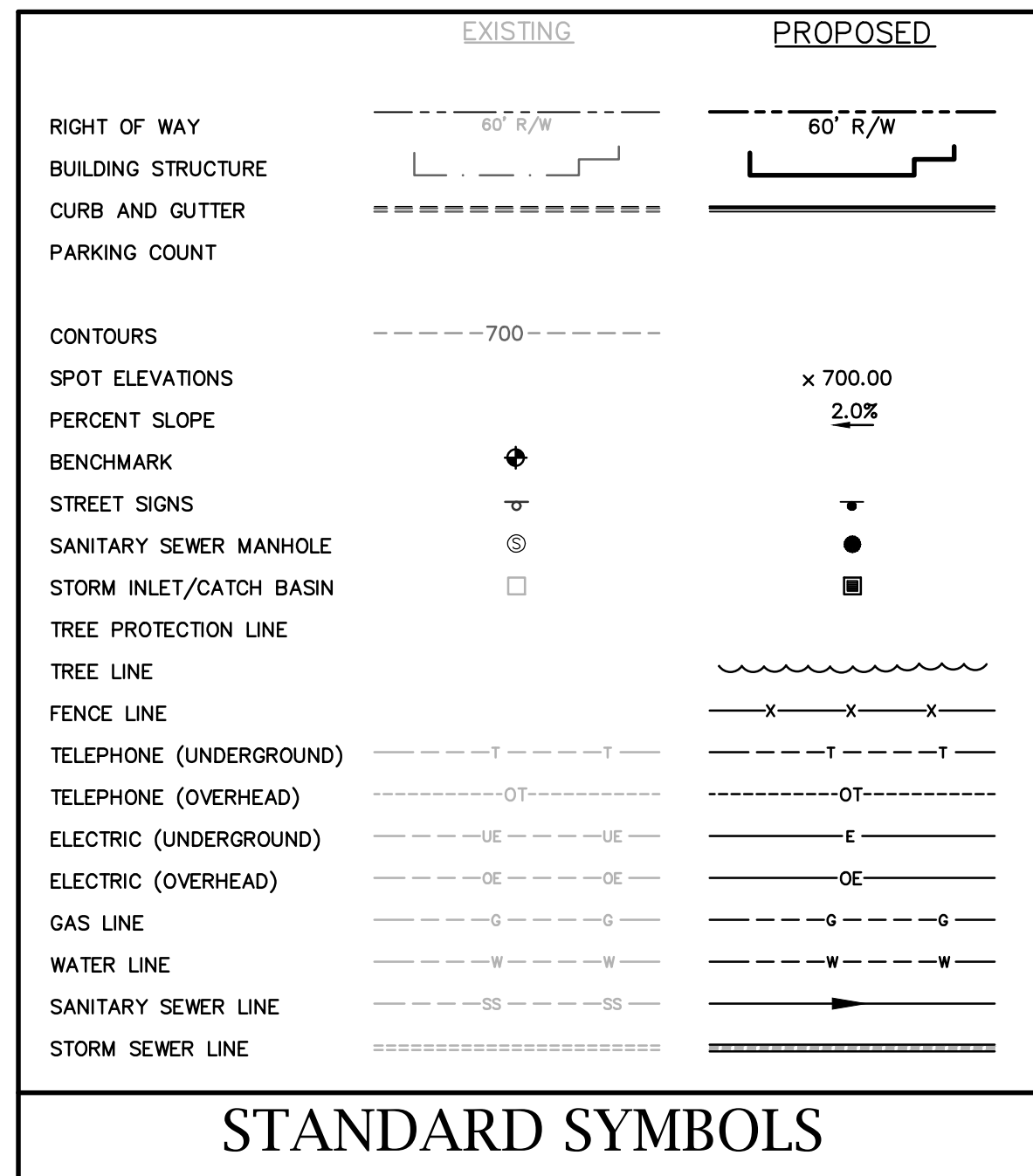
No.	Date	Description
01	08-13-2024	COMMENTS

I, JORDAN M. SCHOFF, CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THIS GROUND SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THIS SURVEY WAS PERFORMED TO MEET THE REQUIREMENTS FOR A TOPOGRAPHIC/PLANNIMETRIC SURVEY TO THE ACCURACY OF CLASS A, AND VERTICAL ACCURACY WHEN APPLICABLE TO THE CLASS B STANDARD, AND THAT THE ORIGINAL DATA WAS OBTAINED IN JULY 2024; THAT THE SURVEY WAS COMPLETED ON AUGUST 05, 2024 AND UPDATED ON SEPTEMBER 13, 2024; THAT CONTOURS SHOWN AS (CONTINUOUS LINES) MAY NOT MEET THE STATED STANDARD; AND ALL COORDINATES ARE BASED ON NAD83(2011) AND ALL ELEVATIONS ARE BASED ON NAVD83.

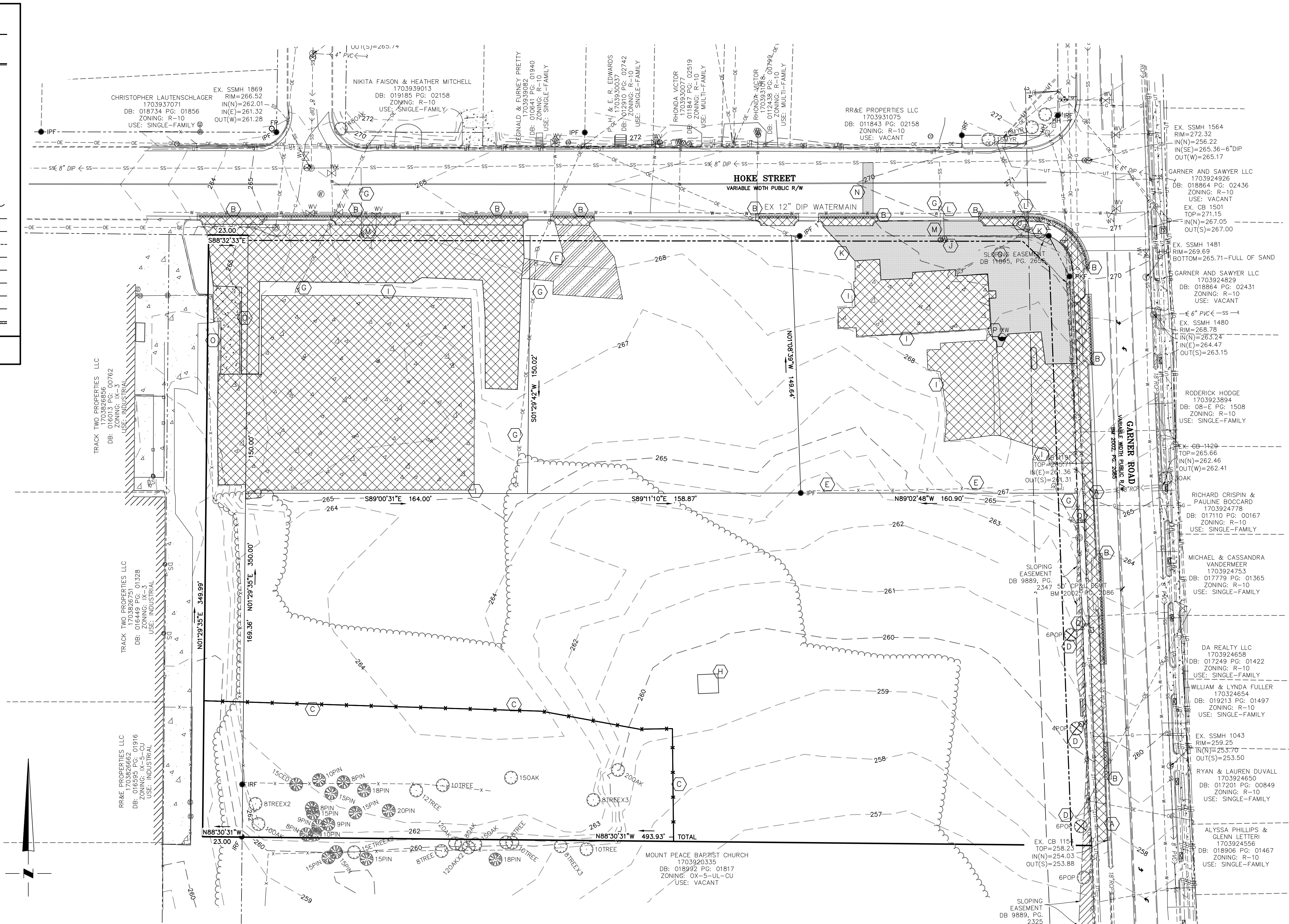
DocuSigned by:  
  
 JORDAN M. SCHOFF, PLS # 4939  
 E13E49E0F3AC48B... 9/13/2024



- DEMOLITION NOTES**
1. THE CONTRACTOR SHALL OBTAIN NECESSARY DEMOLITION PERMIT PRIOR TO ANY REMOVAL OF STRUCTURES, UTILITIES, ETC.
  2. SITE DEMOLITION WORK SHALL INCLUDE REMOVAL OF ALL BUILDING STRUCTURES, ASSOCIATE UTILITIES, FOUNDATIONS, CONCRETE WALKS, CURB AND GUTTER AND SPECIFIED ASPHALT.
  3. THE CONTRACTOR SHALL NOTIFY ALL PERTINENT UTILITY COMPANIES AT LEAST 72 HOURS PRIOR TO ANY DEMOLITION WORK.
  4. TRENCHES AND EXCAVATION AREAS SHALL BE RECOMPACTED TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY.
  5. THE CONTRACTOR SHALL PROVIDE TREE PROTECTION FOR EXISTING TREES WHERE SPECIFIED.
  6. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF AT A PERMITTED FACILITY.
  7. REFER TO SHEET C3.0 FOR PLACEMENT OF EROSION CONTROL MEASURES AND RELATED NOTES.
  8. THE REMOVAL OR RELOCATION OF EXISTING LIGHT POLES SHALL BE COORDINATED WITH RESPECTIVE UTILITY OR LIGHTING COMPANY.
  9. EXISTING PAVEMENT AND CURB SHOWN TO BE REMOVED SHALL BE SAW CUT.



- KEY NOTES:**
- CONTRACTOR SHALL SAWCUT AND REMOVE EXISTING CONCRETE SIDEWALK.
  - CONTRACTOR SHALL SAWCUT AND REMOVE EXISTING CURB AND GUTTER, MARKED WITH AN "X". CONTRACTOR SHALL REMOVE CURB AND GUTTER BACK TO AN EVEN JOINT.
  - INSTALL PROPOSED TREE PROTECTION FENCE AT BEGINNING OF CONSTRUCTION SEE DETAIL 9/C9.8.
  - CONTRACTOR SHALL REMOVE EXISTING TREES MARKED WITH "X" OTHER TREES WITHIN THE DENUDED LIMITS SHALL ALSO BE REMOVED THOSE SHOWN WITH AN "X" ARE LARGER DIAMETER TREES LOCATED BY THE SURVEYOR.
  - CONTRACTOR SHALL REMOVE EXISTING FENCE/CABLE.
  - CONTRACTOR SHALL REMOVE EXISTING GRAVEL DRIVEWAY.
  - CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES TO DISCONNECT ALL EXISTING UTILITIES TO THE EXISTING STRUCTURES.
  - CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS TO DEMOLISH EXISTING STRUCTURES.
  - DEMOLISH OLD FOUNDATION.
  - CONTRACTOR SHALL COORDINATE WITH CITY OF RALEIGH TO REMOVE EXISTING DOMESTIC WATER METER SERVICES.
  - CONTRACTOR SHALL SAWCUT AND REMOVE EXISTING ASPHALT.
  - OWNER SHALL COORDINATE WITH UTILITY COMPANY TO KILL EXISTING WATER SERVICES AT WATER MAIN BY CLOSING CORPORATION STOP AND CAPPING WATER SERVICE AND THEN REPAIRING ROAD AS NECESSARY. EXISTING WATER SERVICE TO COMMUNITY BUILDING TO REMAIN IN SERVICE DURING CONSTRUCTION AND THEN TO BE REMOVED AT END OF CONSTRUCTION BY OWNER.
  - OWNER SHALL COORDINATE WITH UTILITY COMPANY TO CAP EXISTING SANITARY SEWER SERVICE BY COORDINATING WITH THE CITY OF RALEIGH PUBLIC WORKS.
  - CONTRACTOR SHALL SAWCUT AND REMOVE EXISTING ASPHALT TO INSTALL NEW WATER AND SANITARY SEWER CONNECTIONS
  - CONTRACTOR TO DEMO EXISTING RETAINING WALL LOCATED IN ALLEY.
  - CONTRACTOR TO SEE ENVIRONMENTAL PLANS FOR REMOVAL/RELOCATION OF EXISTING MONITORING WELL.
  - CONTRACTOR TO REMOVE EXISTING SIGN AND REINSTALL PER SITE PLAN C2.1.



**MC<sup>2</sup> ENGINEERING**  
 ENGINEERING  
 2110 BEN CRAIG DR., STE. 400  
 CHARLOTTE, NC 28262  
 PHONE 704.510.1979

**HOKE STREET APARTMENTS**  
 HOKE STREET  
 RALEIGH, NC 27601

**WALLICK ASSET MANAGEMENT LLC**  
 160 W MAIN STREET #200  
 NEW ALBANY, OH 43054

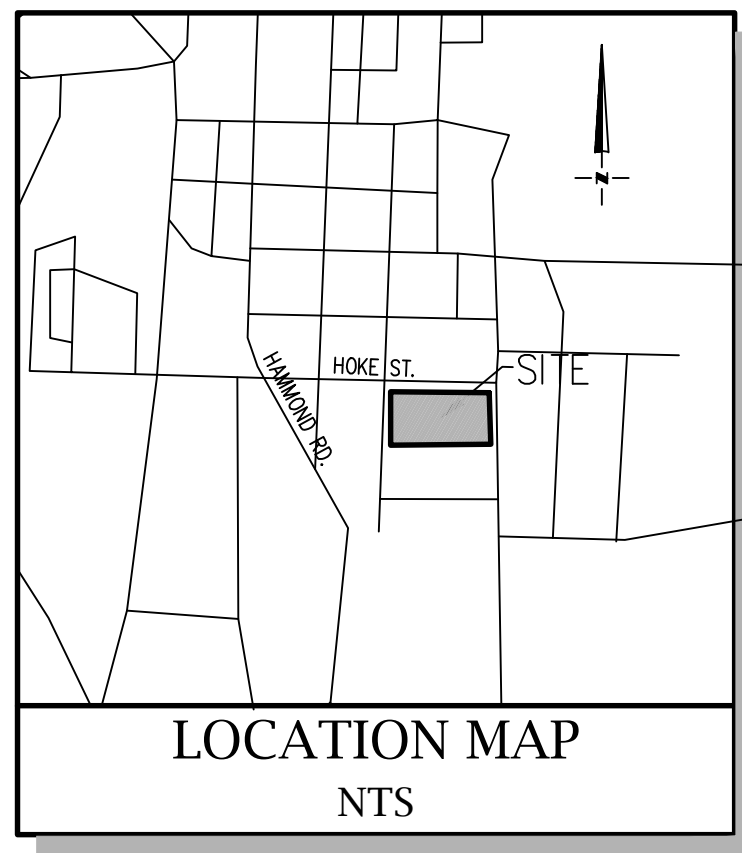
**PASSAGE HOME, INC.**  
 PO BOX 28165  
 RALEIGH, NC 27611

**EXISTING CONDITIONS AND DEMOLITION PLAN**

REVISIONS	

CAD FILE: 23-025 BASE.DWG  
 PROJECT NO.: 23-025  
 DESIGNED BY: JDM  
 REVIEWED BY: JDM  
 DATE: OCTOBER 11, 2024

**C1.0**

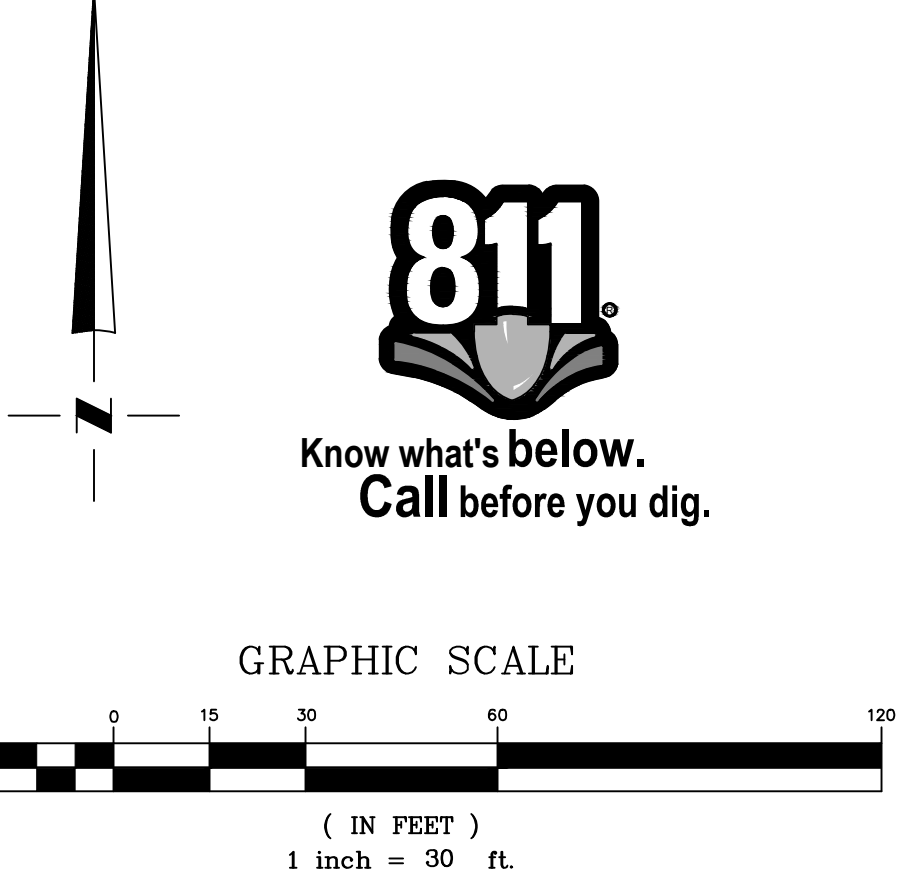
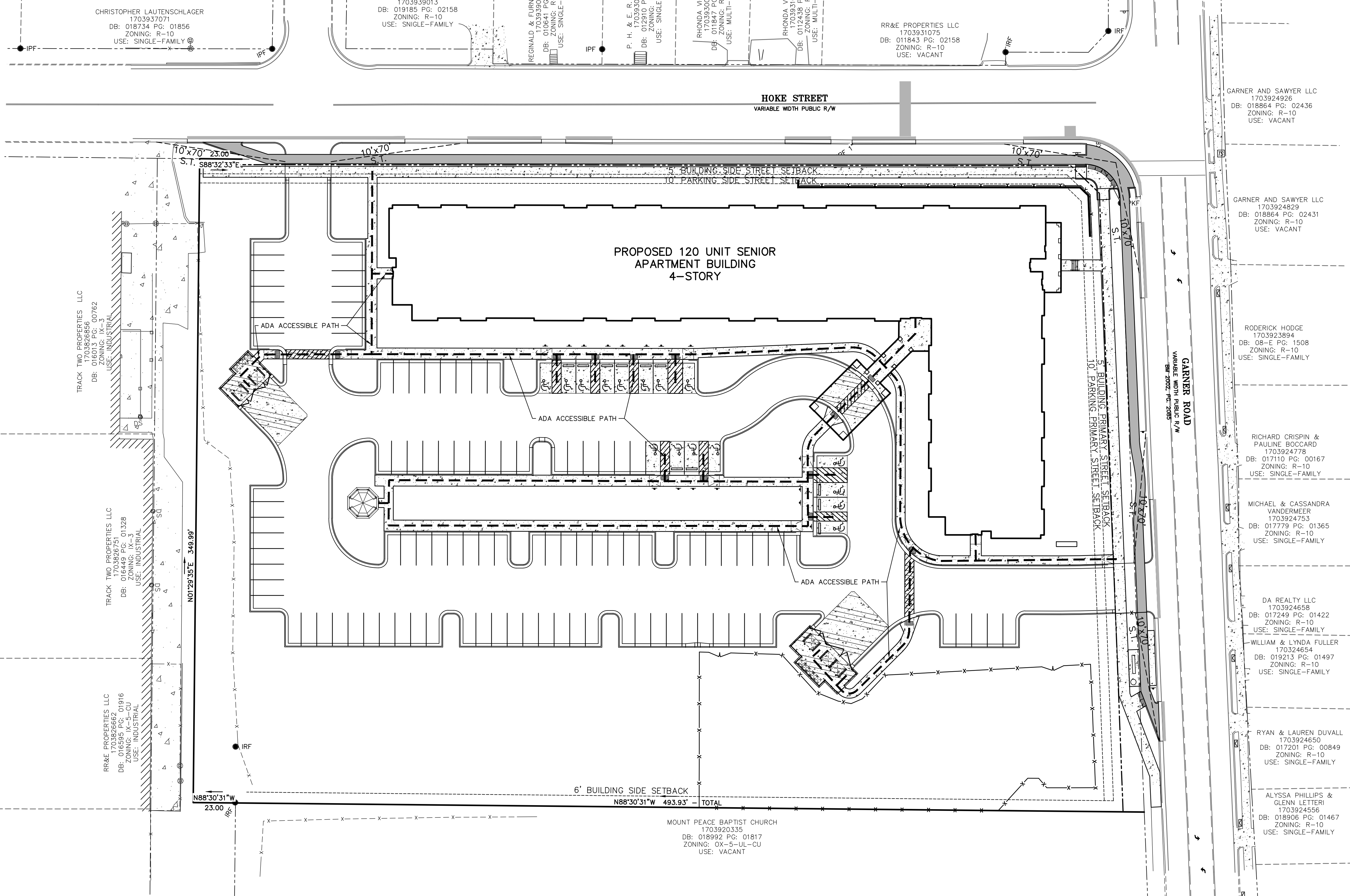


**GENERAL NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. ADDITIONALLY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXERCISING REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE ILLUSTRATED DESIGN.
2. PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC, AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, CONTRACTOR SHALL REPAIR IMMEDIATELY AS DIRECTED BY THE ENGINEER.
3. CONTRACTOR SHALL HOLD HARMLESS THE OWNER AND THE ENGINEER FOR DAMAGES, INJURIES OR OTHER ACCIDENTS WHICH OCCUR DURING THESE CONSTRUCTION ACTIVITIES.
4. TREES AND EXISTING LANDSCAPING NOT DESIGNATED FOR REMOVAL SHALL BE PROTECTED DURING CONSTRUCTION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING AND COORDINATION OF ALL ILLUSTRATED CONSTRUCTION ACTIVITIES AT THE JOB SITE.
6. SAFETY PROVISIONS: THE CONTRACTOR SHALL COMPLY WITH THE "RULES AND REGULATIONS GOVERNING THE CONSTRUCTION INDUSTRY" AS PROMULGATED FOR THE HEALTH, SAFETY AND GENERAL WELFARE OF EMPLOYEES BY THE COMMISSION OF LABOR UNDER GENERAL STATUTES OF NORTH CAROLINA, AND PART 1928 AND PART 1910. ARTICULAR REFERENCE IS MADE BUT NOT LIMITED TO THE FOLLOWING RULES AND REGULATIONS: BUILDING CONSTRUCTION WORK, DEMOLITION, EXCAVATION, PERMIT REQUIRED CONFINED SPACES AND TRENCHING. IN ADDITION TO THE FOREGOING SAFETY PROVISIONS, THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR AND COMPLY WITH THE DEPARTMENT OF LABOR SAFETY REGULATIONS FOR CONSTRUCTION PROMULGATED UNDER THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (L 301 - 54) WHERE THE REQUIREMENTS OF THESE ACTS ARE IN EXCESS OF THOSE REQUIREMENTS SPECIFIED, THE REQUIREMENTS OF THESE ACTS SHALL GOVERN. SHOULD THE PLANS OR SPECIFICATIONS REQUIRE MATERIALS OR METHODS IN CONFLICT WITH THE SAFETY AND HEALTH REGULATIONS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REQUEST OF THE ENGINEER ANY CHANGES THAT MAY BE NECESSARY.

7. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT HIS EXPENSE.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION ADJUSTMENTS OF ALL EXISTING VAULTS (REGARDLESS OF FUNCTION), METER BOXES, FIRE HYDRANTS, CLEAN OUTS, MANHOLES ETC. TO MATCH FINISHED GRADES AND SITE PLAN. ALL SUCH WORK SHALL BE COORDINATED WITH THE ENGINEER.
9. UTILIZE SIGNS, BARRICADES, FLAGMEN, OR GUARDS AS REQUIRED TO ENSURE THE SAFETY OF ALL VEHICULAR AND PEDESTRIAN TRAFFIC DURING ALL CONSTRUCTION ACTIVITIES.
10. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER AND ADJACENT PROPERTY OWNERS AS REQUIRED FOR WORK OUTSIDE OF PROPERTY LINES. UNDER ABSOLUTELY NO CIRCUMSTANCES SHALL ANY UNMANNED EXCAVATION BE LEFT OPEN OR UNPROTECTED DURING NON-WORKING HOURS.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT OF ALL WORK AS ILLUSTRATED ON PLANS. IF EXISTING CONDITIONS DIFFER FROM THOSE ILLUSTRATED ON PLANS, NOTIFY ENGINEER PRIOR TO CONSTRUCTION.
12. VERIFY ALL DIMENSIONS AND GRADES AT THE JOB SITE. IF DIFFERENCES ARE FOUND, NOTIFY ENGINEER SO THAT MODIFICATIONS TO THESE DRAWINGS CAN BE MADE.
13. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY'S EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
14. ALL SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
15. ANY LAND-DISTURBING ACTIVITY >1 ACRES REQUIRES COMPLIANCE WITH ALL CONDITIONS OF THE GENERAL PERMIT TO DISCHARGE STORM WATER UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (PERMIT NO. NC0010000). ANY PERMIT NONCOMPLIANCE IS A VIOLATION OF THE CLEAN WATER ACT AND MAY REQUIRE ENFORCEMENT ACTION BY THE NORTH CAROLINA DEPARTMENT OF ENVIRONMENT, HEALTH, AND NATURAL RESOURCES. (FOR QUESTIONS CONTACT RALEIGH REGIONAL OFFICE WATER QUALITY STAFF AT 919-791-4200)
16. THE CITY OF RALEIGH ENGINEERING DEPARTMENT HAS NOT REVIEWED THE STRUCTURAL STABILITY OF ANY RETAINING WALLS ON THE SITE AND DOES NOT ASSUME RESPONSIBILITY FOR THEM.
17. ALL SUBSURFACE DRAINAGE PIPE SHALL BE AS SPECIFIED ON THE PLANS SHEETS C4.0.
18. EXISTING CONTOURS SHOWN ARE AT 2-FOOT INTERVALS.
19. ALL CONSTRUCTION ACTIVITY AND MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF RALEIGH AND NCDOT.
20. IN AREAS WHERE 2 FEET OF COVER CAN NOT BE MAINTAINED OVER STORM DRAIN PIPES, THE CONTRACTOR IS TO SUBSTITUTE CLASS IV RCP.
21. THE UTILITIES AND THE LOCATIONS THEREOF, SHOWN ON THE DRAWING REPRESENT THE DESIGNERS UNDERSTANDING OF EXISTING UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND EXISTENCE OF ALL UTILITIES (ELECTRICAL, MECHANICAL, WATER, SEWER, TELEPHONE, GAS, ETC.) WITHIN THE CONSTRUCTION AREA WITH THE UTILITY OWNER AND/OR THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING ANY EXCAVATION. THE OMISSION OF OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF, OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR TO CALL NORTH CAROLINA 1-CALL (FORMERLY ULOCO) AT (800) 632-4949 AND OTHER UTILITY PROVIDERS NOT A MEMBER OF THE 1-CALL SERVICE.
22. THERE SHALL BE NO ON-SITE BURIAL PITS. ALL SOLID WASTE GENERATED FROM THE PROJECT INCLUDING CONSTRUCTION AND LAND CLEARING DEBRIS, ETC. WILL BE PROPERLY DISPOSED OF OFFSITE IN AN APPROVED DISPOSAL FACILITY.
23. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING FEATURES AND TOPOGRAPHY AS NEEDED DURING CONSTRUCTION STAKING.

24. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, PERMISSION MUST BE OBTAINED FROM AFFECTED PROPERTY OWNERS PRIOR TO GRADING ACTIVITIES. SHOULD FIELD CONDITIONS WARRANT DISTURBING SITE AREAS IN EXCESS OF THE AMOUNT OF DISTURBED ACREAGE APPROVED, THE CONTRACTOR SHALL FIRST OBTAIN APPROVAL FROM THE CITY OF RALEIGH ENGINEERING EROSION CONTROL INSPECTOR WHICH MAY REQUIRE REVISIONS TO THE EROSION CONTROL PERMIT.
25. THE DEVELOPMENT WILL ADHERE TO ALL DIMENSIONAL REQUIREMENTS SET FORTH FOR THEIR RESPECTIVE DISTRICTS IN THE RALEIGH ZONING ORDINANCE.



**MC<sup>2</sup> ENGINEERING**  
ENGINEERING  
MC<sup>2</sup> ENGINEERING, INC.  
2110 BEN CRAIG DR., STE. 400  
CHARLOTTE, NC 28262  
PHONE 704.510.1979

THE DESIGNS AND DRAWINGS SHOWN ARE THE PROPERTY OF MC<sup>2</sup> ENGINEERING, INC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY MC<sup>2</sup> ENGINEERING, INC. IS PROHIBITED.

**HOKE STREET APARTMENTS**  
HOKE STREET  
RALEIGH, NC 27601

WALLICK ASSET MANAGEMENT LLC  
160 W MAIN STREET #200  
NEW ALBANY, OH 43054

PASSAGE HOME, INC.  
PO BOX 28165  
RALEIGH, NC 27611

**ADA ACCESSIBILITY PLAN**

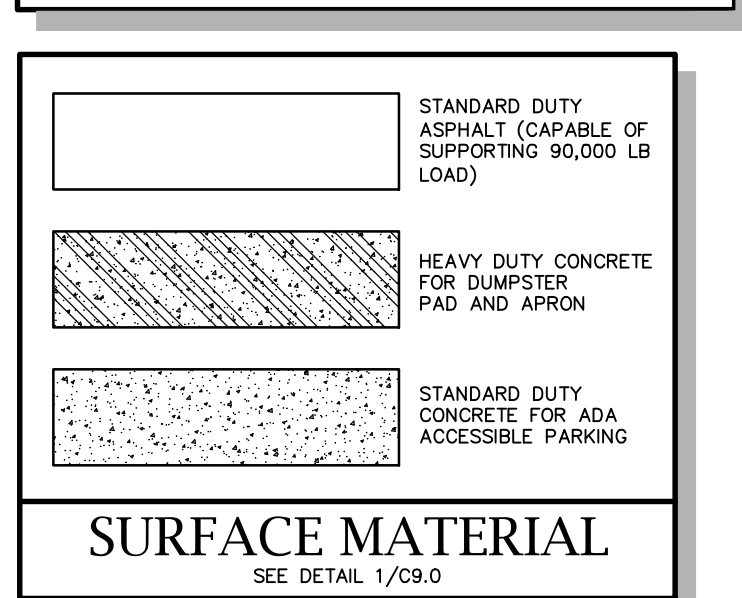
REVISIONS	

CAD FILE: 23-025 BASE.DWG  
PROJECT NO.: 23-025  
DESIGNED BY: JDM  
REVIEWED BY: JDM  
DATE: OCTOBER 11, 2024

**C2.0**



**LOCATION MAP**  
NTS



PARCEL ID:	1703828886, 1703920846 1703922815, 1703920658
TOTAL SITE ACREAGE:	4.10 AC (178,803 SF)
-AREA WITHIN DEDICATED R/W:	0.13 AC (5,487 SF)
-TOTAL NET AREA:	3.98 (173,316 SF)
ZONING:	OX-4PL-CU
OVERLAY:	N/A
FRONTAGE TYPE:	PARKING LIMITED
RALEIGH REQUIRED PARKING:	120 SPACES
NCHFA REQUIRED PARKING:	120 SPACES
JURISDICTION:	CITY OF RALEIGH
DEED BOOK & PAGE:	016684-00686, 019112-00353, 018992-01820
CURRENT USE:	VACANT/FORMER INDUSTRIAL & COMMERCIAL SENIOR MULTI-FAMILY APARTMENTS FOR RENT (LOW INCOME)
DENSITY:	30.15 DU/AC
PROPOSED NUMBER OF UNITS:	120 (TOTAL)
-6 TYPE 1A-S (1) BEDROOM, 6 TYPE 1A (1) BEDROOM, 108 TYPE 1B (1) BEDROOM	
BUILDING PRIMARY STREET SETBACK (GARNER ROAD):	5'
PARKING PRIMARY STREET SETBACK (GARNER ROAD):	10'
BUILDING SIDE STREET SETBACK (HOKE STREET):	10'
PARKING SIDE STREET SETBACK (HOKE STREET):	6'
BUILDING SIDE SETBACK:	
PROPOSED BUILDING HEIGHT:	37'-4" (4-STORIES)
PROPOSED BUILDING SF:	115,116 SF
<b>PARKING CALCULATIONS</b>	
NCHFA REQUIRED PARKING:	120
-1 SPACE PER UNIT X 120 UNITS	
PROPOSED OFF-STREET PARKING ON-SITE:	13
REQUIRED HANDICAP ACCESSIBLE SPACES:	12
-TYPE "A" HANDICAP UNITS	1
-OFFICE SPACE	2.14
-2% REMAINDER OF PARKING (107 X 2%)	
PROVIDED HANDICAP ACCESSIBLE SPACES:	16
REQ./PROVIDED H.C. VAN ACCESSIBLE SPACES:	2/4
<b>IMPERVIOUS CALCULATIONS</b>	
EXISTING BUILDING:	0 SF
-ALL BUILDINGS REMOVED CONCRETE SLABS REMAIN	
EXISTING GRAVEL:	1,374 SF
EXISTING CONCRETE:	35,364 SF
TOTAL EXISTING IMPERVIOUS:	36,738 SF
EXISTING IMPERVIOUS TO BE REMOVED:	36,738 SF
PROPOSED BUILDING:	29,012 SF
PROPOSED ASPHALT/CONCRETE	61,943 SF
TOTAL PROPOSED IMPERVIOUS AREA:	90,955 SF
PROPOSED PERCENT IMPERVIOUS:	52.48%
- 90,955 / 173,316 * 100	

**DEVELOPMENT SUMMARY**

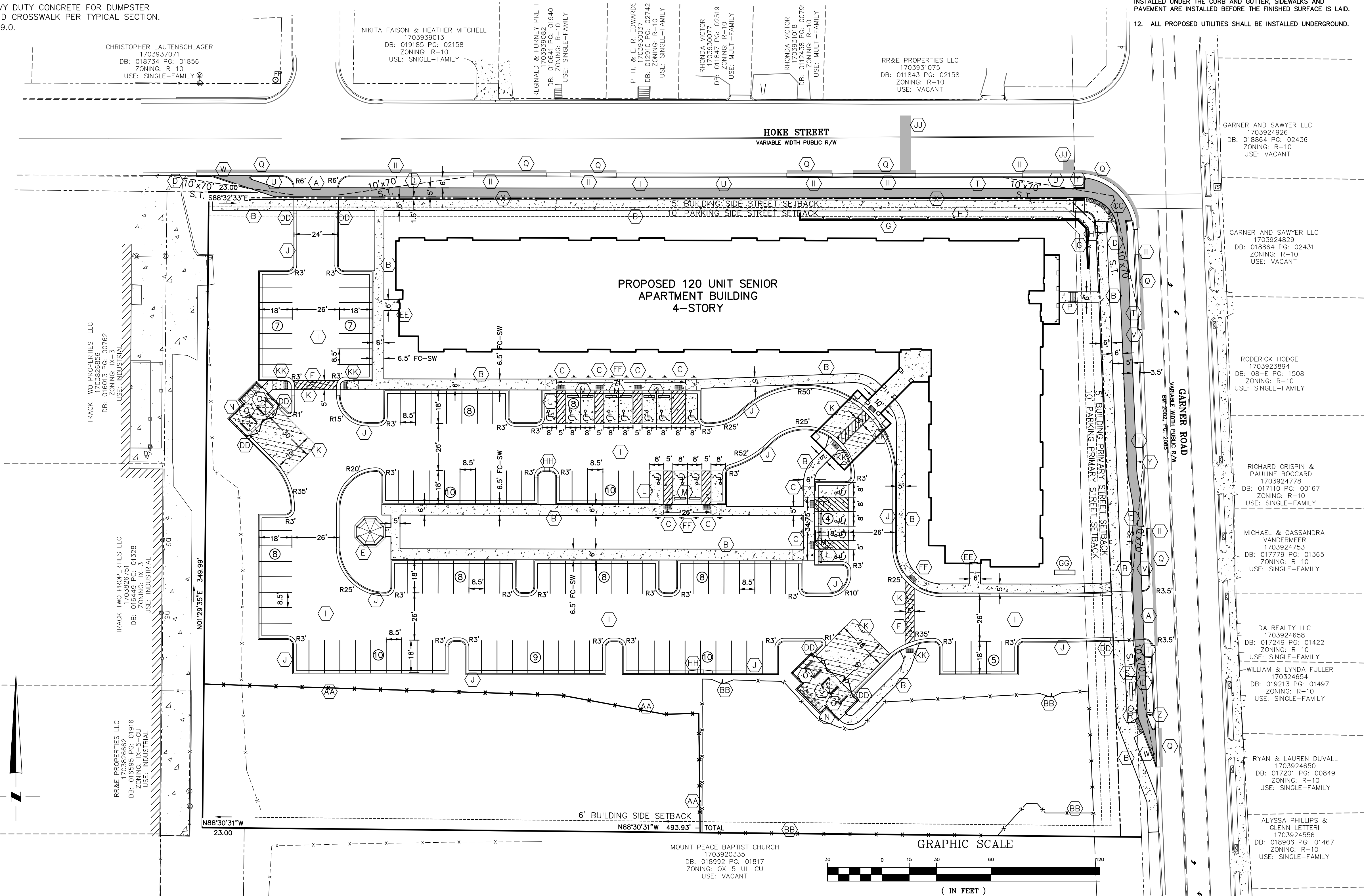
- KEY NOTES:**
- (A) CONTRACTOR SHALL INSTALL DRIVEWAY AND SIDEWALK SEE DETAIL 12/C9.0 & 3/C9.7.
  - (B) CONTRACTOR SHALL INSTALL SIDEWALK (WIDTH SHOWN ON PLANS) SEE DETAIL 3/C9.8.
  - (C) INSTALL HANDICAP PARKING SIGNAGE AND PAVEMENT MARKINGS SEE DETAILS 5-7/C9.0.
  - (D) 10'X70' SIGHT TRIANGLE
  - (E) PROPOSED GAZEBO SEE ARCHITECTURAL PLANS.
  - (F) CONTRACTOR SHALL STRIPE A 5' CROSSWALK
  - (G) 186 LF OF SEGMENTAL BLOCK RETAINING WALL. SEE GRADING PLAN (C4.0) PROPOSED SPOT GRADES. WALL TO BE DESIGNED AND PERMITTED BY SUB-CONTRACTOR.
  - (H) 4' BLACK PVC COATED CHAINLINK FENCE TO BE INSTALLED 1' OFF OF RETAINING WALL TO PROVIDE FALL PROTECTION.
  - (I) PROPOSED STANDARD DUTY ASPHALT PARKING LOT PER TYPICAL SECTION. SEE DETAIL 1/C9.0.
  - (J) PROPOSED 2' STANDARD CURB AND GUTTER PER (SEE DETAIL 5/C9.7). TYPICAL ALL PARKING AREAS ON-SITE AND OUTSIDE OF RIGHT OF WAY.
  - (K) PROPOSED HEAVY DUTY CONCRETE FOR DUMPSTER PAD, APRON AND CROSSWALK PER TYPICAL SECTION. SEE DETAIL 1/C9.0.

- (L) PROPOSED STANDARD DUTY CONCRETE FOR HANDICAP ACCESSIBLE PARKING PER TYPICAL SECTION. SEE DETAIL 1/C9.0.
- (M) INSTALL CONCRETE WHEEL STOP PER DETAIL 3/C9.0.
- (N) INSTALL DUMPSTER/RECYCLING ENCLOSURE SEE ARCHITECTURAL PLANS.
- (O) INSTALL 2 CONCRETE BOLLARDS AT REAR OF EACH PROPOSED DUMPSTER. SEE DETAIL 4/C9.0.
- (P) CONTRACTOR SHALL INSTALL 4 STAIRS SEE DETAIL 8/C9.0. SEE GRADING PLAN C4.0 FOR PROPOSED SPOT GRADES.
- (Q) CONTRACTOR SHALL COMPLETE FULL DEPTH ASPHALT REPAIR AFTER INSTALLING CURB AND GUTTER. SEE DETAIL 8/C9.8.
- (R) PROPOSED BUS STOP PAD TO BE INSTALLED PER CITY OF RALEIGH TT-02 (DETAIL 9/C9.0.)
- (S) PROPOSED BENCH TO BE INSTALLED PER CITY OF RALEIGH TT-05 (SEE DETAIL 10/C9.0.)
- (T) PROPOSED CONCRETE BIKEWAY TO BE INSTALLED PER CITY OF RALEIGH T-30.01.2 (SEE DETAIL 4/C9.8.)

- (U) PROPOSED BIKE LANE AND SIDEWALK TO BE INSTALLED ALONG HOKE STREET PER CITY OF RALEIGH AVENUE 2 LANE, UNDIVIDED DETAIL T.10.14 (SEE DETAIL 1/C9.7)
- (V) PROPOSED BIKE LANE AND SIDEWALK TO BE INSTALLED ALONG GARNER ROAD PER CITY OF RALEIGH AVENUE 2 LANE, DIVIDED DETAIL T.10.15 (SEE DETAIL 2/C9.7)
- (W) PROPOSED CURB LEVEL BIKEWAY TRANSITION TO BE INSTALLED PER CITY OF RALEIGH DETAILS T-10.31.1 AND T-10.31.2 (SEE DETAILS 6-7/C9.7)
- (X) CONTRACTOR TO INSTALL ROLLED CURB BETWEEN BIKE LANE AND SIDEWALK.
- (Y) AFTER COMPLETING ALL GRADING AND SIDEWALK INSTALLATION, CONTRACTOR TO REINSTALL 35 MPH SPEED LIMIT SIGN SIGN.
- (Z) AFTER COMPLETING BUS STOP RENOVATIONS, CONTRACTOR TO REINSTALL BUS STOP SIGN PER TT-06 SEE DETAIL 11/C9.0.
- (AA) INSTALL PROPOSED TREE PROTECTION FENCE AT BEGINNING OF CONSTRUCTION SEE DETAIL 9/C9.8.
- (BB) INSTALL 4' BLACK PVC COATED CHAINLINK FENCE AROUND SCM WITH A PROPOSED 2'-6" WIDE GATES FOR MAINTENANCE ACCESS.

- (CC) SEE T-20.01.1 FOR PROPOSED CURB RAMP INSTALLATION DETAIL 8/C9.7.
- (DD) CONTRACTOR SHALL TAPER END OF CURB PER T-10.25 SEE DETAIL 4/C9.7.
- (EE) SEE DETAIL FOR SIDEWALK CONNECTION AT DOOR ENTRANCES 9/C9.3.
- (FF) SEE PLANS FOR DIMENSIONS ON RAMP WIDTH AND DETAIL 2/C9.0.
- (GG) PROPOSED SITE SIGNAGE.
- (HH) CONTRACTOR SHALL TRANSITION FROM 2'-0" CURB AND GUTTER TO 2'-6" CURB AND GUTTER FOR CATCH BASIN.
- (II) CONTRACTOR SHALL REPAIR CURB AND GUTTER ALONG HOKE STREET AND GARNER ROAD WITH 2'-6" CURB AND GUTTER (TT-10.26.1) SEE DETAIL 5/C9.7.
- (JJ) CONTRACTOR SHALL COMPLETE PAVEMENT PATCH REPAIR AFTER COMPLETING WATER LINE AND SANITARY SEWER CONNECTIONS IN HOKE STREET PER DETAIL 1/C9.4.
- (KK) CONTRACTOR SHALL INSTALL ACCESSIBLE RAMP PER DETAIL 9/C9.7.

- SITE NOTES:**
1. DIMENSIONS AND COORDINATE POINTS ARE TO BACK OF CURB OR CORNER OF BUILDING UNLESS OTHERWISE NOTED.
  2. ALL IMPROVEMENTS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH NCDOT AND RALEIGH LAND DEVELOPMENT STANDARDS.
  3. ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER OR ENGINEER PRIOR TO PROCEEDING WITH WORK.
  4. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND APPROVALS NOT ALREADY OBTAINED BY THE DESIGN TEAM FROM ALL REGULATORY AUTHORITIES AND SHALL KEEP COPIES OF ALL APPLICABLE PERMITS ON SITE.
  5. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES, AND RIGHT-OF-WAYS, PUBLIC AND PRIVATE, PRIOR TO WORKING IN THESE AREAS.
  6. GENERAL CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND THE PUBLIC SHALL BE PROTECTED FROM INJURY.
  7. DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
  8. ALL PAVEMENT MARKINGS SHALL BE FOUR (4) INCHES WIDE UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
  9. CONTRACTOR SHALL SAW-CUT EXISTING ASPHALT PAVEMENT AREAS TO TIE IN SMOOTHLY TO PROPOSED PAVEMENT AT CONNECTION TO NEW ASPHALT PARKING AREA.
  10. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
  11. CONTRACTOR SHALL COORDINATE WITH OWNER, SUB CONTRACTORS AND UTILITIES TO INSURE ALL THAT CONDITIONS ARE INSTALLED UNDER THE CURB AND GUTTER, SIDEWALKS AND PAVEMENT ARE INSTALLED BEFORE THE FINISHED SURFACE IS LAID.
  12. ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND.



**Mc<sup>2</sup> ENGINEERING**  
 MC<sup>2</sup> ENGINEERING, INC.  
 2110 BEN CRAIG DR., STE. 400  
 CHARLOTTE, NC 28262  
 PHONE 704.510.1979

**HOKE STREET APARTMENTS**  
 HOKE STREET  
 RALEIGH, NC 27601

THE DESIGNS AND DRAWINGS SHOWN ARE THE PROPERTY OF MC<sup>2</sup> ENGINEERING, INC. REPRODUCTION OR USE FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY MC<sup>2</sup> ENGINEERING, INC. IS PROHIBITED.

**WALLICK ASSET MANAGEMENT LLC**  
 160 W MAIN STREET #200  
 NEW ALBANY, OH 43054

**PASSAGE HOME, INC.**  
 PO BOX 28165  
 RALEIGH, NC 27611

**DETAILED SITE PLAN**

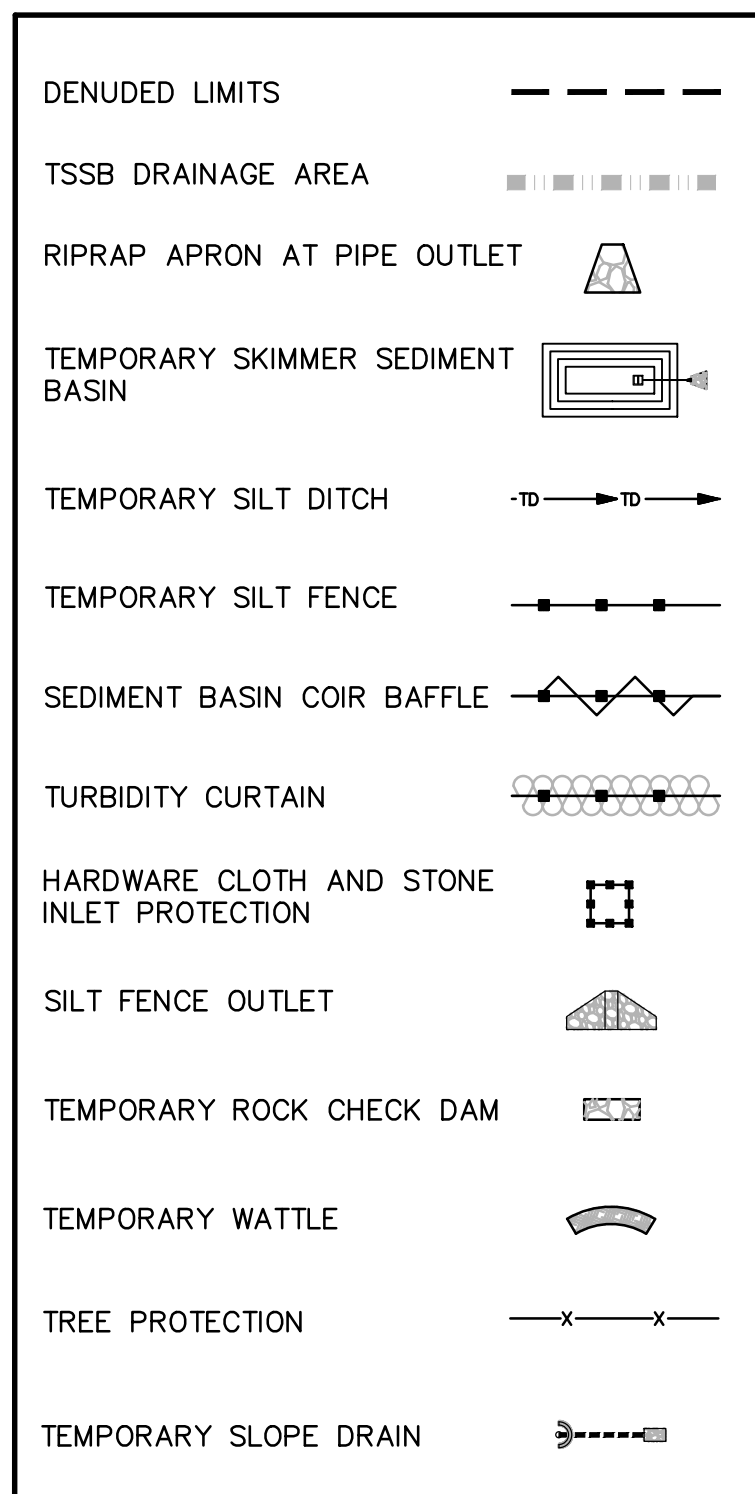
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CAD FILE:	23-025 BASE.DWG
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**C2.1**





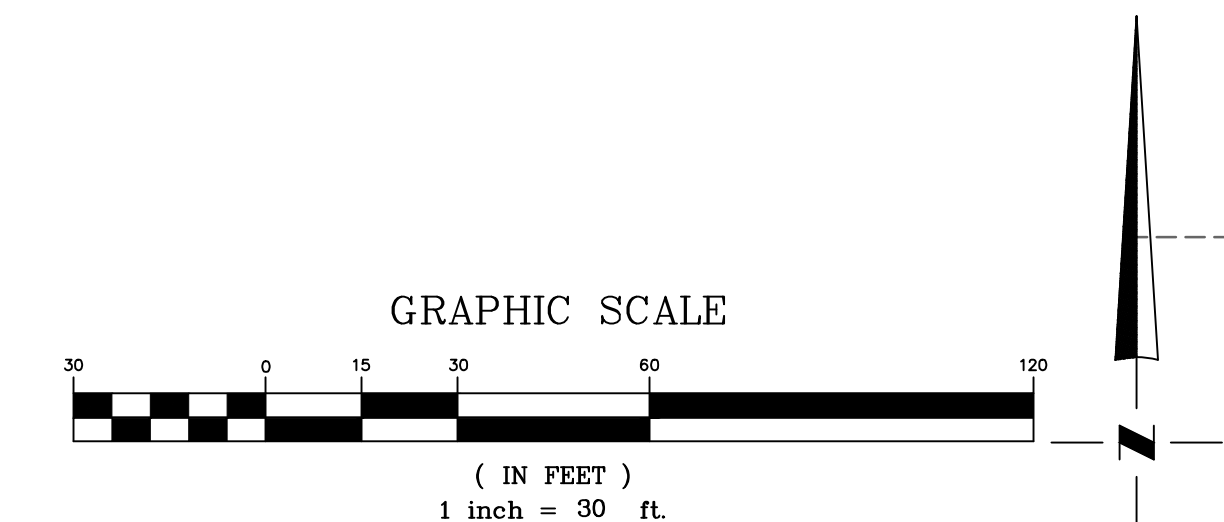
LOCATION MAP  
NTS



EROSION CONTROL LEGEND

CONSTRUCTION SEQUENCE

- 1. INSTALL EROSION CONTROL DEVICES AS SHOWN ON THE PLANS. CONTRACTOR SHALL MAINTAIN EROSION CONTROL PRACTICES IN PROPER WORKING ORDER UNTIL FINAL REMOVAL.
- INSTALL TEMPORARY CONSTRUCTION ENTRANCE
- INSTALL TSSB #1, SKIMMER AND BAFFLES
- INSTALL OC 2 WITH RIP RAP APRON
- INSTALL TEMPORARY SILT FENCE AND TREE PROTECTION FENCING (INSTALLED AT BEGINNING OF CONSTRUCTION)
- INSTALL SILT FENCE STONE OUTLET
- INSTALL TEMPORARY SILT DITCH AND ROCK CHECK DAMS
- INSTALL SLOPE MATTING AS INDICATED.
3. AFTER INSTALLATION OF EROSION CONTROL MEASURES CONTRACTOR SHALL COMMENCE WITH GRADING.
4. ANY AREAS OUTSIDE THE PROJECT LIMITS REQUIRED FOR STAGING ETC. MUST BE EQUIPPED WITH EROSION CONTROL MEASURES AND ARE SUBJECT TO REVIEW AND APPROVAL OF GRADING AND EROSION CONTROL PERMITTING BY EROSION CONTROL INSPECTOR.
CLEANING & GRUBBING AND SITE IMPROVEMENTS GRADING PHASE
5. BEGIN CLEARING & GRUBBING THE SITE.
6. BEGIN SITE GRADING OPERATION.
7. COMMENCE WITH GRADING THE SITE AND INSTALL STORM SEWER AND INLET PROTECTION.
-SEE PHASE 2 EROSION CONTROL PLAN (C3.1)
FINAL INSPECTION PHASE
8. UPON COMPLETE STABILIZATION AND APPROVAL OF THE EROSION CONTROL INSPECTOR THE CONTRACTOR MAY CLOSE & REMOVE TEMPORARY EROSION CONTROL MEASURES.
9. AS REMOVAL OF TEMPORARY EROSION CONTROL DEVICES PROCEEDS THE CONTRACTOR SHALL STABILIZE THOSE LOCATIONS.
10. REQUEST PRE-FINAL INSPECTION FOR PUNCH LIST ITEMS.
11. ADDRESS ANY PUNCH LIST ITEMS & REQUEST FINAL SITE INSPECTION.



EROSION CONTROL NOTES:

- 1. ALL "STD." NUMBERS REFER TO CITY OF RALEIGH STANDARD DETAIL MANUAL.
2. ON-SITE BURIAL PITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
2. GROUND STABILIZATION IN 7 DAYS ON PERIMETER AREAS AND SLOPES GREATER THAN 3:1 ALONG WITH SITES LOCATED IN A WATER QUALITY BASIN, GROUND STABILIZATION IN 14 DAYS ON OTHER AREAS. REFER TO EROSION CONTROL ORDINANCE FOR ADDITIONAL REQUIREMENTS.
3. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENT MAY BE REQUIRED BY THE CITY OF RALEIGH ENGINEERING INSPECTOR.
4. SLOPES SHALL BE GRADED NO STEEPER THAN 2:1. FILL SLOPES GREATER THAN 10' REQUIRE ADEQUATE TERRACING.
5. DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NCDOT RIGHT OF WAY MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.
6. THE CONTRACTOR SHALL SECURE PERMITS FOR GRADING, STAGING OR STOCKPILING MATERIALS OUTSIDE THE LIMITS OF THE SITE.
7. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS MANUAL, THE N.C. EROSION AND SEDIMENT CONTROL PLANNING & DESIGN MANUAL, U.S. DEPARTMENT OF AGRICULTURE AND THE U.S. SOIL CONSERVATION SERVICE.
8. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE CITY INSPECTOR, SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
9. THE CONTRACTOR SHALL MAINTAIN EACH STREAM, CREEK OR CHANNEL IN AN UNOBSTRUCTED CONDITION AND SHALL REMOVE FROM THESE AREAS ALL DEBRIS, LOGS, TIMBER, TRASH, JUNK AND OTHER ACCUMULATIONS.

10. ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE CITY OF RALEIGH ZONING LAWS REGARDING EROSION CONTROL REGULATIONS, NCDEQ AND IS SUBJECT TO A FINE.

11. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY OF RALEIGH ORDINANCE AND NC SEDIMENTATION EROSION AND SEDIMENTATION CONTROL LAWS AND IS SUBJECT TO SEVERE FINES.

12. A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING EXCEEDING ONE ACRE THAT WAS NOT PREVIOUSLY APPROVED.

KEY NOTES:

- (A) DENUDED LIMITS.
(B) DRAINAGE AREA FOR TSSB #1.
(C) INSTALL TEMPORARY MATTING NORTH AMERICAN GREEN S75 ON PROPOSED 3:1 AND 2:1 SLOPES AS HATCHED. SEE DETAIL 8/C9.6
(D) TEMPORARY SILT FENCE (SW-20.01) SEE DETAIL 1/C9.1.
(E) TEMPORARY SILT DITCH (SW-20.16) SEE DETAIL 3/C9.1.
(F) INSTALL TEMPORARY CHECK DAMS EVERY 100 LF IN ALL TEMPORARY SILT DITCHES (SW-20.08) SEE DETAIL 5/C9.1.
(G) TEMPORARY SKIMMER SEDIMENT BASIN (TSSB #1) (SW-20.20) SEE DETAILS 9-10/C9.1. TSSB #1 SHALL INCLUDE BAFFLES.
(H) INSTALL PROPOSED SILT FENCE/TREE PROTECTION FENCE (TPP-08) AT BEGINNING OF CONSTRUCTION SEE DETAIL 9/C9.8.
(I) TEMPORARY STABILIZED CONSTRUCTION ENTRANCE (SW-20.09) SEE DETAIL 2/C9.1.
(J) INSTALL SILT FENCE OUTLET (SW-20.24) SEE DETAIL 4/C9.1.
(K) PROPOSED OUTLET CONTROL "OC 2" STRUCTURE FOR SAND FILTER #1 SEE DETAIL 1/C9.6. CONTRACTOR SHALL CONNECT SKIMMER TO 6" ORIFICE CONNECTION.
(L) CONTRACTOR SHALL INSTALL CONCRETE HEADWALL (NCDOT 838.80) WITH RIP RAP APRON AT PIPE OUTLETS TO BE INSTALLED AT 0% SLOPE. SEE DETAILS 5/C9.5 AND 2/C9.6.
(M) CONTRACTOR TO INSTALL ANTI-SEEP COLLARS. SEE DETAILS 1/C9.6
(N) INSTALL TEMPORARY CONCRETE WASHOUT (SW-20.25) SEE DETAIL 11/C9.1.

DISTURBED ACREAGE: ±3.79 AC (164,927 SF)

SOIL TYPE: Ur - Urban Land

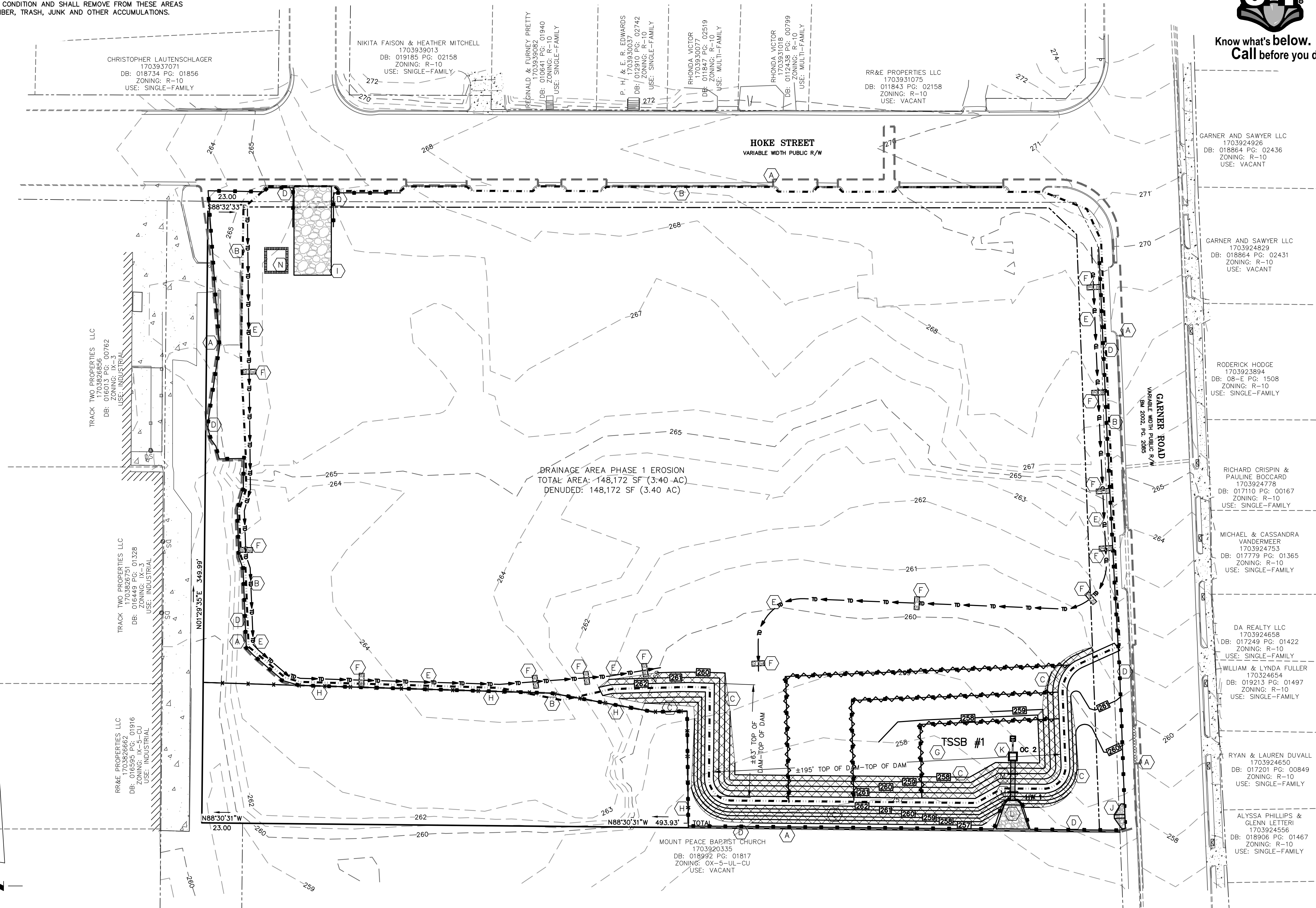
SOIL LEGEND

CONTRACTOR SHALL BE FAMILIAR WITH AND FOLLOW CONSTRUCTION SEQUENCE

SEE SHEET C4.0 FOR STORM SEWER PIPE AND STRUCTURE SUMMARY



Know what's below. Call before you dig.



DRAINAGE AREA PHASE 1 EROSION TOTAL AREA: 148,172 SF (3.40 AC) DENUDED: 148,172 SF (3.40 AC)

MC2 ENGINEERING, INC. 2110 BEN CRAIG DR., STE. 400 CHARLOTTE, NC 28262 PHONE 704.518.9797

HOKE STREET APARTMENTS HOKE STREET RALEIGH, NC 27601

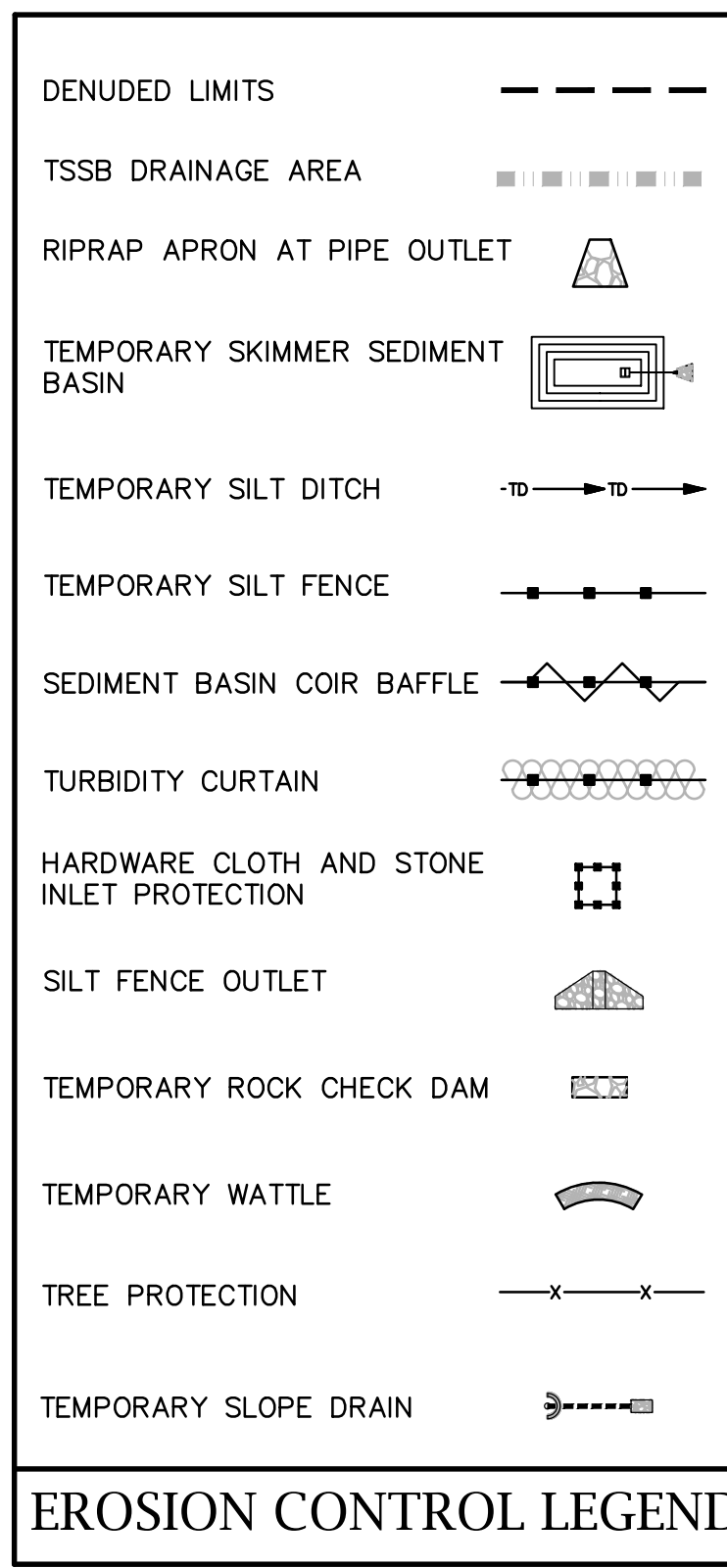
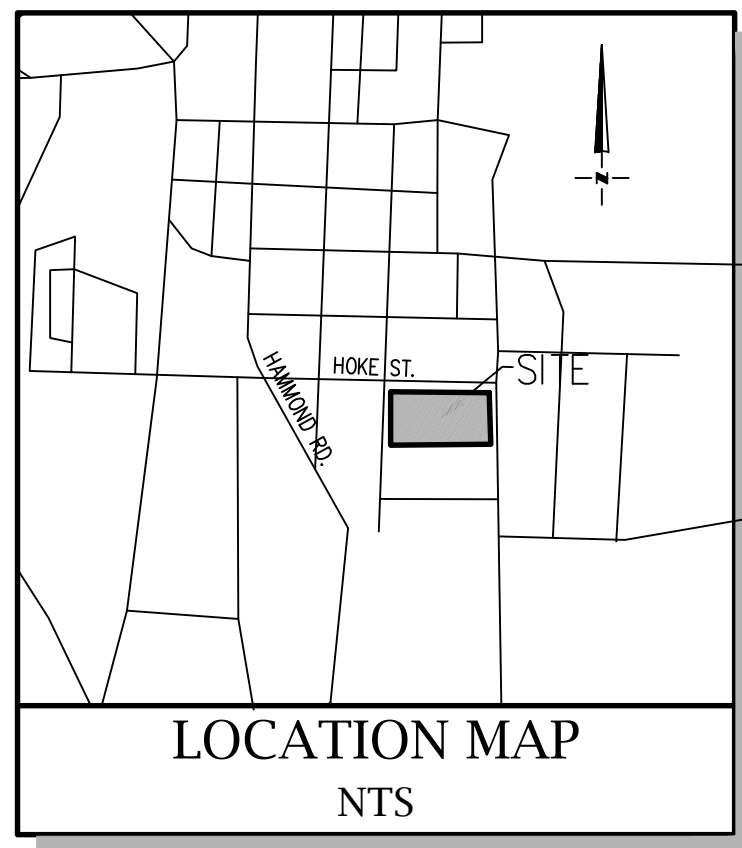
WALLICK ASSET MANAGEMENT LLC 160 W MAIN STREET #200 NEW ALBANY, OH 43054

EROSION CONTROL PLAN PHASE 1

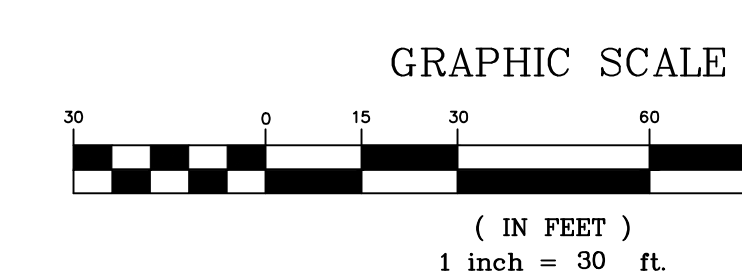
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C3.0



- CONSTRUCTION SEQUENCE**
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    - INSTALL TEMPORARY CONSTRUCTION ENTRANCE
    - INSTALL TSSB #1, SKIMMER AND BAFFLES
    - INSTALL OC 2 TO HW 1 WITH RIP RAP APRON
    - INSTALL TEMPORARY SILT FENCE AND TREE PROTECTION FENCING (INSTALLED AT BEGINNING OF CONSTRUCTION)
    - INSTALL SILT FENCE STONE OUTLET
    - INSTALL TEMPORARY SILT DITCH AND ROCK CHECK DAMS
    - INSTALL SLOPE MATTING AS INDICATED.
  - AFTER INSTALLATION OF EROSION CONTROL MEASURES CONTRACTOR SHALL COMMENCE WITH GRADING.
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  - CLEARING & GRUBBING AND SITE IMPROVEMENTS GRADING PHASE
    - BEGIN CLEARING & GRUBBING THE SITE.
    - BEGIN SITE GRADING OPERATION.
    - COMMENCE WITH GRADING THE SITE AND INSTALL STORM SEWER AND INLET PROTECTION.
      - CONTRACTOR SHALL ADJUST TEMPORARY DIVERSION DITCHES AND CHECK DAMS AS THE SITE IS BROUGHT TO FINAL GRADE.
      - CONTRACTOR SHALL INSTALL STORM SEWER AND HARDWARE CLOTH AND STONE INLET PROTECTION.
      - INSTALL ADDITIONAL SLOPE MATTING AS INDICATED IN PHASE 2.
  - FINAL INSPECTION PHASE
    - UPON COMPLETE STABILIZATION AND APPROVAL OF THE EROSION CONTROL INSPECTOR THE CONTRACTOR MAY CLOSE & REMOVE TEMPORARY EROSION CONTROL MEASURES.
      - AT END OF CONSTRUCTION CONTRACTOR SHALL REMOVE SKIMMER FROM OC 2 AND THEN PLUG SKIMMER HOLE IN OC 2 WITH NON-SHRINK GROUT TO FORM A WATERTIGHT SEAL.
    - AS REMOVAL OF TEMPORARY EROSION CONTROL DEVICES PROCEEDS THE CONTRACTOR SHALL STABILIZE THOSE LOCATIONS.
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**KEY NOTES:**

- DUENDED LIMITS.
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- INSTALL TEMPORARY MATTING NORTH AMERICAN GREEN S75 ON PROPOSED 3:1 AND 2:1 SLOPES AS HATCHED. SEE DETAIL 8/C9.6
- TEMPORARY SILT FENCE (SW-20.01) SEE DETAIL 1/C9.1.
- TEMPORARY SILT DITCH (SW-20.16) SEE DETAIL 3/C9.1.
- INSTALL TEMPORARY CHECK DAMS EVERY 100 LF IN ALL TEMPORARY SILT DITCHES (SW-20.08) SEE DETAIL 5/C9.1.
- TEMPORARY SKIMMER SEDIMENT BASIN (TSSB #1) (SW-20.20) SEE DETAILS 9-10/C9.1. TSSB #1 SHALL INCLUDE BAFFLES.
- INSTALL PROPOSED SILT FENCE/TREE PROTECTION FENCE (TPP-08) AT BEGINNING OF CONSTRUCTION SEE DETAIL 9/C9.8.
- TEMPORARY STABILIZED CONSTRUCTION ENTRANCE (SW-20.09) SEE DETAIL 2/C9.1.
- INSTALL SILT FENCE OUTLET (SW-20.24) SEE DETAIL 4/C9.1.
- PROPOSED OUTLET CONTROL "OC 2" STRUCTURE FOR SAND FILTER #1 SEE DETAIL 1/C9.6. CONTRACTOR SHALL CONNECT SKIMMER TO 6" ORIFICE CONNECTION. AT END OF CONSTRUCTION CONTRACTOR SHALL REMOVE SKIMMER FROM OC 2 AND THEN PLUG SKIMMER HOLE IN OC 2 WITH NON-SHRINK GROUT TO FORM A WATERTIGHT SEAL.
- CONTRACTOR SHALL INSTALL CONCRETE HEADWALL (NCDOT 838.80) WITH RIP RAP APRON AT PIPE OUTLETS TO BE INSTALLED AT 0% SLOPE. SEE DETAILS 5/C9.5 AND 2/C9.6.
- CONTRACTOR TO INSTALL ANTI-SEEP COLLARS. SEE DETAILS 1/C9.6
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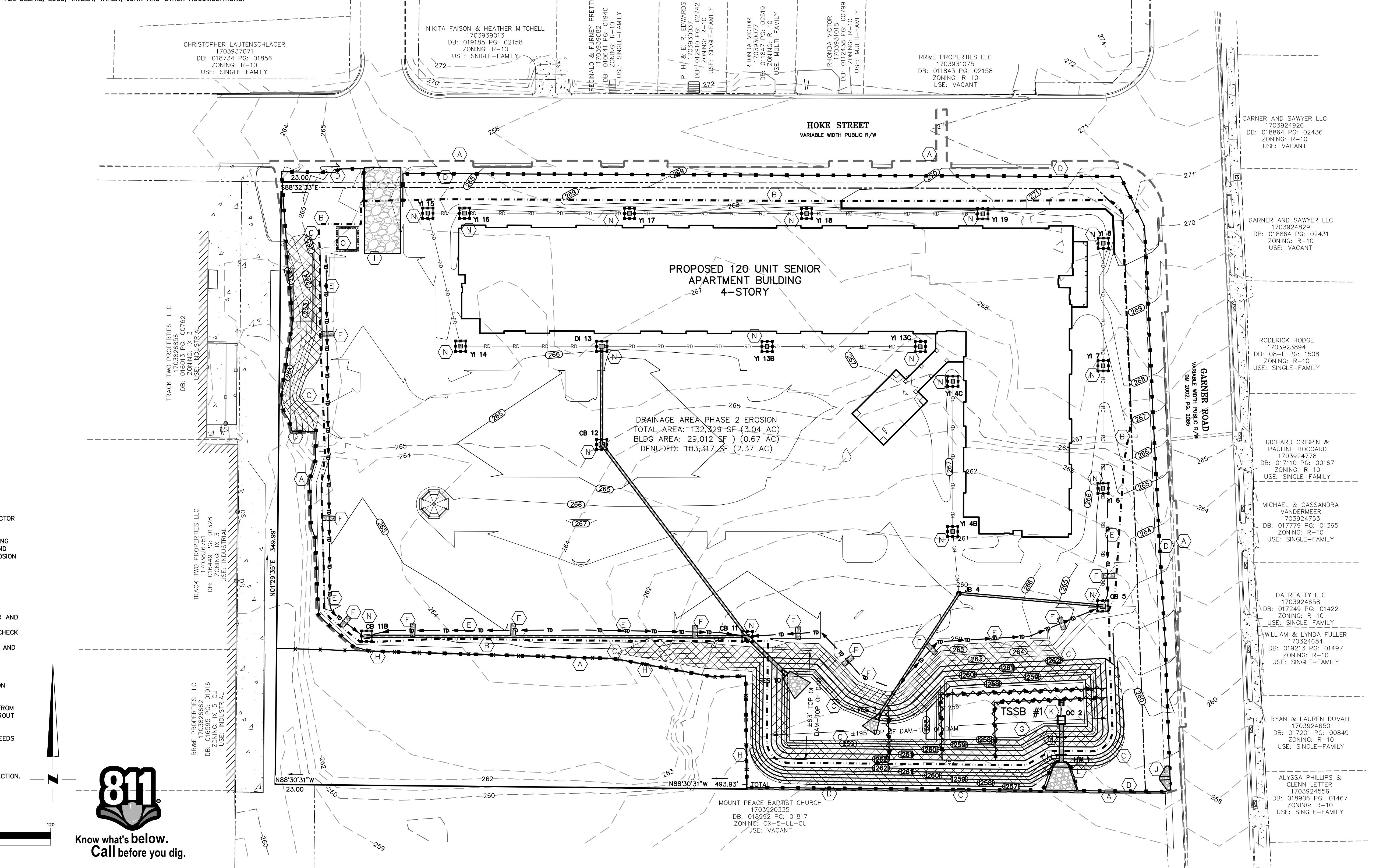
**SOIL LEGEND**

**CONTRACTOR SHALL BE FAMILIAR WITH AND FOLLOW CONSTRUCTION SEQUENCE**

**SEE SHEET C4.0 FOR STORM SEWER PIPE AND STRUCTURE SUMMARY**

**DISTURBED ACREAGE: ±3.79 AC (164,927 SF)**

**SOIL TYPE: Ur - Urban Land**



**MC<sup>2</sup> ENGINEERING**  
 MC<sup>2</sup> ENGINEERING, INC.  
 2110 BEN CRAIG DR., STE. 400  
 CHARLOTTE, NC 28262  
 PHONE 704.518.7979

**HOKE STREET APARTMENTS**  
 HOKE STREET  
 RALEIGH, NC 27601

**WALLICK ASSET MANAGEMENT LLC**  
 160 W MAIN STREET #200  
 NEW ALBANY, OH 43054

**PASSAGE HOME, INC.**  
 PO BOX 28165  
 RALEIGH, NC 27611

**EROSION CONTROL PLAN PHASE 2**

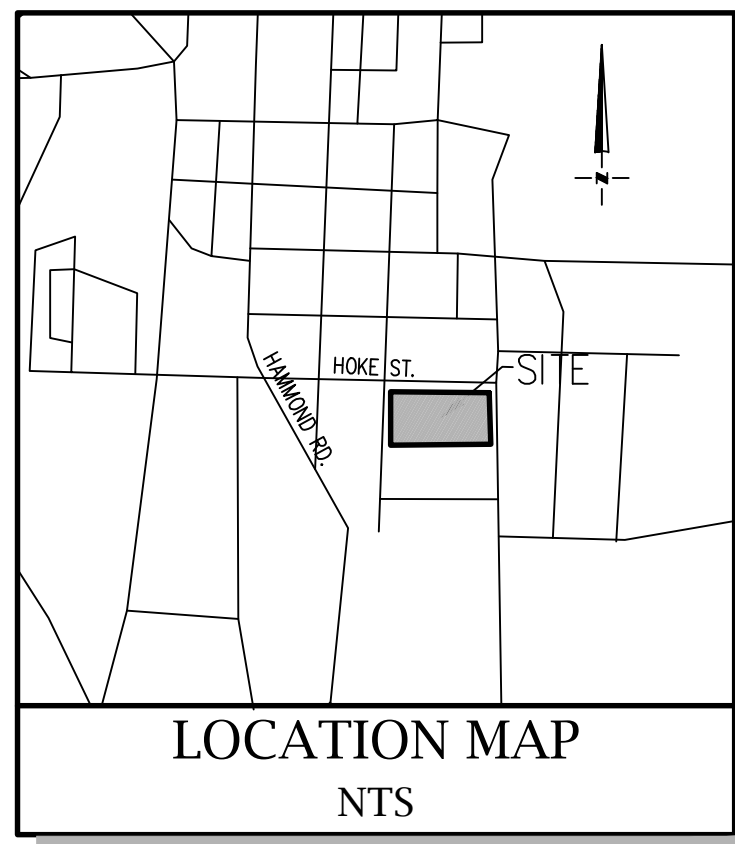
REVISIONS	

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 DESIGNED BY: JDM  
 REVIEWED BY: JDM  
 DATE: OCTOBER 11, 2024

**C3.1**







THE DESIGN OF THE STORMWATER MANAGEMENT FACILITIES ARE DESIGNED IN ACCORDANCE WITH THE NCDEQ STORM WATER MANUAL.

FOR MAINTENANCE PURPOSES A PORTABLE PUMP WILL BE UTILIZED FOR DRAINING THE SANDFILTER.

**SAND FILTER INSTALLATION INSTRUCTIONS**

1) CONVERTING SEDIMENT AND EROSION CONTROL DEVICES A BASIN USED FOR CONSTRUCTION SEDIMENT AND EROSION CONTROL CAN BE CONVERTED INTO AN OPEN BASIN TYPE SAND FILTER IF ALL SEDIMENT IS REMOVED FROM THE BASIN PRIOR TO CONSTRUCTION OF THE SAND FILTER AND PROPER SAND FILTER DESIGN IS FOLLOWED. BURIED TRENCH TYPE SAND FILTERS ARE TYPICALLY NEWLY CONSTRUCTED AFTER SITE CONSTRUCTION AND NOT PLACED IN MODIFIED SITE CONSTRUCTION SEDIMENT AND EROSION CONTROL BASINS. SAND FILTERS ARE NOT TO BE BROUGHT ONLINE UNTIL SITE CONSTRUCTION ACTIVITIES ARE COMPLETED AND GROUND COVER IS FULLY STABILIZED.

2) MEDIA REQUIREMENTS THE MEDIA IN THE SAND FILTER SHALL BE CLEANED, WASHED, COURSE MASONRY SAND SUCH AS ASTM C33. THE SAND PARTICLES SHALL BE LESS THAN 2 MM AVERAGE DIAMETER. THE FILTER BED SHALL HAVE A MINIMUM DEPTH OF 21 INCHES, WITH A MINIMUM DEPTH OF SAND ABOVE THE DRAINAGE PIPE OF 12 INCHES.

3) FILTER FABRIC REQUIREMENTS PERMEABLE FILTER FABRIC SHALL BE PLACED ABOVE, BELOW AND ON THE SIDES OF THE SAND BED TO PREVENT CLOGGING OF THE SAND FILTER AND THE UNDERDRAIN SYSTEM. THE STONE AROUND THE UNDERDRAIN SYSTEM SHALL BE WRAPPED IN FILTER FABRIC.

4) UNDERDRAIN SYSTEM -6" PIPE TO BE PERFORATED PVC PIPE (AASHTO M 252) UNDERDRAIN IN A GRAVEL LAYER. -PIPE SHALL BE INSTALLED AT A MINIMUM GRADE OF 1/8-INCH PER FOOT (1.0% SLOPE). -PERFORATIONS SHALL BE IN A MINIMUM OF 4 ROWS AROUND THE DIAMETER OF THE PIPE, 6" ON CENTER, AND 3/8" DIAMETER. -ALL UNDERDRAIN PIPES SHALL HAVE A MINIMUM OF 3" INCHES OF CLEAN WASHED AGGREGATE NCDOT #57 STONE. STONE REQUIRED ON EACH SIDE OF THE PIPE (STONE NOT REQUIRED BELOW THE PIPE). WASHED STONE TO BE WRAPPED IN MIRAFI FILTER FABRIC OR APPROVED EQUAL. -AGGREGATE CONTAMINATED WITH SOIL SHALL NOT BE USED.

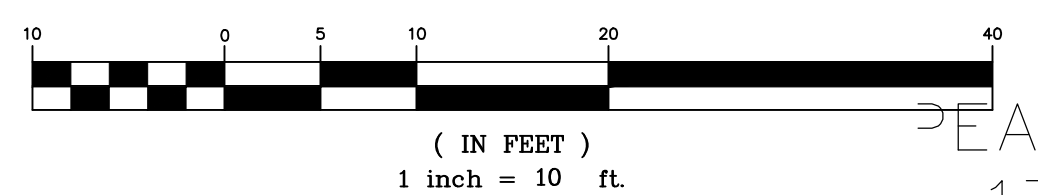
5) COMMON MAINTENANCE ISSUES SAND FILTERS SHOULD BE INSPECTED AT LEAST ONCE PER MONTH, AND AFTER ANY LARGE STORM EVENTS TO CHECK FOR DAMAGE. THEY MUST BE MAINTAINED AS NEEDED TO REMOVE VISIBLE SURFACE SEDIMENT ACCUMULATION, TRASH, DEBRIS, AND LEAF LITTER TO PREVENT THE FILTER FROM CLOGGING PREMATURELY. SEDIMENT SHOULD BE CLEANED OUT OF THE FOREBAY/SEDIMENTATION CHAMBER WHEN IT ACCUMULATES TO A DEPTH OF MORE THAN 6 INCHES. ANY STRUCTURES (OUTLETS, FLOW DIVERSIONS, EMBANKMENTS, ETC.) SHOULD BE CHECKED AT LEAST ANNUALLY FOR DAMAGE OR DEGRADATION.

WHEN THE FILTERING CAPACITY DIMINISHES SUBSTANTIALLY (E.G., WHEN WATER PONDS ON THE SURFACE FOR MORE THAN 40 HOURS), REMEDIAL ACTIONS MUST BE TAKEN. ONE POSSIBLE CAUSE OF THIS PROBLEM IS THAT COLLECTION PIPE SYSTEMS HAVE BECOME CLOGGED. ANNUAL FLUSHING OF PIPE CLEANOUTS IS RECOMMENDED TO FACILITATE UNCLOGGING OF THE PIPES WITHOUT DISTURBING THE FILTER AREA. IF THE WATER STILL PONDS ABOVE THE SAND FILTER BED FOR MORE THAN 40 HOURS, THE TOPSOIL AND 2 TO 3 INCHES OF SAND MEDIA SHOULD BE REMOVED AND REPLACED WITH FRESH MEDIA. THE REMOVED SEDIMENTS SHOULD BE DISPOSED OF IN AN ACCEPTABLE MANNER (E.G., LANDFILL). IF THE PROBLEM STILL PERSISTS, MORE EXTENSIVE REBUILDING IS REQUIRED.

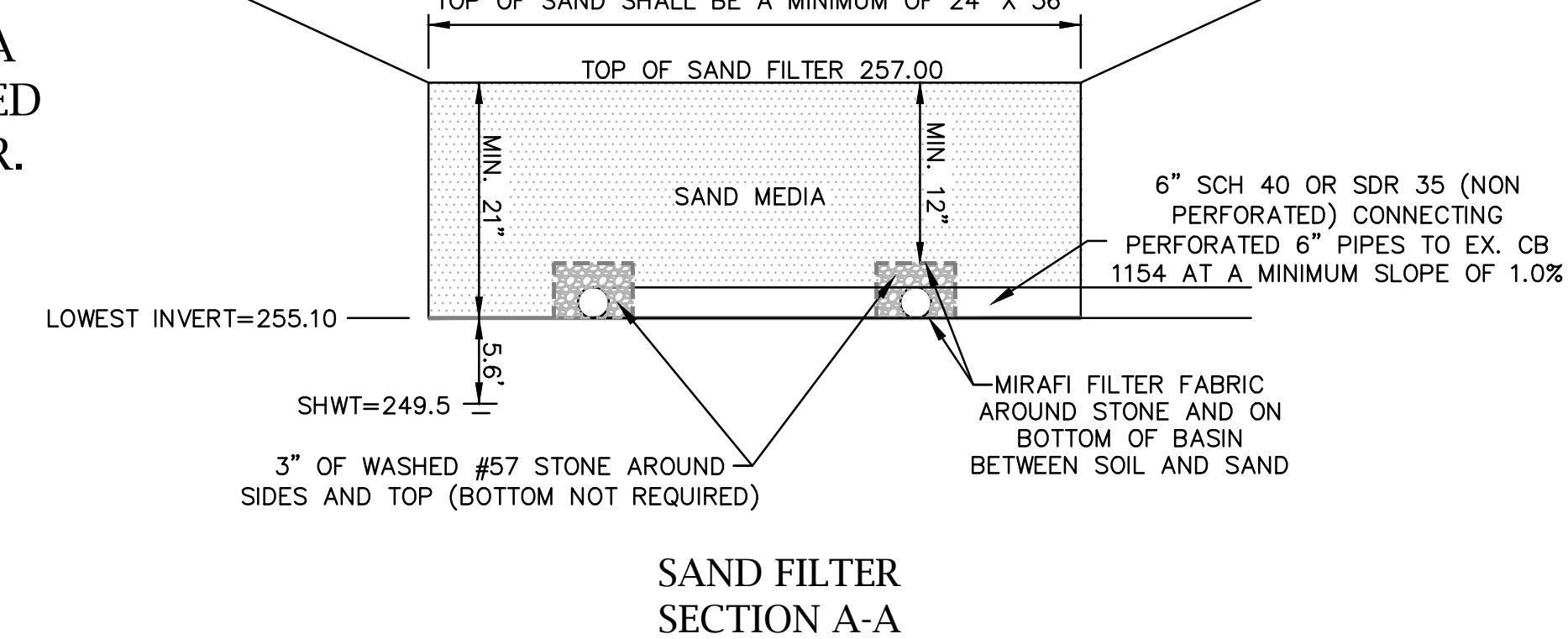
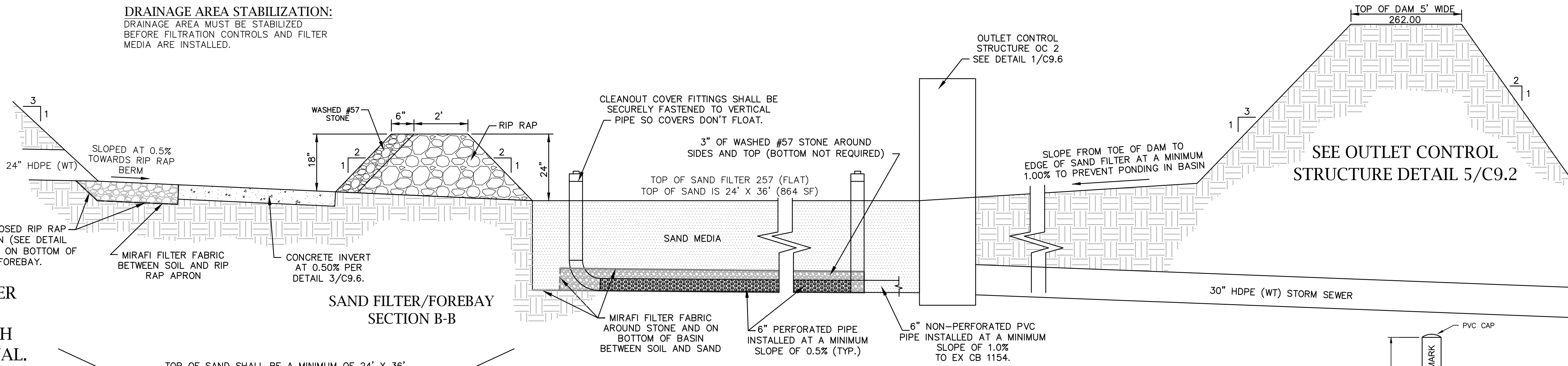


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GRAPHIC SCALE



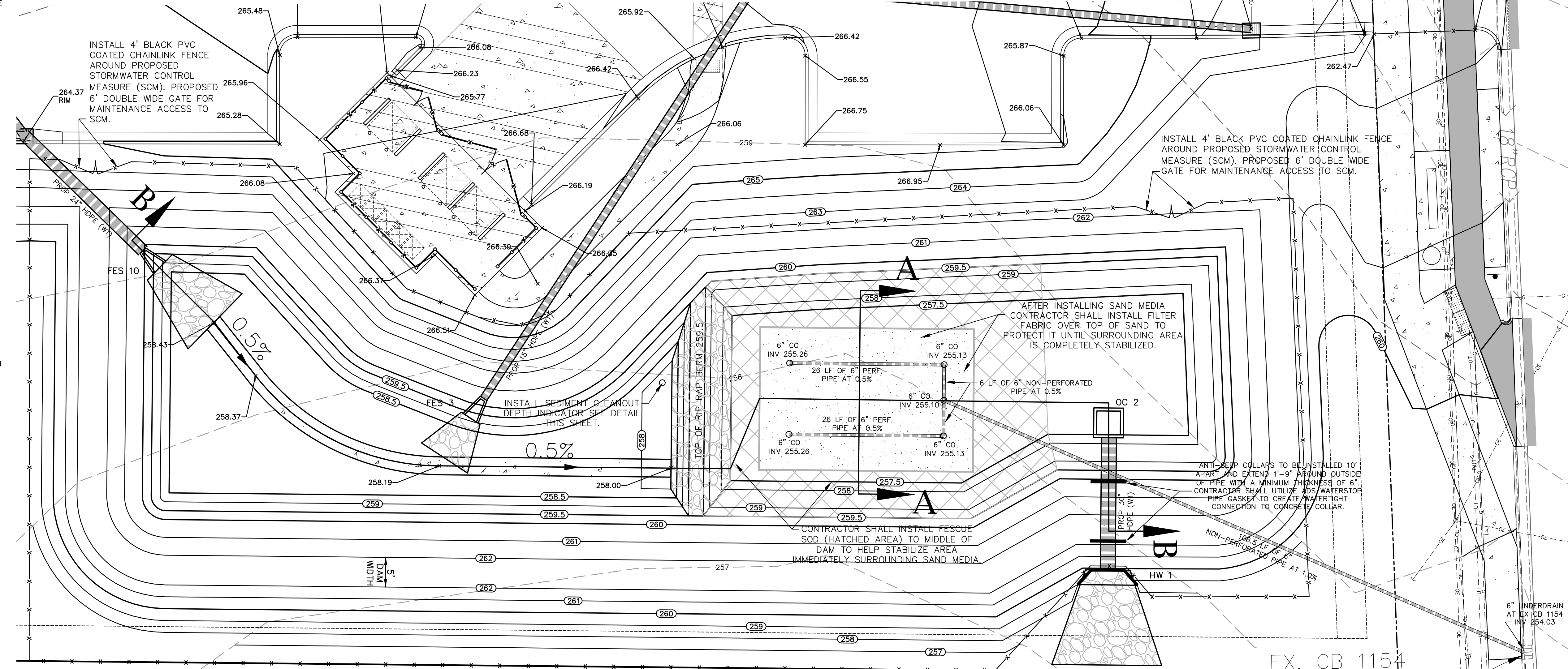
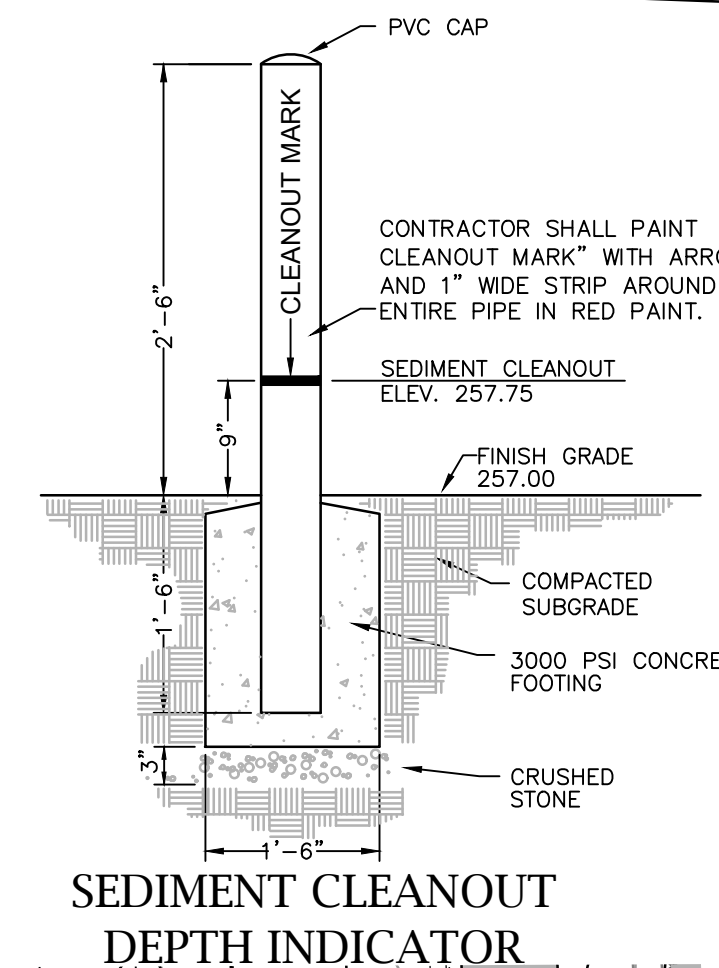
**DRAINAGE AREA STABILIZATION:**  
DRAINAGE AREA MUST BE STABILIZED BEFORE FILTRATION CONTROLS AND FILTER MEDIA ARE INSTALLED.



THE CITY WILL REQUIRE THE OPERATION AND MAINTENANCE AGREEMENT FOR THE SCM AND THE AS-BUILT DRAWINGS FOR THE SCM BEFORE CERTIFICATE OF OCCUPANCIES ARE RELEASED.

CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH AND MC2 ENGINEERING PRIOR TO CONSTRUCTION OF THE SAND FILTER SYSTEM.

SITE SHALL BE STABILIZED 100% PRIOR TO INSTALLING UNDERDRAINS, GRAVEL OR SAND.



PEACE BAPTIST CHURCH  
1703920335

EX. CB 1154  
TOP=258.23  
IN(N)=254.03  
OUT(S)=253.88

**MC<sup>2</sup> ENGINEERING**  
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2110 BEN CRAIG DR., STE. 400  
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HOKE STREET  
RALEIGH, NC 27601

**WALLICK ASSET MANAGEMENT LLC**  
160 W MAIN STREET #200  
NEW ALBANY, OH 43054

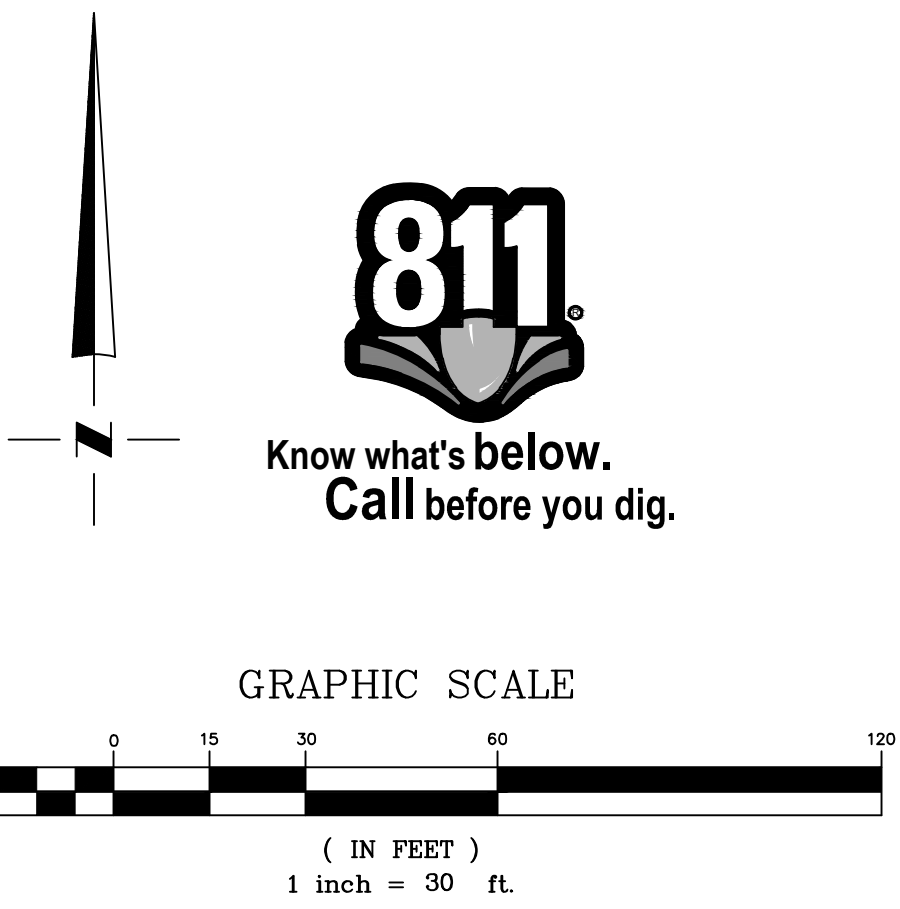
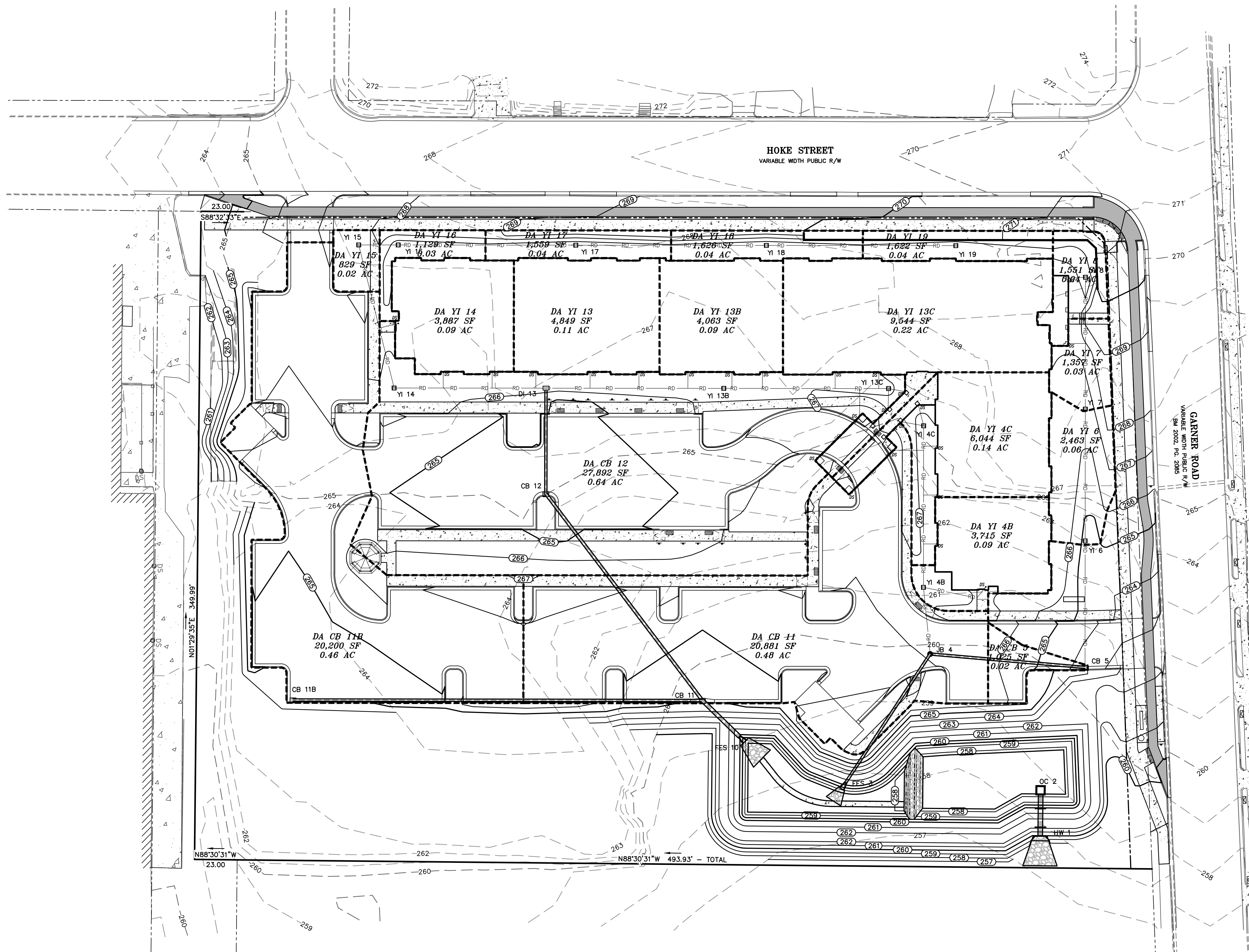
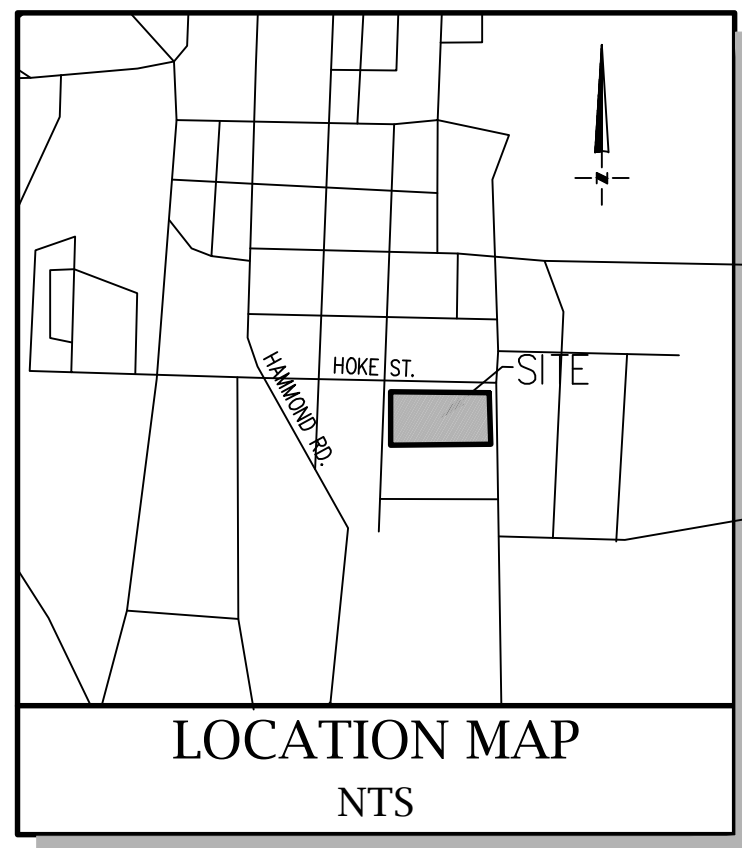
**PASSAGE HOME, INC.**  
PO BOX 28165  
RALEIGH, NC 27611

**STORMWATER SCM DETAIL PLAN**

NO.	REVISIONS

CAD FILE: 23-025 BASE.DWG  
PROJECT NO.: 23-025  
DESIGNED BY: JDM  
REVIEWED BY: JDM  
DATE: OCTOBER 11, 2024

**C4.1**



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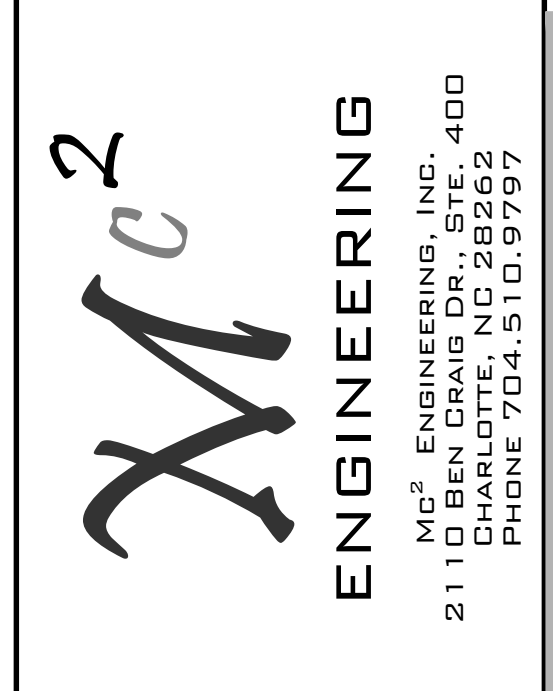
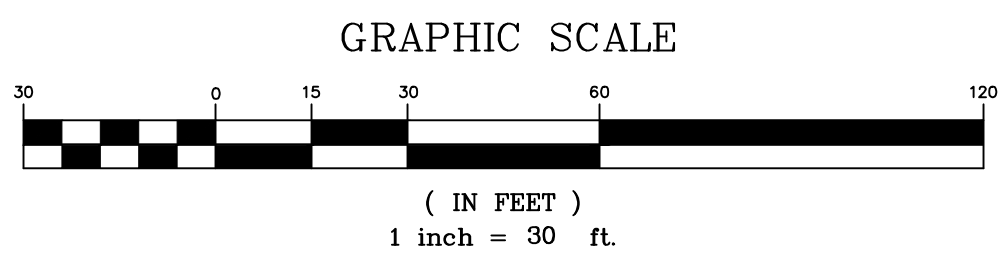
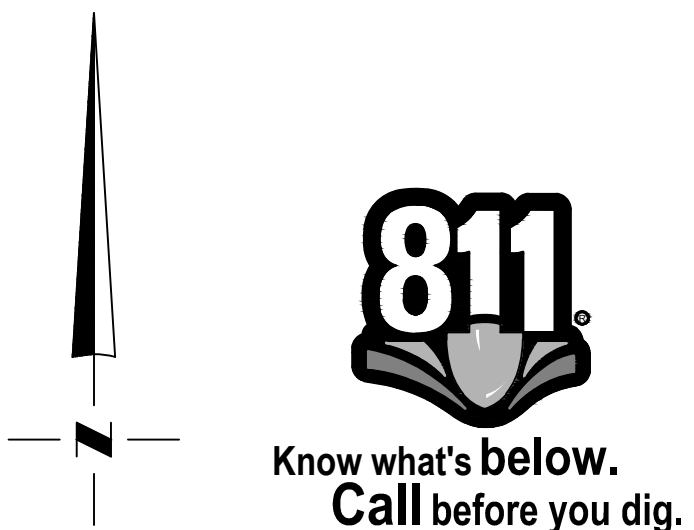
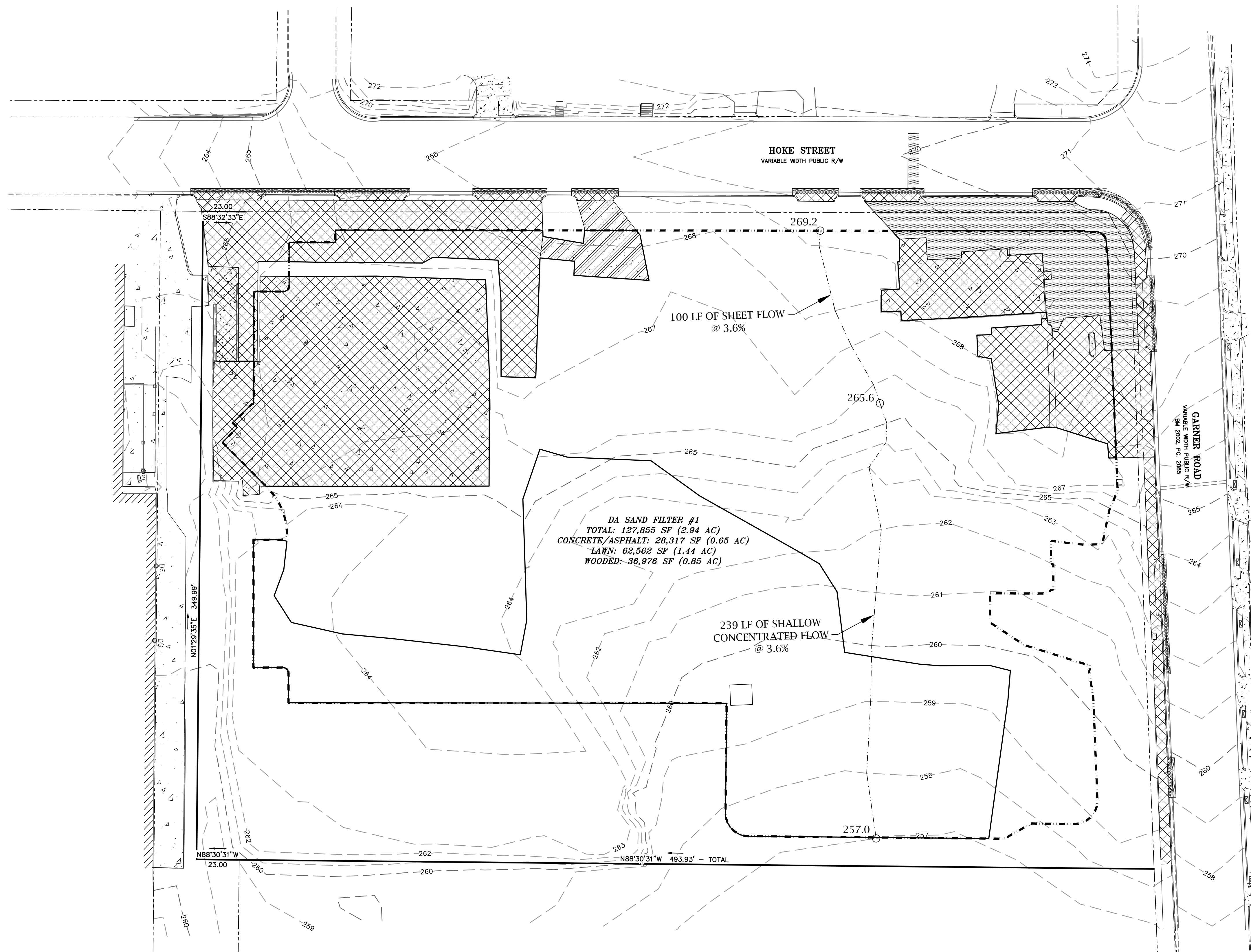
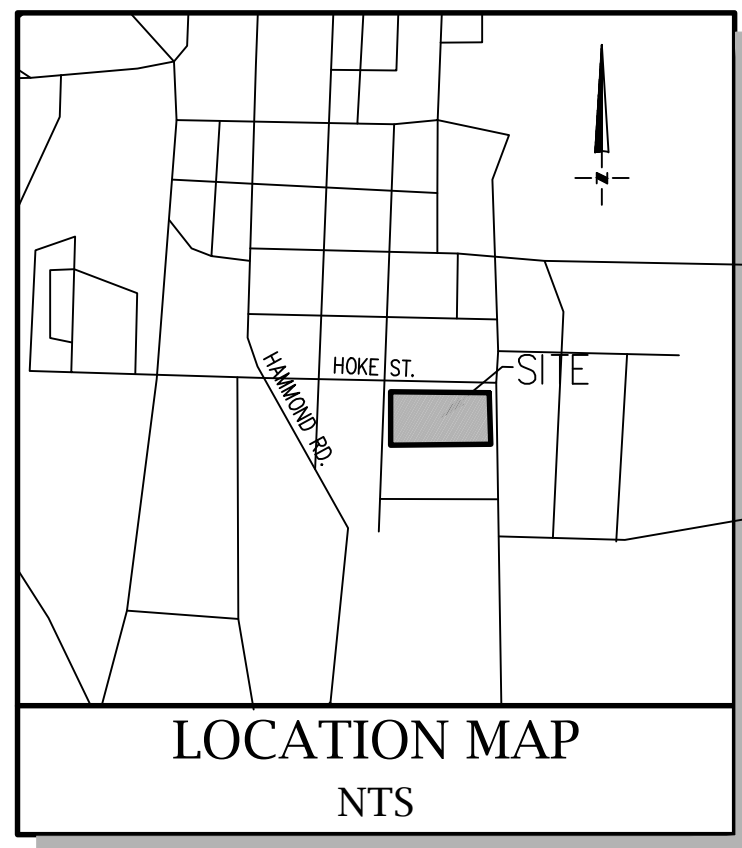
**STORM SEWER DRAINAGE AREA PLAN**

REVISIONS

NO.	DESCRIPTION

CAD FILE: 23-025 BASE.DWG  
PROJECT NO.: 23-025  
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**C4.2**



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**PASSAGE HOME, INC.**  
PO BOX 28165  
RALEIGH, NC 27611

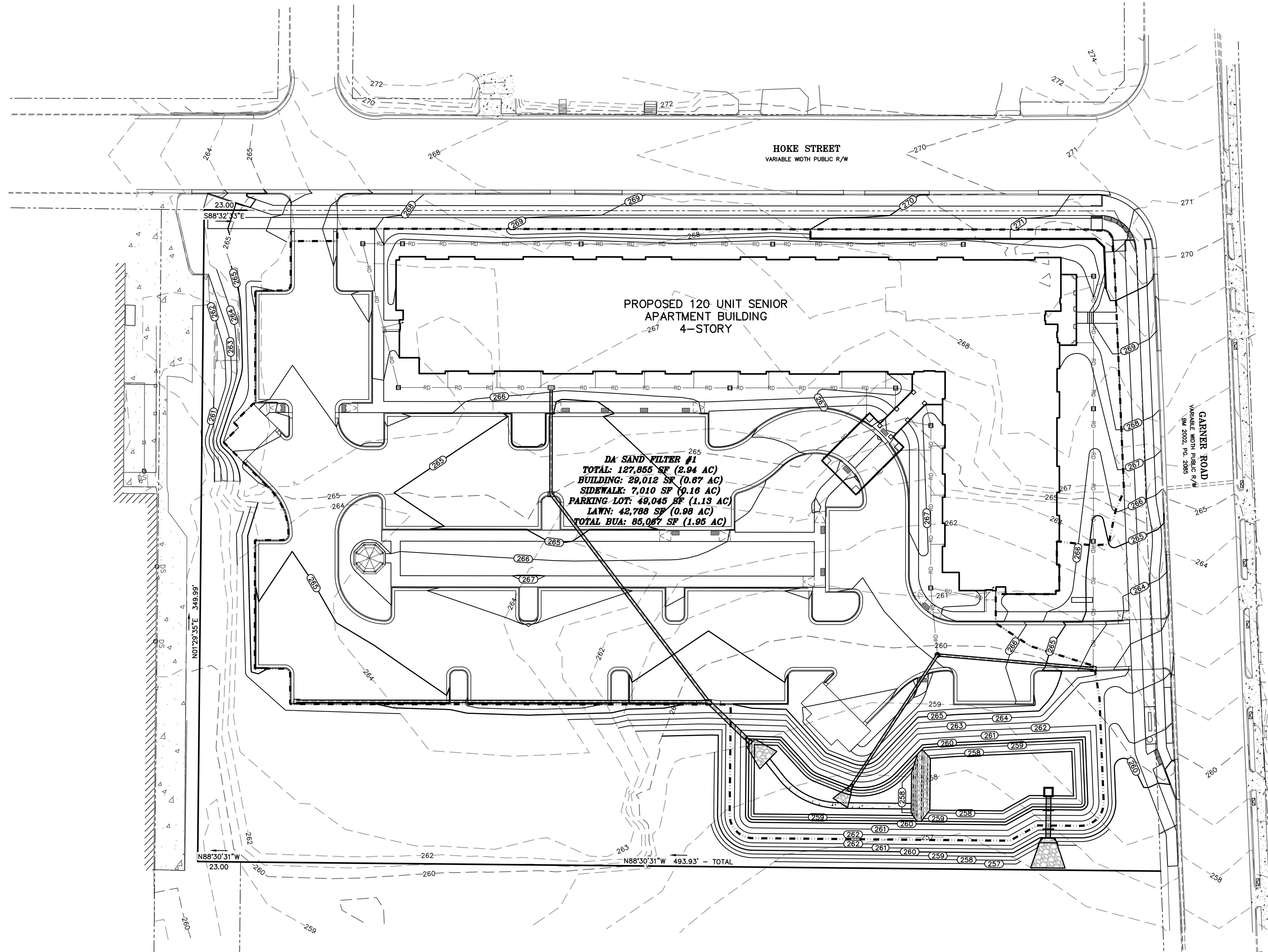
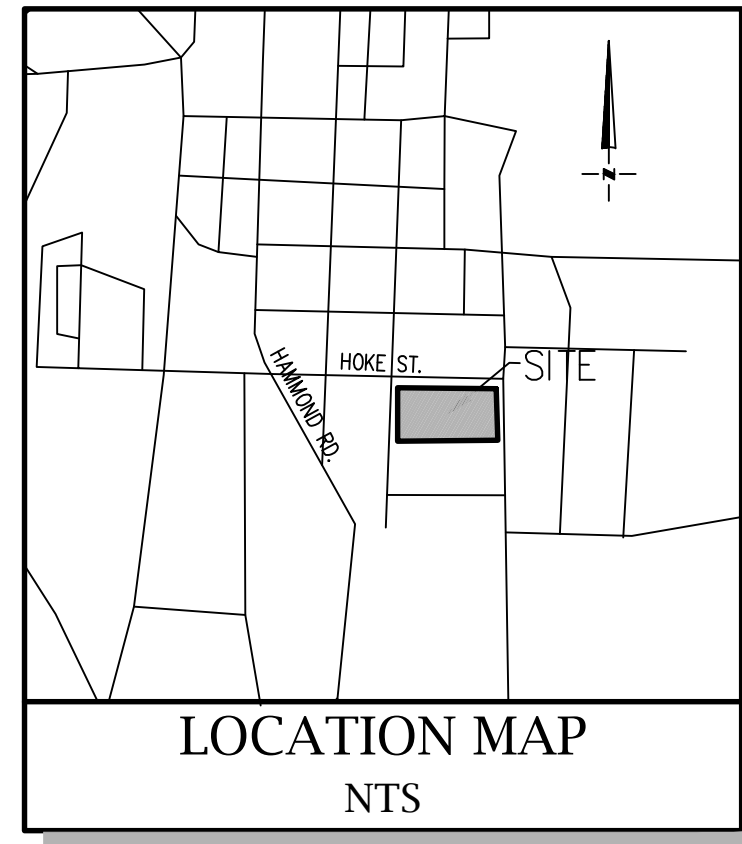
**PRE-DEVELOPMENT DRAINAGE AREA PLAN**

REVISIONS

NO.	DATE	DESCRIPTION

CAD FILE: 23-025 BASE.DWG  
PROJECT NO.: 23-025  
DESIGNED BY: JDM  
REVIEWED BY: JDM  
DATE: OCTOBER 11, 2024

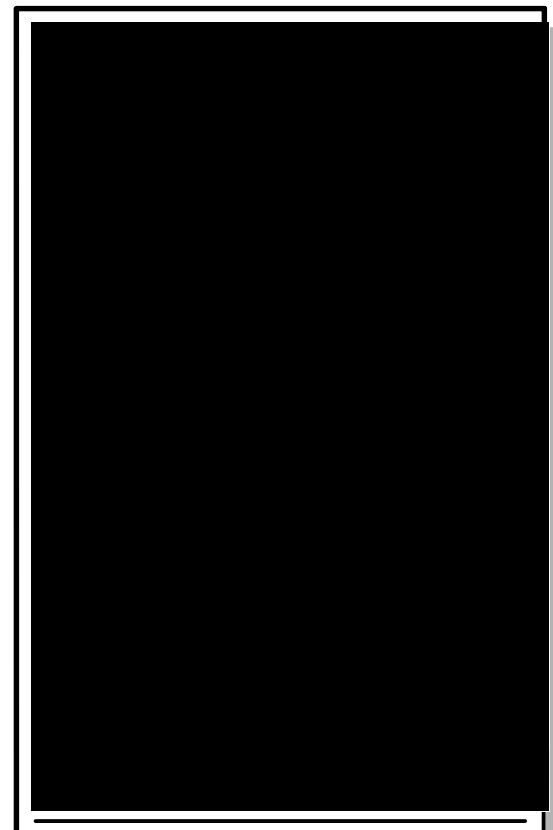
**C4.3**



**811**  
Know what's below.  
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GRAPHIC SCALE  
( IN FEET )  
1 inch = 30 ft.

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CHARLOTTE, NC 28262  
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**PASSAGE HOME, INC.**  
PO BOX 28165  
RALEIGH, NC 27611

**POST-DEVELOPMENT DRAINAGE AREA PLAN**

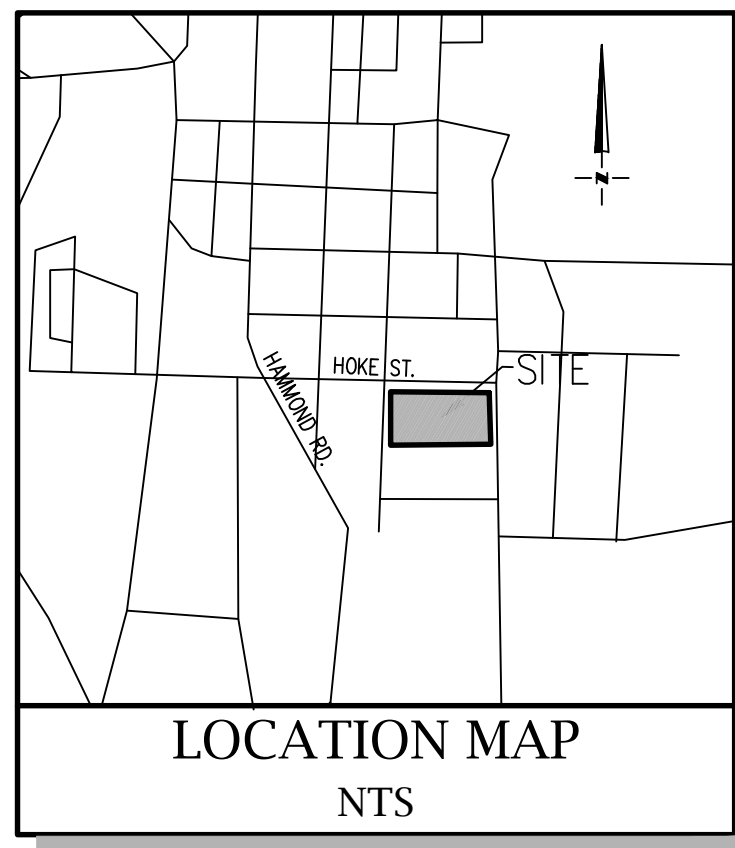
REVISIONS

NO.	DATE	DESCRIPTION

CAD FILE: 23-025 BASE.DWG  
PROJECT NO.: 23-025  
DESIGNED BY: JDM  
REVIEWED BY: JDM  
DATE: OCTOBER 11, 2024

**C4.4**





**TREE SAVE AND PRESERVATION**

18. TREE PROTECTION MUST BE INSTALLED AND VERIFIED BY URBAN FORESTRY PRIOR TO STARTING ANY CONSTRUCTION ACTIVITY.

19. SHOW TREE PROTECTION AND TREE SAVE AREAS ON DEMOLITION, EROSION CONTROL, GRADING AND LANDSCAPE PLAN SHEETS.

20. COMMERCIAL TREE SAVE AREAS MUST BE RECORDED ON A FINAL PLAN WITH THE MECKLENBURG COUNTY REGISTER OF DEEDS BEFORE URBAN FORESTRY HOLDS CAN BE RELEASED. A 10' NO BUILD ZONE AROUND TREE SAVE AREAS MUST BE REFERENCED ON THE PLAN.

21. TREE SAVE AREAS SHALL BE FREE OF INVASIVE PLANT SPECIES. IF AN AREA PROPOSED FOR TREE SAVE CONTAINS INVASIVE PLANT SPECIES AT TIME OF PROPOSAL, SUCH INVASIVE PLANT SPECIES SHALL BE REMOVED PRIOR TO FINAL CO.

22. THE AREA OF ANY EASEMENTS (WATER, SEWER, UTILITY, ETC.) CAN NOT BE COUNTED TOWARD THE TREE SAVE REQUIREMENT.

23. ANY ACTIVITY IN TREE SAVE AREAS MUST BE ACCOMPLISHED WITHOUT MECHANIZED EQUIPMENT.

24. NO STRUCTURE WILL BE ALLOWED WITHIN 10' OF TREE SAVE AREAS UNLESS APPROVED BY URBAN FORESTRY.

25. ALL TREES ON PUBLIC STREET RIGHT-OF-WAY PROPERTY ARE PROTECTED AND REMOVAL MUST BE PERMITTED BY URBAN FORESTRY.

26. CONTACT URBAN FORESTRY PRIOR TO ANY CRANE SET-UP, MACHINERY OPERATION OR TEMPORARY BUILDING ERECTION THAT MAY IMPACT PROTECTED TREES, TREE SAVE AREAS, INCLUDING CITY TREES IN PUBLIC RIGHT-OF-WAY. IMPACTS MAY INCLUDE BUT ARE NOT LIMITED TO:

10. ENCROACHING IN TREE DRIP-LINES, EXCAVATION, SOIL COMPACTION, TREE TRIMMING, ERECTING AND DISMANTLING OF CONSTRUCTION CRANES.

**TREE PLANTING NOTES:**

**PLANT MATERIAL**

1. MINIMUM TREE SIZE AT PLANTING IS 2" CALIPER AND 8' TALL FOR SINGLE-STEM TREES. ALL MULTI-STEM PLANTS MUST BE TREE FORM. MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 10' TALL, WHERE 3" SINGLE-STEM CALIPER TREES ARE SPECIFIED/REQUIRED THE MINIMUM HEIGHT SHALL BE 10' TALL, IF MULTI-STEM TREES ARE SPECIFIED THEN THEY SHALL BE A MINIMUM OF 12' TALL.

2. ALL NEW TREES MUST HAVE STRAIGHT TRUNKS WITH STRONG CENTRAL LEADERS INTACT TO THE TOP OF THE CROWN UNLESS MULTI-STEM TREES ARE SPECIFIED. ALL REQUIRED TREES SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, HAVE WELL-DEVELOPED BRANCHES, BE VIGOROUS AND HAVE FIBROUS ROOT SYSTEMS. TREES WITH MAJOR GROUNDING ROOTS WILL NOT BE ACCEPTED. TREES WITH CO-DOMINANT BRANCHING WILL NOT BE ACCEPTED. TREES THAT HAVE BEEN SHEARED, TOPPED OR CUT BACK TO MULTIPLE BRANCHING STRUCTURE WILL NOT BE ACCEPTED. TREES SHALL BE FREE OF ABRASIONS, DAMAGE, DISEASE, PESTS AND CRACKS. ALL PRUNING CUTS GREATER THAN 1/4" INCH DIAMETER SHALL HAVE CALLUS TISSUE FORMED PRIOR TO PLANTING. NO PRUNING CUT ON THE TRUNK SHALL BE MORE THAN ONE-HALF THE DIAMETER OF THE CENTRAL LEADER AT THE HEIGHT WHERE THE CUT WAS MADE. ROOT FLARES SHALL BE LOCATED AT GRADE. TREES WITH MORE THAN 2" OF SOIL COVERING THE ROOT BALL/FLARE FROM WILL NOT BE ACCEPTED.

3. SIZE OF REQUIRED PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z601 (LATEST EDITION) AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, EXCEPT WHERE SPECIFIED/AUTHORIZED BY URBAN FORESTRY. ALL REQUIRED TREES OF A PARTICULAR SPECIES AND VARIETY SHALL BE UNIFORM IN SIZE AND CONFIGURATION.

4. PERIMETER TREES IN URBAN ZONES SHALL BE 3" IN CALIPER AND BE FREE OF BRANCHES UP TO 6' FROM THE TOP OF ROOT CROWN (BALL).

5. A MINIMUM OF 50% OF NEW TREES MUST BE NATIVE SPECIES, AND SITES WITH MORE THAN 20 TREES REQUIRED WILL HAVE TO INSTALL MULTIPLE (3 OR MORE) SPECIES PURSUANT TO THE TREE ORDINANCE GUIDELINES.

6. 75% OF REQUIRED TREES MUST BE LARGE MATURE SPECIES EXCEPT IN SITUATIONS WITH OVERHEAD POWER LINE CONFLICTS.

**PLANTING REQUIREMENTS**

7. PLASTIC HOSE PARTS WILL NOT BE ACCEPTED FOR TREE STAKING. SEE CITY OF RALEIGH UDO AND STANDARD DETAILS FOR APPROVED STAKING METHOD/MATERIALS.

8. ALL STRAPPINGS AND TOP 1/3 OF WIRE BASKET AND BURLAP MUST BE CUT AWAY AND REMOVED FROM ROOT BALL WHEN PLANTING.

9. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 18" NEW TOPSOIL OR TILL AND AMEND THE TOP 18" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES (WITHIN ENTIRE MINIMUM AREA OF 274 SQUARE FEET).

10. TREES PLANTED ON PUBLIC STREET RIGHT-OF-WAY REQUIRE APPROVAL FROM URBAN FORESTRY PRIOR TO INSTALLATION.

11. REVIEW SOIL REQUIREMENTS IN THE TREE ORDINANCE GUIDELINES.

**UTILITY ISSUES**

12. IF UTILITY IS TO BE INSTALLED IN/NEAR ANY REQUIRED TREE(S) OR TREE SAVE AREA(S), CALL URBAN FORESTRY PRIOR TO UTILITY INSTALLATION.

13. LARGE MATURING TREES MAY NOT BE PLANTED WITHIN 25' OF OVERHEAD POWER DISTRIBUTION OR TRANSMISSION LINES.

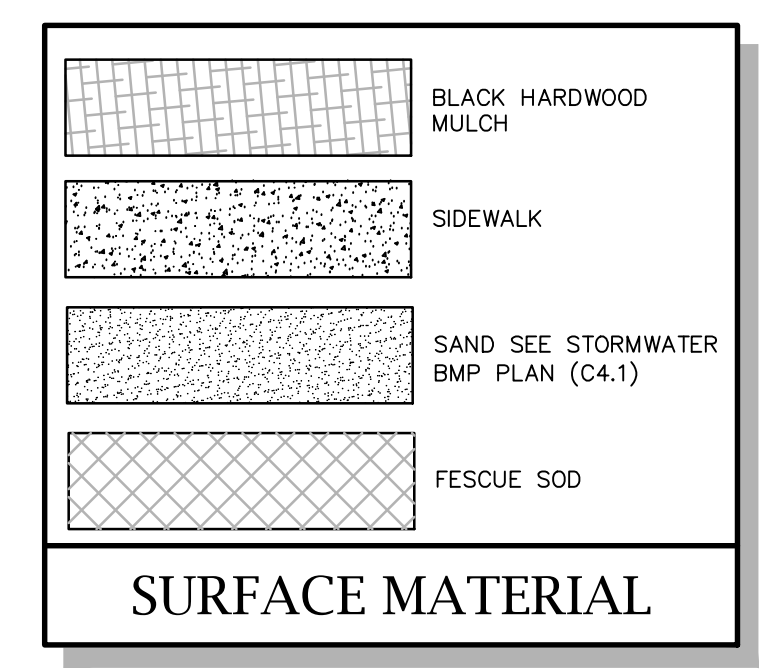
14. IF TREES CONFLICT WITH ANY UTILITIES OR SIGNS, CALL URBAN FORESTER TO RESOLVE BEFORE PLANTING.

15. ADJUST TREE PLANTING LOCATIONS TO AVOID EXISTING UNDERGROUND UTILITIES. PLANT 15' FROM ALL UNDERGROUND UTILITIES.

16. NO LIGHT POLES, UTILITIES OR TRANSFORMERS CAN BE INSTALLED IN TREE ISLANDS.

17. COMMERCIAL SCALE LIGHTING (> 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 30' FROM A TREE. PEDESTRIAN SCALE LIGHTING (< 15' IN HEIGHT) MUST BE A MINIMUM DISTANCE OF 15' FROM A TREE. SHOW SITE LIGHTING ON LANDSCAPE PLAN.

- KEY NOTES:**
- (A) INSTALL NEW TREE PER TREE PLANTING DETAIL. SEE DETAIL 7/C9.8. TREES SHALL BE FURNISHED WITH A 6" DIAMETER MULCH AREA THAT IS 3-4" THICK LAYER OF PINE NEEDLES MULCH AROUND PLANTED TREES WITHIN PROPOSED GRASSED AREAS.
- (B) INSTALL NEW SHRUBS. CONTRACTOR SHALL INSTALL 3-4" THICK LAYER OF PINE NEEDLES MULCH.
- (C) INSTALL PROPOSED TREE PROTECTION FENCE AT BEGINNING OF CONSTRUCTION SEE DETAIL 9/C9.8.
- (D) ANY DISTURBED AREA THAT IS NOT A PLANTING BED OR COVERED WITH A HARD SURFACE SHALL BE PERMANENTLY STABILIZED BY THE LANDSCAPER WITH SEED. LANDSCAPER SHALL PREPARE SOIL BY ADDING STARTER FERTILIZER, LIMESTONE AND FESCUE SEED MIX.
- (E) INSTALL 4' BLACK PVC COATED CHAINLINK FENCE AROUND SOM WITH A PROPOSED 2-6" WIDE GATES FOR MAINTENANCE ACCESS.
- (F) INSTALL FESCUE SOD AROUND PROPOSED SAND FILTER AS INDICATED WITH HATCHED AREA MEDIA.



SYMBOL	QTY	COMMON NAME	SCIENTIFIC NAME	CALIPER	MIN. HEIGHT
(Symbol)	10	LIVE OAK	<i>Quercus virginiana</i>	3"	10'
(Symbol)	6	SOUTHERN RED OAK	<i>Quercus falcata</i>	3"	10'
(Symbol)	12	EASTERN RED CEDAR	<i>Juniperus virginiana</i>	3"	10'
(Symbol)	5	EUROPEAN HORNBEAM	<i>Capernicus betulus</i>	3"	10'
(Symbol)	20	EASTERN REDBUD	<i>Cercis canadensis</i>	2"	8'
(Symbol)	95	ROUNDLEAF JAPANESE HOLLY	<i>Ilex crenata 'rotundifolia'</i>	5 GAL	30"
(Symbol)	78	ENGLISH HOLLY	<i>Ilex aquifolium</i>	5 GAL	30"
(Symbol)	67	DWARF BURFORD HOLLY	<i>Ilex cornuta</i>	5 GAL	30"
(Symbol)	79	INKBERRY HOLLY	<i>Ilex glabra</i>	5 GAL	30"

NOTE:  
1. PLANTS MUST BE APPROVED BY CITY OF RALEIGH URBAN FORESTRY

**PLANT MATERIALS LIST**

**STREET TREES**

**HOKE STREET (CITY OF RALEIGH)**

TOTAL STREET FRONTAGE: 465 LF  
REQUIRED STREET TREES: 12 EA  
- LARGE MATURING 40' O.C.  
PROPOSED STREET TREES: 12 EA

**GARNER ROAD (NCDOT)**

TOTAL STREET FRONTAGE: 352 LF  
REQUIRED STREET TREES: 18 EA  
- SMALL MATURING 20' O.C.  
DUE TO OVERHEAD ELECTRIC  
PROPOSED STREET TREES: 18 EA

**INTERNAL TREE REQUIREMENTS**

- 1 TREE MUST BE PLANTED FOR EVERY 10 SPACES  
REQUIRED TREES: 12  
PROPOSED TREES: 21  
PROPOSED LARGE MATURING TREES: 16  
PROPOSED SMALL MATURING TREES: 5

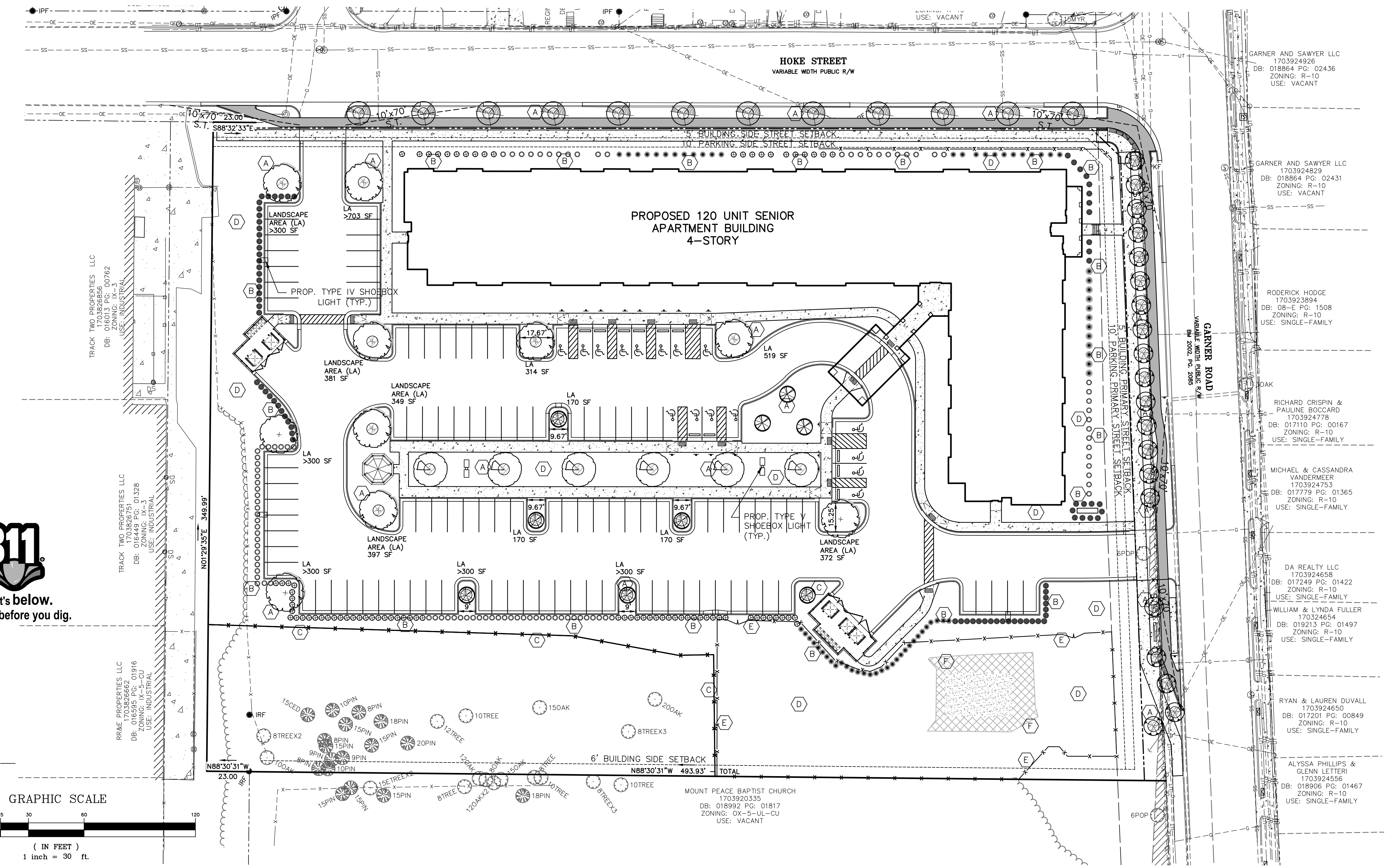
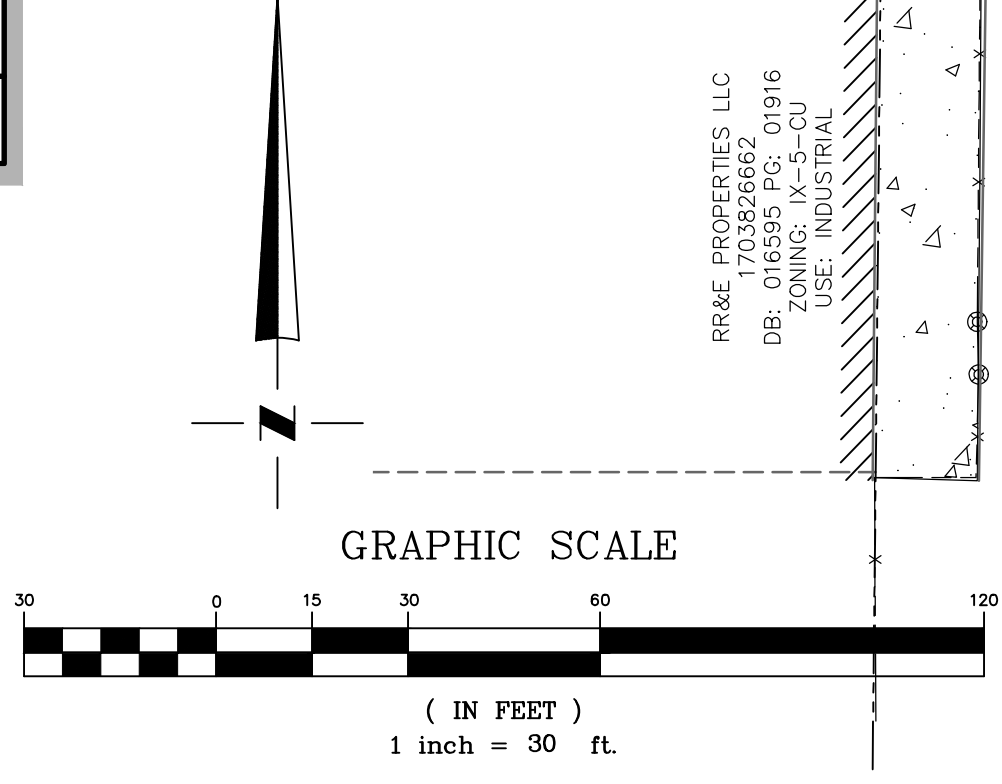
**INTERNAL LANDSCAPE PERIMETER REQUIREMENTS**

- A LANDSCAPE PERIMETER ISLAND SHALL BE PROVIDED ALONG PRIMARY INTERNAL ACCESS DRIVES.  
- MINIMUM OF 5 FT. WIDE WITH SHRUBS INSTALLED 30 PER 100 LF.

**TREE SAVE AREA REQUIREMENTS**

- 10% OF GROSS SITE AREA  
REQUIRED TREE SAVE AREA: 17,332 SF  
PROPOSED TREE SAVE AREA: 19,395 SF

**LANDSCAPE SUMMARY**



**MC<sup>2</sup> ENGINEERING**

MC<sup>2</sup> ENGINEERING, INC.  
2110 BEN CRAIG DR., STE. 400  
CHARLOTTE, NC 28262  
PHONE 704.518.1979

**HOKE STREET APARTMENTS**

HOKE STREET  
RALEIGH, NC 27601

**WALLICK ASSET MANAGEMENT LLC**  
160 W MAIN STREET #200  
NEW ALBANY, OH 43054

**PASSAGE HOME, INC.**  
PO BOX 28165  
RALEIGH, NC 27611

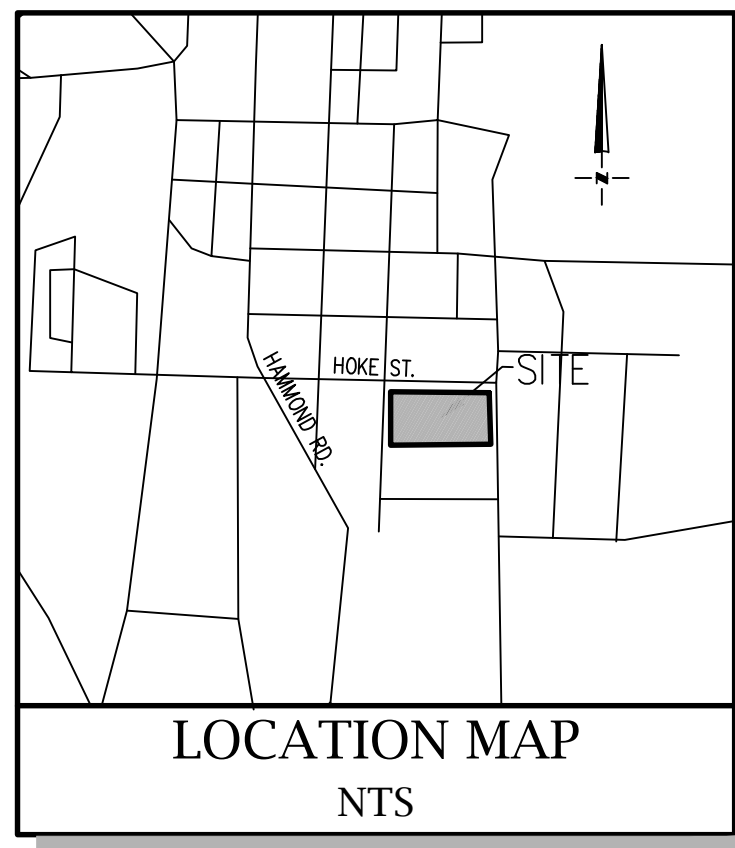
**LANDSCAPE PLAN**

REVISIONS

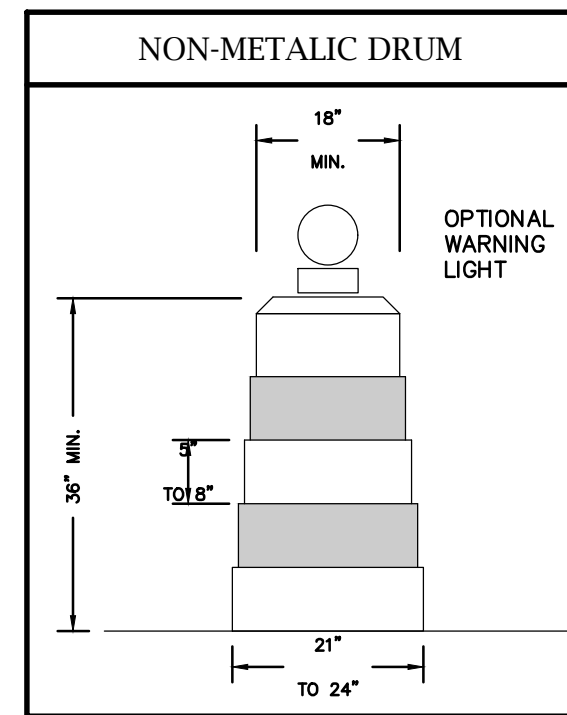
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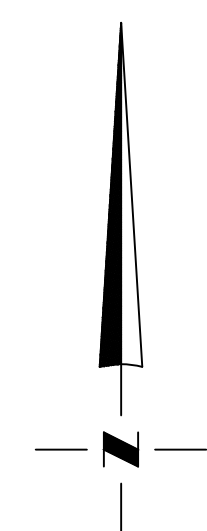
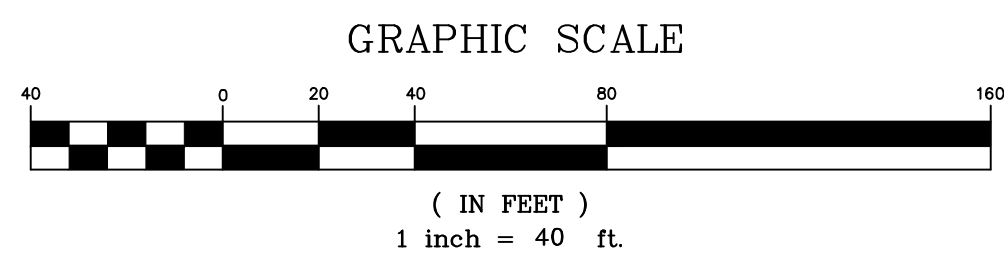
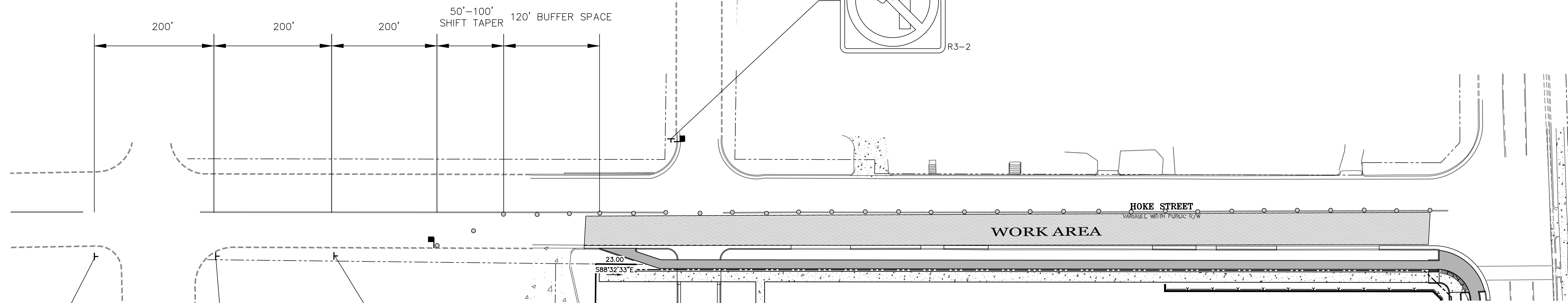
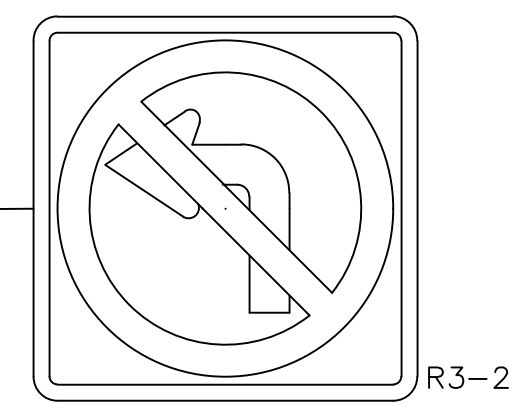
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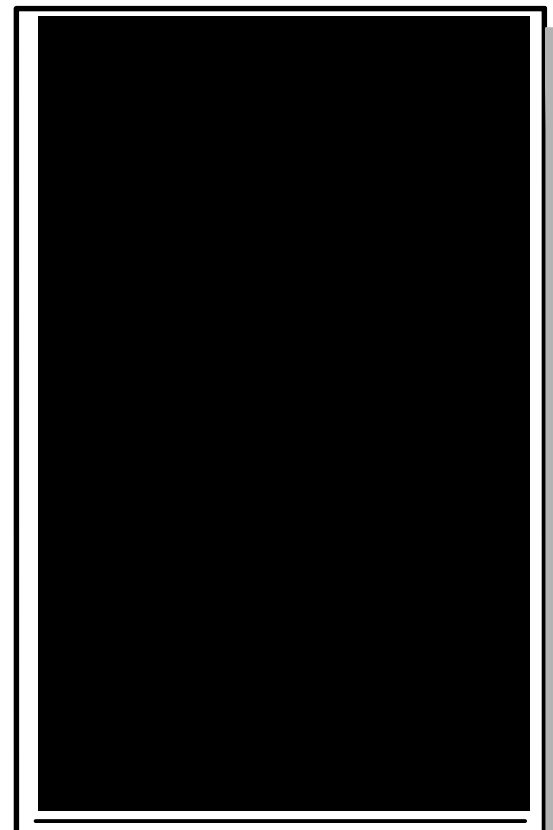
- TRAFFIC CONTROL PLAN NOTES:**
1. ALL EXISTING DRIVEWAYS SHALL REMAIN OPEN DURING LANE CLOSURE(S)
  2. ONLY DRUMS (NCDOT STANDARD 1130.01) SHALL BE USED DURING LANE CLOSURE(S), NO CONES WILL BE ALLOWED
  3. LANE CLOSURES SHALL BE PERFORMED DURING NON-AM (6AM-9AM) AND NON-PM (4PM-6PM) PEAK HOURS DURING REGULAR BUSINESS DAYS (M-F)



LEGEND	
	DRUMS
	WORK AREA
	TYPE III BARRICADE
	ARROW PANEL
	CHANGEABLE MESSAGE SIGN



**MC<sup>2</sup> ENGINEERING**  
 MC<sup>2</sup> ENGINEERING, INC.  
 2110 BEN CRAIG DR., STE. 400  
 CHARLOTTE, NC 28262  
 PHONE 704.510.1979



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**HOKE STREET APARTMENTS**  
 HOKE STREET  
 RALEIGH, NC 27601

**WALLICK ASSET MANAGEMENT LLC**  
 160 W MAIN STREET #200  
 NEW ALBANY, OH 43054

**PASSAGE HOME, INC.**  
 PO BOX 28165  
 RALEIGH, NC 27611

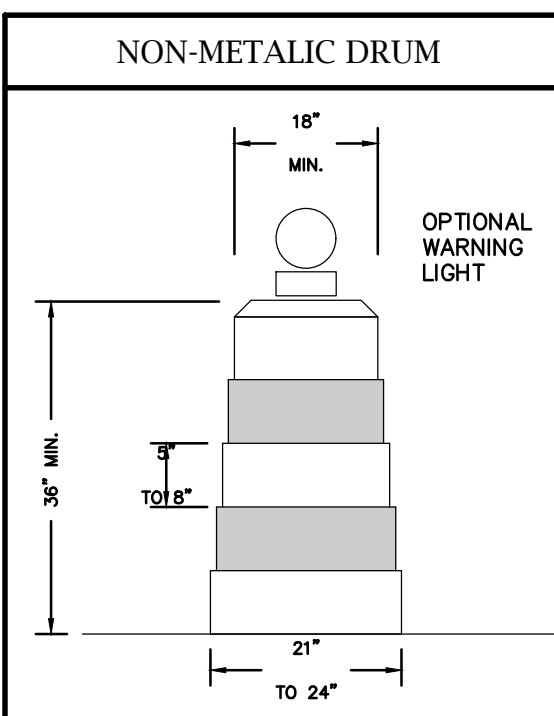
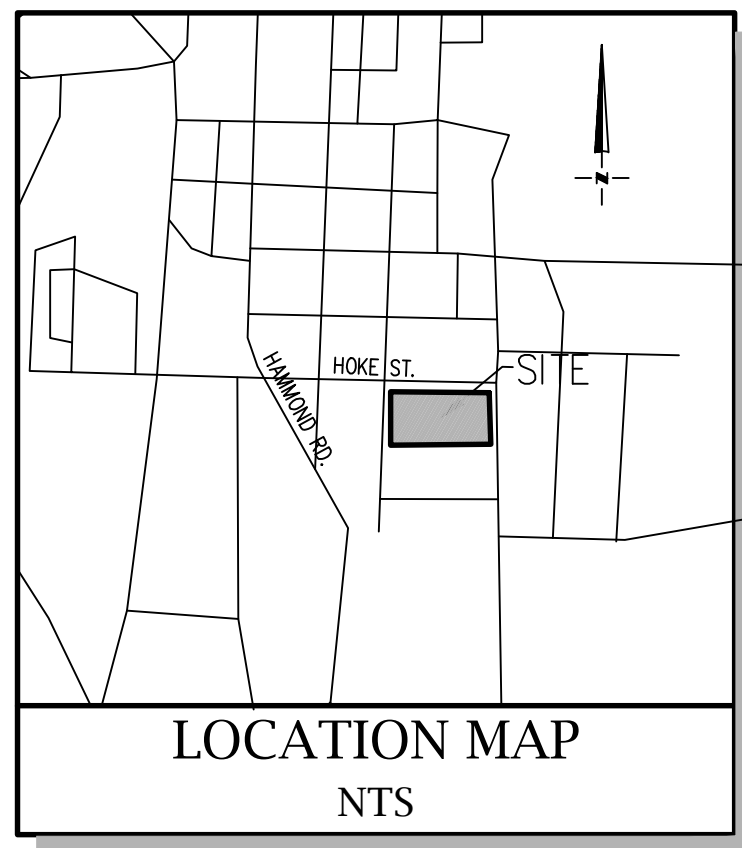
**TRAFFIC CONTROL PLAN  
 HOKE STREET**

REVISIONS	

CAD FILE: 23-025 BASE.DWG  
 PROJECT NO.: 23-025  
 DESIGNED BY: JDM  
 REVIEWED BY: JDM  
 DATE: OCTOBER 11, 2024

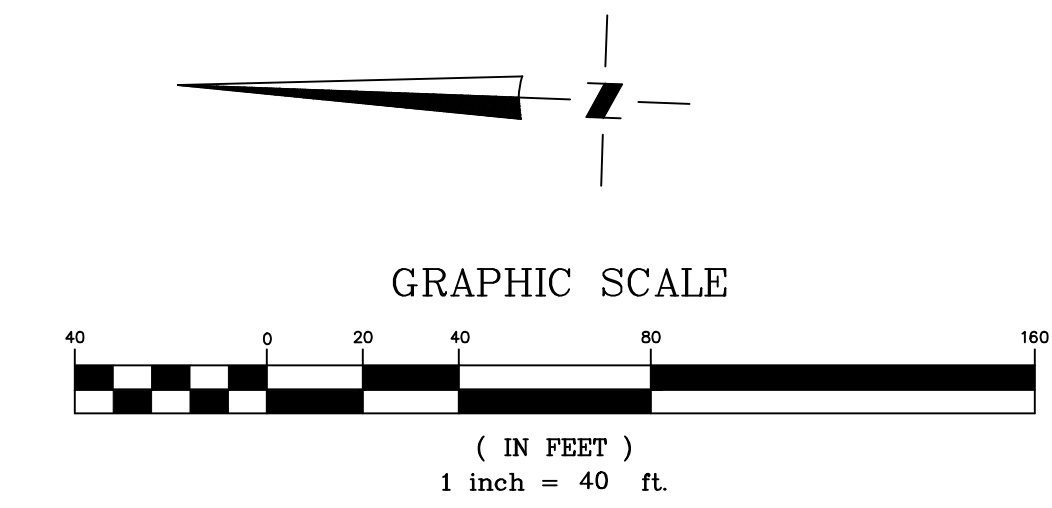
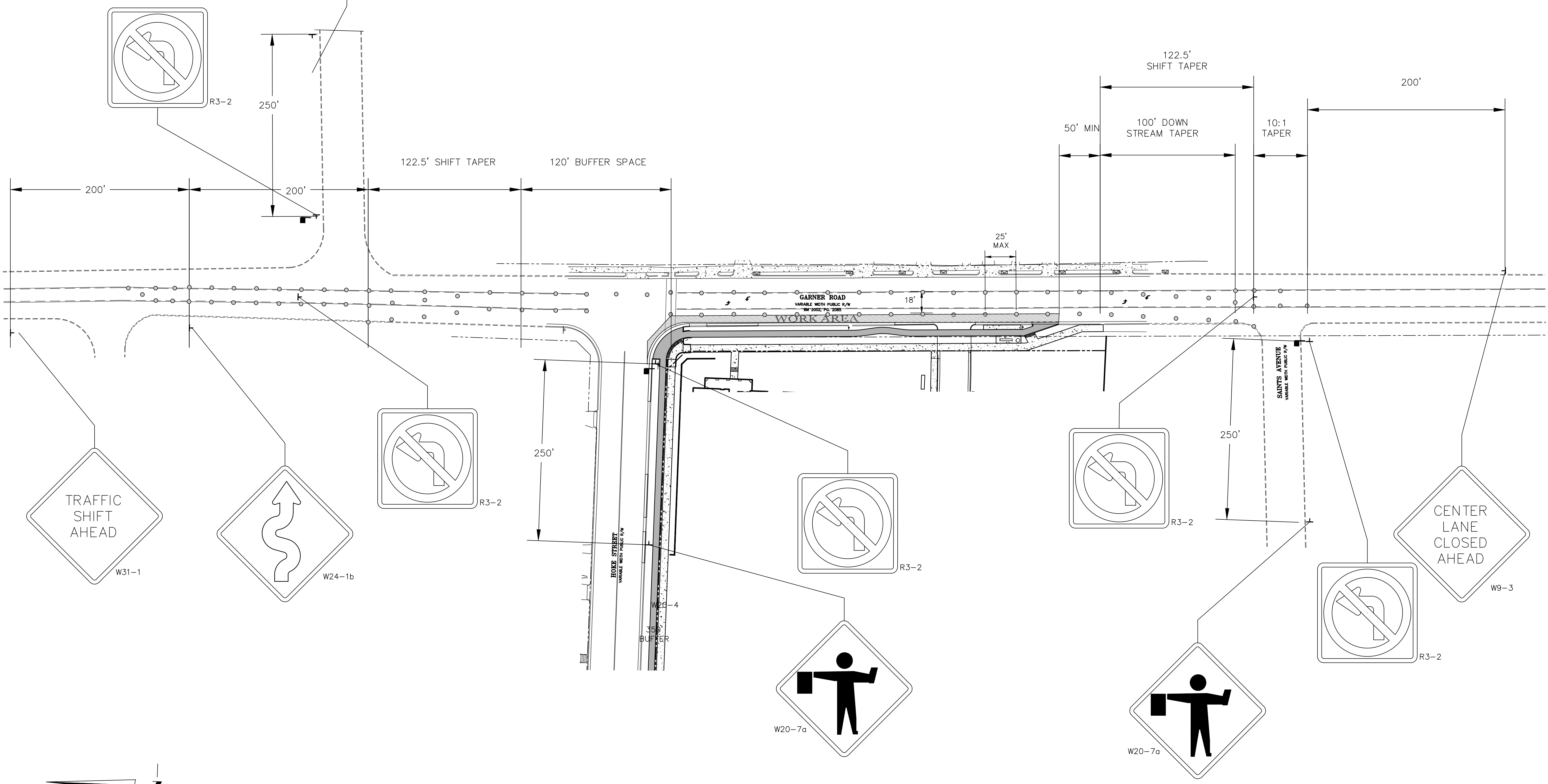


**C6.1**



**LEGEND**

- DRUMS
- WORK AREA
- TYPE III BARRICADE
- ▶ ARROW PANEL
- ◀ CHANGEABLE MESSAGE SIGN



**MC<sup>2</sup> ENGINEERING**  
 MC<sup>2</sup> ENGINEERING, INC.  
 2110 BEN CRAIG DR., STE. 400  
 CHARLOTTE, NC 28262  
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**HOKE STREET APARTMENTS**  
 HOKE STREET  
 RALEIGH, NC 27601

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 NEW ALBANY, OH 43054

**PASSAGE HOME, INC.**  
 PO BOX 28165  
 RALEIGH, NC 27611

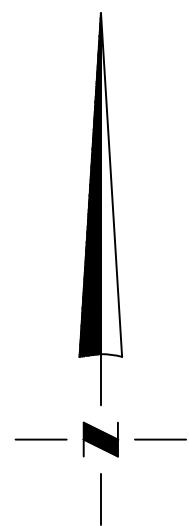
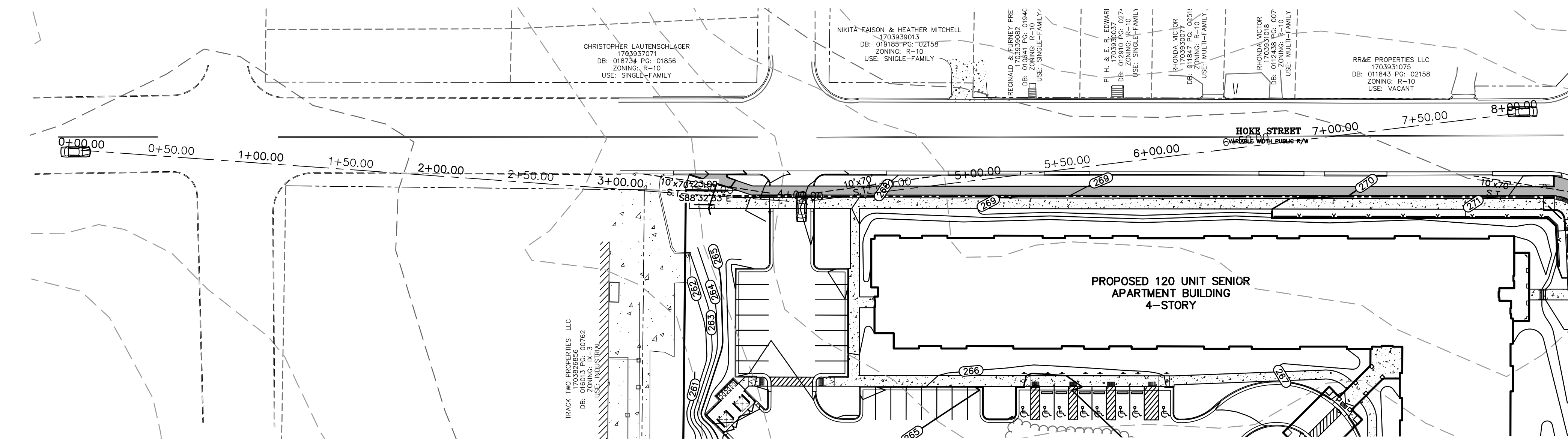
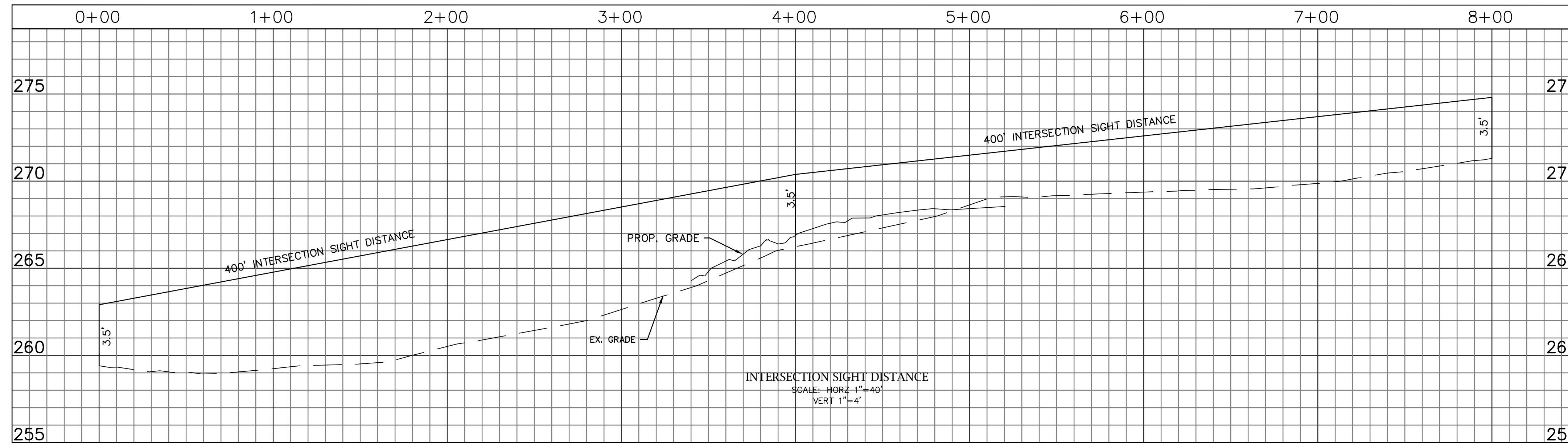
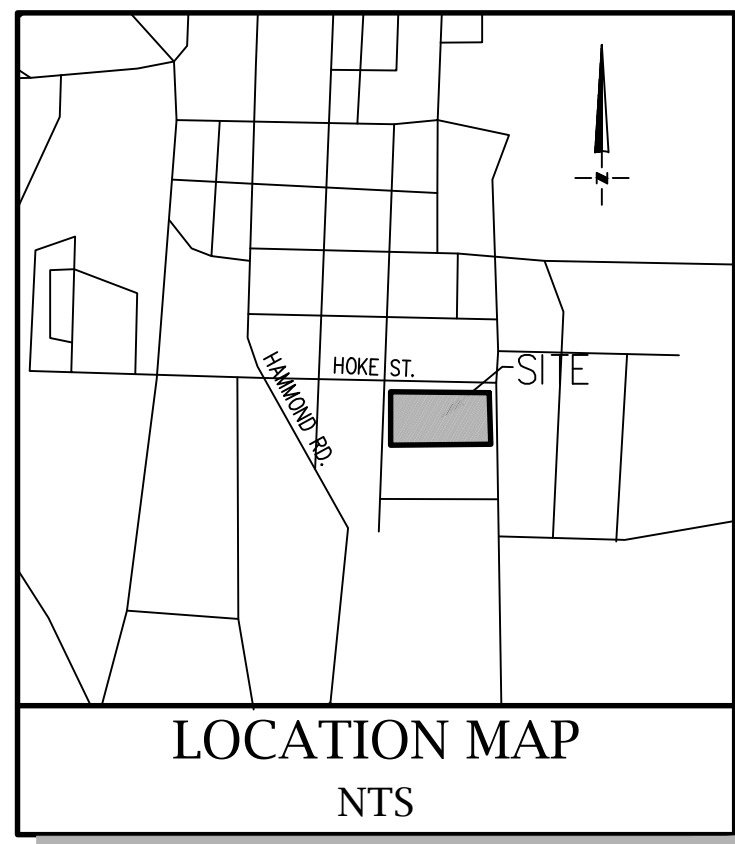
**TRAFFIC CONTROL PLAN  
 GARNER ROAD**

REVISIONS

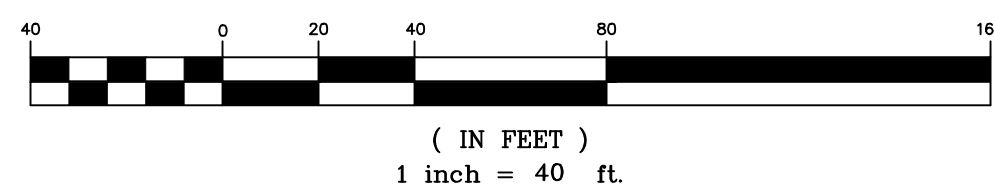
NO.	DESCRIPTION	DATE

CAD FILE: 23-025 BASE.DWG  
 PROJECT NO.: 23-025  
 DESIGNED BY: JDM  
 REVIEWED BY: JDM  
 DATE: OCTOBER 11, 2024

**C6.2**



GRAPHIC SCALE



Know what's below.  
Call before you dig.

**HOKE STREET APARTMENTS**

HOKE STREET  
RALEIGH, NC 27601  
WALLICK ASSET  
MANAGEMENT LLC  
160 W MAIN STREET #200  
NEW ALBANY, OH 43054  
PASSAGE HOME, INC.  
PO BOX 28165  
RALEIGH, NC 27611

**INTERSECTION  
SIGHT  
DISTANCE  
HOKE STREET**

REVISIONS

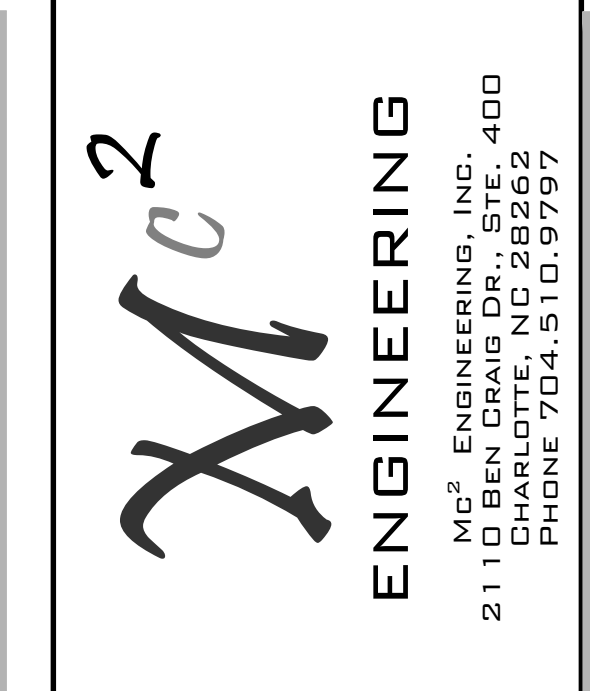
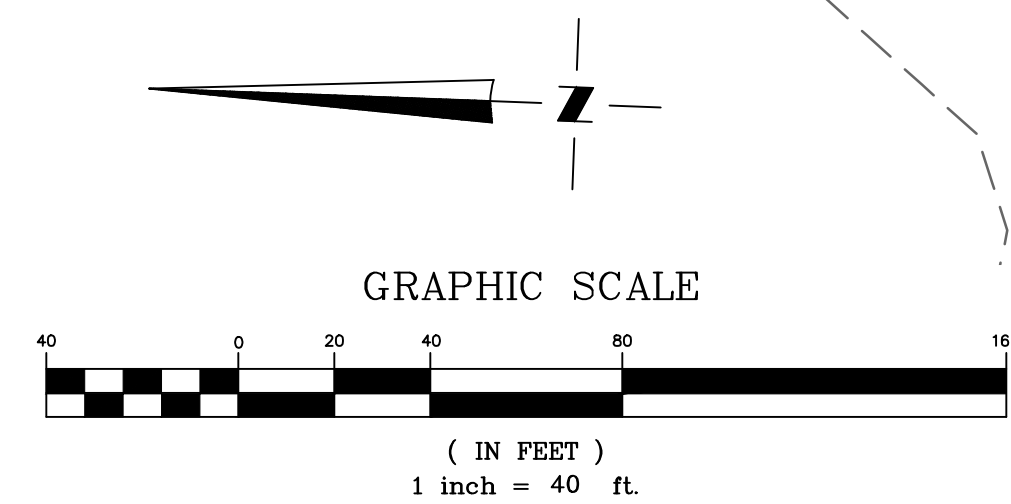
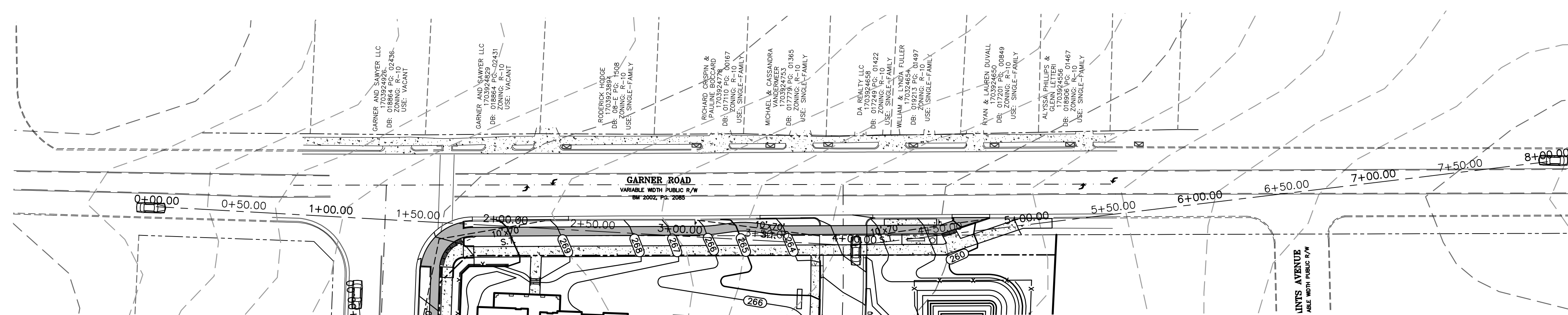
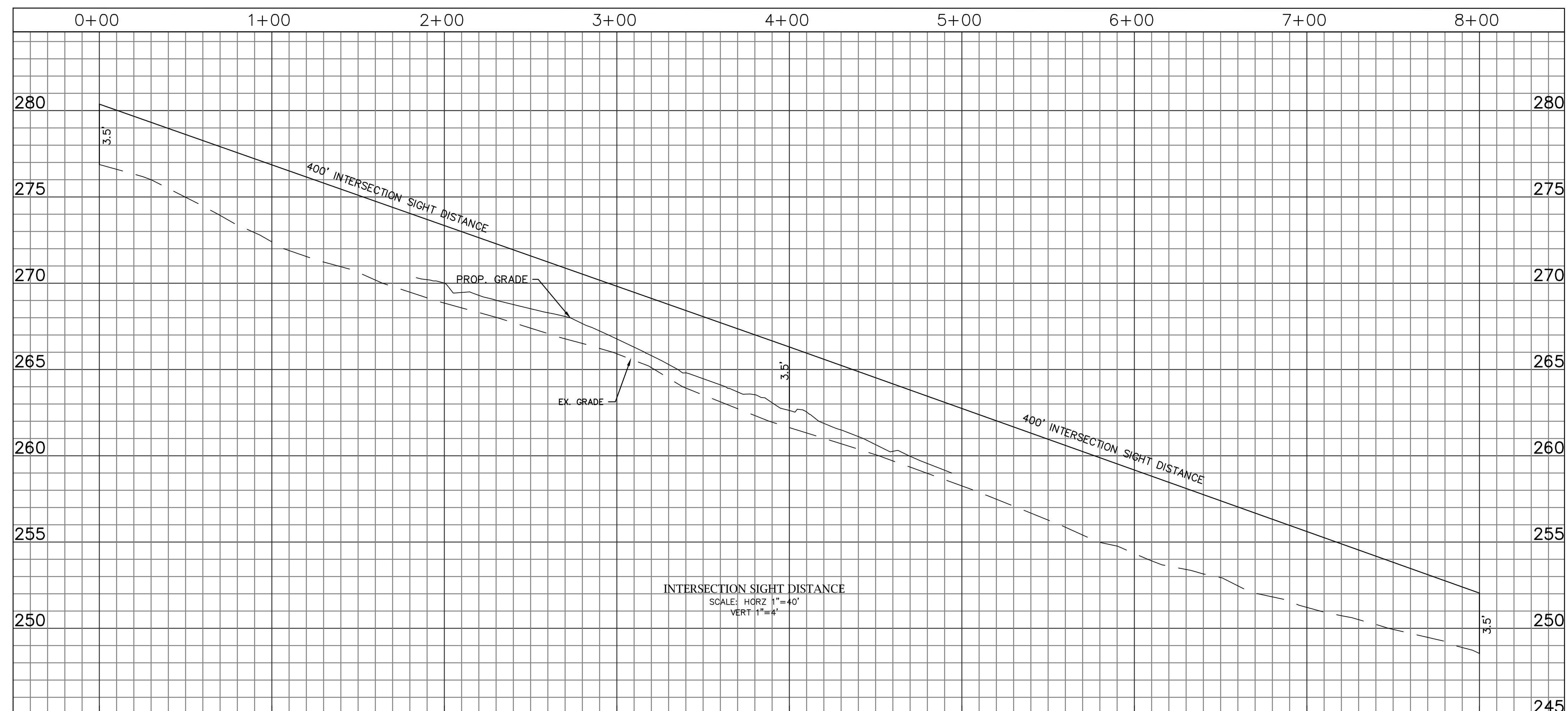
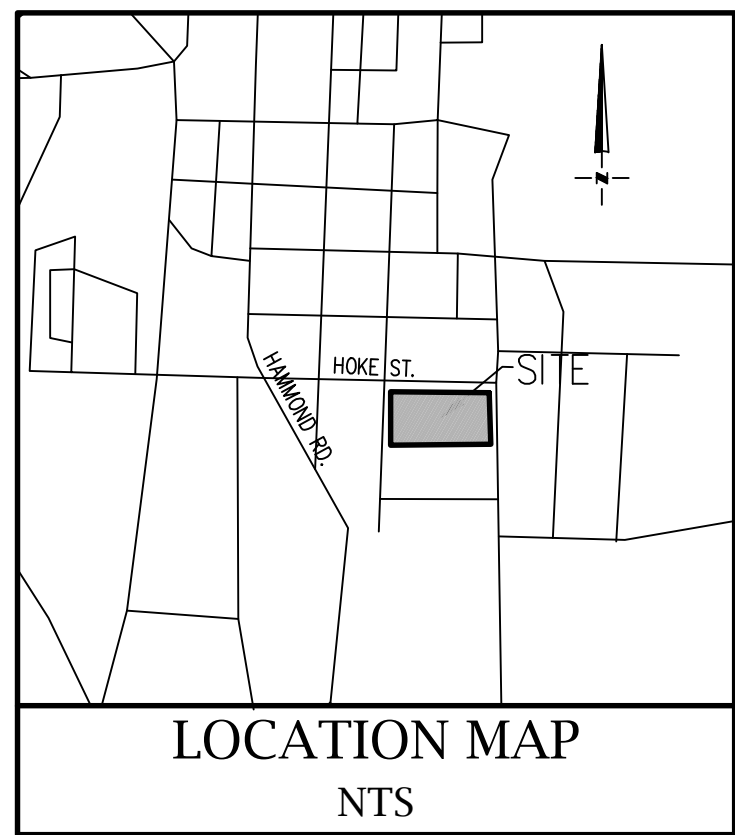
NO.	DATE	DESCRIPTION

CAD FILE: 23-025 BASE.DWG  
PROJECT NO.: 23-025  
DESIGNED BY: JDM  
REVIEWED BY: JDM  
DATE: OCTOBER 11, 2024

**C6.3**

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**ENGINEERING**  
MC<sup>2</sup> ENGINEERING, INC.  
2110 BEN CRAIG DR., STE. 400  
CHARLOTTE, NC 28262  
PHONE 704.510.1979



HOKE STREET APARTMENTS  
HOKE STREET  
RALEIGH, NC 27601

WALLICK ASSET MANAGEMENT LLC  
160 W MAIN STREET #200  
NEW ALBANY, OH 43054

PASSAGE HOME, INC.  
PO BOX 28165  
RALEIGH, NC 27611

INTERSECTION SIGHT DISTANCE  
GARNER ROAD

REVISIONS

NO.	DATE	DESCRIPTION

CAD FILE: 23-025 BASE.DWG  
PROJECT NO.: 23-025  
DESIGNED BY: JDM  
REVIEWED BY: JDM  
DATE: OCTOBER 11, 2024

C6.4



LOCATION MAP  
NTS

CITY OF RALEIGH STANDARD UTILITY NOTES:

- 1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE...
B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'...
C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN...
D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORE SEWER FACILITIES...
E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS...
F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL...
4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PRIVATE PROPERTY...
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT...
6. SEWER BYPASS PUMPING - A BYPASS PLAN SEALED BY AN NC PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL...
7. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS...
8. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE...
9. INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT...
10. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE...
11. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI...
12. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA...
13. NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK...
14. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RW FOG PROGRAM COORDINATOR...
15. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA...
16. THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASAE) STANDARDS...
17. THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA...
18. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH, INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS...
19. NOTICE FOR PROJECTS THAT INVOLVE AN OVERSIZED MAIN OR URBAN MAIN REPLACEMENT...

SITE/UTILITY NOTES:

- 1. MAINTAIN MINIMUM 10' HORIZONTAL SEPARATION BETWEEN WATER LINE AND OTHER UTILITY LINES.
2. CONTRACTOR TO LOCATE BUILDING TIE-INS PER PLUMBING PLANS.
3. ALL BACKFLOW PREVENTERS SHALL BE IN ACCORDANCE WITH APPENDIX B OF THE NORTH CAROLINA 'RULES GOVERNING PUBLIC WATER SYSTEMS'
4. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CHARLOTTE WATER-REQUIRED ABOVE GROUND REDUCED PRESSURE BACKFLOW ASSEMBLY.
5. EACH RALEIGH PUBLIC WORKS REQUIRED BACKFLOW PREVENTER SHALL BE TESTED BY A RALEIGH PUBLIC WORKS APPROVED CERTIFIED TESTER PRIOR TO PLACING WATER SYSTEM IN SERVICE.
6. WATER SERVICE TO BE INSTALLED PER RALEIGH PLUMBING WORKS REQUIREMENTS.
7. NO PERMANENT INSULATION SHALL BE INSTALLED ON THE BP ASSEMBLY...
8. WATERLINE SHALL BE INSTALLED WITH A MINIMUM OF 36" OF COVER...
9. CONTRACTOR SHALL INSTALL A COPPER TRACER WIRE WITH PROPOSED PVC WATERLINE FOR FUTURE LOCATING...
10. CONTRACTOR SHALL FURNISH TRAFFIC BEARING SANITARY SEWER CLEANOUT COVERS IN ALL TRAFFIC BEARING LOCATIONS AND SIDEWALKS.
11. ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND...
12. SITE WILL HAVE NO PROPOSED IRRIGATION SERVICES.

UTILITY CONSTRUCTION NOTES:

- 1. ON-SITE PRIVATE SANITARY SEWER LATERAL SHALL BE COORDINATED WITH M&C2 ENGINEERING FOR CONSTRUCTION PHASE MONITORING AND TESTING.
2. THE PUBLIC AND PRIVATE WATER AND SANITARY SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS
3. ALL CONTRACTORS WORKING ON CITY OF RALEIGH PROJECTS ARE REQUIRED TO OWN A COPY OF THE DESIGN MANUAL AND SHALL KEEP A COPY ON THE JOB SITE AT ALL TIMES.

NCUC REQUIREMENTS:

- APPLIES TO 15 OR MORE LEASED, SUB-METERED RESIDENTIAL ONLY UNITS (WR OR WRN) \*WR: APARTMENTS, CONDO'S AND TOWNHOMES \*WRN: SINGLE DWELLING
-REQUIRES CUSTOMER TO SUBMIT APPLICATION TO NCUC INCLUDING ADDITIONAL DOCUMENTS AND FEES
\*NCUC REVIEWS AND APPROVES APPLICATION AND ISSUES "CERTIFICATE OF AUTHORITY" IN WHICH THEY ESTABLISH WATER AND SEWER RATES
-WR OR WRN DESIGNATIONS ARE ONLY EXEMPT IF WATER AND SEWER FEES WILL BE PAID AS A PART OF RENT
\*APPLICATION STILL REQUIRED TO BE SUBMITTED TO NCUC SO THEY MAY ISSUE A "CERTIFICATE OF AUTHORITY"

PRIVATE WATER NOTES:

NDCOE (FORMERLY NCDENR) AND THE NORTH CAROLINA UTILITY COMMISSION (NCUC) SHALL BE CONTACTED AND INFORMED OF PROPOSAL TO SUB-METER PRIVATE DEVELOPMENT BEHIND CHARLOTTE WATER MASTER METER AFTER PRIVATE SYSTEM IS PERMITTED AND CERTIFIED IF SUB-METERING 15 OR MORE UNITS OR WILL BE SERVING 25 OR MORE PEOPLE (E.G., EMPLOYEES), CREATING A 'PUBLIC SYSTEM' REQUIRING IT TO BE REGULATED. ADDITIONAL REQUIREMENTS AND PROCEDURES DETERMINED BY NDCOE AND THE NCUC SHALL BE ADHERED TO ACCORDINGLY.

NDCOE REQUIREMENTS:

- APPLIES TO 15 OR MORE LEASED, SUB-METERED RESIDENTIAL OR COMMERCIAL UNITS OR SUB-METERED COMMERCIAL UNITS SERVING 25 OR MORE PEOPLE (E.G., EMPLOYEES),
-CREATING A 'PUBLIC SYSTEM'
-PRIVATE WATER DISTRIBUTION PLANS SHALL BE PERMITTED BY NDCOE (INSTEAD OF CLT WATER) AND PRIVATE SYSTEM WILL BE REGULATED
\*NDCOE WILL NOT REGULATE 'PUBLIC WATER SYSTEM' IF WR DESIGNATION IS OBTAINED BY NCUC

UTILITY INSTALLATION NOTE:

CONTRACTOR SHALL INSTALL WATERLINES ON-SITE PRIOR TO COMPLETING NEW WATER SERVICE CONNECTIONS.

UTILITY SCREENING:

ALL ABOVE GROUND UTILITIES SHALL BE SCREENED WITH PLANTINGS PER LANDSCAPING PLAN. SEE SHEET CS.0

RELATION OF WATER MAINS TO SEWERS (TAKEN FROM 15A NCAC 18C SECTION .0906 AND 15A NCAC 2T:

- 1. SEWER AND WATER MAINS SHALL HAVE AT LEAST A 10 FEET HORIZONTAL SEPARATION MEASURED FROM OUTSIDE EDGE TO OUTSIDE EDGE OF PIPE.
2. IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL SEPARATION AS DESCRIBED ABOVE OR ANYTIME THE SEWER IS OVER THE WATER MAIN, BOTH THE WATER MAIN AND SEWER MUST BE CONSTRUCTED OF FERROUS PIPE COMPLYING WITH PUBLIC WATER SUPPLY DESIGN STANDARDS AND BE PRESSURE TESTED TO 150 PSI TO ASSURE WATERTIGHTNESS BEFORE BACKFILLING.
3. A 24 INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR FERROUS PIPE SPECIFIED.

CROSSING A WATER MAIN OVER A SEWER

- WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 24 INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 24 INCH VERTICAL SEPARATION IN WHICH CASE BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.

CROSSING A WATER MAIN UNDER A SEWER

- WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.

The City of Raleigh consents to the connection and extension of the City's Public Sewer System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit #

The City of Raleigh consents to the connection and extension of the City's Public Water System as shown on this plan. The material and Construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook. City of Raleigh Public Utilities Department Permit #

ATTENTION CONTRACTORS

The Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Infrastructure Inspections Division and schedule a Pre-construction meeting on the Development Portal prior to beginning any construction. Raleigh Water must be contacted at (919) 996-4540 at least twenty-four hours prior to beginning any work activity around critical water and sewer infrastructure.

Failure to notify City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, install a downstream plug, have permitted plans on the jobsite, or any other violation of City of Raleigh Standards will result in a fine and possible exclusion from future work in the City of Raleigh.

Private Sewer Collection / Extension System

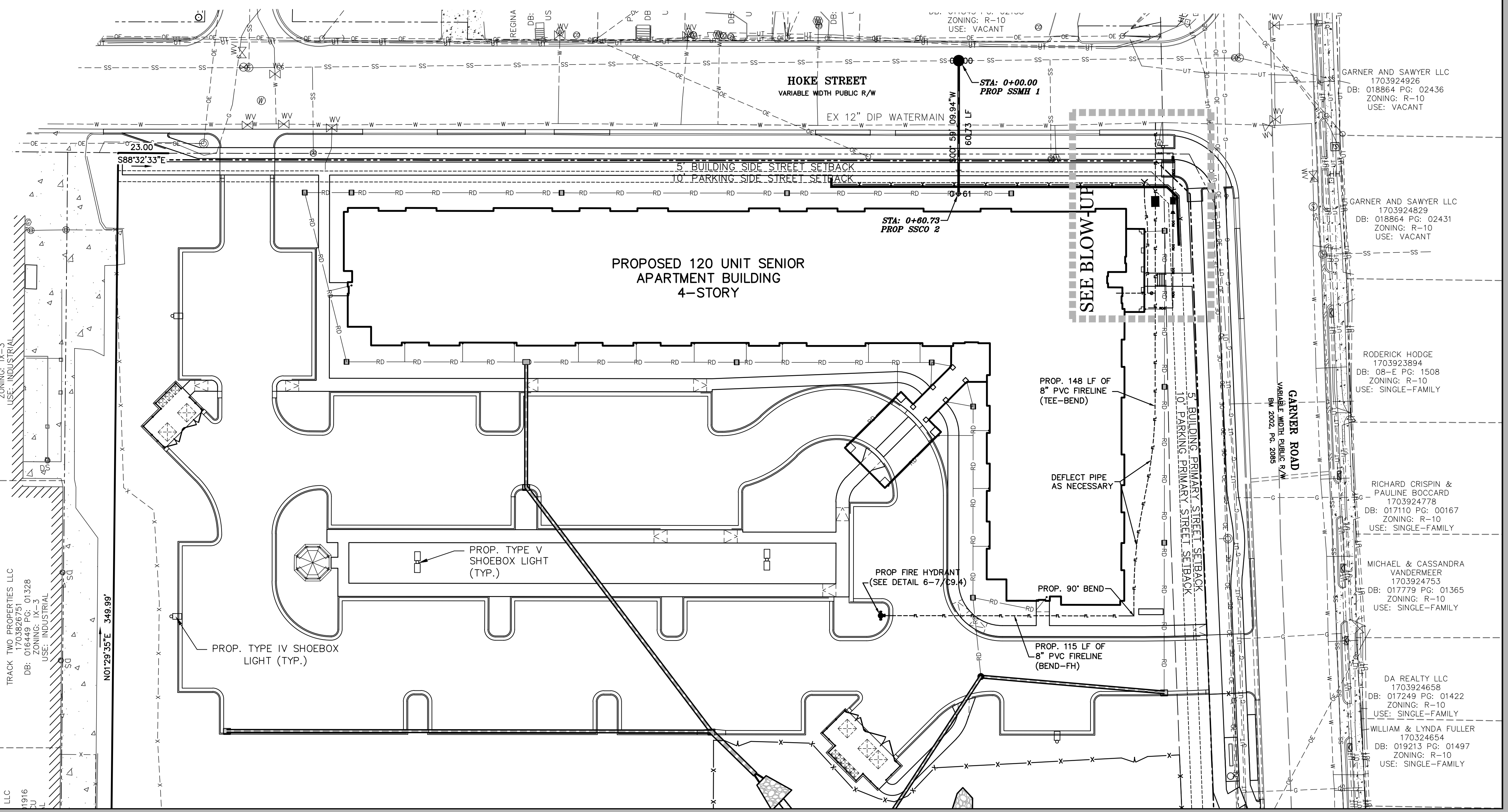
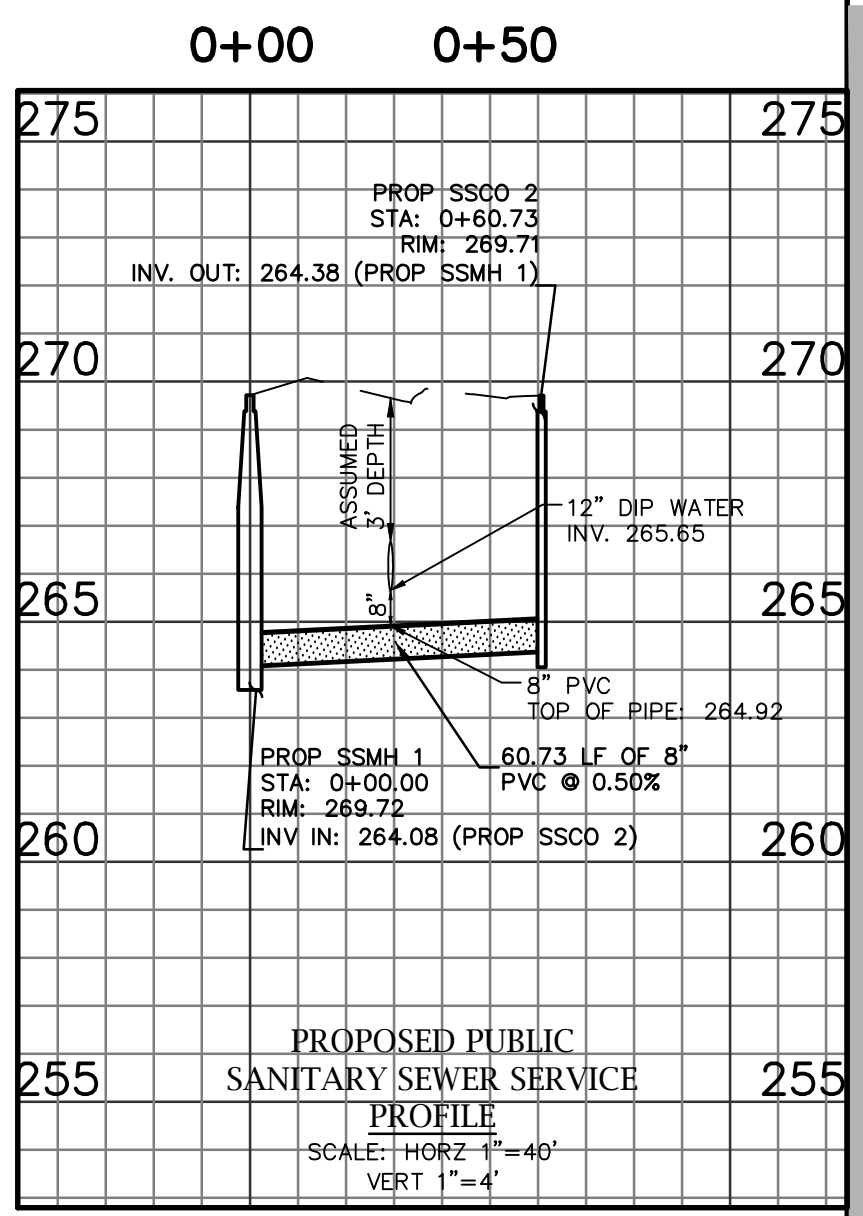
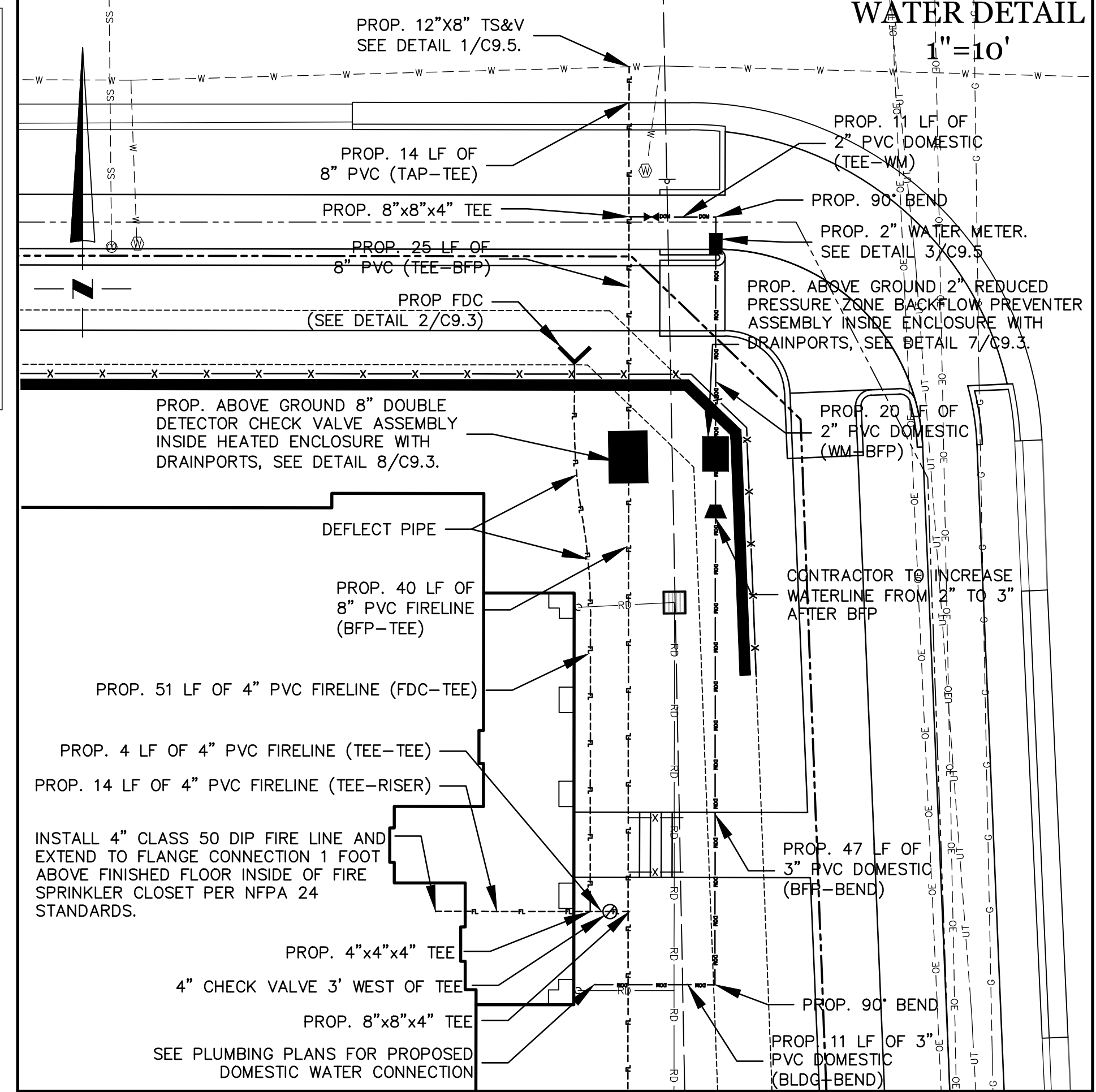
The City of Raleigh consents to the connection to its public sewer system and extension of the private sewer collection system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.

City of Raleigh Public Utilities Department Permit #
Authorization to Construct See digital signature

Private Water Inspection Statement

This plan is approved for inspections of 4" and larger water mains of the private distribution system. This does not constitute as a review or approval of the private water mains for design or construction purposes of this project.

Date



TRACK TWO PROPERTIES, LLC DB: 016013 PG: 00762 USE: INDUSTRIAL

TRACK TWO PROPERTIES, LLC DB: 1703262751 PG: 01328 ZONING: R-10 USE: INDUSTRIAL

GARNER AND SAWYER LLC 1703924926 DB: 018864 PG: 02436 ZONING: R-10 USE: VACANT

GARNER AND SAWYER LLC 1703924926 DB: 018864 PG: 02431 ZONING: R-10 USE: VACANT

RODERICK HODGE 1703923584 DB: 08-E PG: 1508 ZONING: R-10 USE: SINGLE-FAMILY

RICHARD CRISPIN & PAULINE BOCCARD 1703924778 DB: 017110 PG: 00167 ZONING: R-10 USE: SINGLE-FAMILY

MICHAEL & CASSANDRA VANDERMEER 1703924753 DB: 017779 PG: 01365 ZONING: R-10 USE: SINGLE-FAMILY

DA REALTY LLC 1703924658 DB: 017249 PG: 01422 ZONING: R-10 USE: SINGLE-FAMILY

WILLIAM & LYNDA FULLER 170324654 DB: 019213 PG: 01497 ZONING: R-10 USE: SINGLE-FAMILY

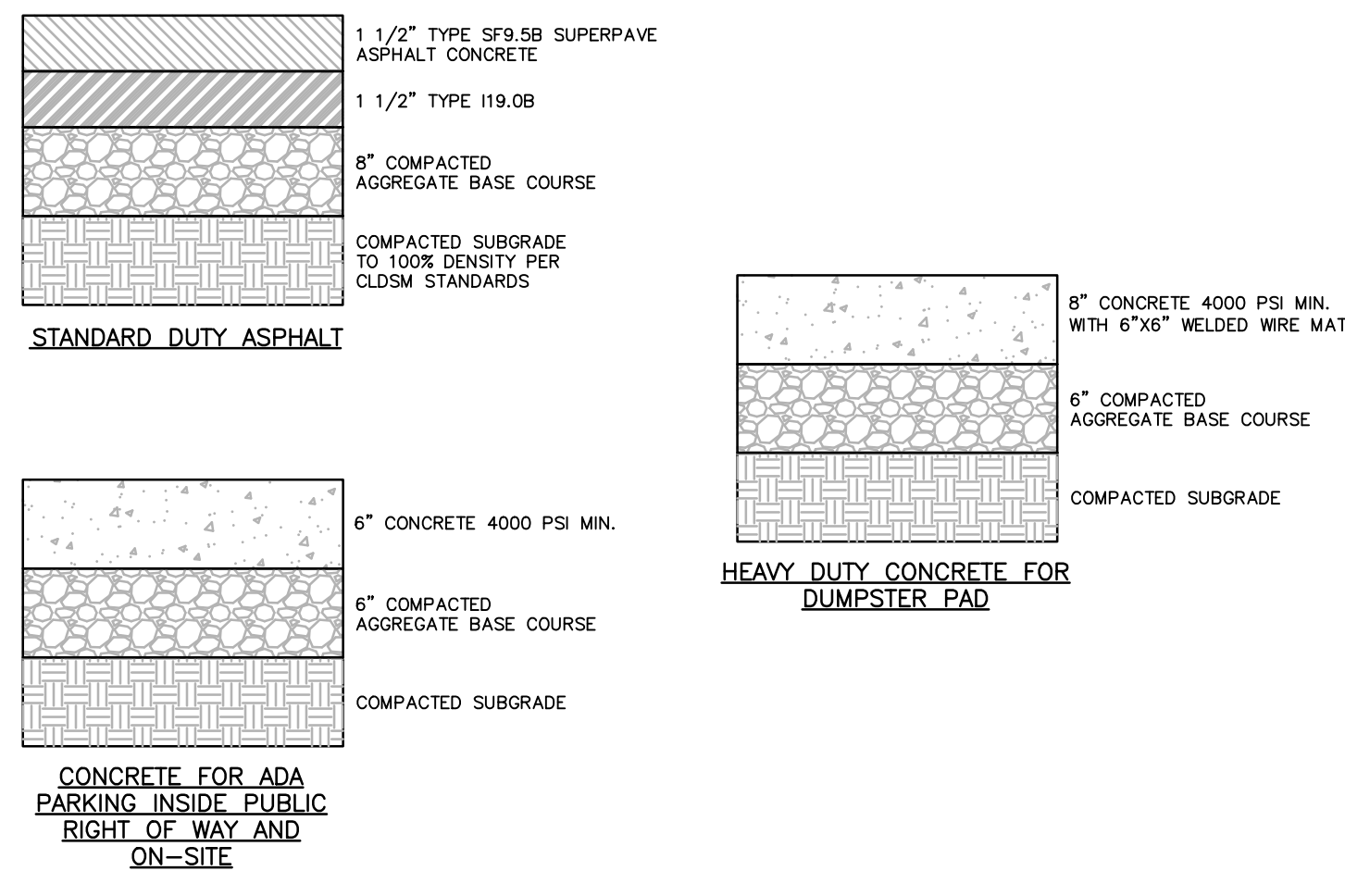
M2 ENGINEERING, INC. 2110 BEN CRAIG DR., STE. 400 CHARLOTTE, NC 28262 PHONE 704.510.1979

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HOKE STREET APARTMENTS HOKE STREET RALEIGH, NC 27601 WALLOCK ASSET MANAGEMENT LLC 160 W MAIN STREET #200 NEW ALBANY, OH 43054 PASSAGE HOME, INC. PO BOX 28165 RALEIGH, NC 27611

UTILITY PLAN REVISIONS CAD FILE: 23-025 BASE.DWG PROJECT NO: 23-025 DESIGNED BY: JDM REVIEWED BY: JDM DATE: OCTOBER 11, 2024 C7.0

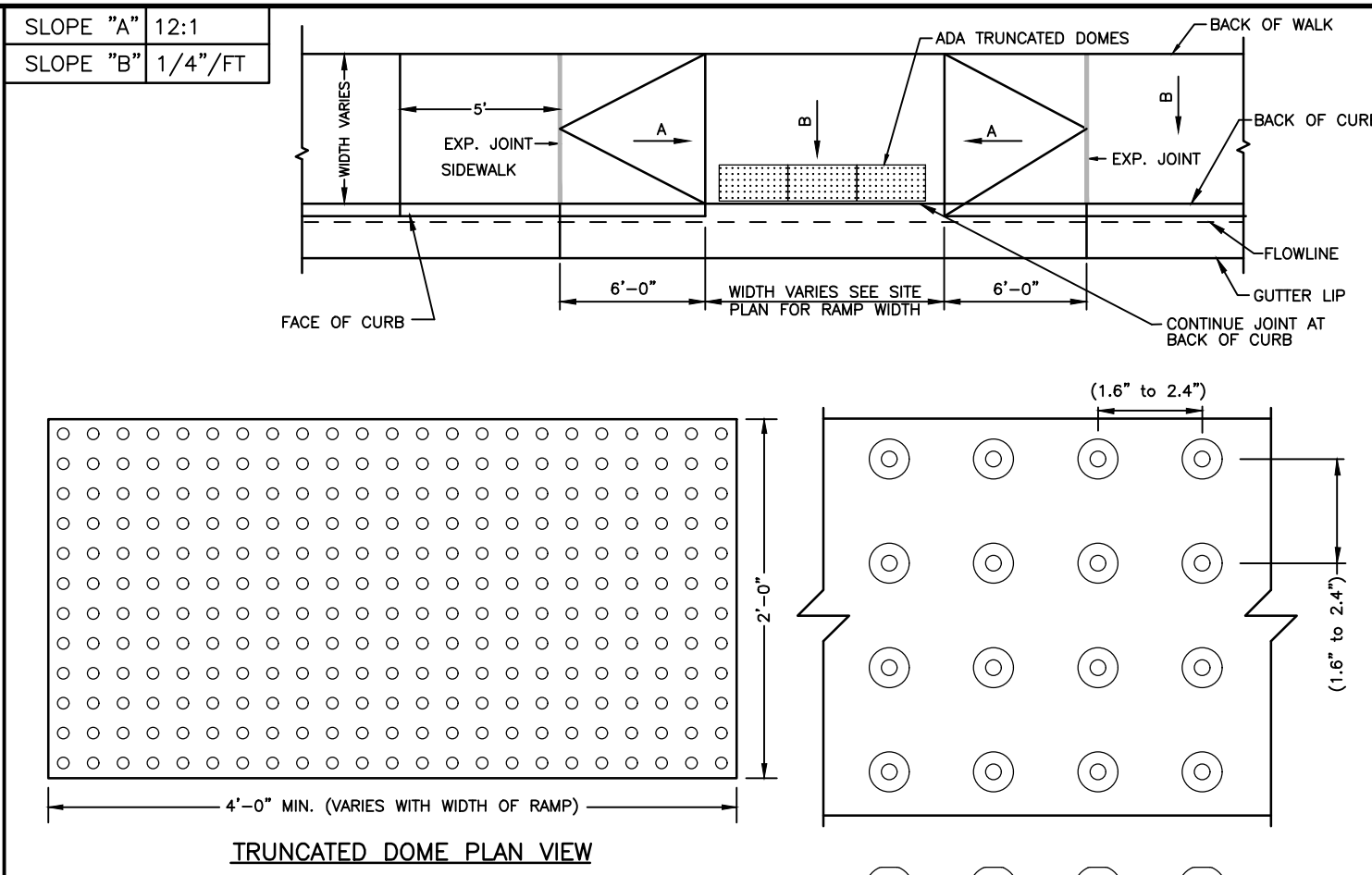
811 Know what's below. Call before you dig. GRAPHIC SCALE (IN FEET) 1 inch = 30 ft.



**TYPICAL PAVEMENT SECTIONS**

-NTS-

1  
C9.0



2  
C9.0  
**ACCESSIBLE RAMP**

-NTS-

3  
C9.0  
**CONCRETE WHEEL STOP**

-NTS-

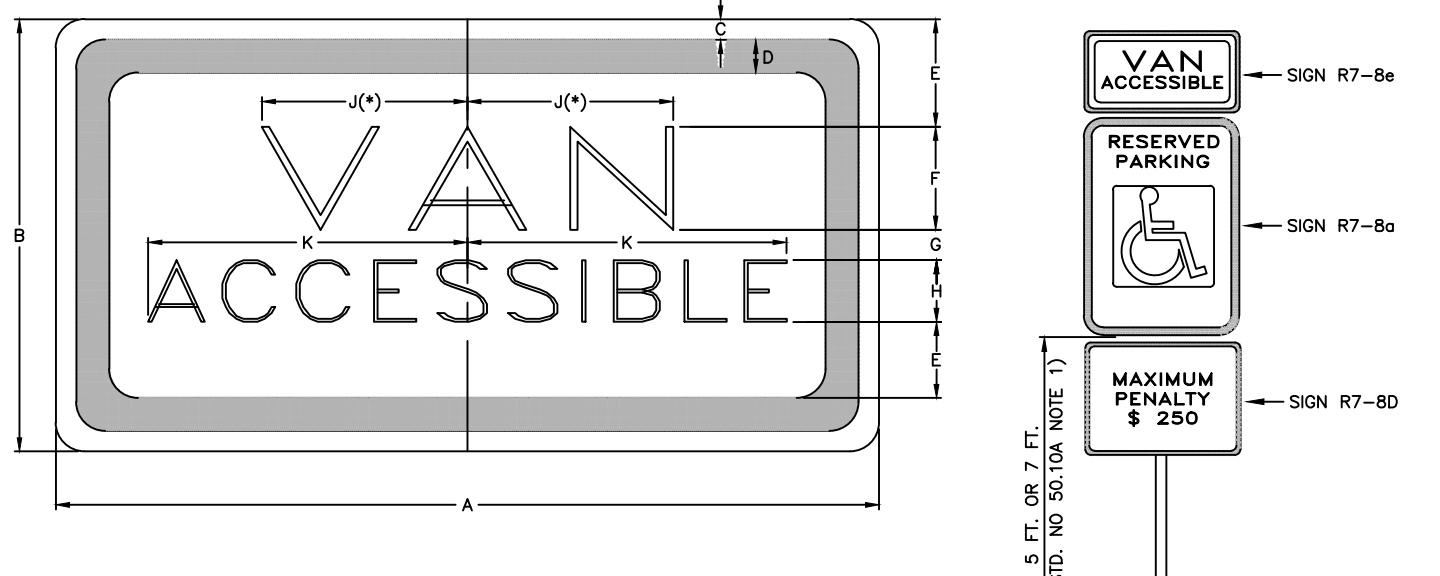
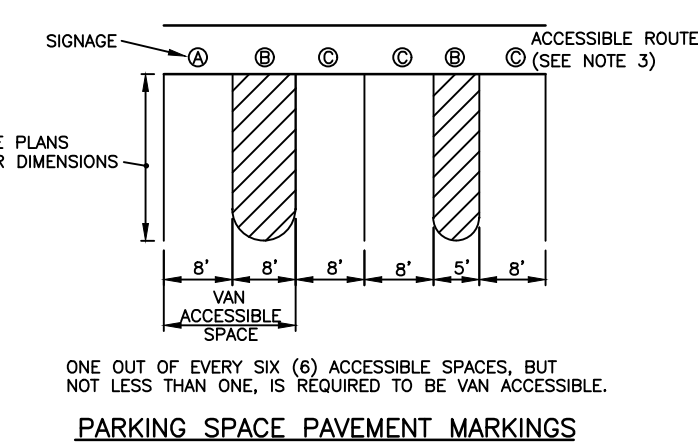
4  
C9.0  
**CONCRETE BOLLARD**

-NTS-

**ACCESSIBLE PARKING REQUIREMENTS**

TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	2
51 TO 75	3	3
76 TO 100	4	4
101 TO 150	5	5
151 TO 200	6	6
201 TO 300	7	7
301 TO 400	8	8
401 TO 500	9	9
501 TO 1000	2% OF TOTAL	
1001 AND OVER	2% PLUS 1 FOR EACH 100 OVER 1000	

SECTION 208.2 OF THE AMERICANS WITH DISABILITIES ACT (ADA).  
SEE 208.2.1 AND 208.2.2 FOR MEDICAL CARE FACILITIES



**R7-8e**

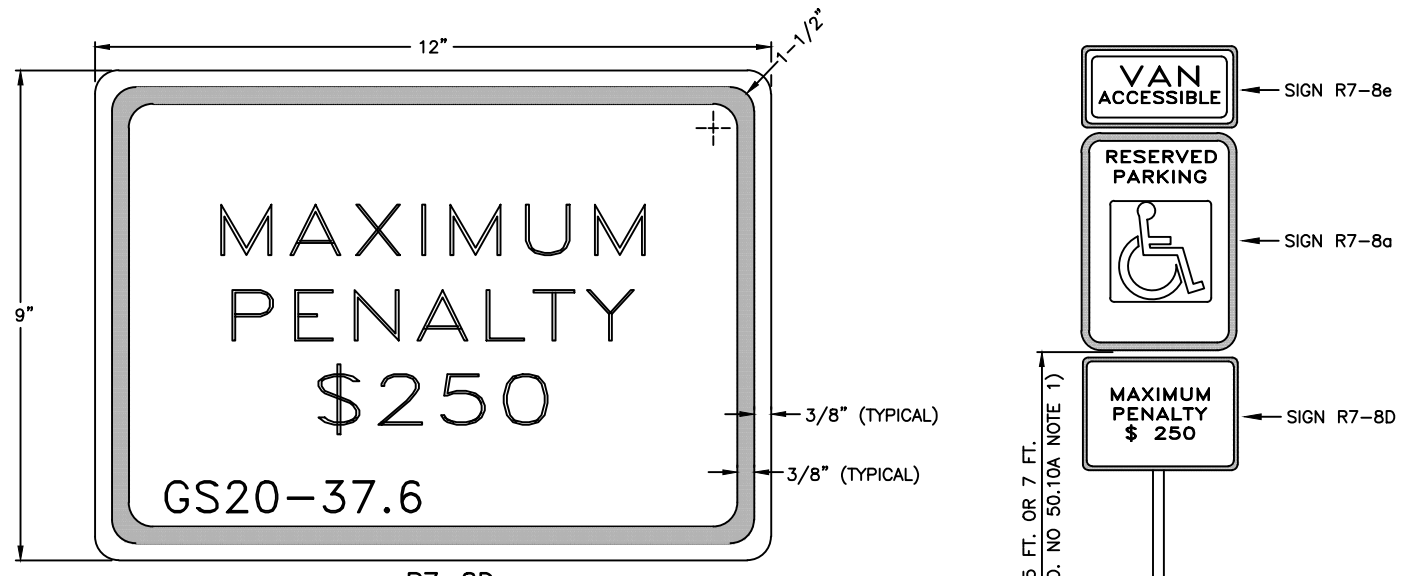
DIMENSIONS (INCHES)										
A	B	C	D	E	F	G	H	J	K	L
12	6	3/8	3/8	1-1/2	1-1/20	1/2	10	2-1/2	4	1-1/2

INCREASE SPACING 50%  
D-FWMA (FEDERAL HIGHWAY ADMINISTRATION/USDOT)  
SERIES D LETTERS

**LEGEND AND BORDER - GREEN BACKGROUND - WHITE**

6  
C9.0  
**SUPPLEMENTAL ACCESSIBLE SIGN (R7-8e)**

-NTS-



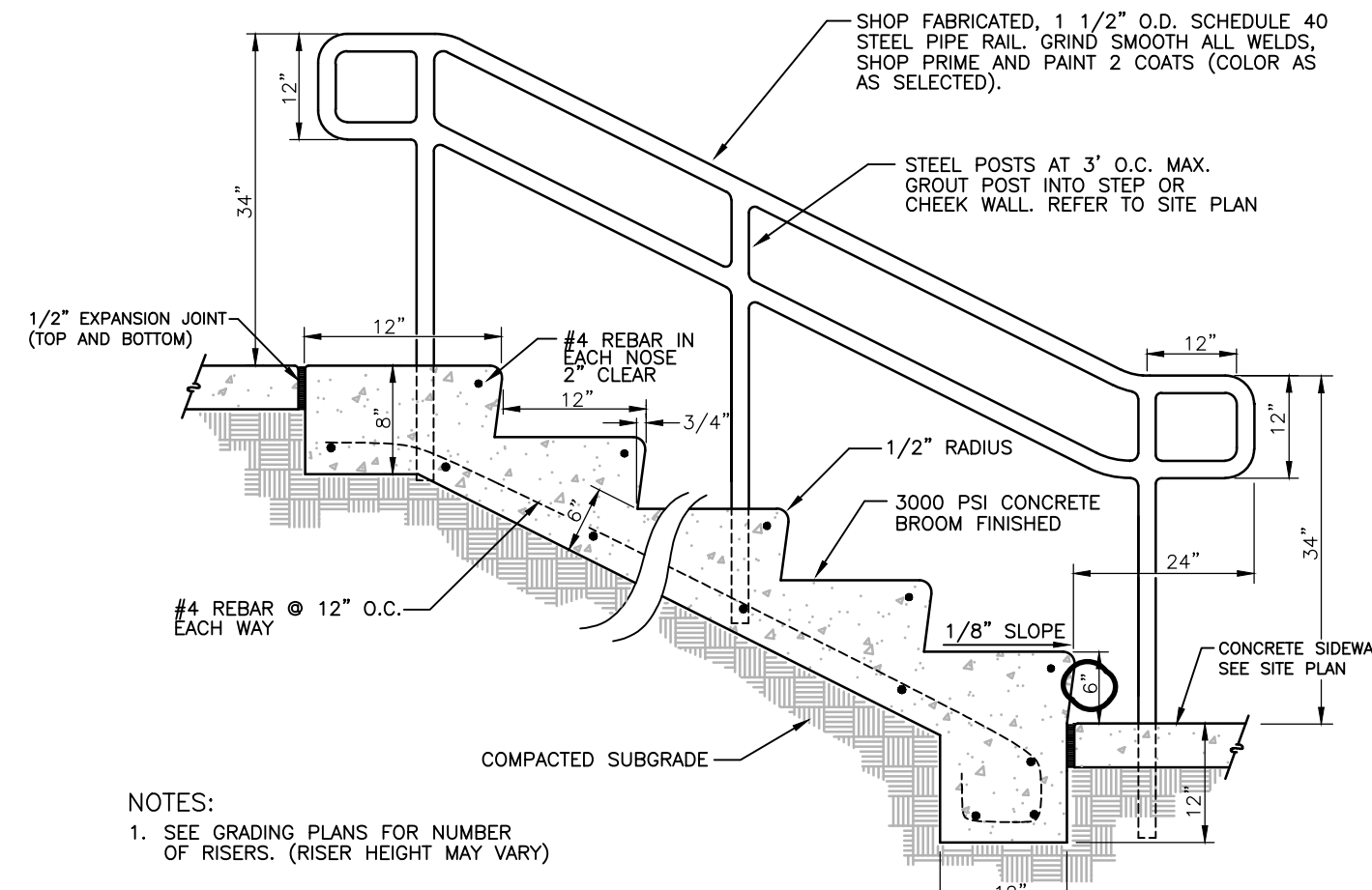
**LEGEND AND BORDER - GREEN BACKGROUND - WHITE**

**SIGN APPROVED FOR USE UNDER GENERAL STATUTE 20-37.6**

R7-8D PENALTY SIGNS ARE REQUIRED TO ACCOMPANY ALL R7-8a PARKING SIGNS ERECTED AFTER DECEMBER 31, 1990

7  
C9.0  
**SUPPLEMENTAL ACCESSIBLE (R7-8D)**

-NTS-

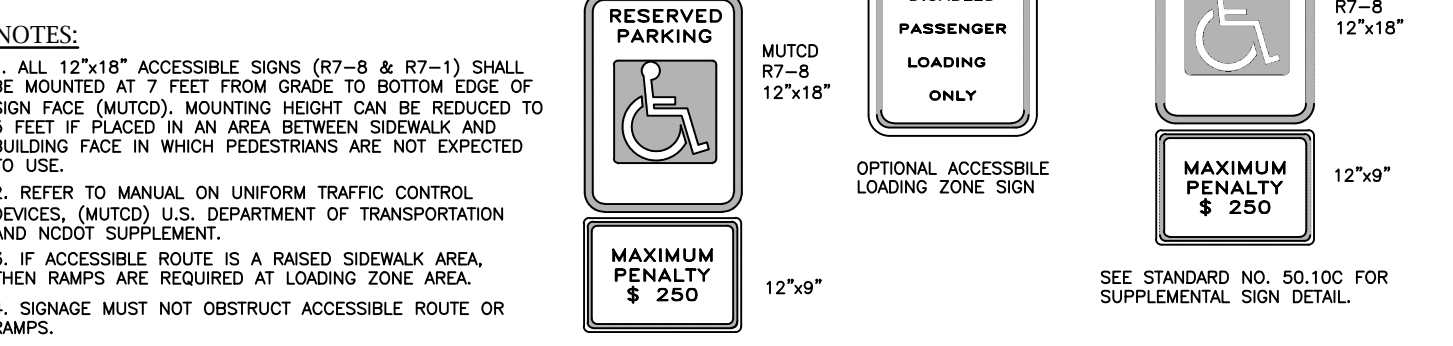


8  
C9.0  
**STAIRS**

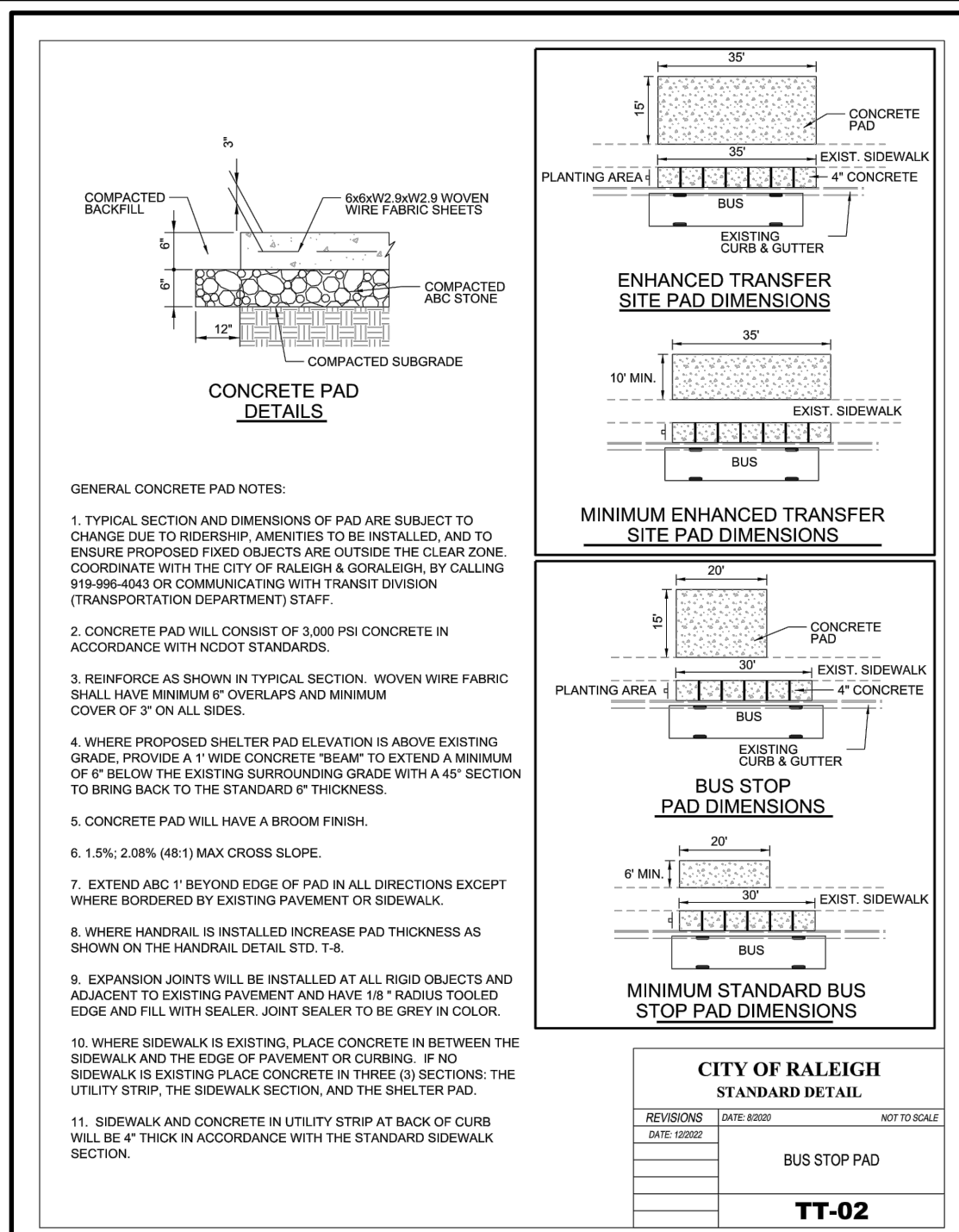
-NTS-

5  
C9.0  
**ACCESSIBLE PARKING AND SIGNAGE STANDARDS**

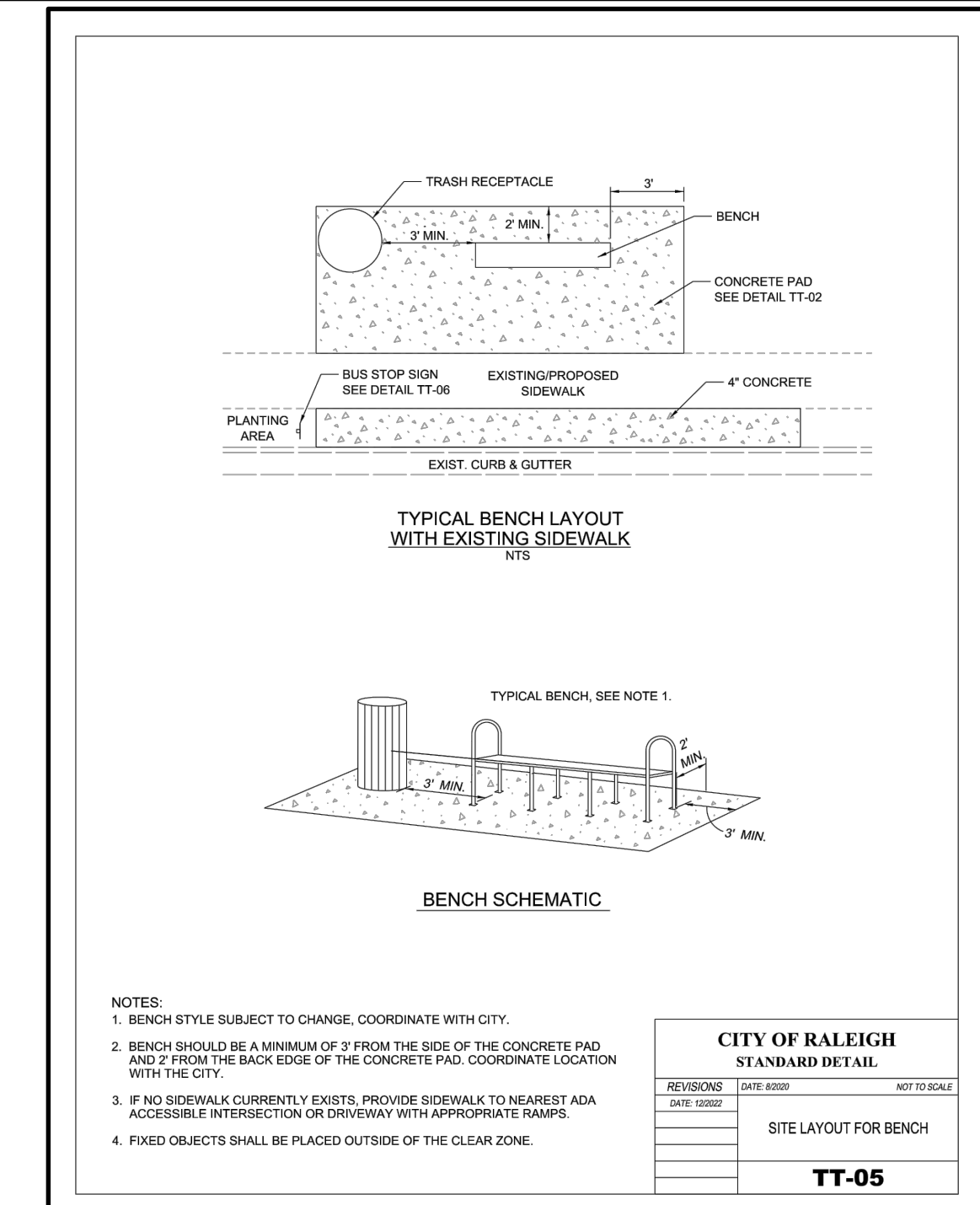
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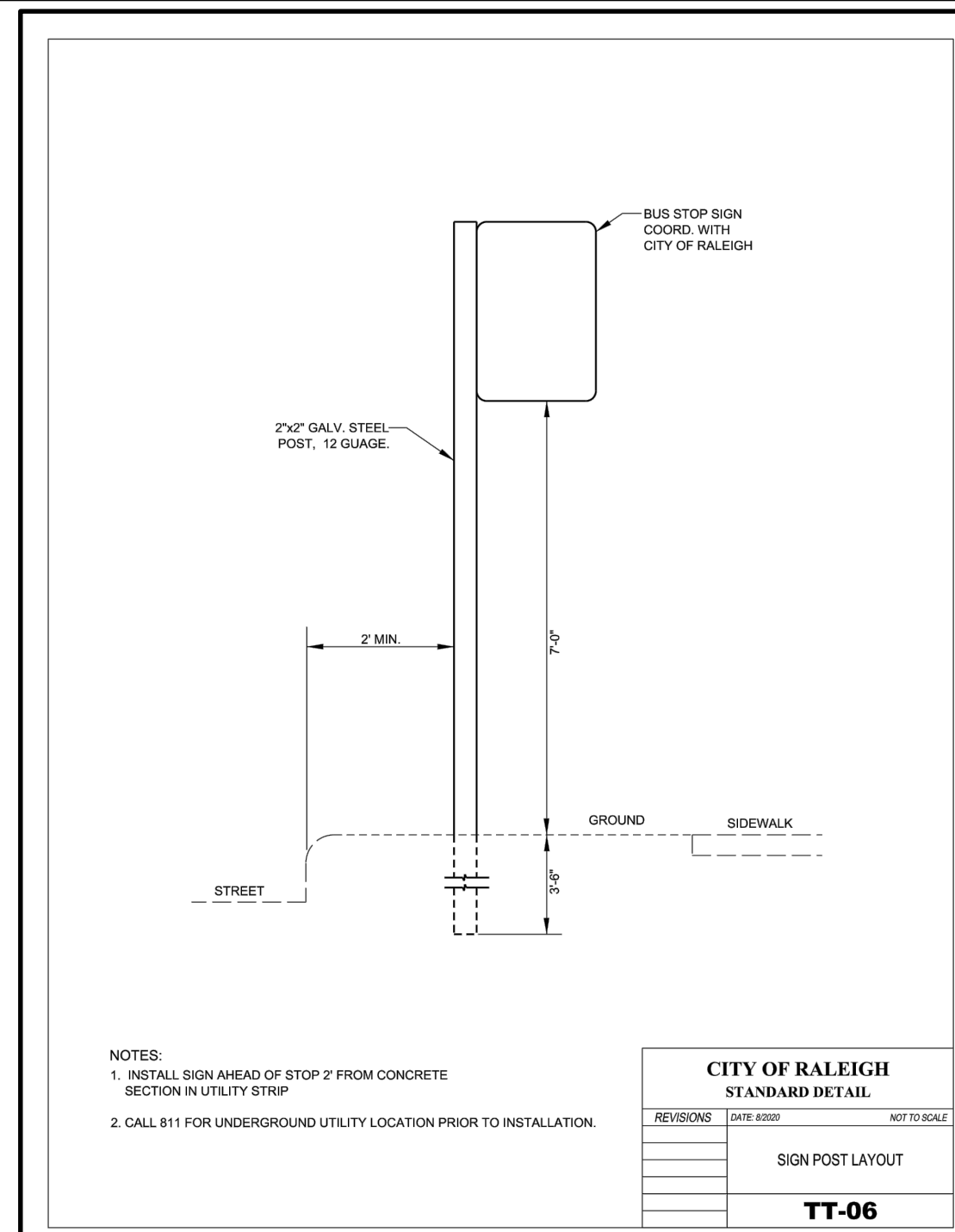
9  
C9.0



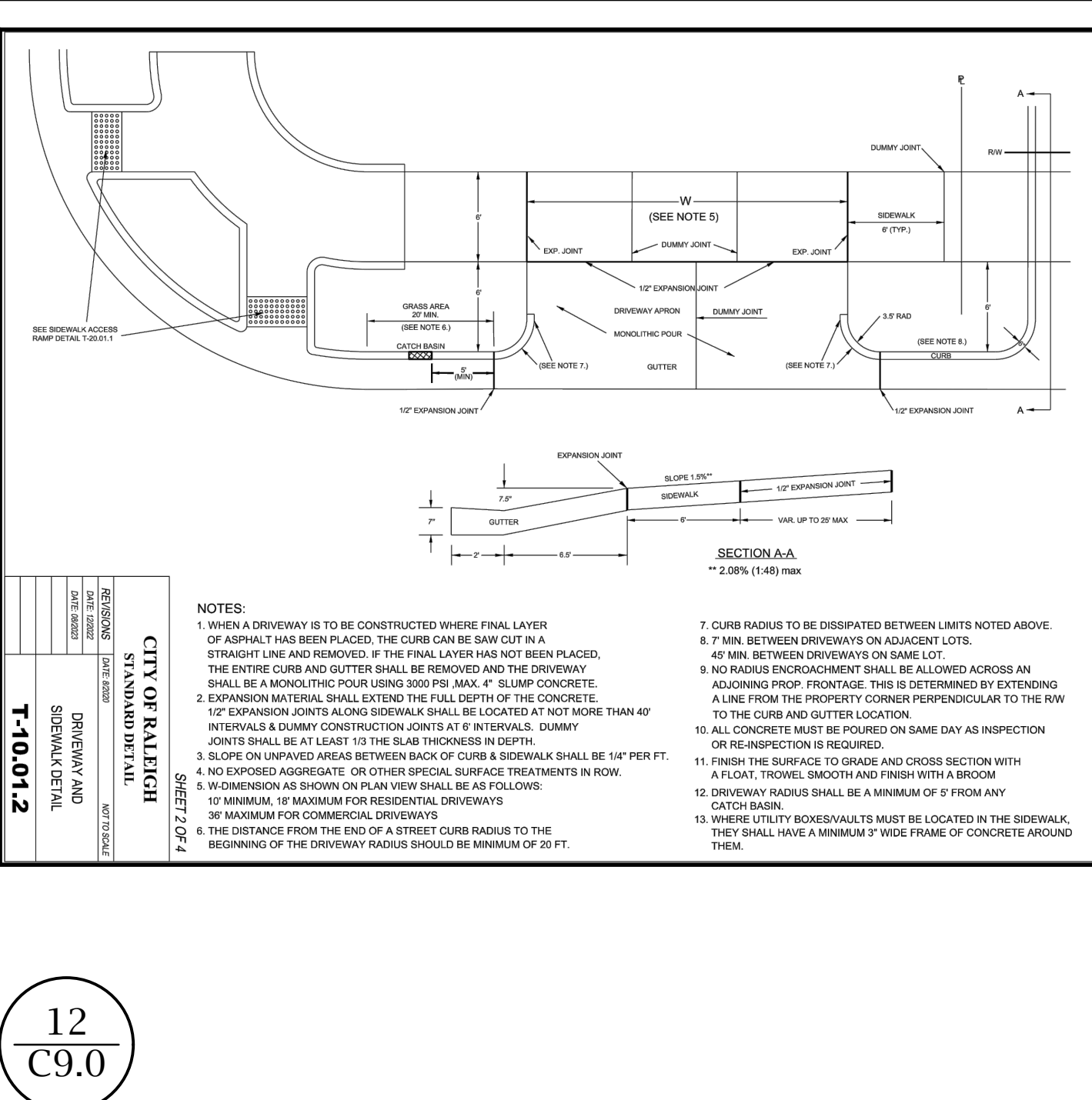
10  
C9.0



11  
C9.0



12  
C9.0



**M<sup>2</sup> ENGINEERING**

M<sup>2</sup> ENGINEERING, INC.  
2110 BEN CRAIG DR., STE. 400  
CHARLOTTE, NC 28262  
PHONE 704.510.9797

**Hoke Street Apartments**

HOKE STREET  
RALEIGH, NC 27601

**WALLICK ASSET MANAGEMENT LLC**

160 W MAIN STREET #200  
NEW ALBANY, OH 43054

**PASSAGE HOME, INC.**

PO BOX 28165  
RALEIGH, NC 27611

**Hoke Street Apartments**

HOKE STREET  
RALEIGH, NC 27601

**WALLICK ASSET MANAGEMENT LLC**

160 W MAIN STREET #200  
NEW ALBANY, OH 43054

**PASSAGE HOME, INC.**

PO BOX 28165  
RALEIGH, NC 27611

**SITE DETAILS**

REVISIONS

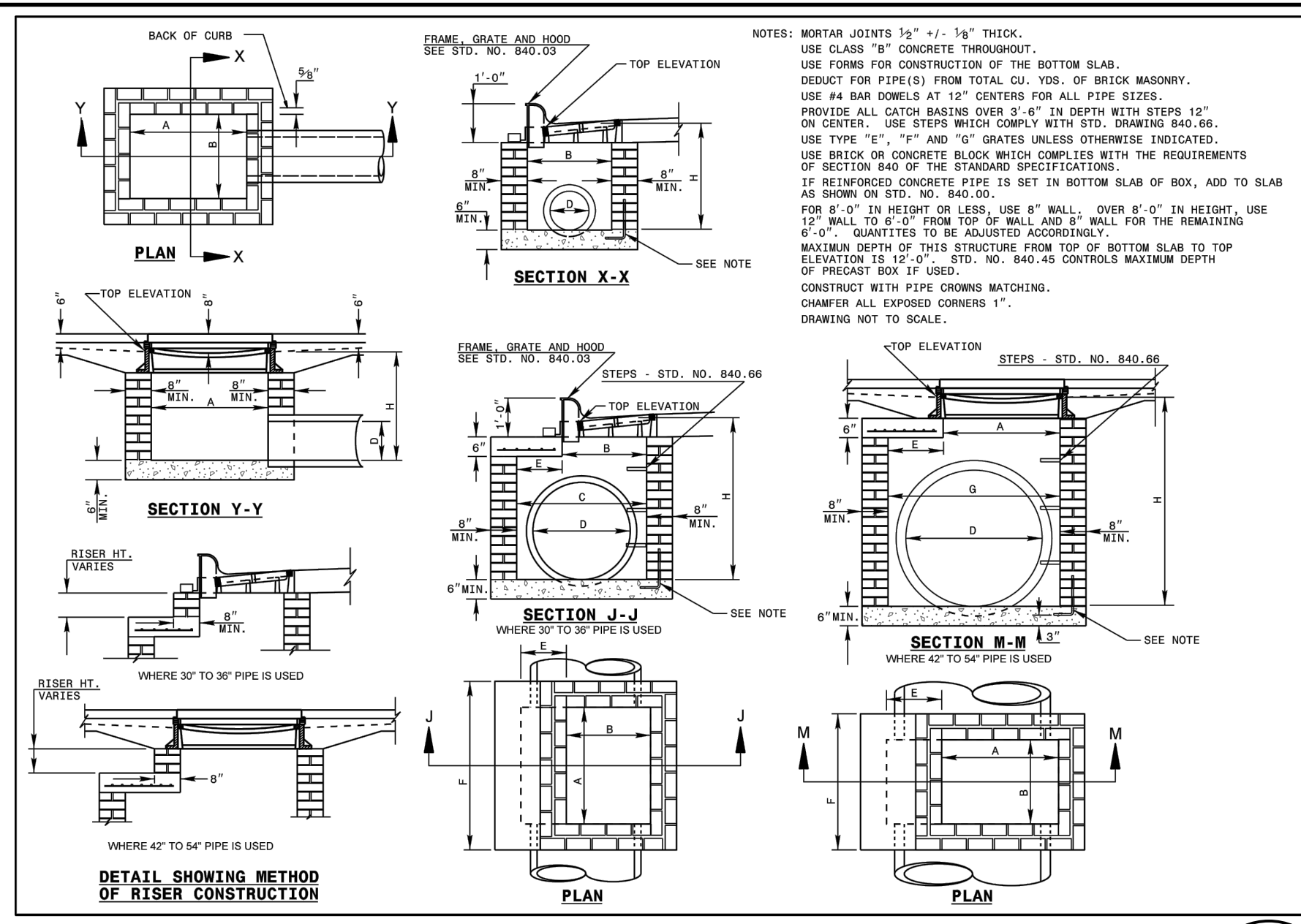
NO.	DATE	DESCRIPTION

CAD FILE: 23-025 BASE.DWG  
PROJECT NO.: 23-025  
DESIGNED BY: JDM  
REVIEWED BY: JDM  
DATE: OCTOBER 11, 2024

**C9.0**







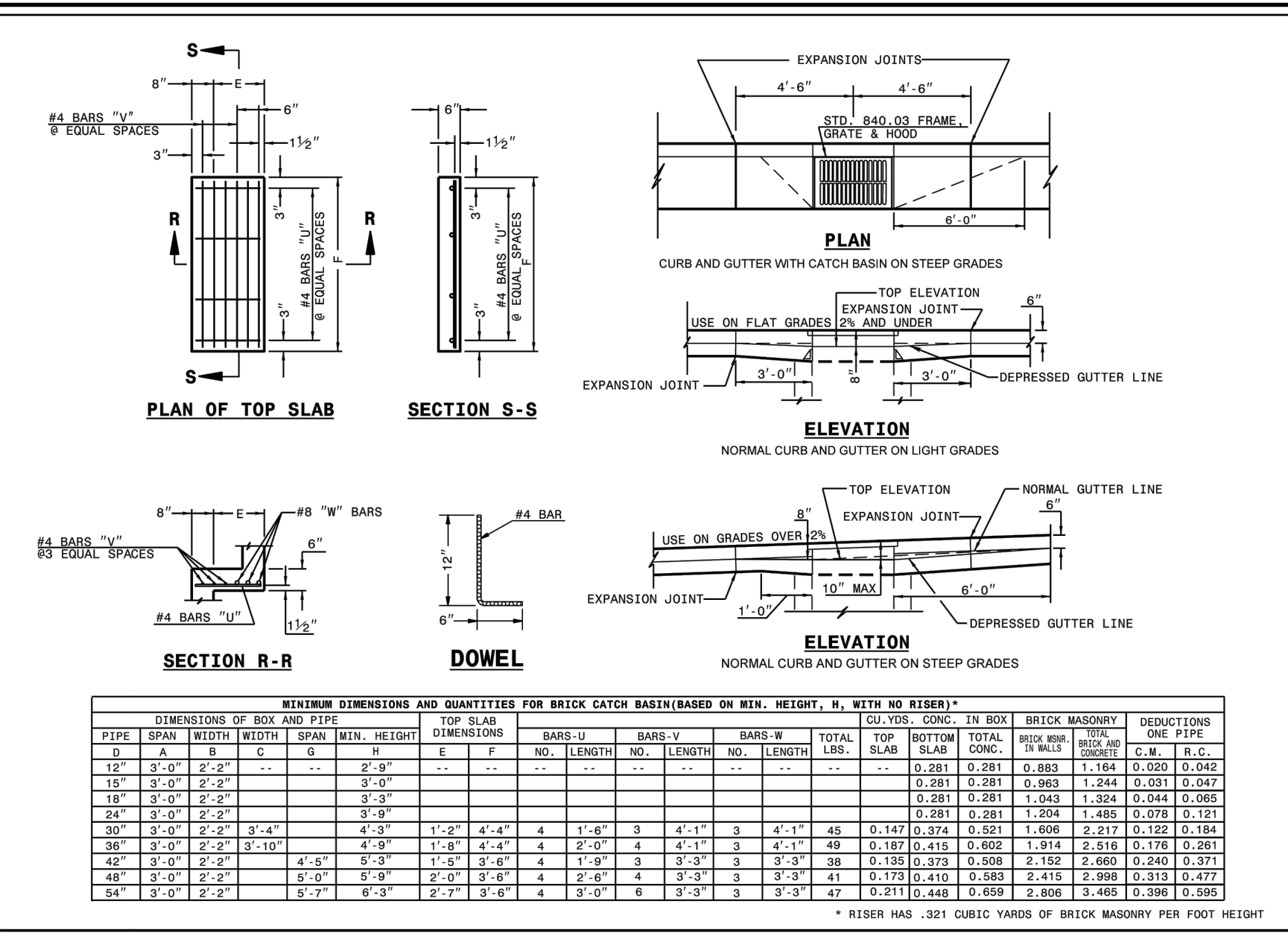
STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
DIVISION OF HIGHWAYS  
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**BRICK CATCH BASIN**  
12" THRU 54" PIPE

SHEET 1 OF 2  
**840.01**

**1**  
C9.2  
CATCH BASIN  
-NTS-

CONTRACTOR MAY USE PRECAST  
CONCRETE CATCH BASIN (840.02)  
OR BRICK CATCH BASIN

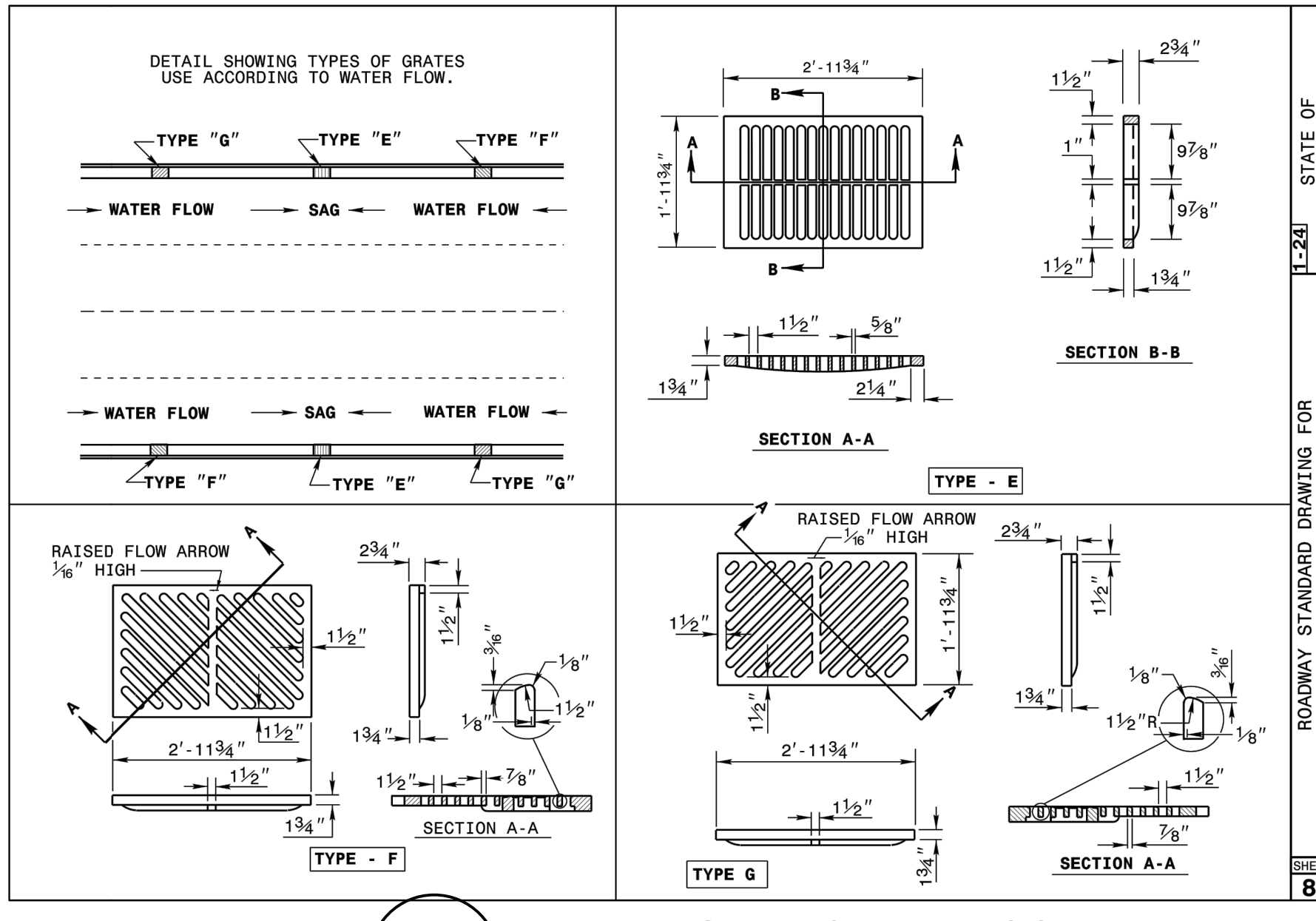


STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
DIVISION OF HIGHWAYS  
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**BRICK CATCH BASIN**  
12" THRU 54" PIPE

SHEET 2 OF 2  
**840.01**

**2**  
C9.2  
FRAME, GRATES, AND HOOD  
-NTS-

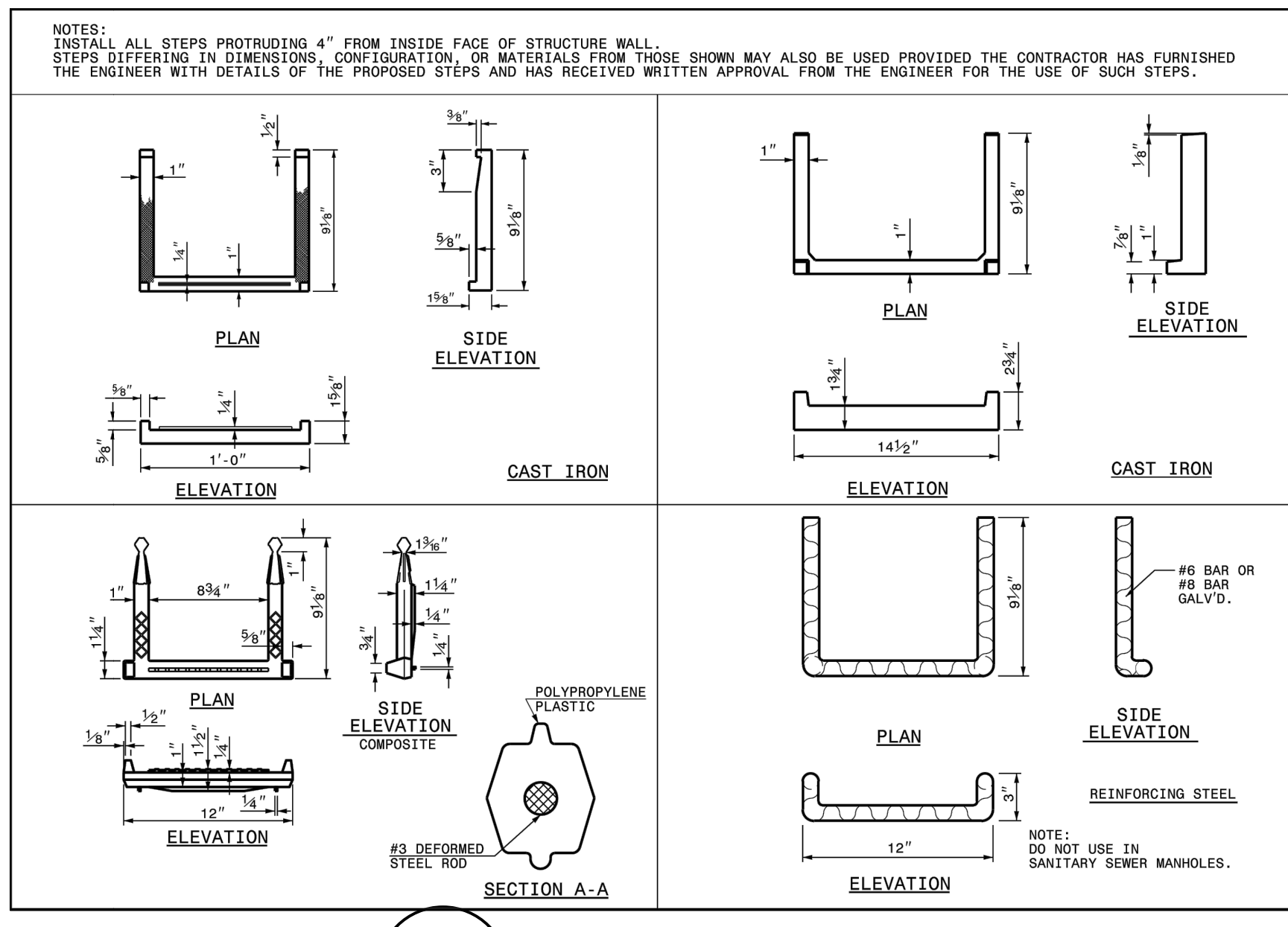


STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
DIVISION OF HIGHWAYS  
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**FRAME, GRATES, AND HOOD**  
FOR USE ON STANDARD CATCH BASIN

SHEET 2 OF 2  
**840.02**

**3**  
C9.2  
FRAME, GRATES, AND HOOD  
-NTS-

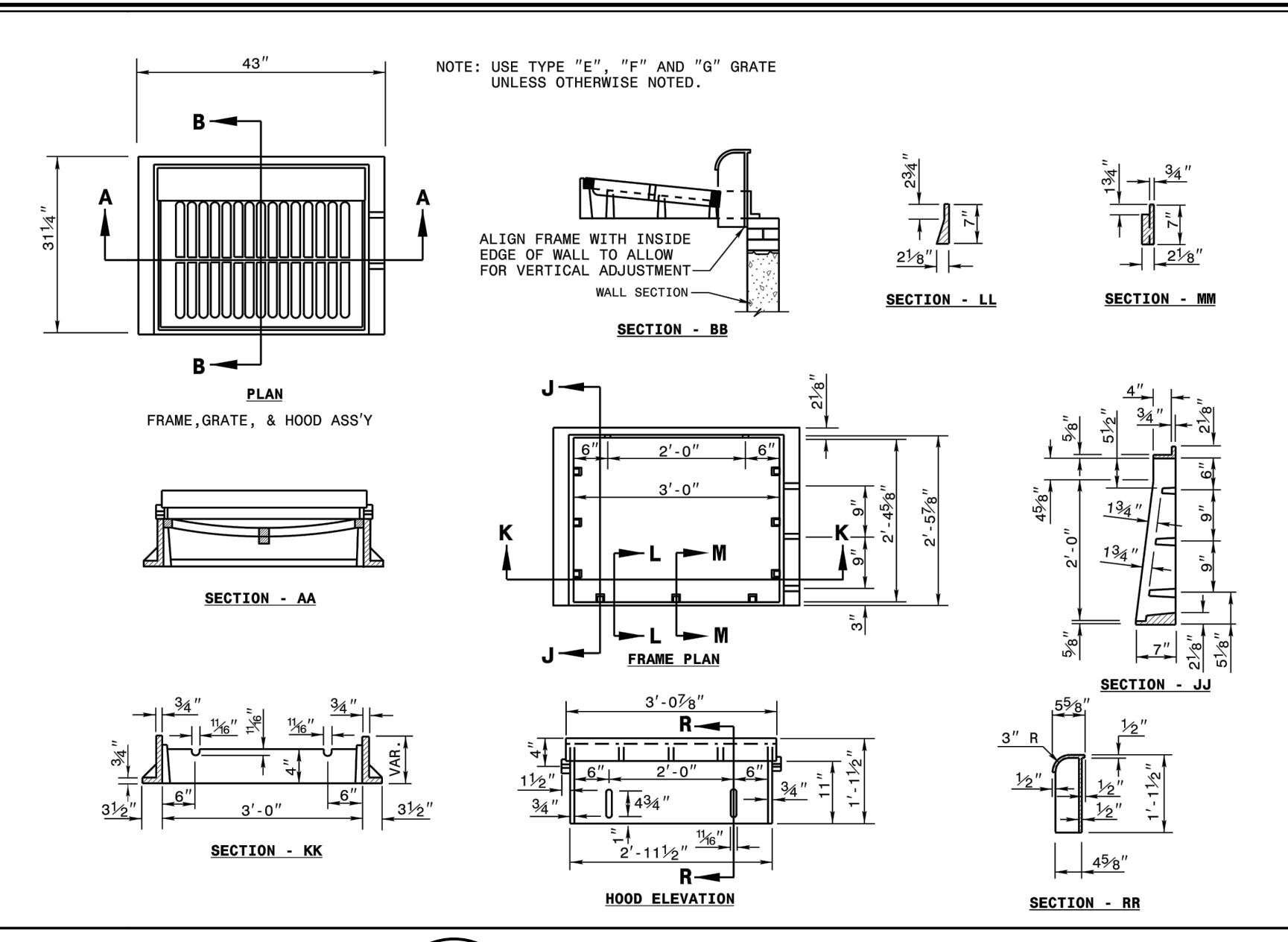


STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
DIVISION OF HIGHWAYS  
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**DRAINAGE STRUCTURE STEPS**

SHEET 1 OF 1  
**840.66**

**4**  
C9.2  
DRAINAGE STRUCTURE STEPS  
-NTS-

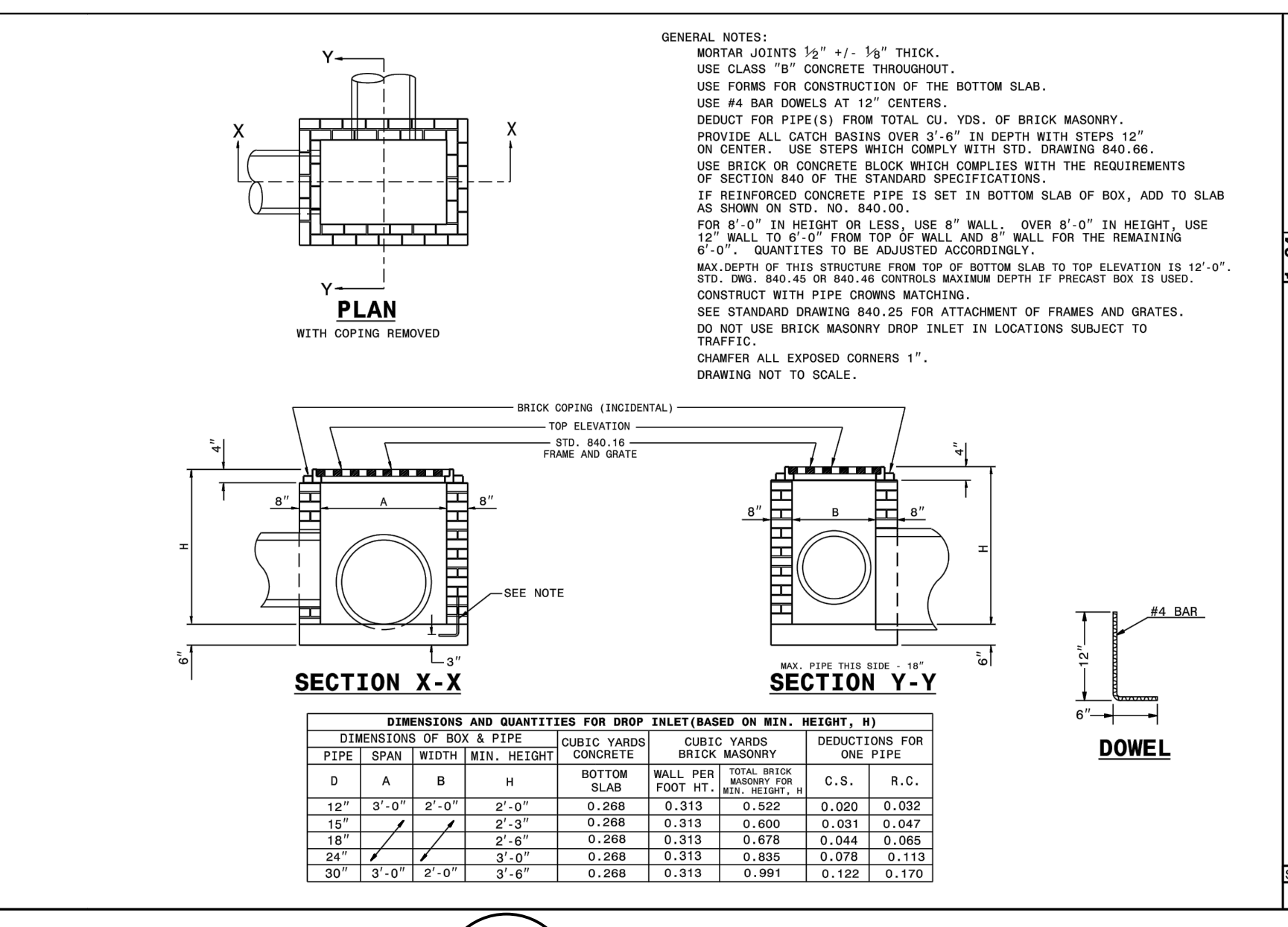


STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
DIVISION OF HIGHWAYS  
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**FRAME, GRATES, AND HOOD**  
FOR USE ON STANDARD CATCH BASIN

SHEET 1 OF 2  
**840.03**

**5**  
C9.2  
DROP INLET  
-NTS-

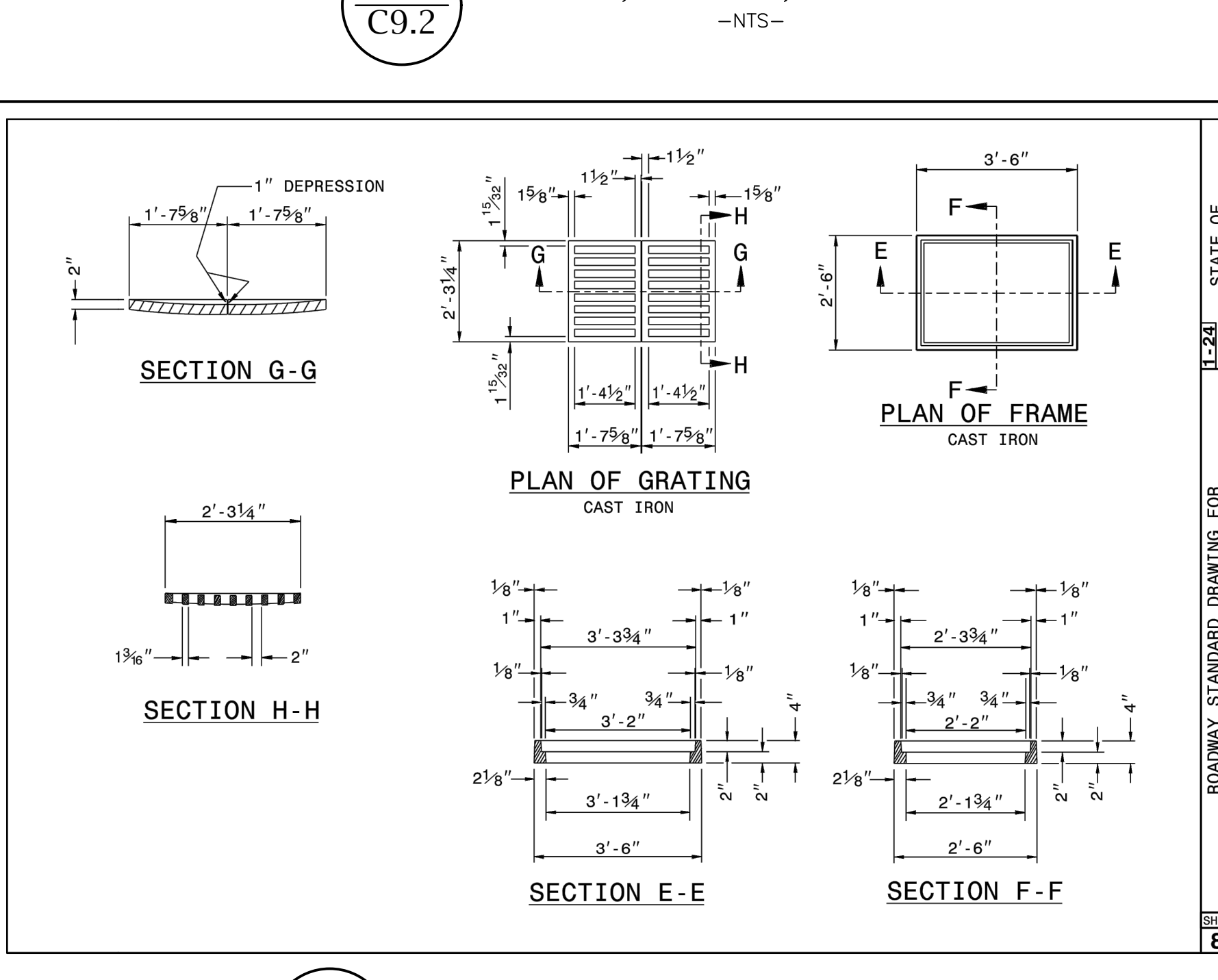


STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
DIVISION OF HIGHWAYS  
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**BRICK DROP INLET**  
12" THRU 30" PIPE

SHEET 1 OF 1  
**840.15**

**6**  
C9.2  
DROP INLET FRAME AND GATE  
-NTS-

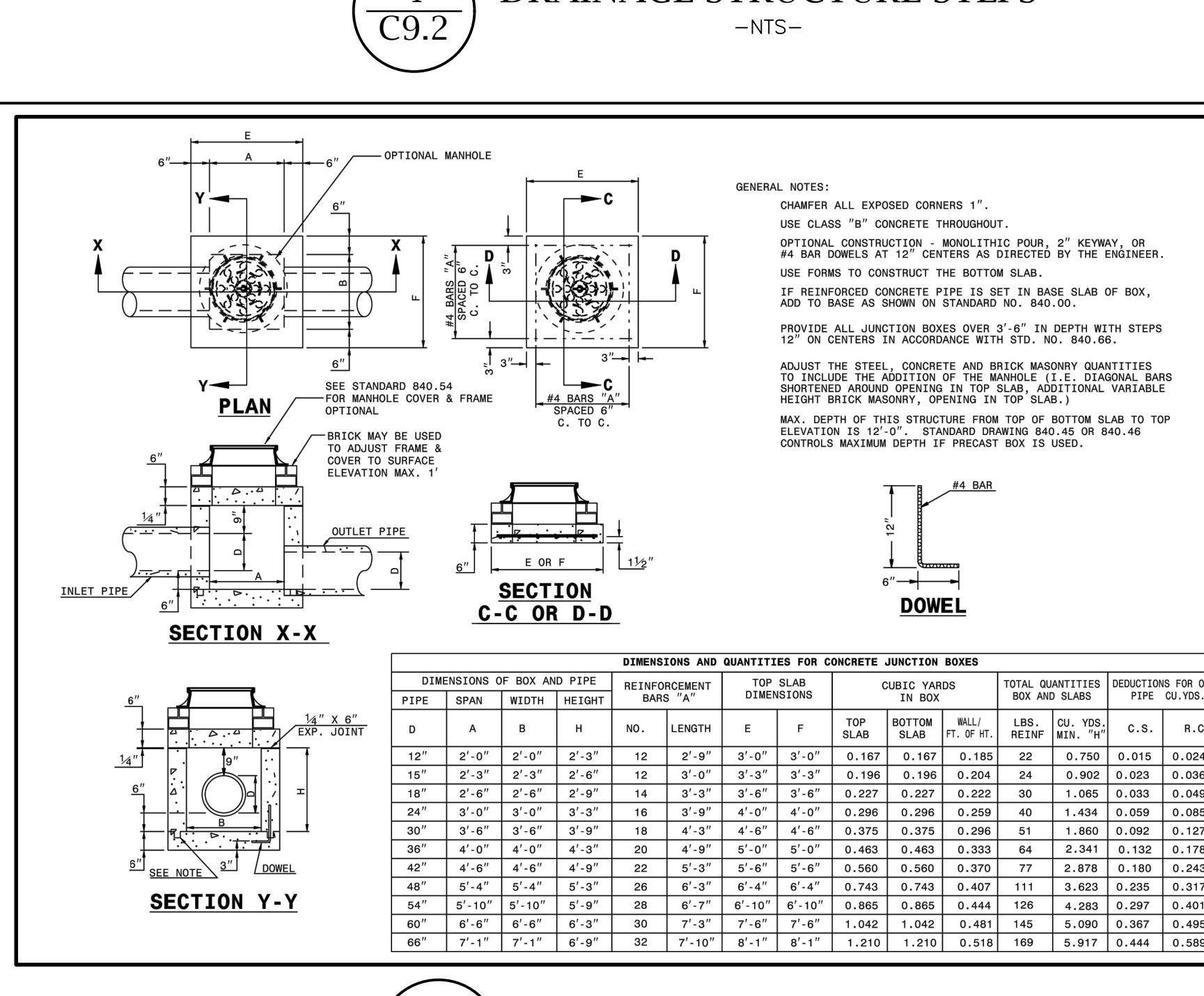


STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
DIVISION OF HIGHWAYS  
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**DROP INLET FRAME AND GATE**  
FOR USE WITH STD. DWS S 640.14 AND 840.15

SHEET 1 OF 1  
**840.16**

**7**  
C9.2  
CONCRETE JUNCTION BOX  
-NTS-

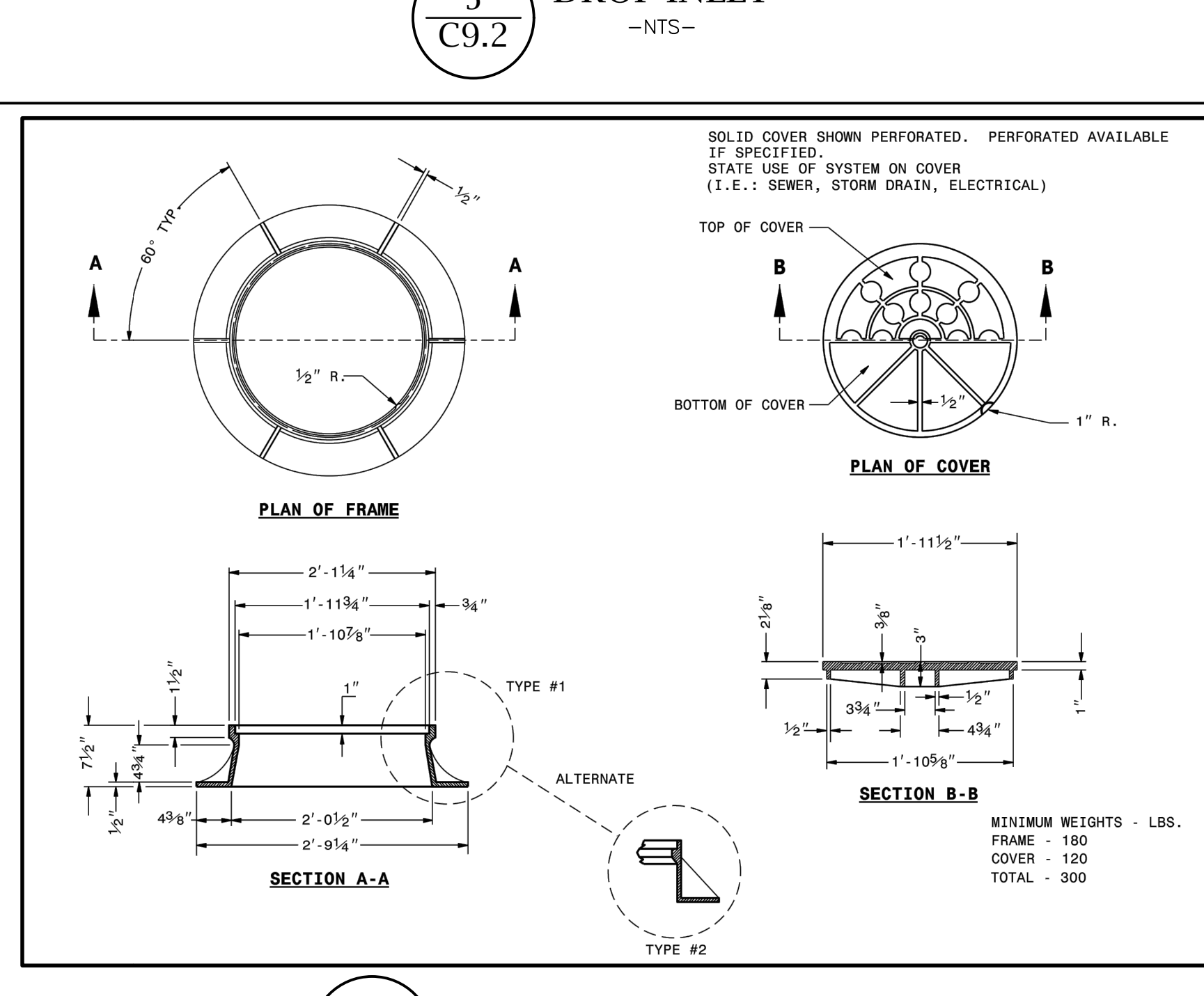


STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
DIVISION OF HIGHWAYS  
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**CONCRETE JUNCTION BOX**  
12" THRU 66" PIPE

SHEET 1 OF 1  
**840.31**

**8**  
C9.2  
MANHOLE FRAME AND COVER  
-NTS-



STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
DIVISION OF HIGHWAYS  
RALEIGH, N.C.

ROADWAY STANDARD DRAWING FOR  
**MANHOLE FRAME AND COVER**

SHEET 1 OF 2  
**840.54**

**9**  
C9.2  
MANHOLE FRAME AND COVER  
-NTS-

**M<sup>2</sup>**  
ENGINEERING  
MC<sup>2</sup> ENGINEERING, INC.  
2110 BEN CRAIG DR., STE. 400  
CHARLOTTE, NC 28262  
PHONE 704.510.9797

**HOKE STREET APARTMENTS**  
HOKE STREET  
RALEIGH, NC 27601

**WALLICK ASSET MANAGEMENT LLC**  
160 W MAIN STREET #200  
NEW ALBANY, OH 43054

**PASSAGE HOME, INC.**  
PO BOX 28165  
RALEIGH, NC 27611

**HOKE STREET APARTMENTS**  
HOKE STREET  
RALEIGH, NC 27601

**WALLICK ASSET MANAGEMENT LLC**  
160 W MAIN STREET #200  
NEW ALBANY, OH 43054

**PASSAGE HOME, INC.**  
PO BOX 28165  
RALEIGH, NC 27611

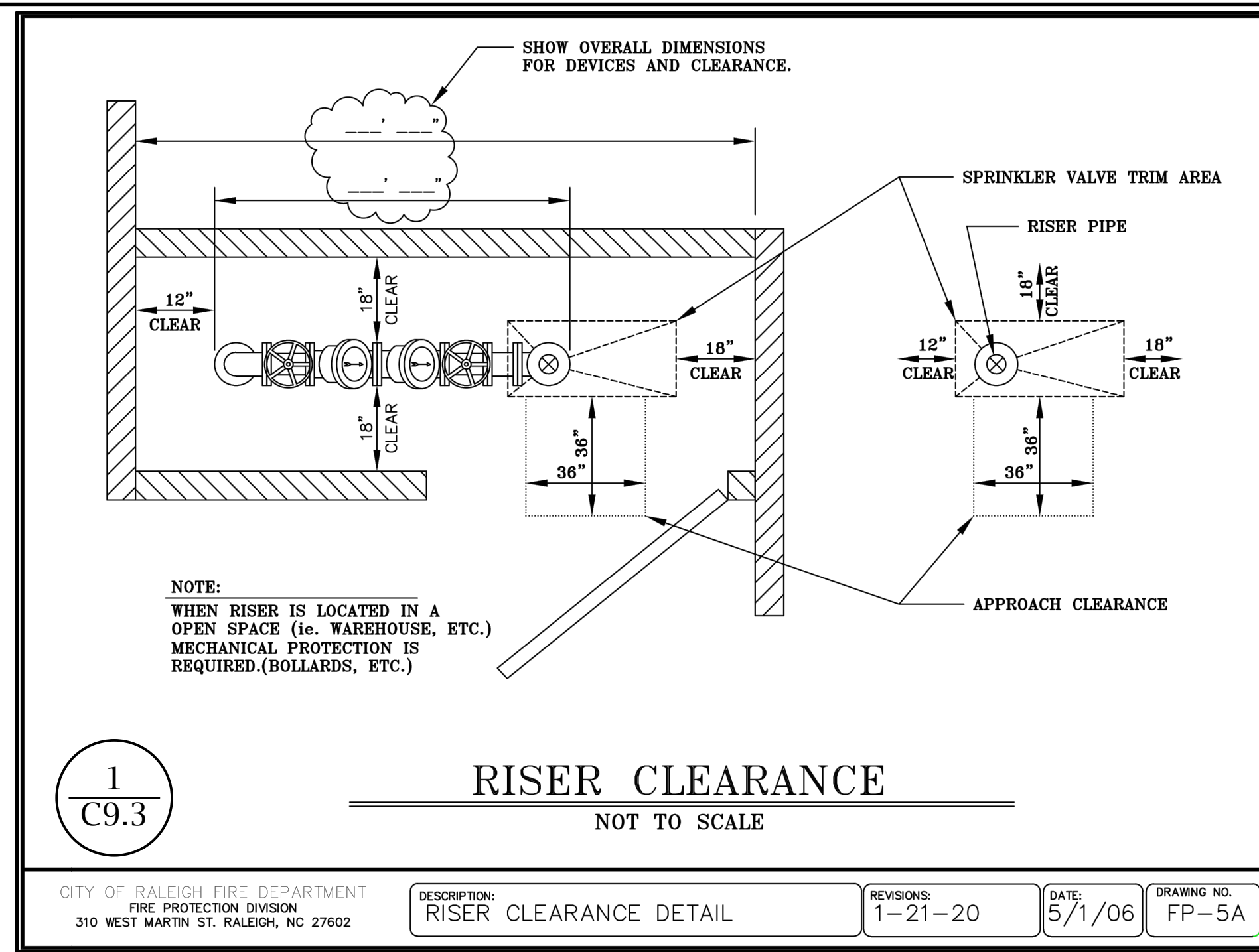
**SITE DETAILS**

REVISIONS

NO.	DATE	DESCRIPTION

CAD FILE: 23-025 BASE.DWG  
PROJECT NO.: 23-025  
DESIGNED BY: JDM  
REVIEWED BY: JDM  
DATE: OCTOBER 11, 2024

**C9.2**



1  
C9.3

**RISER CLEARANCE**  
NOT TO SCALE

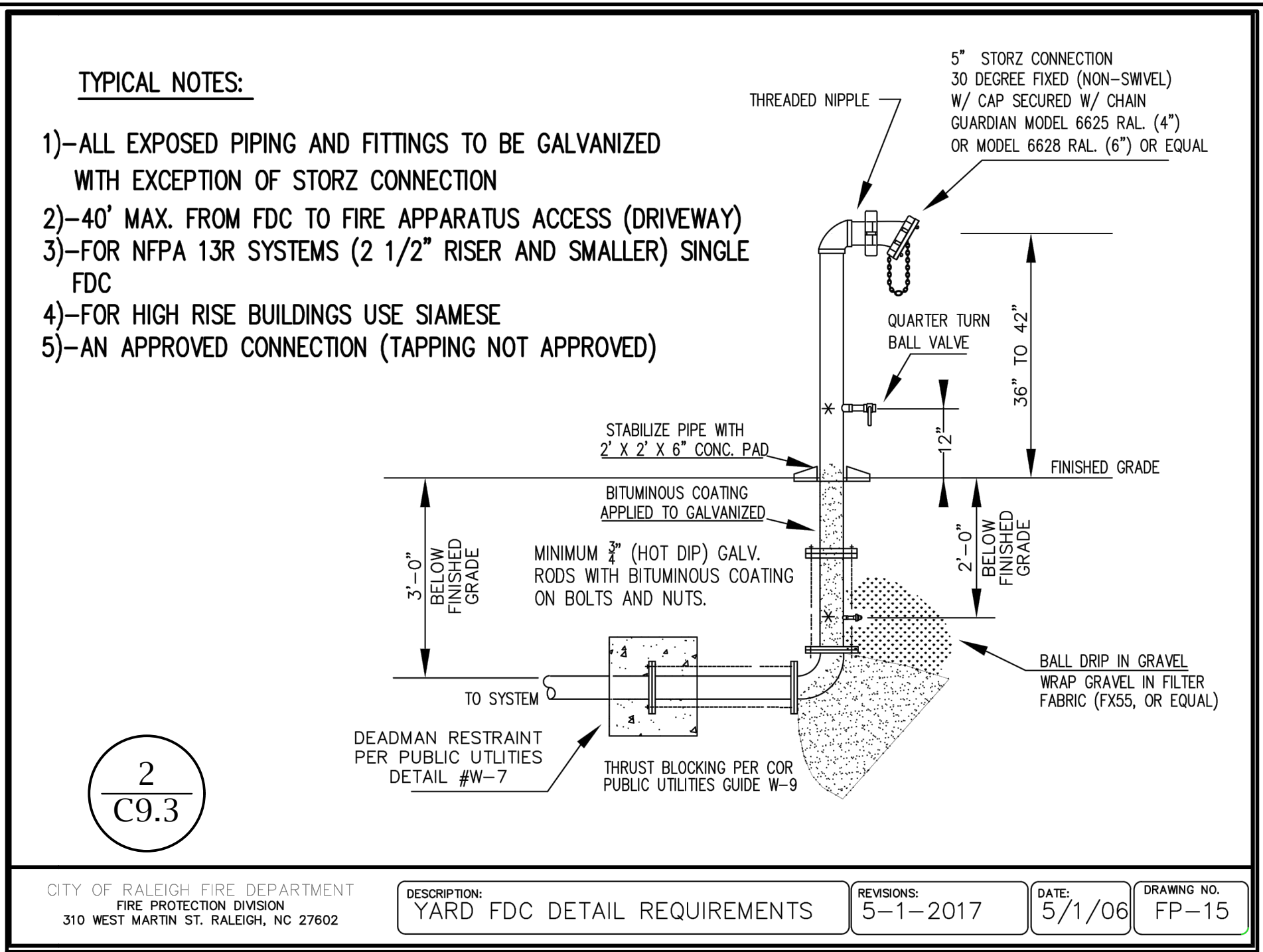
CITY OF RALEIGH FIRE DEPARTMENT  
FIRE PROTECTION DIVISION  
310 WEST MARTIN ST. RALEIGH, NC 27602

DESCRIPTION: RISER CLEARANCE DETAIL

REVISIONS: 1-21-20

DATE: 5/1/06

DRAWING NO. FP-5A



2  
C9.3

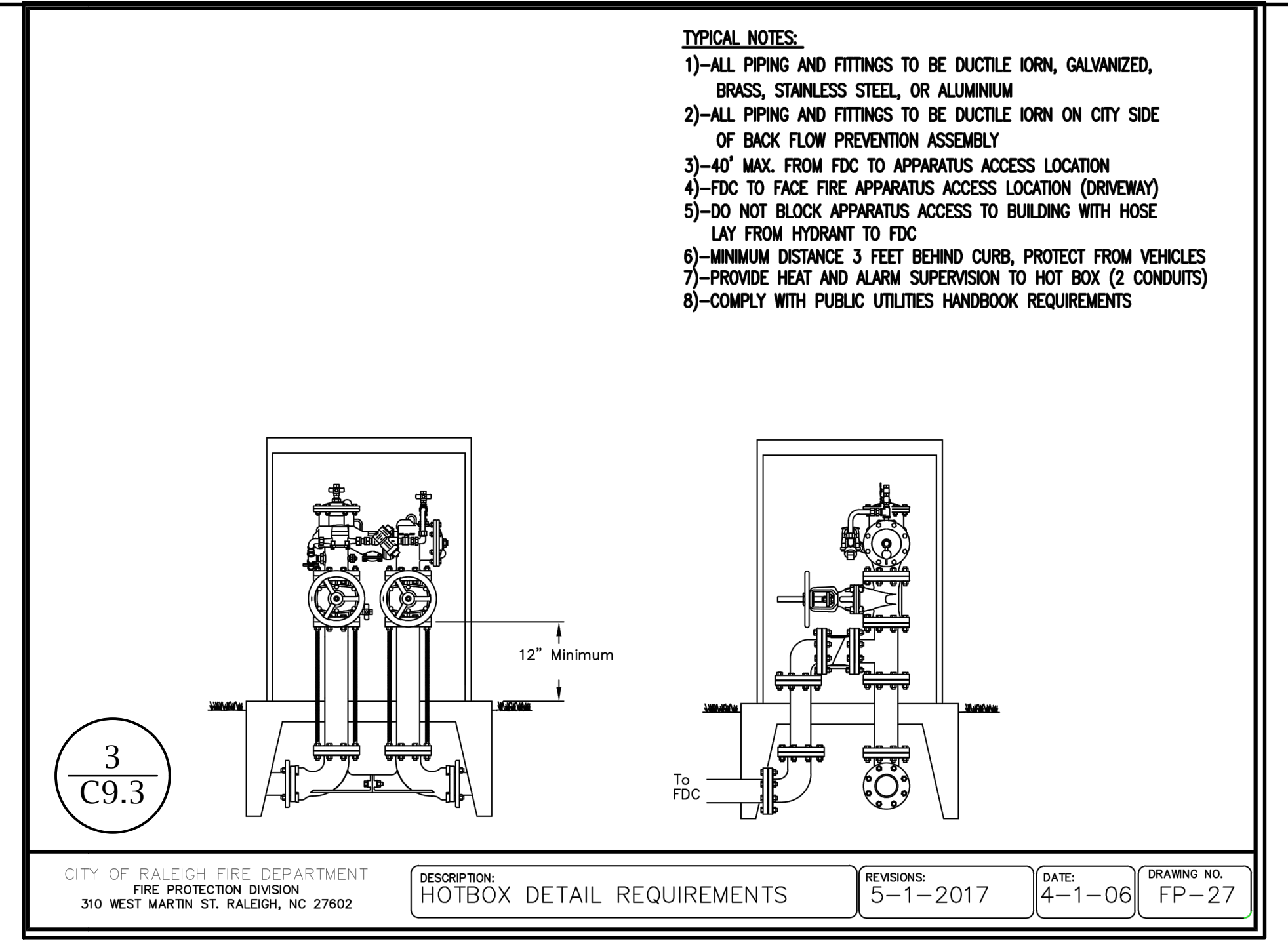
CITY OF RALEIGH FIRE DEPARTMENT  
FIRE PROTECTION DIVISION  
310 WEST MARTIN ST. RALEIGH, NC 27602

DESCRIPTION: YARD FDC DETAIL REQUIREMENTS

REVISIONS: 5-1-2017

DATE: 5/1/06

DRAWING NO. FP-15



3  
C9.3

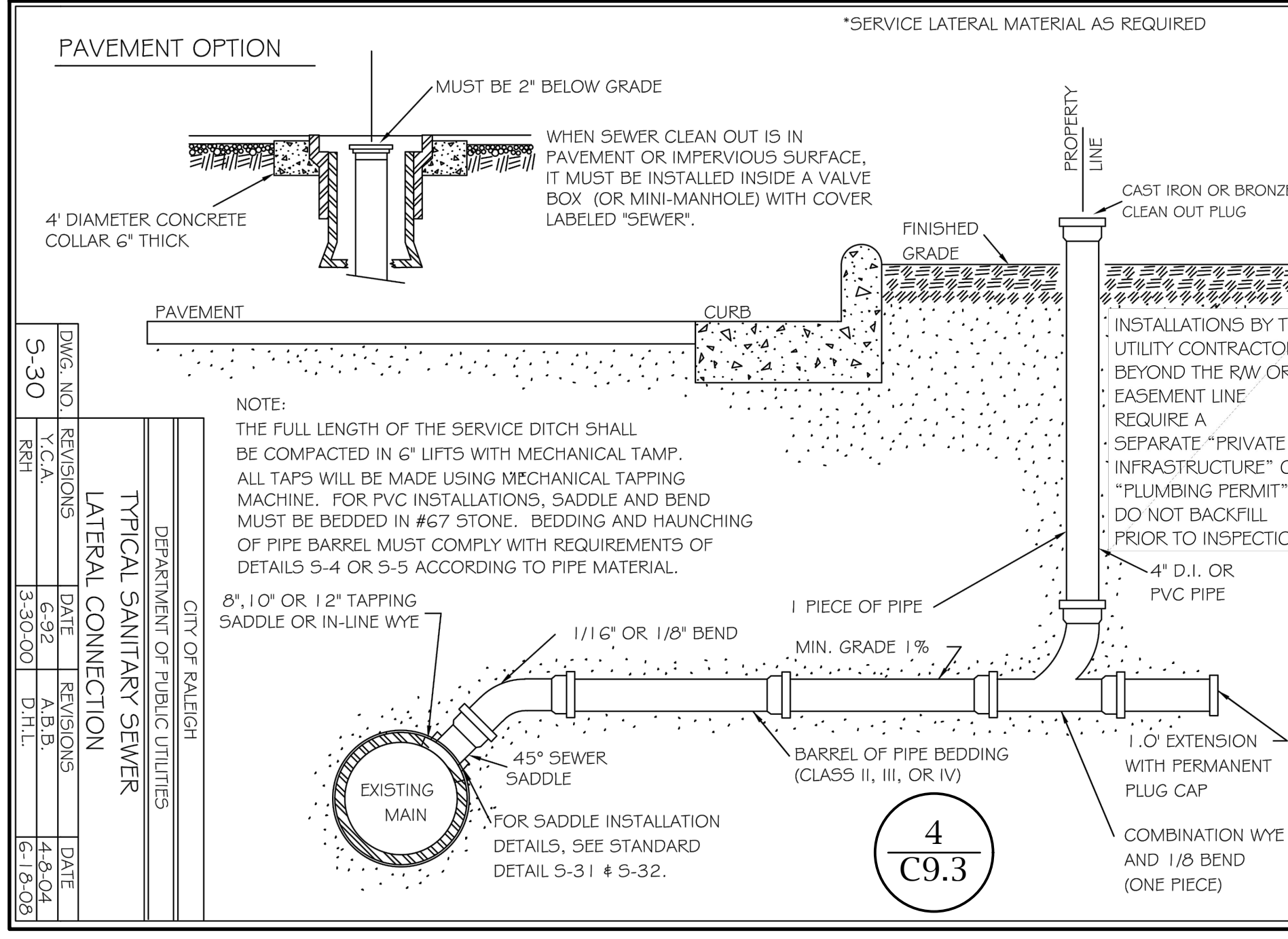
CITY OF RALEIGH FIRE DEPARTMENT  
FIRE PROTECTION DIVISION  
310 WEST MARTIN ST. RALEIGH, NC 27602

DESCRIPTION: HOTBOX DETAIL REQUIREMENTS

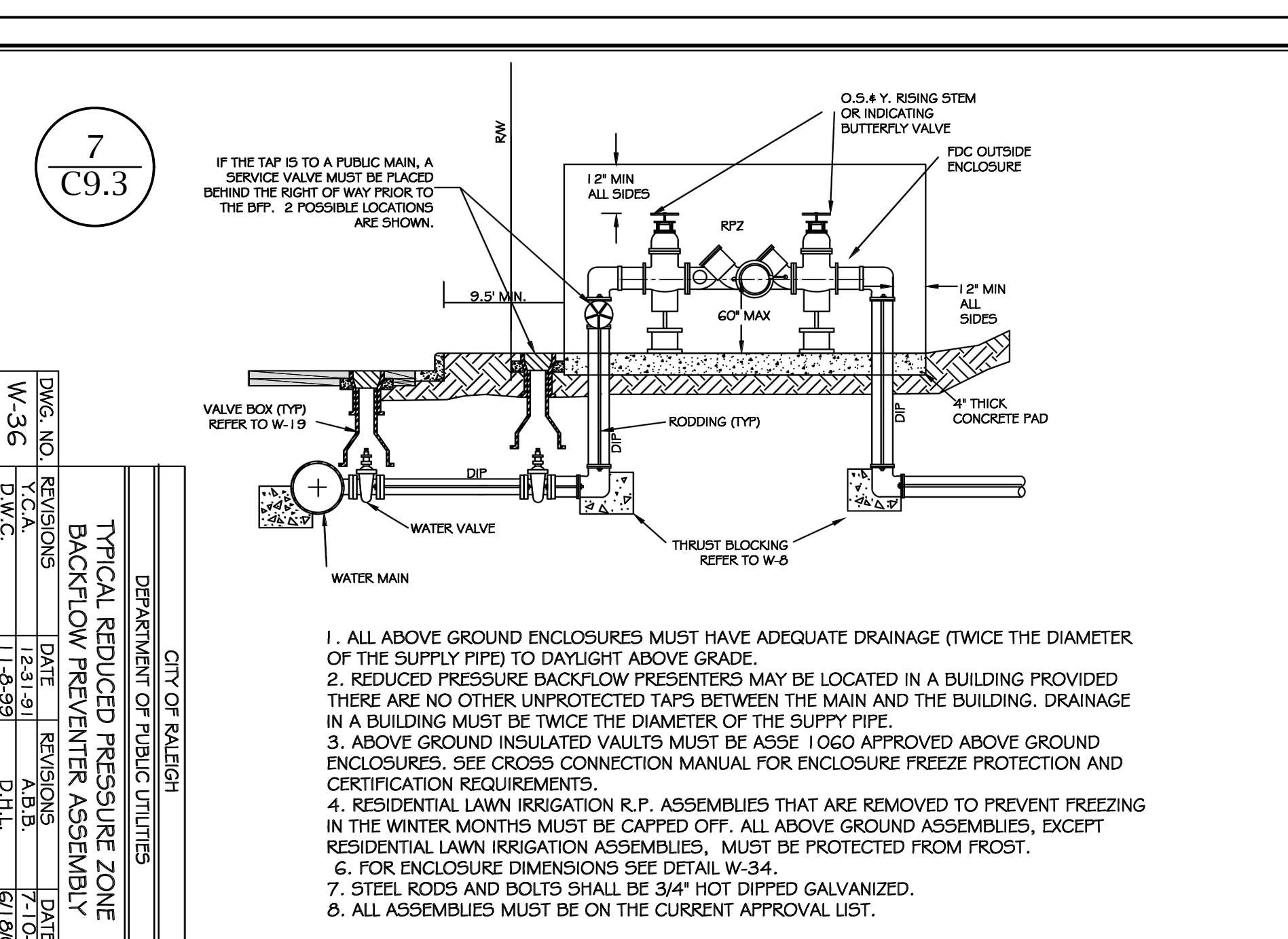
REVISIONS: 5-1-2017

DATE: 4-1-06

DRAWING NO. FP-27



4  
C9.3



7  
C9.3

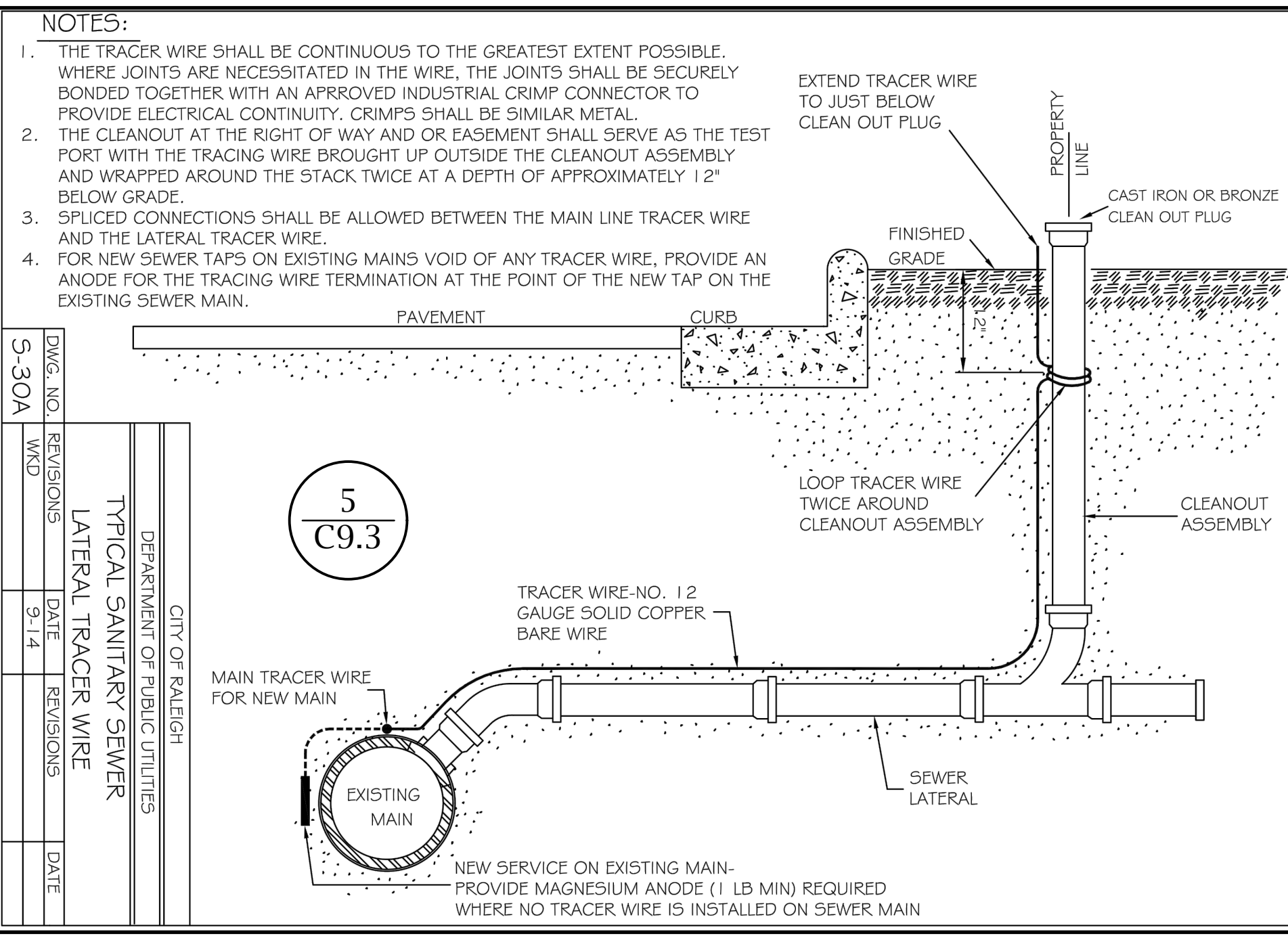
CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES

DESCRIPTION: TYPICAL REDUCED PRESSURE ZONE BACKFLOW PREVENTER ASSEMBLY

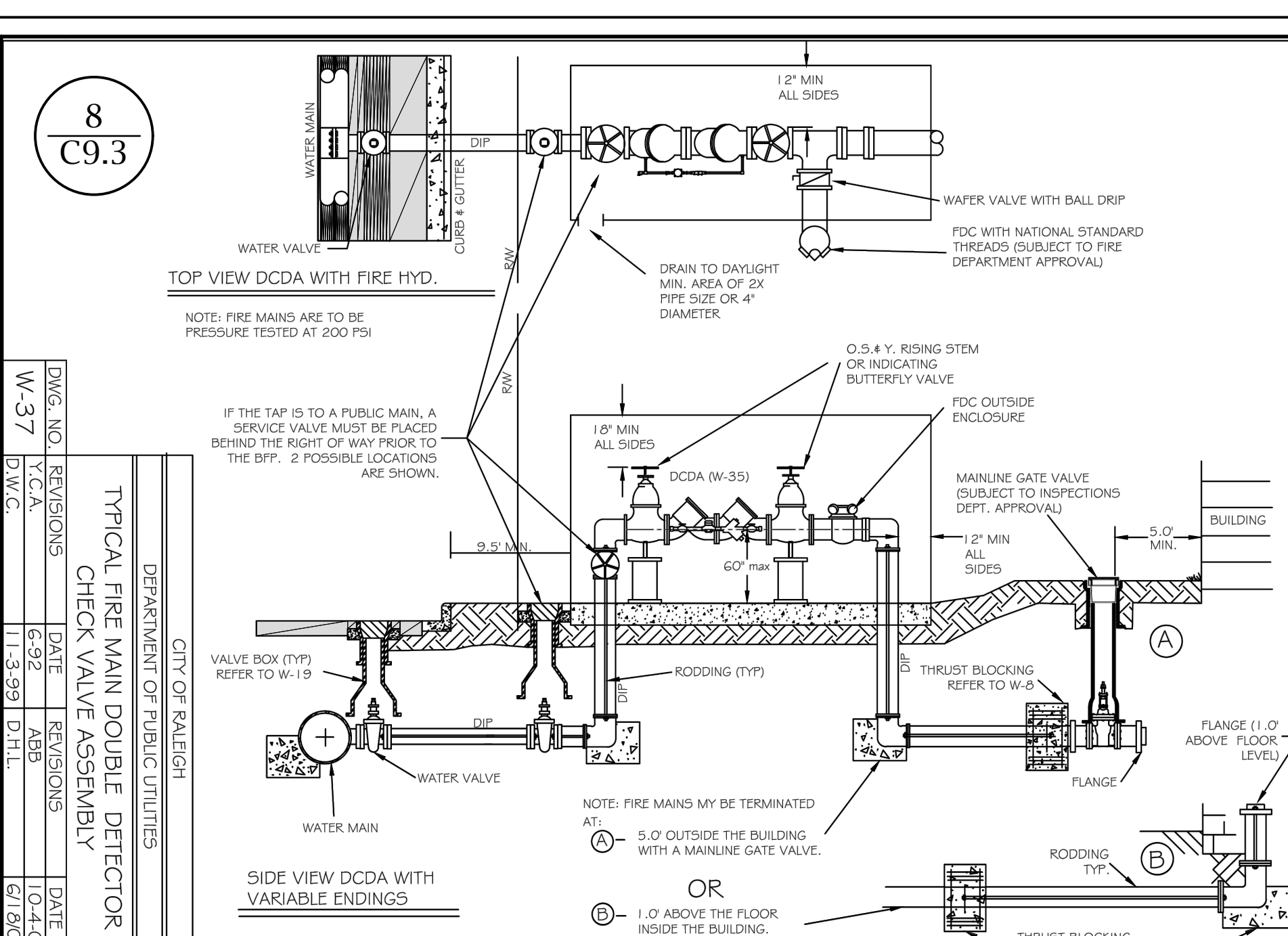
REVISIONS: 12-3-21

DATE: 7-1-04

DRAWING NO. W-36



5  
C9.3



8  
C9.3

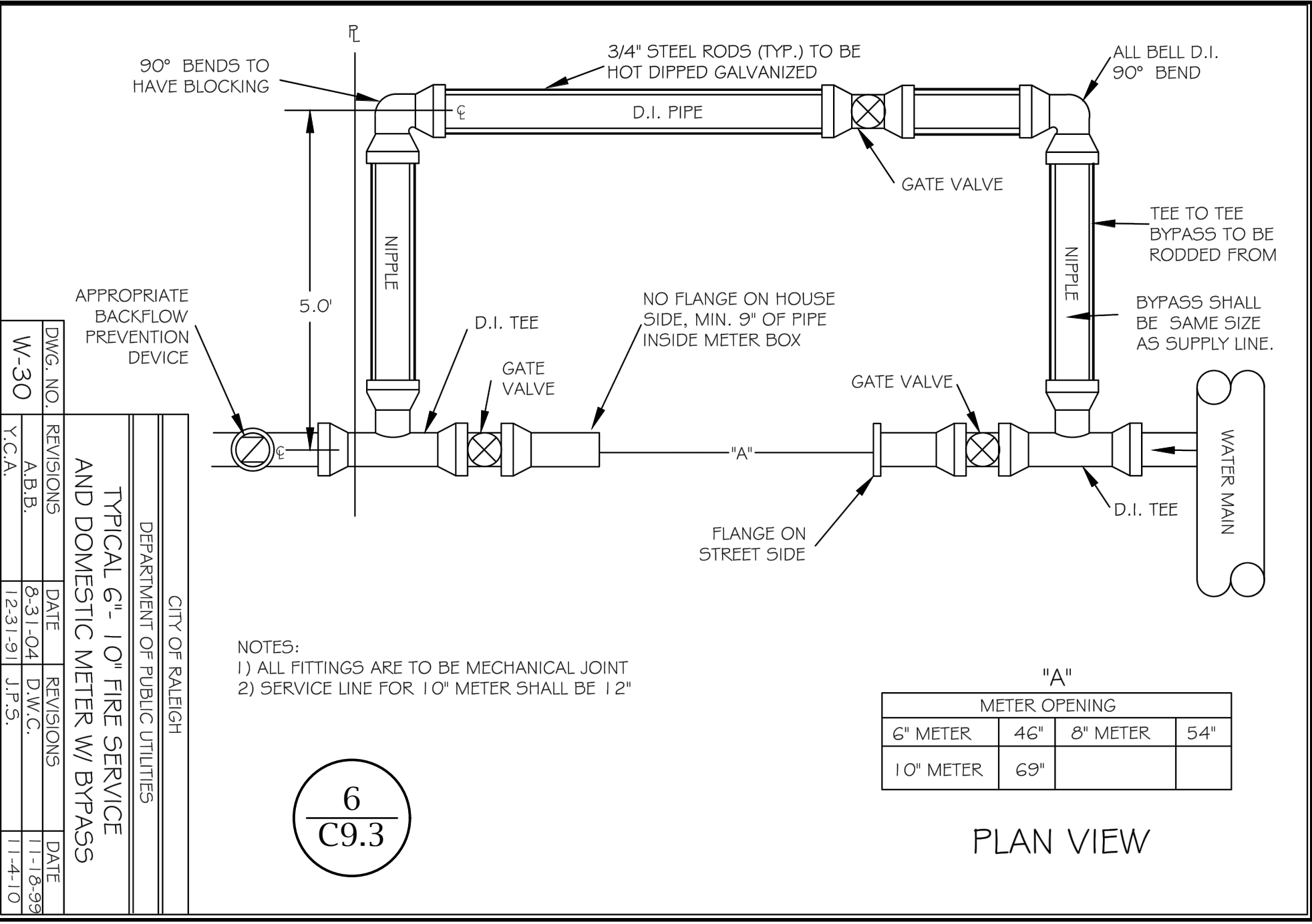
CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES

DESCRIPTION: TYPICAL FIRE MAIN DOUBLE CHECK VALVE ASSEMBLY

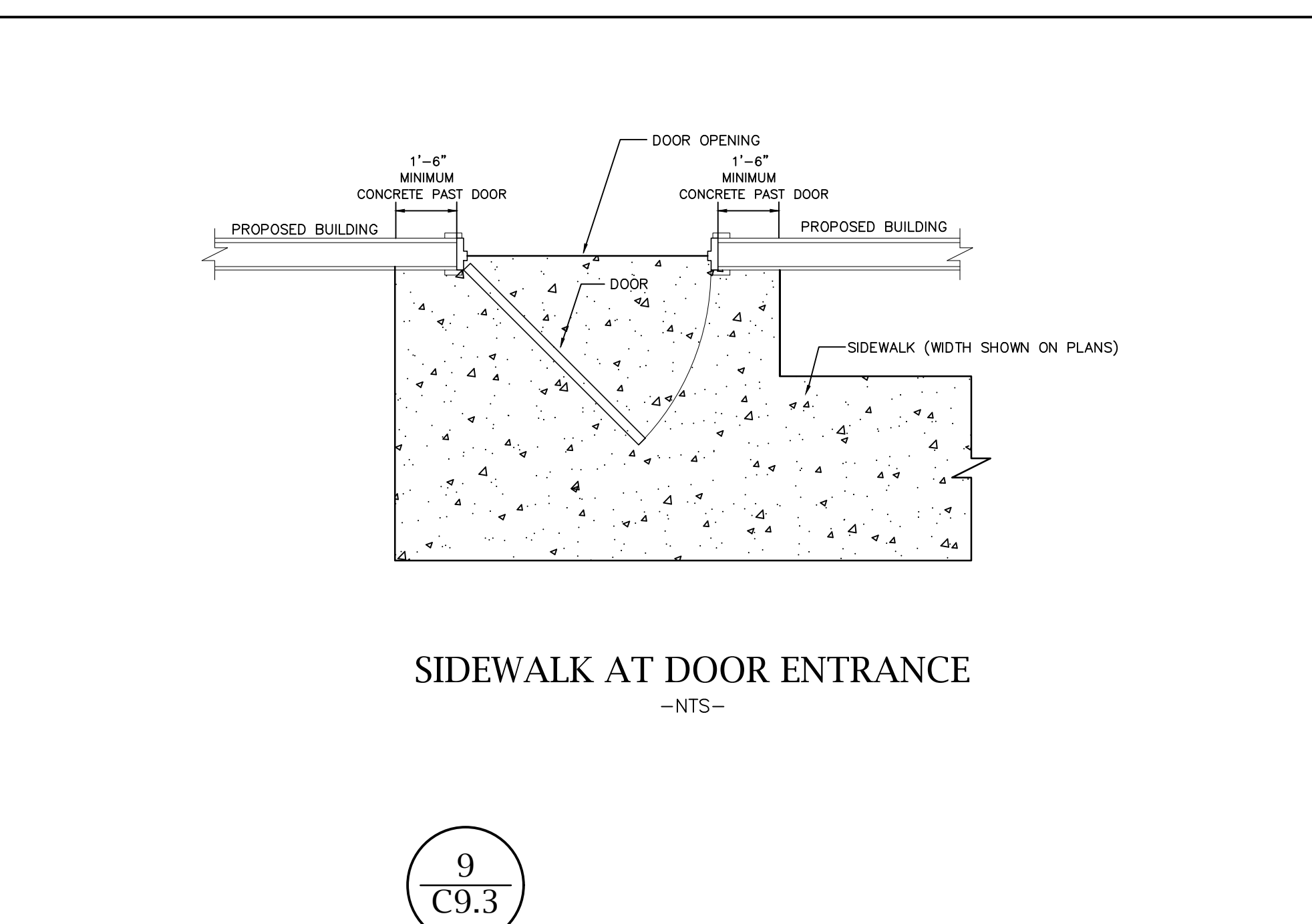
REVISIONS: 10-4-04

DATE: 6/18/03

DRAWING NO. W-37



6  
C9.3



9  
C9.3

CITY OF RALEIGH  
DEPARTMENT OF PUBLIC UTILITIES

DESCRIPTION: TYPICAL 6\"/>

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**ENGINEERING**  
M<sup>2</sup> ENGINEERING, INC.  
2110 BEN CRAIG DR., STE. 400  
CHARLOTTE, NC 28262  
PHONE 704.510.9797



**HOKE STREET APARTMENTS**  
HOKE STREET  
RALEIGH, NC 27601

**WALLICK ASSET MANAGEMENT LLC**  
160 W MAIN STREET #200  
NEW ALBANY, OH 43054

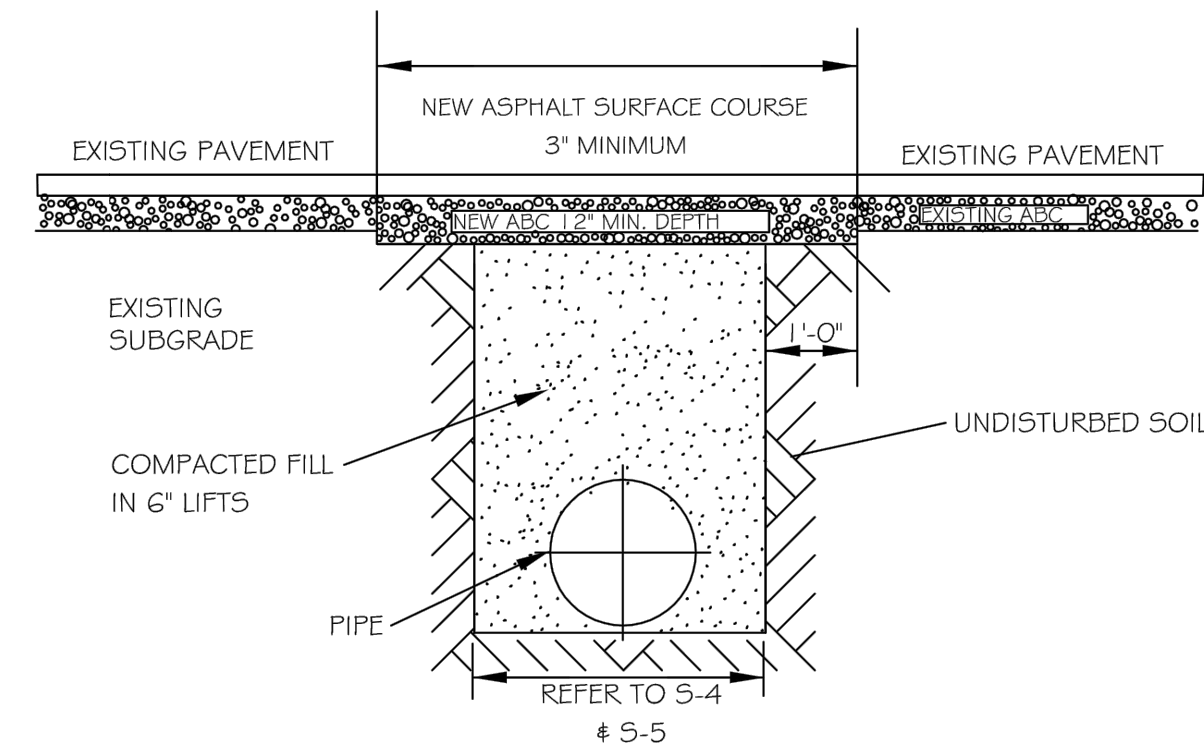
**PASSAGE HOME, INC.**  
PO BOX 28165  
RALEIGH, NC 27611

**SITE DETAILS**

REVISIONS

CAD FILE: 23-025 BASE.DWG  
PROJECT NO.: 23-025  
DESIGNED BY: JDM  
REVIEWED BY: JDM  
DATE: OCTOBER 11, 2024

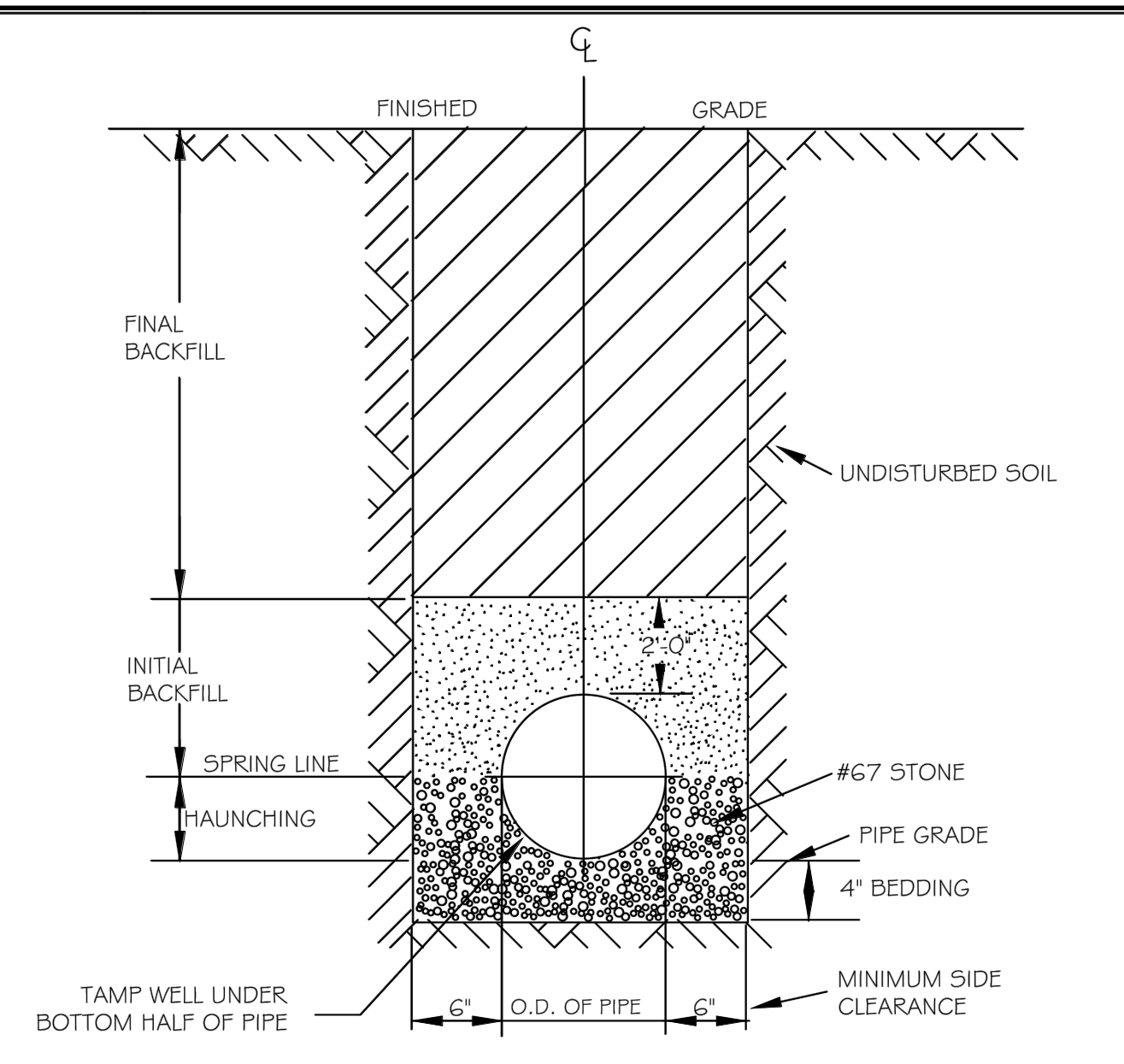
**C9.3**



- NOTES:**
1. IN NCDOT MAINTAINED ROADWAYS ENCRoACHMENT PAVEMENT PATCH REQUIREMENTS SHALL TAKE PRECEDENCE.
  2. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAWCUT MACHINE.
  3. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
  4. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-80 AS MODIFIED BY NCDOT.
  5. THE ENTIRE THICKNESS AND VERTICAL EDGE OF CUT SHALL BE TACKED.
  6. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.
  7. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
  8. REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING (5-4 & 5-5) FOR ADDITIONAL DETAILS.
  9. NO HAND PATCHING ALLOWED.
  10. PAVEMENT CUTS WITHIN NCDOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCRoACHMENT PERMIT.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD ASPHALT PAVEMENT PATCH DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-3	D.W.C.	1-1-99	A.B.B.	4-19-04
	RRH	3-30-00	J.P.S.	9-8-10

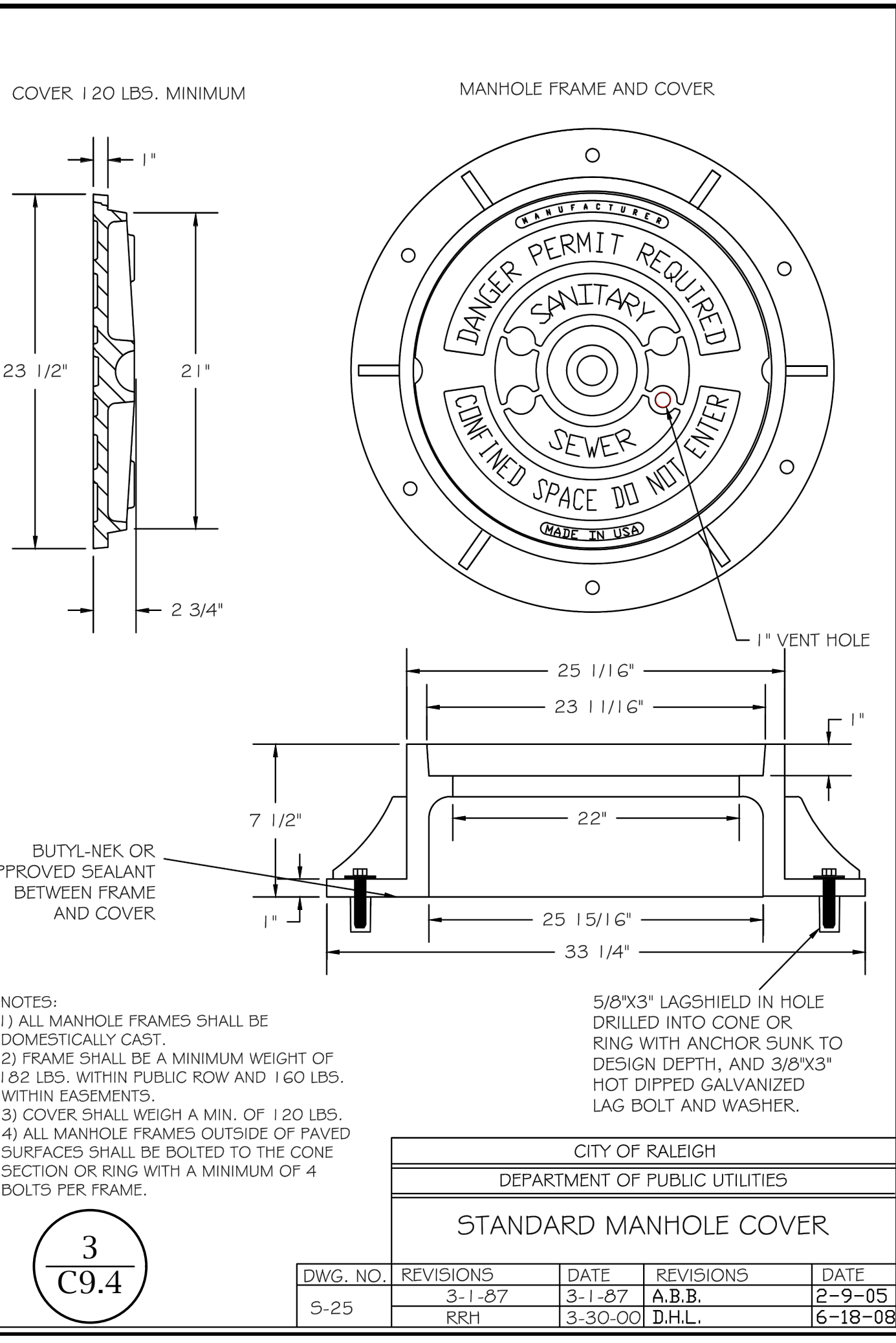
1 / C9.4



- TYPICAL TRENCH BOTTOM DIMENSIONS FOR SDR 35 PVC GRAVITY PIPE**
- NOTES:**
1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
  2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
  3. ALL BACKFILL MATERIAL SHALL BE SUITABLE NATIVE MATERIAL.
  4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 12" IN NON-TRAFFIC AREAS.

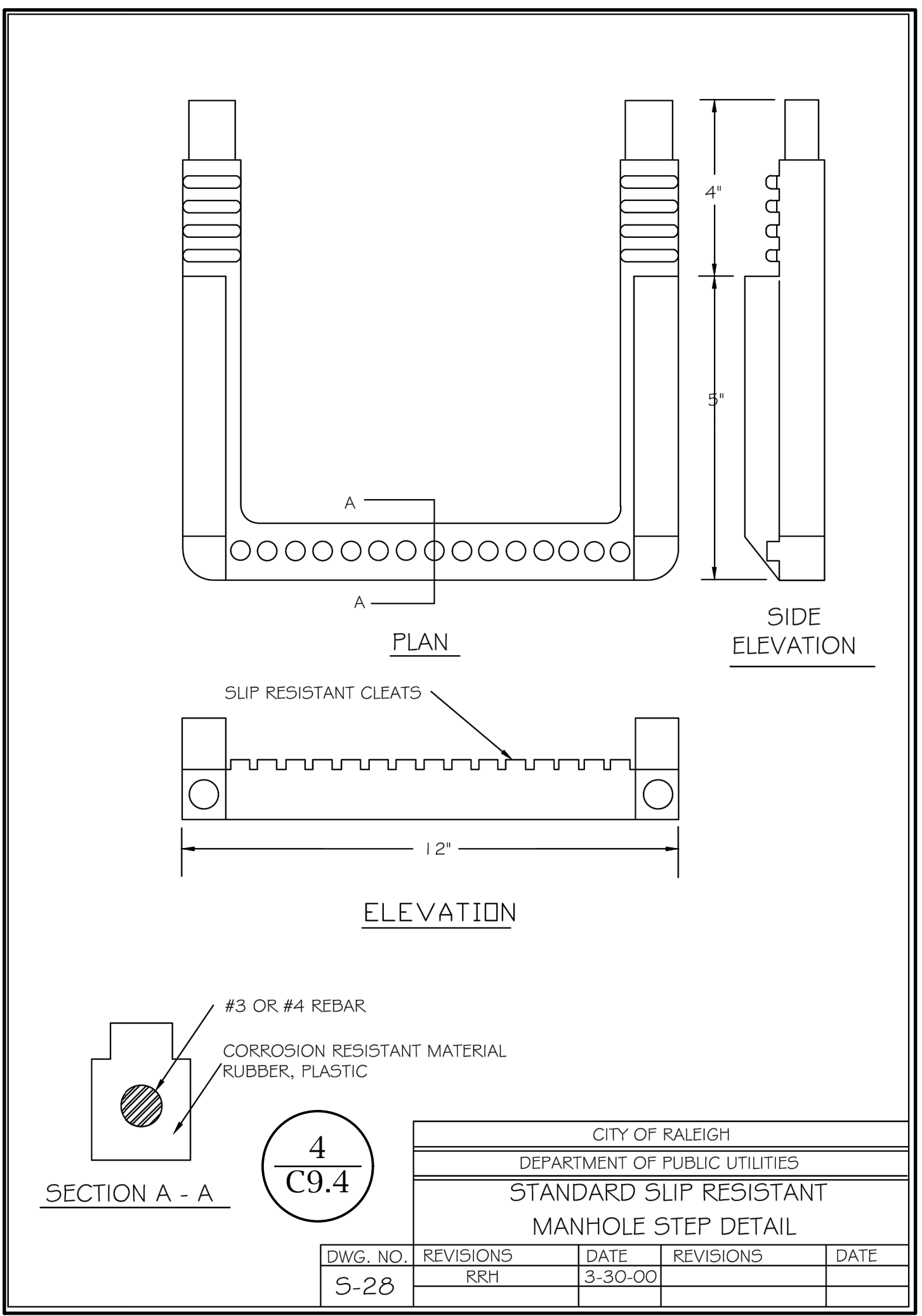
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-5	TO NOTES	3-1-87	D.W.C.	9-3-99
		7-2-82	RRH	9-30-00

2 / C9.4



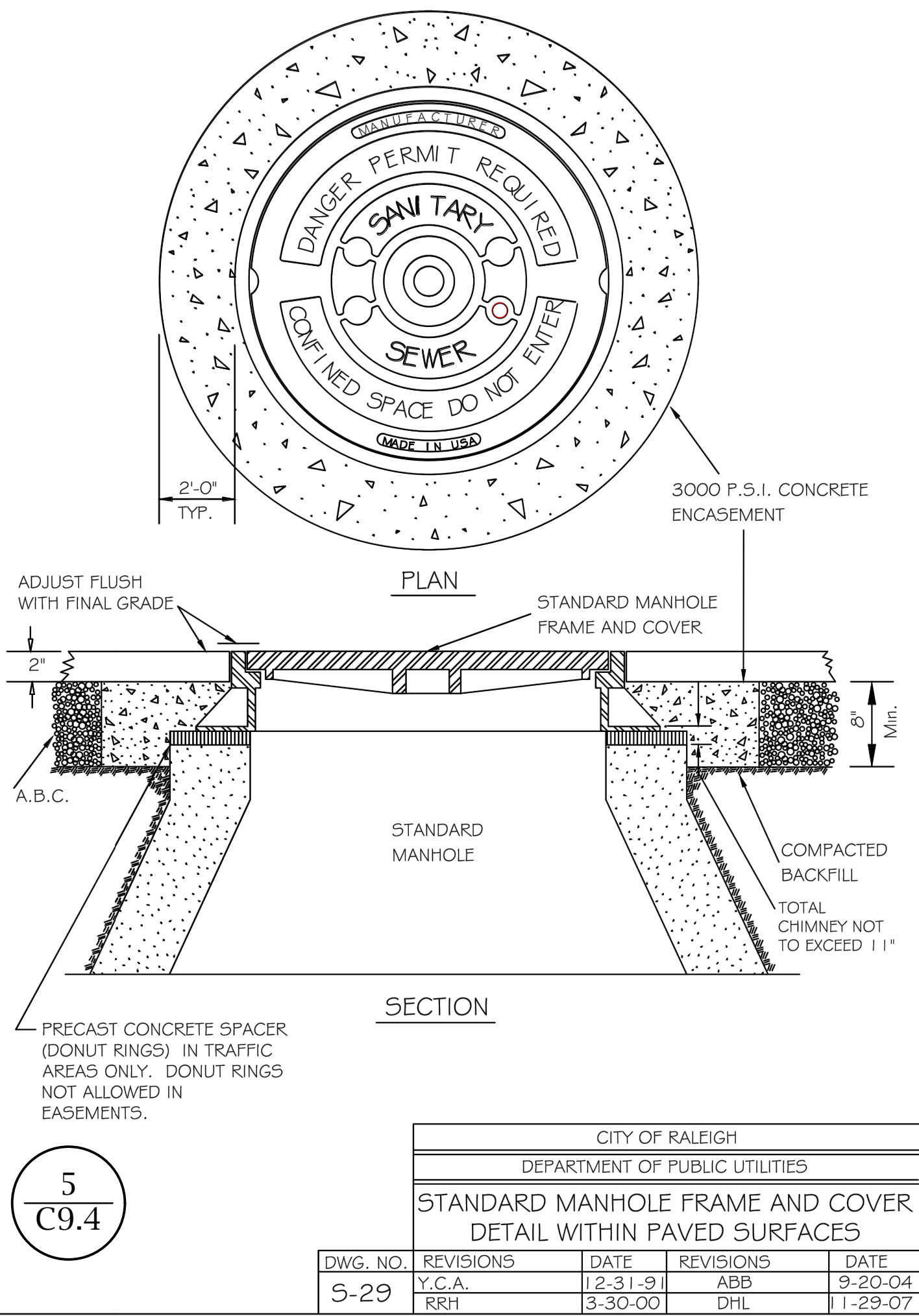
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD MANHOLE COVER				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-25	3-1-87	3-1-87	A.B.B.	2-9-05
	RRH	3-30-00	D.H.L.	6-18-08

3 / C9.4



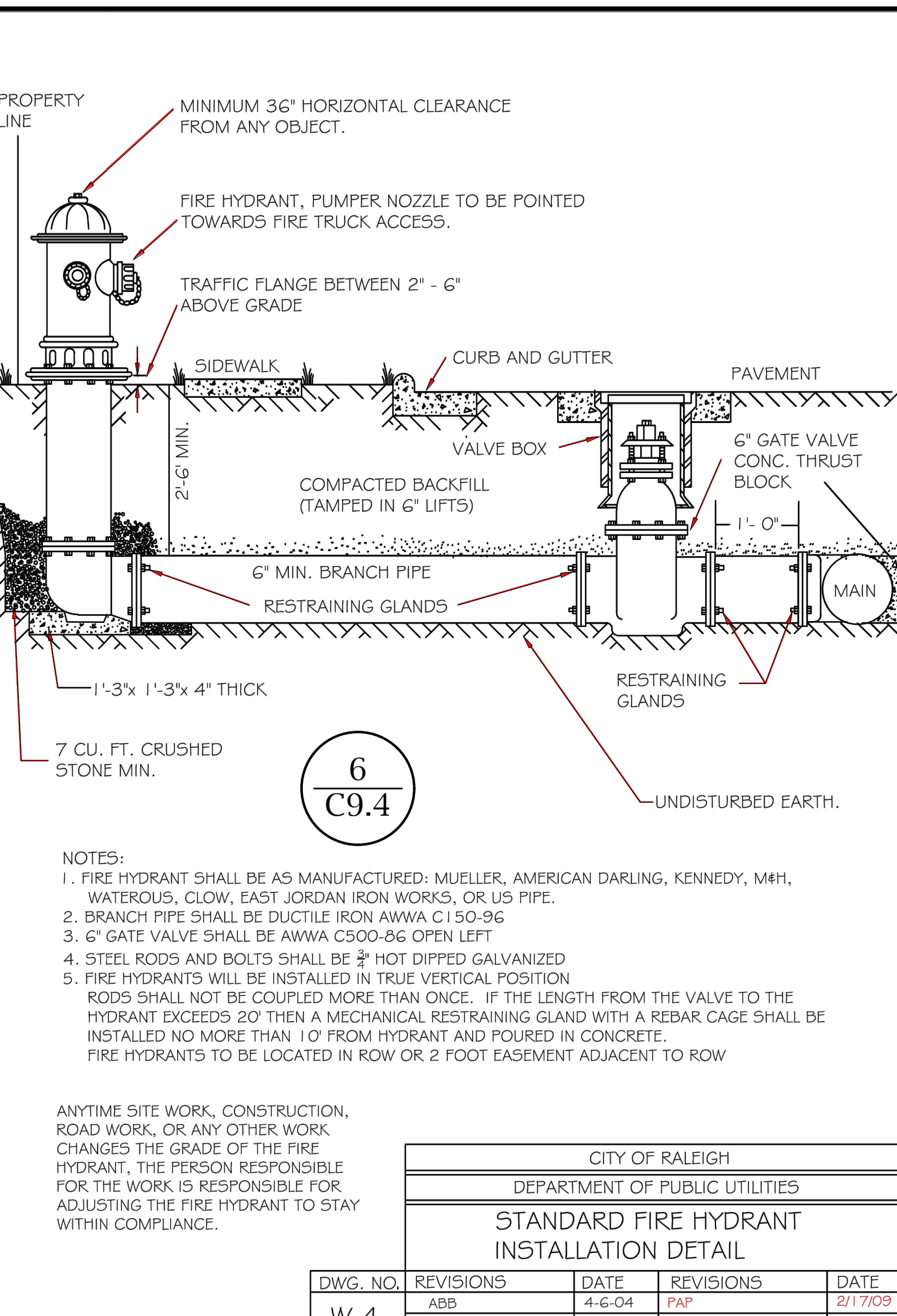
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD SLIP RESISTANT MANHOLE STEP DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-28	RRH	3-30-00		

4 / C9.4



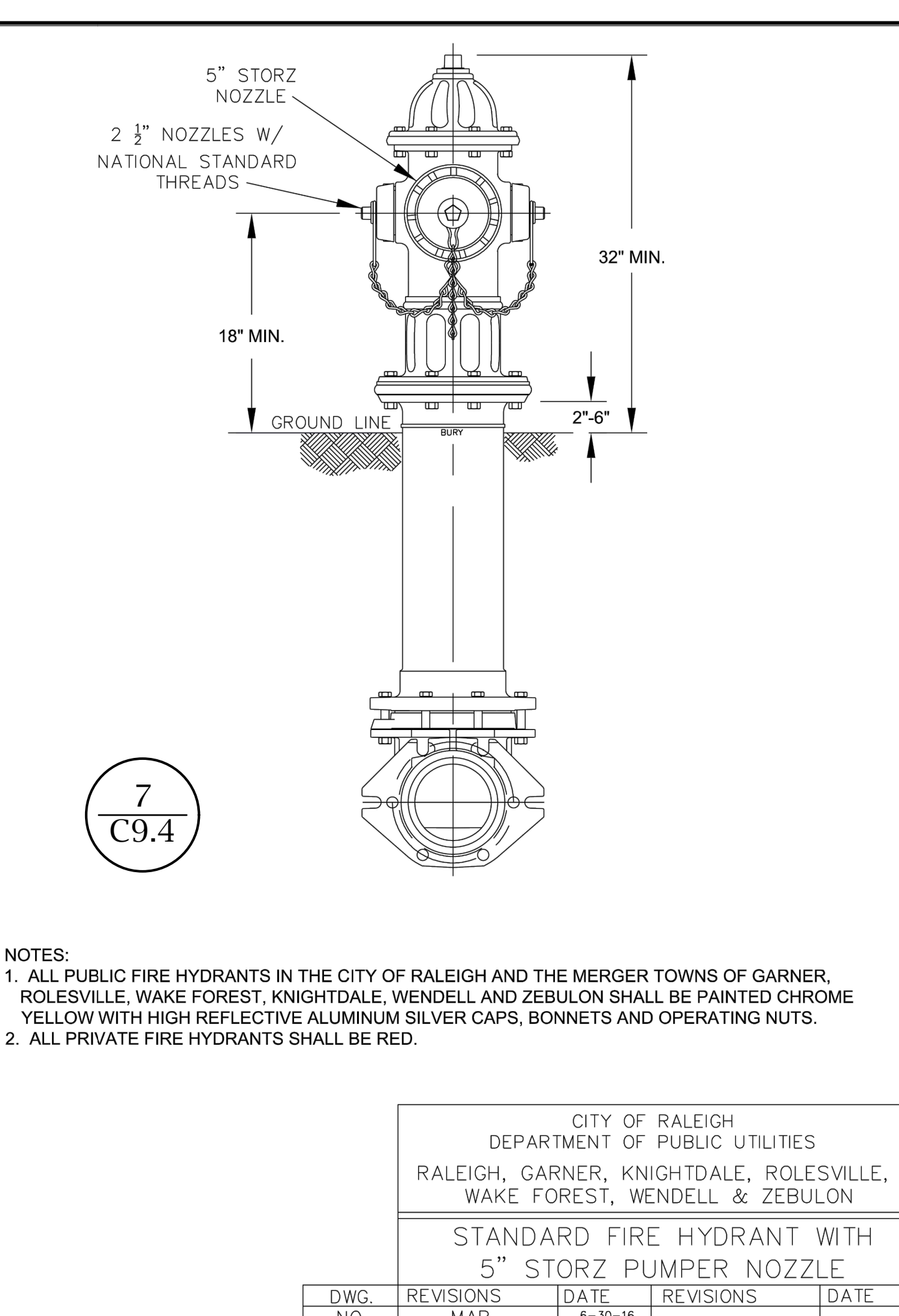
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD MANHOLE FRAME AND COVER DETAIL WITHIN PAVED SURFACES				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
S-29	Y.C.A.	12-31-91	ABB	9-20-04
	RRH	3-30-00	DHL	11-29-07

5 / C9.4



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD FIRE HYDRANT INSTALLATION DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-4	ABB	4-6-04	FAP	2/17/09
	DHL	2/14/08		

6 / C9.4



CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD FIRE HYDRANT WITH 5" STORZ PUMPER NOZZLE				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-5	M.A.B.	9-10-16		
	K.A.T.	9-15-17		

7 / C9.4

**M<sup>2</sup> ENGINEERING**  
 M<sup>2</sup> ENGINEERING, INC.  
 2110 BEN CRAIG DR., STE. 400  
 CHARLOTTE, NC 28262  
 PHONE 704.510.9797

**HOKE STREET APARTMENTS**  
 HOKE STREET  
 RALEIGH, NC 27601

**PASSAGE HOME, INC.**  
 PO BOX 28165  
 RALEIGH, NC 27611

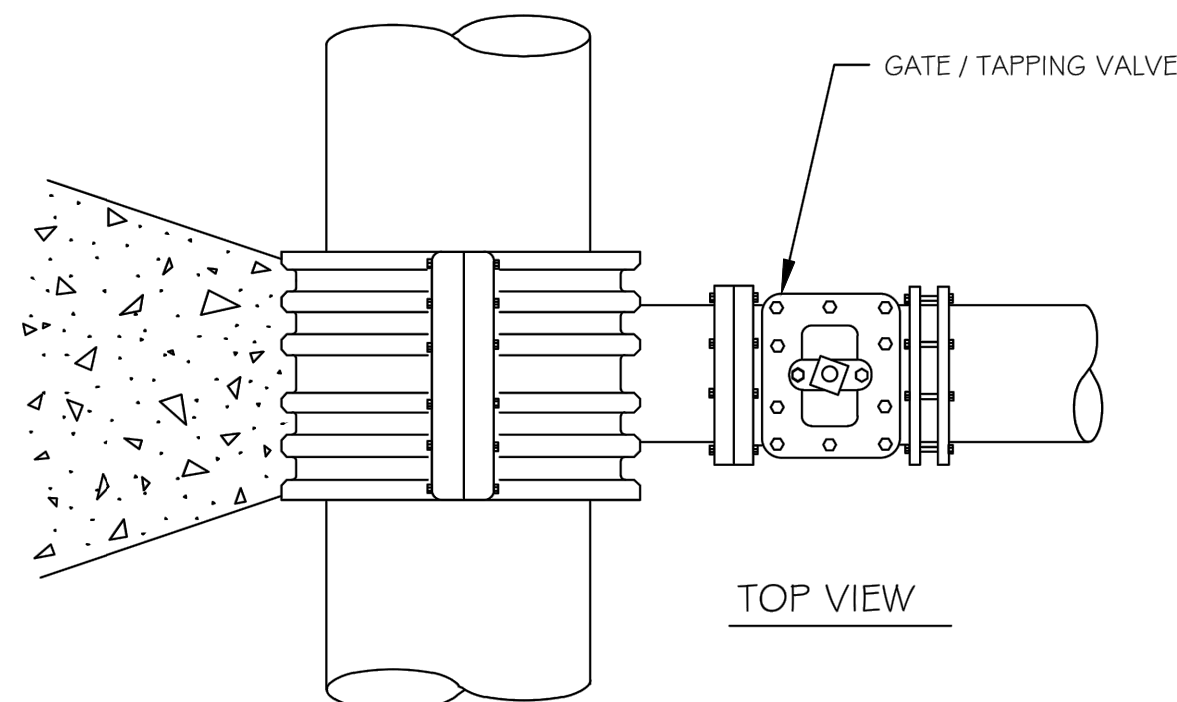
**WALLICK ASSET MANAGEMENT LLC**  
 160 W MAIN STREET #200  
 NEW ALBANY, OH 43054

**SITE DETAILS**

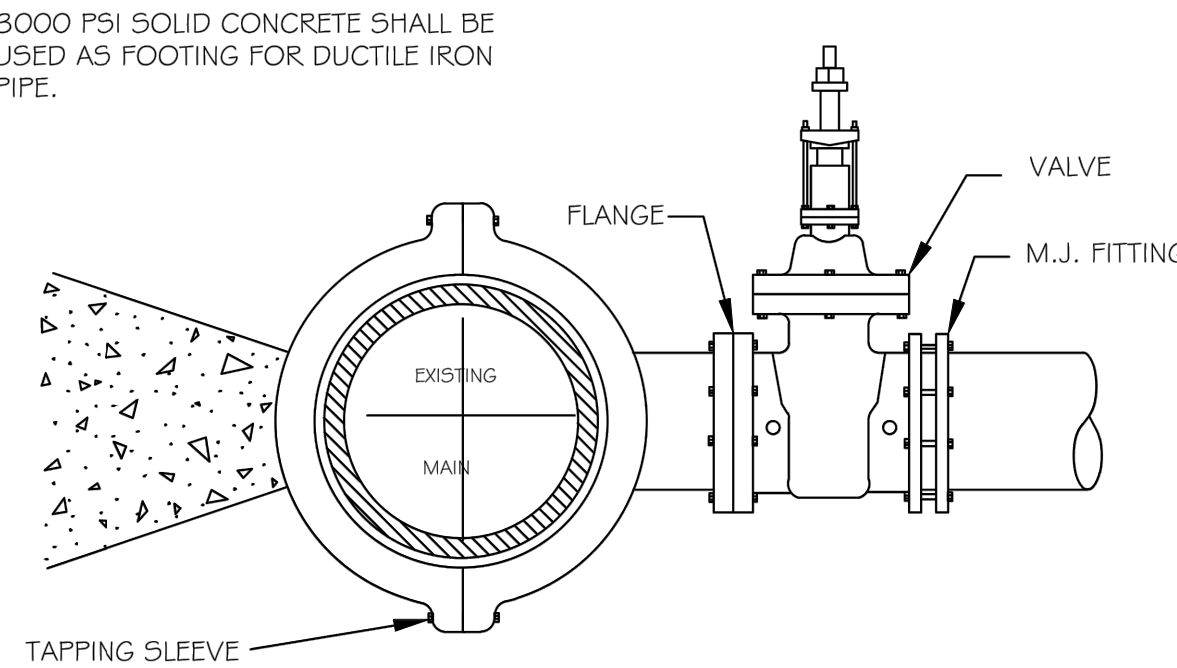
REVISIONS

CAD FILE: 23-025 BASE.DWG  
 PROJECT NO.: 23-025  
 DESIGNED BY: JDM  
 REVIEWED BY: JDM  
 DATE: OCTOBER 11, 2024

**C9.4**



TOP VIEW



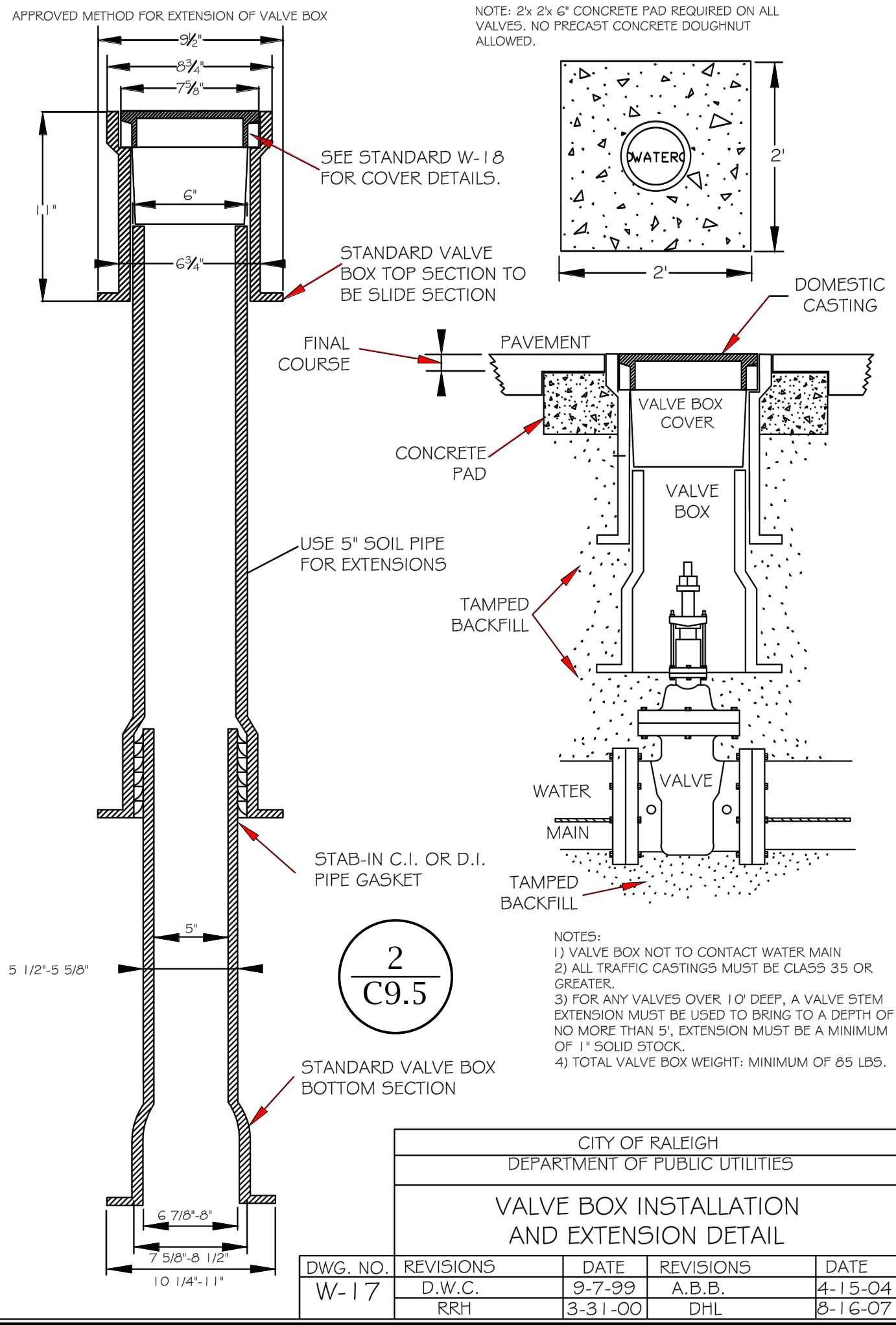
SIDE VIEW

3000 PSI SOLID CONCRETE SHALL BE USED AS FOOTING FOR DUCTILE IRON PIPE.

NOTES:  
1. CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS.  
2. SEE STANDARD REACTION BLOCK TABLES, W-10 AND W-11 FOR AREA OF CONCRETE REQUIRED.

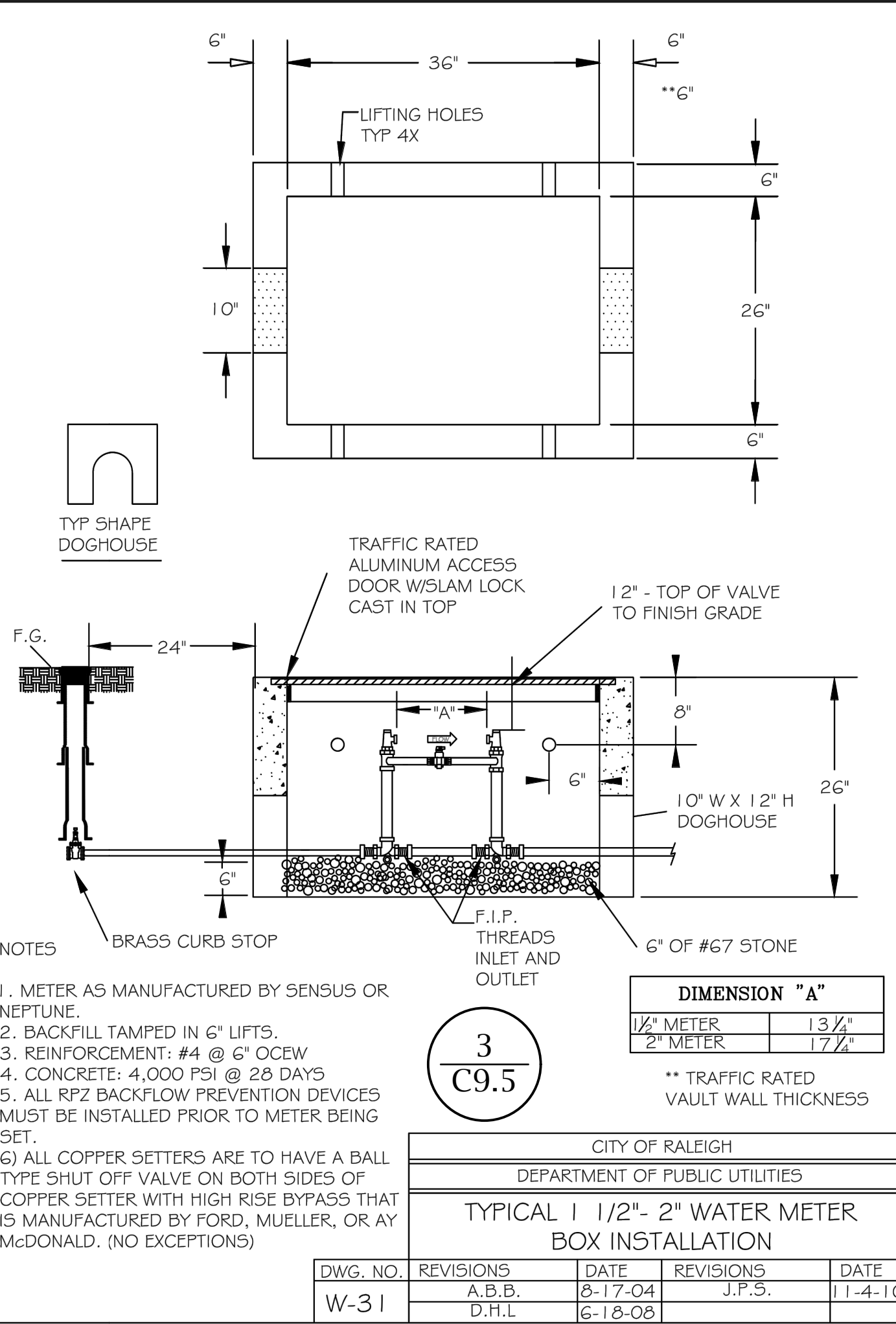
1  
C9.5

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES			
4" - 24" STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-14	Y.C.A. D.W.C.	12-31-99 9-7-99	RRH J.P.S.
			DATE 3-31-00 11-1-10



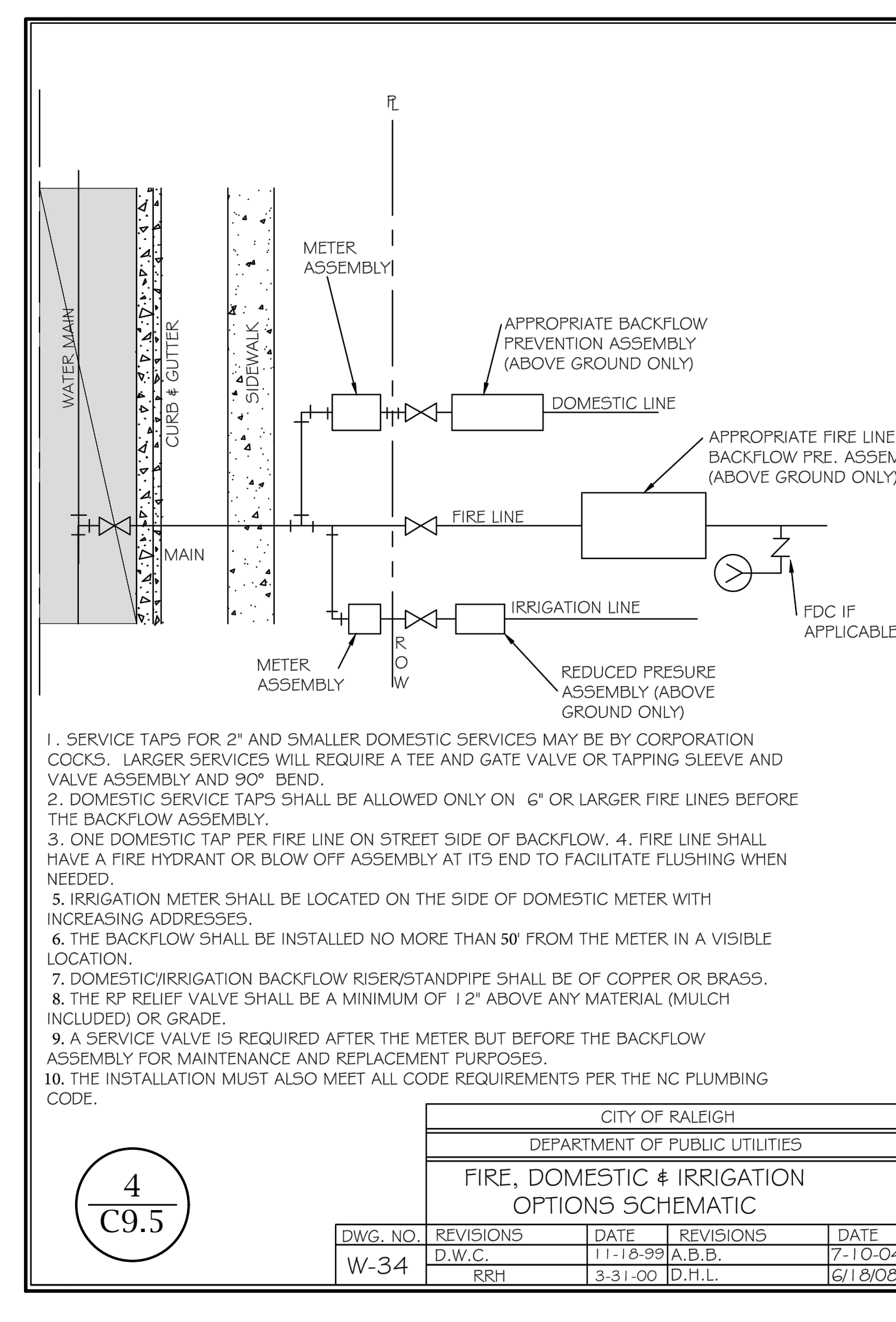
2  
C9.5

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES			
VALVE BOX INSTALLATION AND EXTENSION DETAIL			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-17	D.W.C. RRH	9-7-99 3-31-00	A.B.B. DHL
			DATE 4-15-04 8-16-07



3  
C9.5

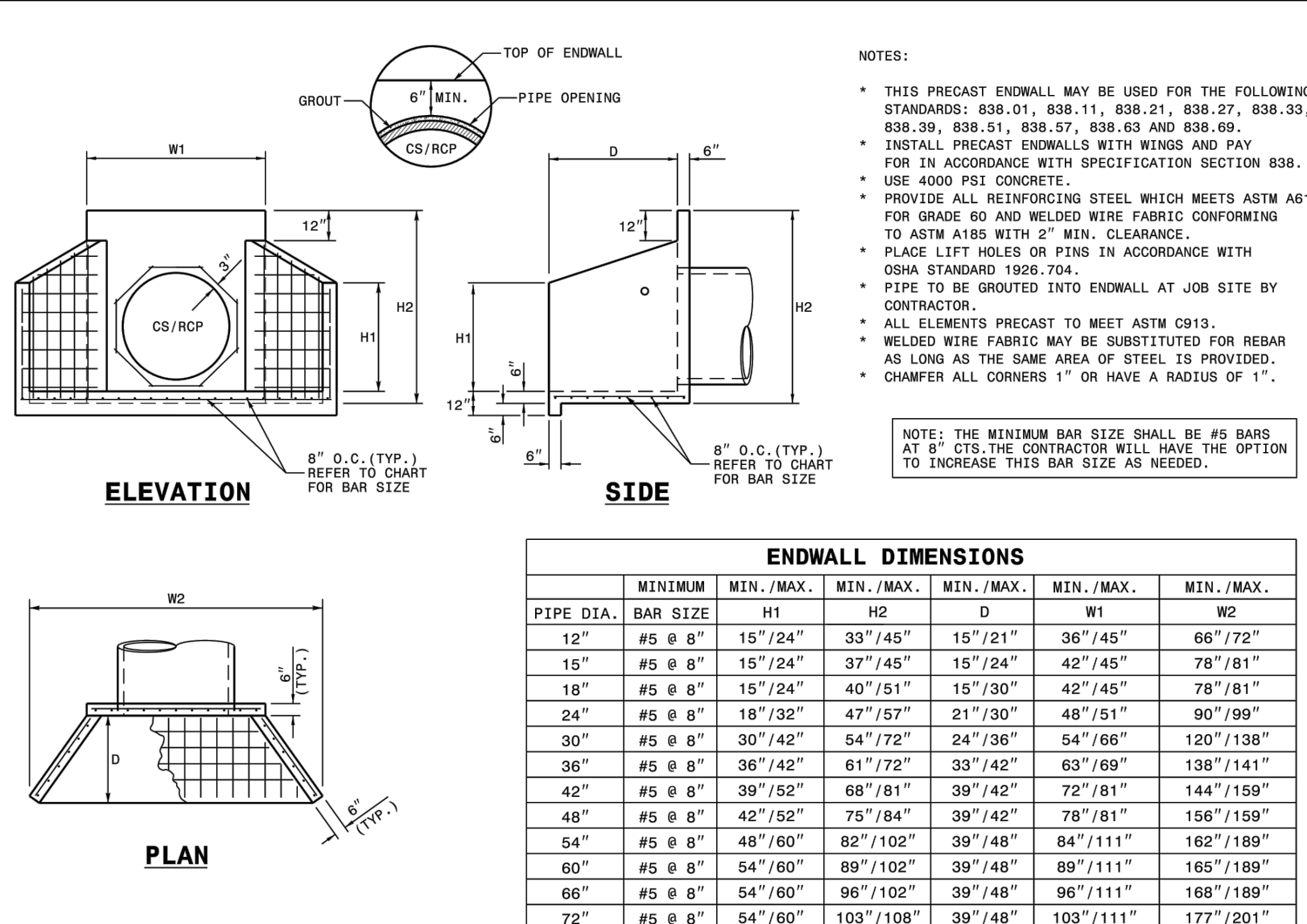
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES			
TYPICAL 1 1/2" - 2" WATER METER BOX INSTALLATION			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-31	A.B.B. D.H.L.	8-17-04 6-18-08	J.P.S. D.H.L.
			DATE 11-4-10



4  
C9.5

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES			
FIRE, DOMESTIC & IRRIGATION OPTIONS SCHEMATIC			
DWG. NO.	REVISIONS	DATE	REVISIONS
W-34	D.W.C. RRH	11-18-99 3-31-00	A.B.B. D.H.L.
			DATE 7-10-04 6/18/08

- SERVICE TAPS FOR 2" AND SMALLER DOMESTIC SERVICES MAY BE BY CORPORATION COCKS. LARGER SERVICES WILL REQUIRE A TEE AND GATE VALVE OR TAPPING SLEEVE AND VALVE ASSEMBLY AND 90° BEND.
- DOMESTIC SERVICE TAPS SHALL BE ALLOWED ONLY ON 6" OR LARGER FIRE LINES BEFORE THE BACKFLOW ASSEMBLY.
- ONE DOMESTIC TAP PER FIRE LINE ON STREET SIDE OF BACKFLOW. 4. FIRE LINE SHALL HAVE A FIRE HYDRANT OR BLOW OFF ASSEMBLY AT ITS END TO FACILITATE FLUSHING WHEN NEEDED.
- IRRIGATION METER SHALL BE LOCATED ON THE SIDE OF DOMESTIC METER WITH INCREASING ADDRESSES.
- THE BACKFLOW SHALL BE INSTALLED NO MORE THAN 50' FROM THE METER IN A VISIBLE LOCATION.
- DOMESTIC/IRRIGATION BACKFLOW RISER/STANDPIPE SHALL BE OF COPPER OR BRASS.
- THE RP RELIEF VALVE SHALL BE A MINIMUM OF 12" ABOVE ANY MATERIAL (MULCH INCLUDED) OR GRADE.
- A SERVICE VALVE IS REQUIRED AFTER THE METER BUT BEFORE THE BACKFLOW ASSEMBLY FOR MAINTENANCE AND REPLACEMENT PURPOSES.
- THE INSTALLATION MUST ALSO MEET ALL CODE REQUIREMENTS PER THE NC PLUMBING CODE.



ENDWALL DIMENSIONS						
PIPE DIA.	MINIMUM BAR SIZE	MIN. H1	MIN. H2	MIN. D	MIN. W1	MIN. W2
12"	#5 @ 8"	15"/24"	33"/45"	15"/21"	36"/45"	66"/72"
15"	#5 @ 8"	15"/24"	37"/45"	15"/24"	42"/45"	78"/81"
18"	#5 @ 8"	15"/24"	40"/51"	15"/30"	42"/45"	78"/81"
24"	#5 @ 8"	18"/32"	47"/57"	21"/30"	48"/51"	90"/99"
30"	#5 @ 8"	30"/42"	54"/72"	24"/36"	54"/66"	120"/138"
36"	#5 @ 8"	36"/42"	61"/72"	33"/42"	63"/69"	138"/141"
42"	#5 @ 8"	39"/52"	68"/81"	39"/42"	72"/81"	144"/159"
48"	#5 @ 8"	42"/52"	75"/84"	39"/42"	78"/81"	156"/159"
54"	#5 @ 8"	48"/60"	82"/102"	39"/48"	84"/111"	162"/199"
60"	#5 @ 8"	54"/60"	89"/102"	39"/48"	89"/111"	168"/199"
66"	#5 @ 8"	54"/60"	96"/102"	39"/48"	96"/111"	168"/199"
72"	#5 @ 8"	54"/60"	103"/108"	39"/48"	103"/111"	177"/201"

ROADWAY STANDARD DRAWING FOR PRECAST CONCRETE ENDWALL FOR SINGLE 12" THRU 72" PIPE - 90° SKEW  
SHEET 1 OF 1  
838.80

5  
C9.5

**HOKE STREET APARTMENTS**  
HOKE STREET  
RALEIGH, NC 27601  
**WALLICK ASSET MANAGEMENT LLC**  
160 W MAIN STREET #200  
NEW ALBANY, OH 43054  
**PASSAGE HOME, INC.**  
PO BOX 28165  
RALEIGH, NC 27611

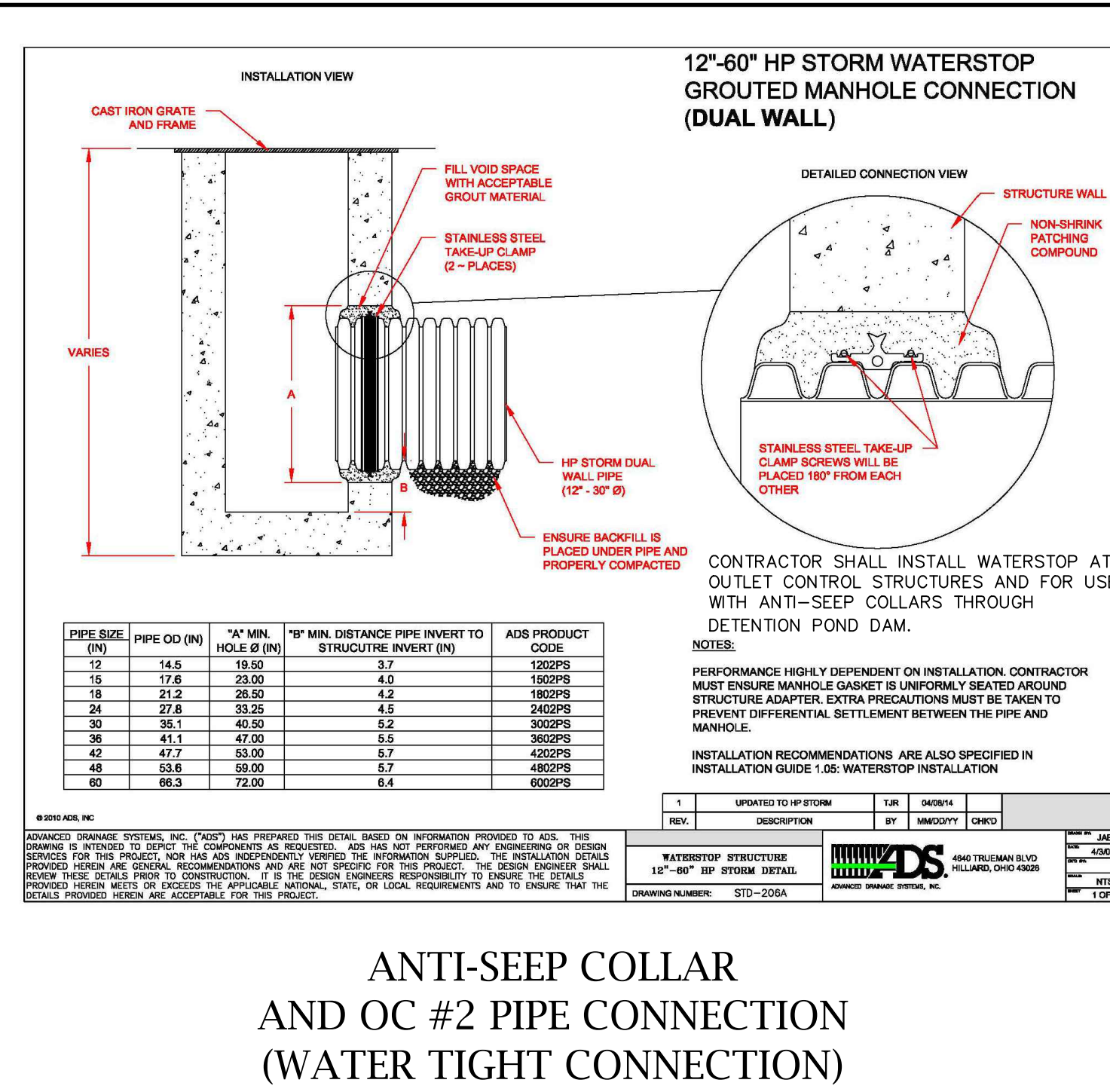
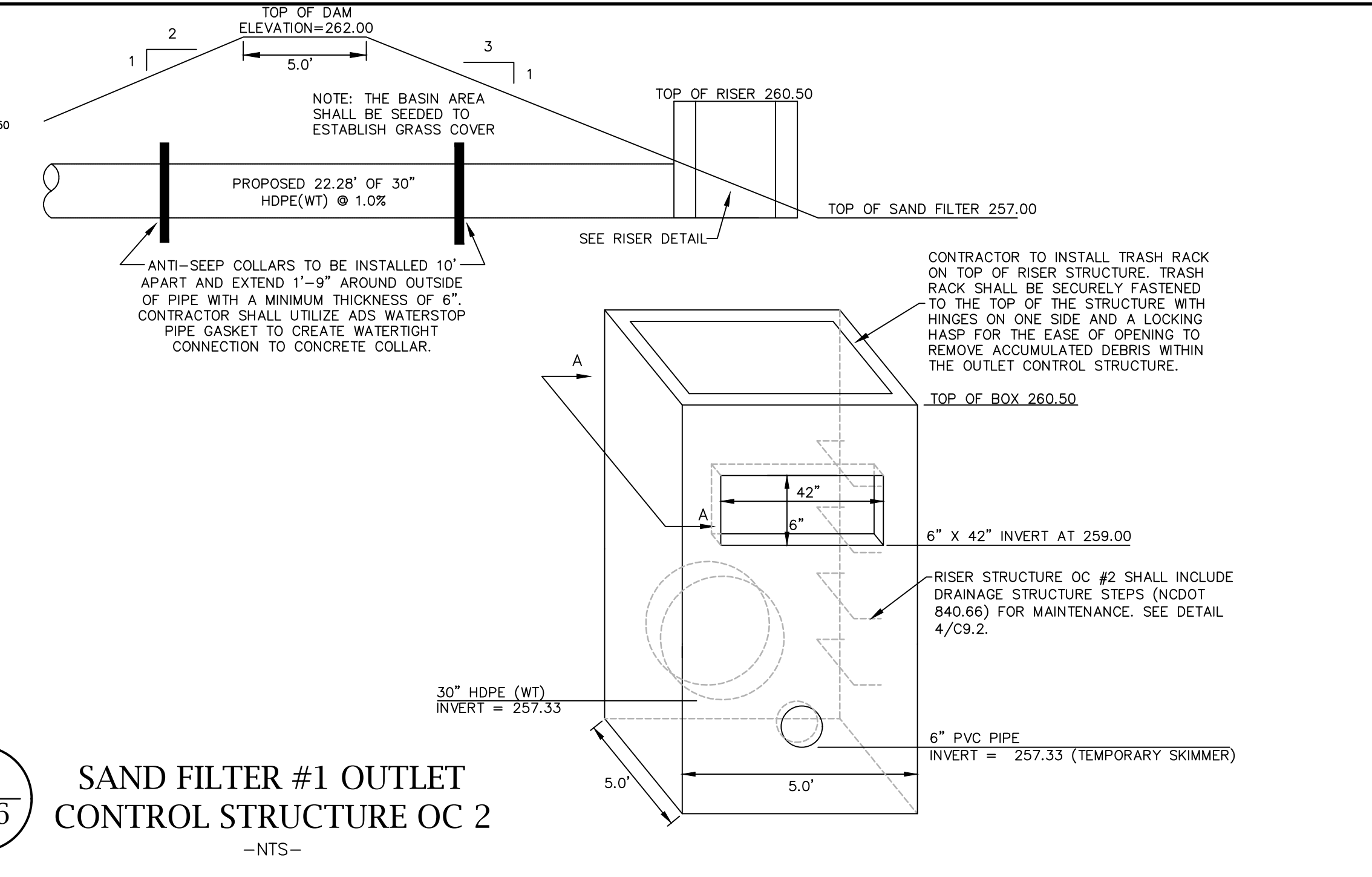
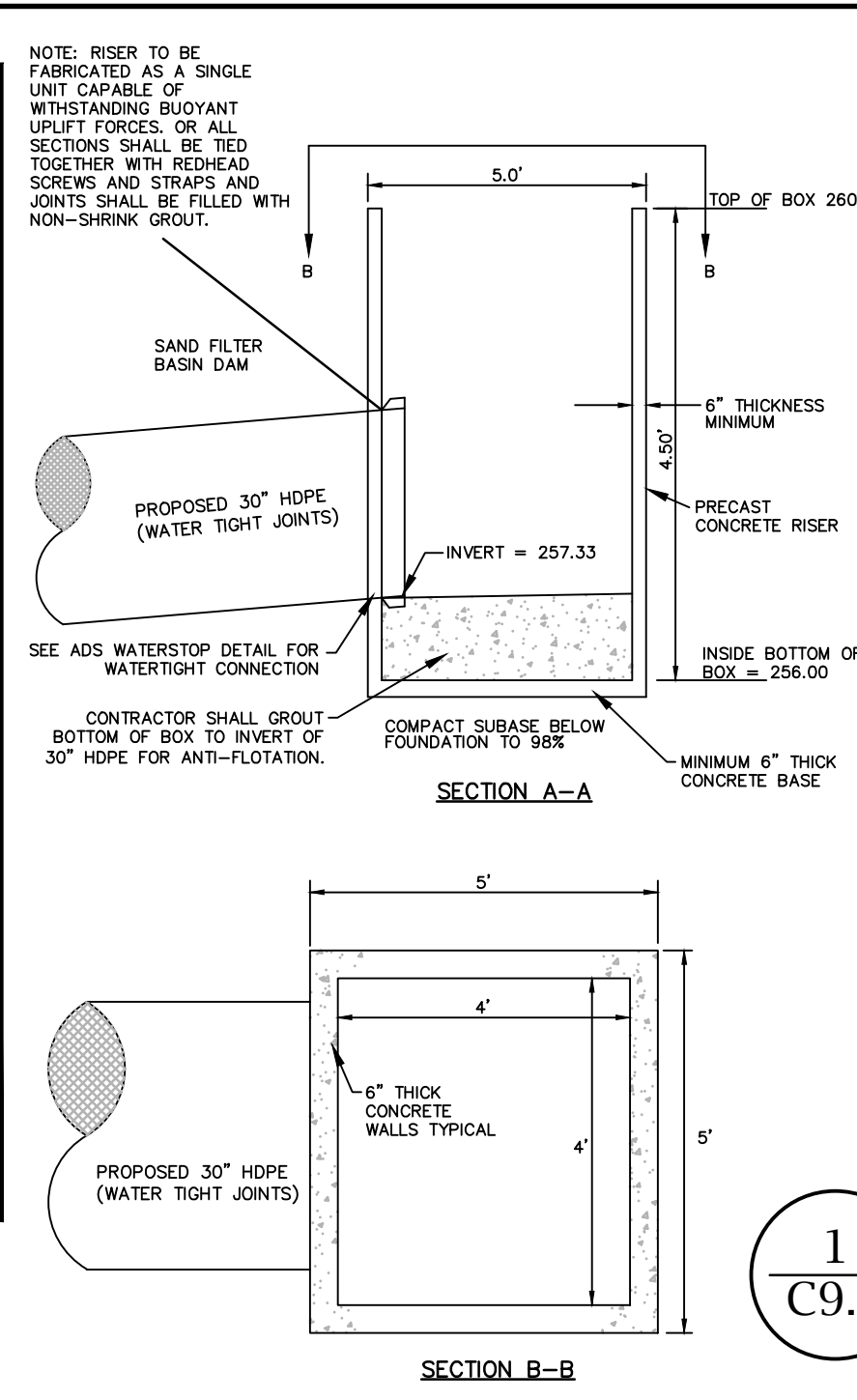
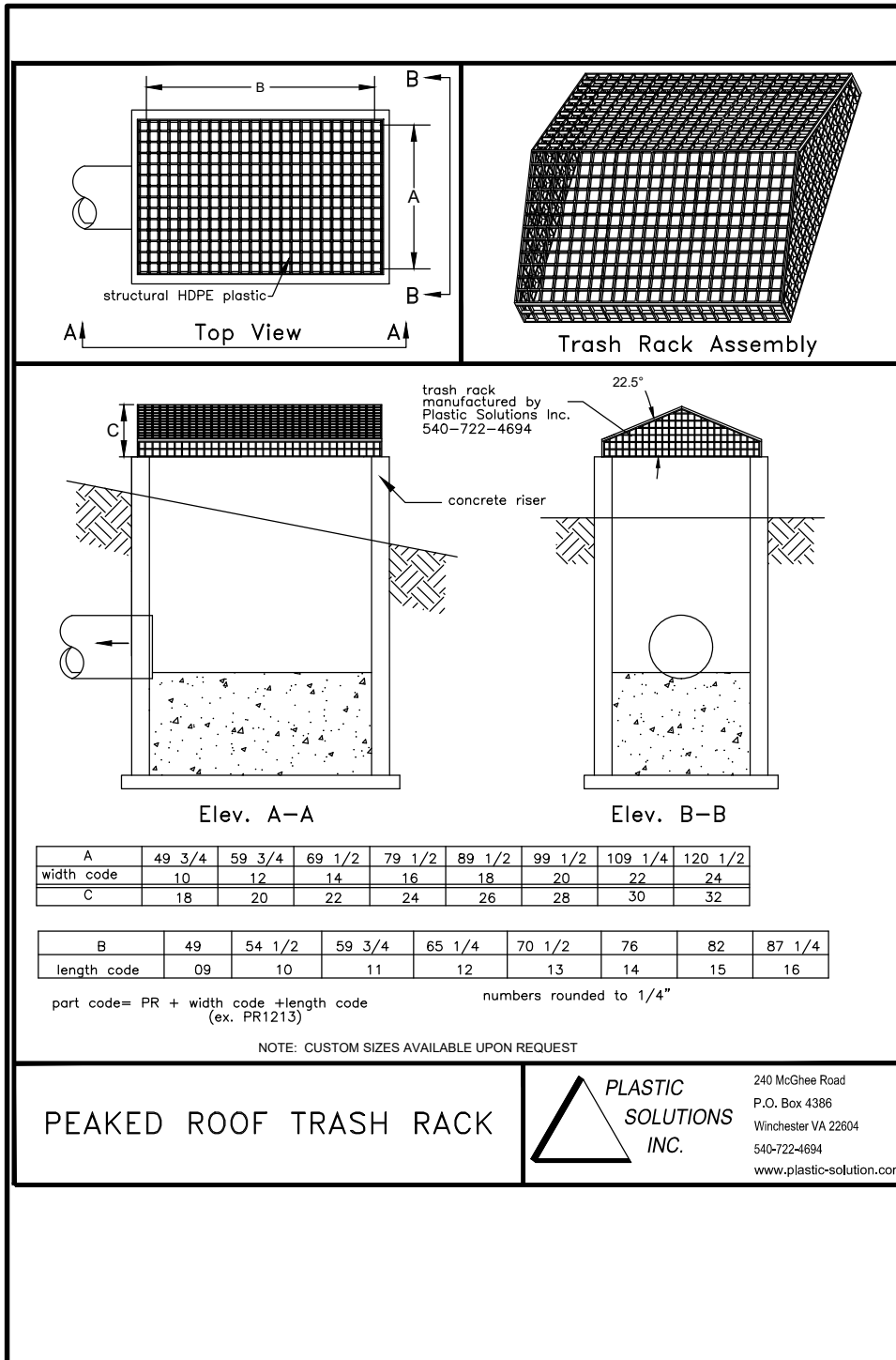
**SITE DETAILS**

REVISIONS

NO.	DATE	DESCRIPTION

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PROJECT NO.: 23-025  
DESIGNED BY: JDM  
REVIEWED BY: JDM  
DATE: OCTOBER 11, 2024

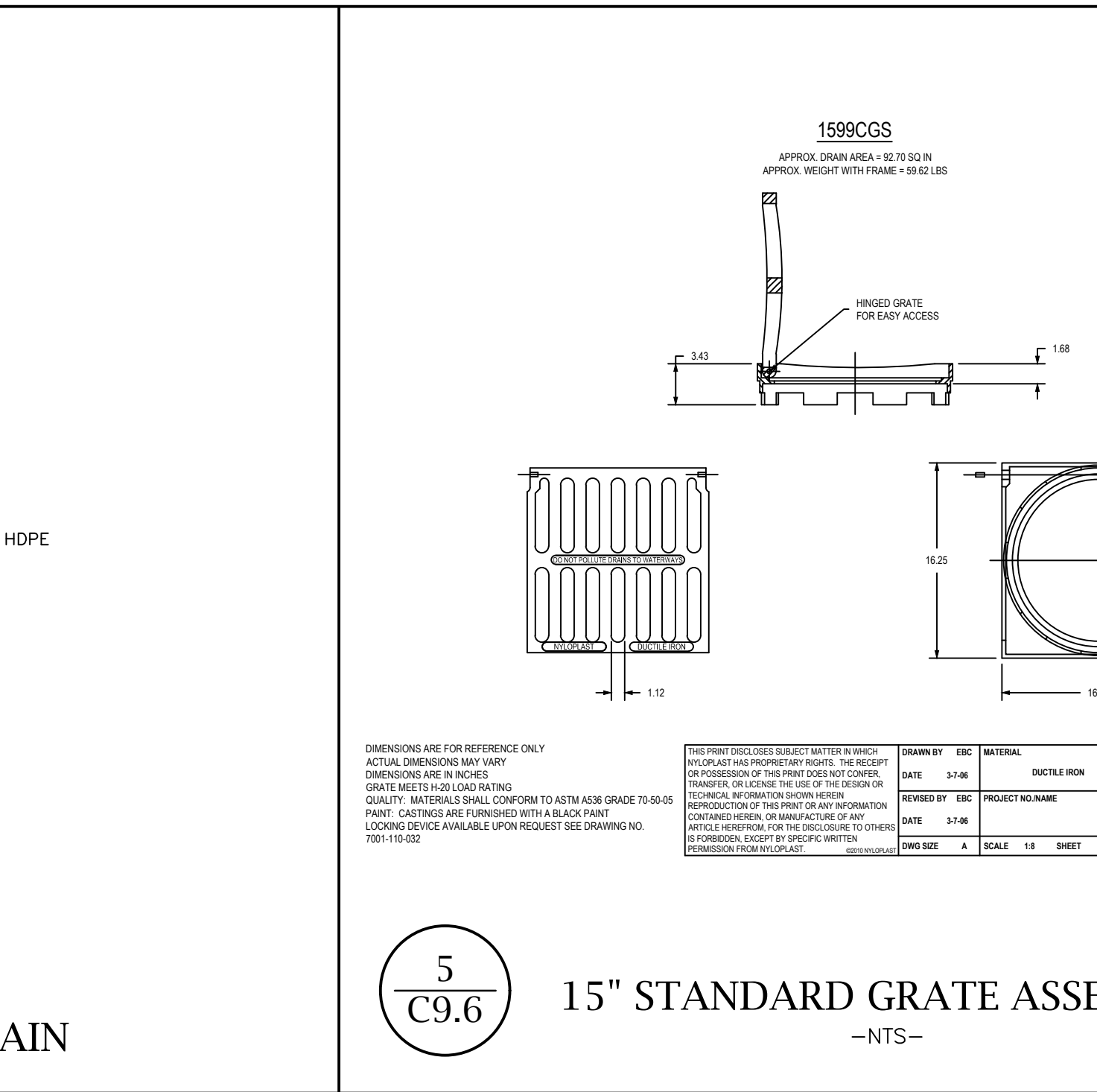
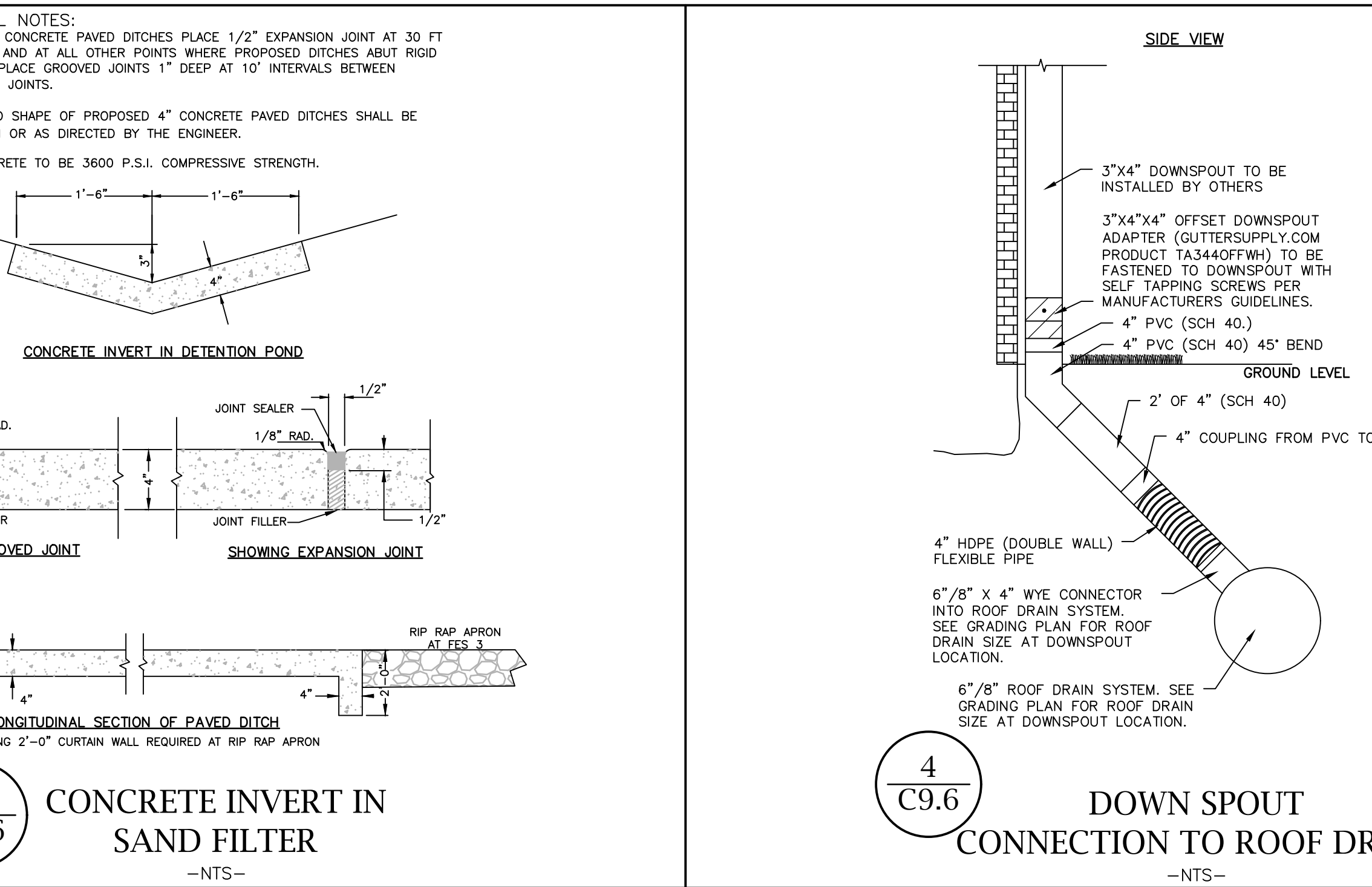
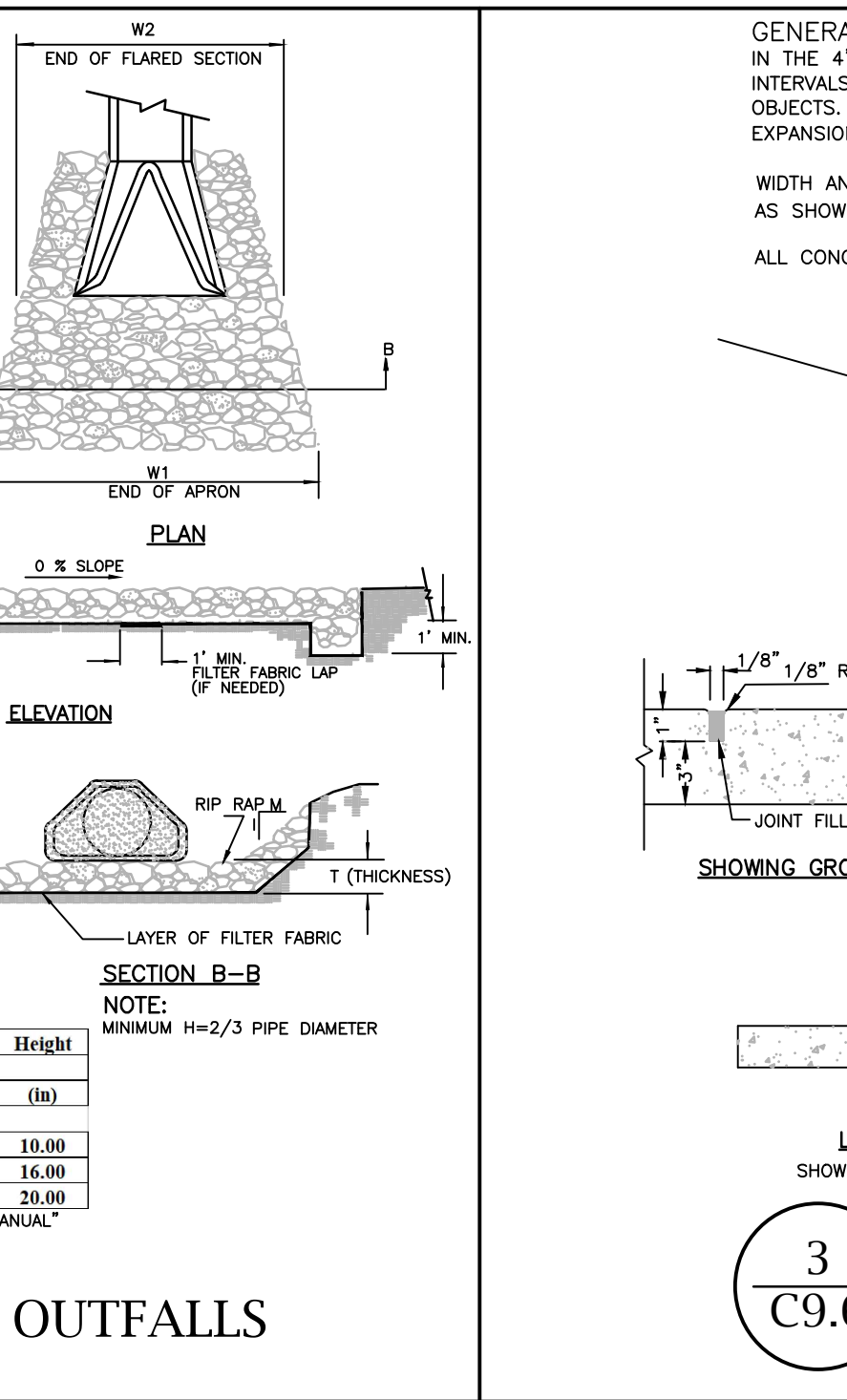
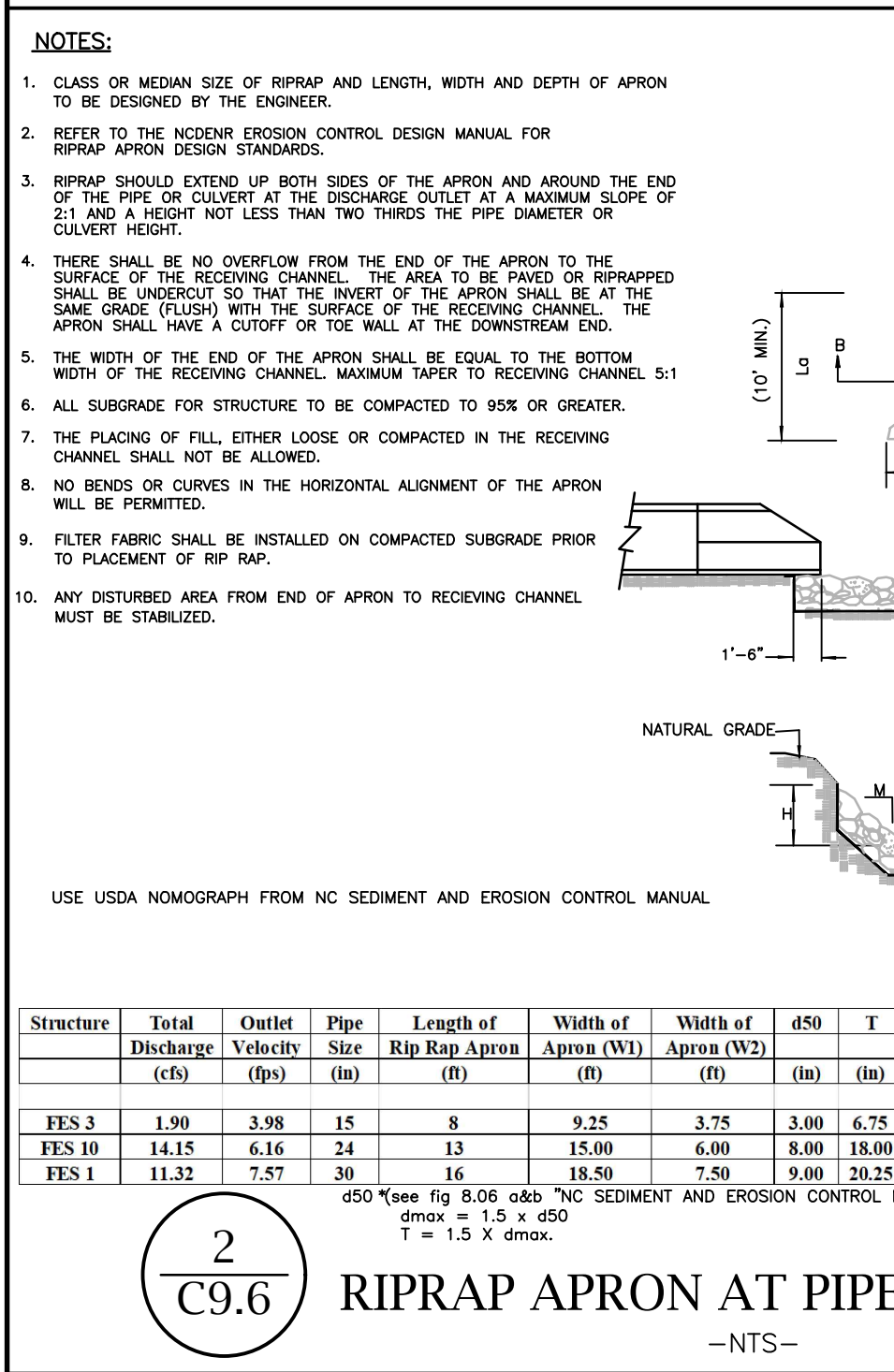
C9.5



**ENGINEERING**

M<sup>2</sup>

211 D BEN CRAIG DR., S.T.C. 400  
CHARLOTTE, NC 28262  
PHONE 704.510.9797



**HOKE STREET APARTMENTS**

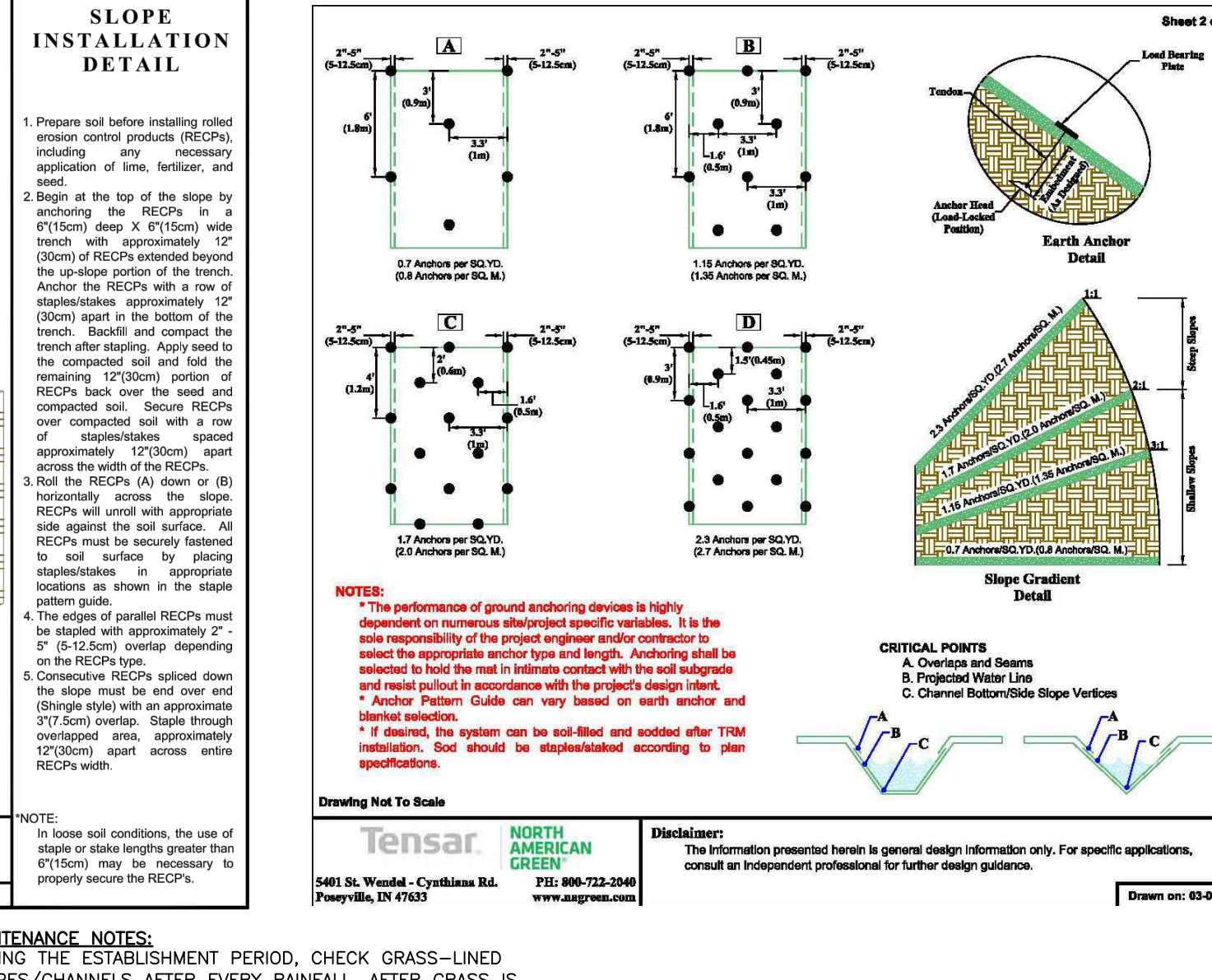
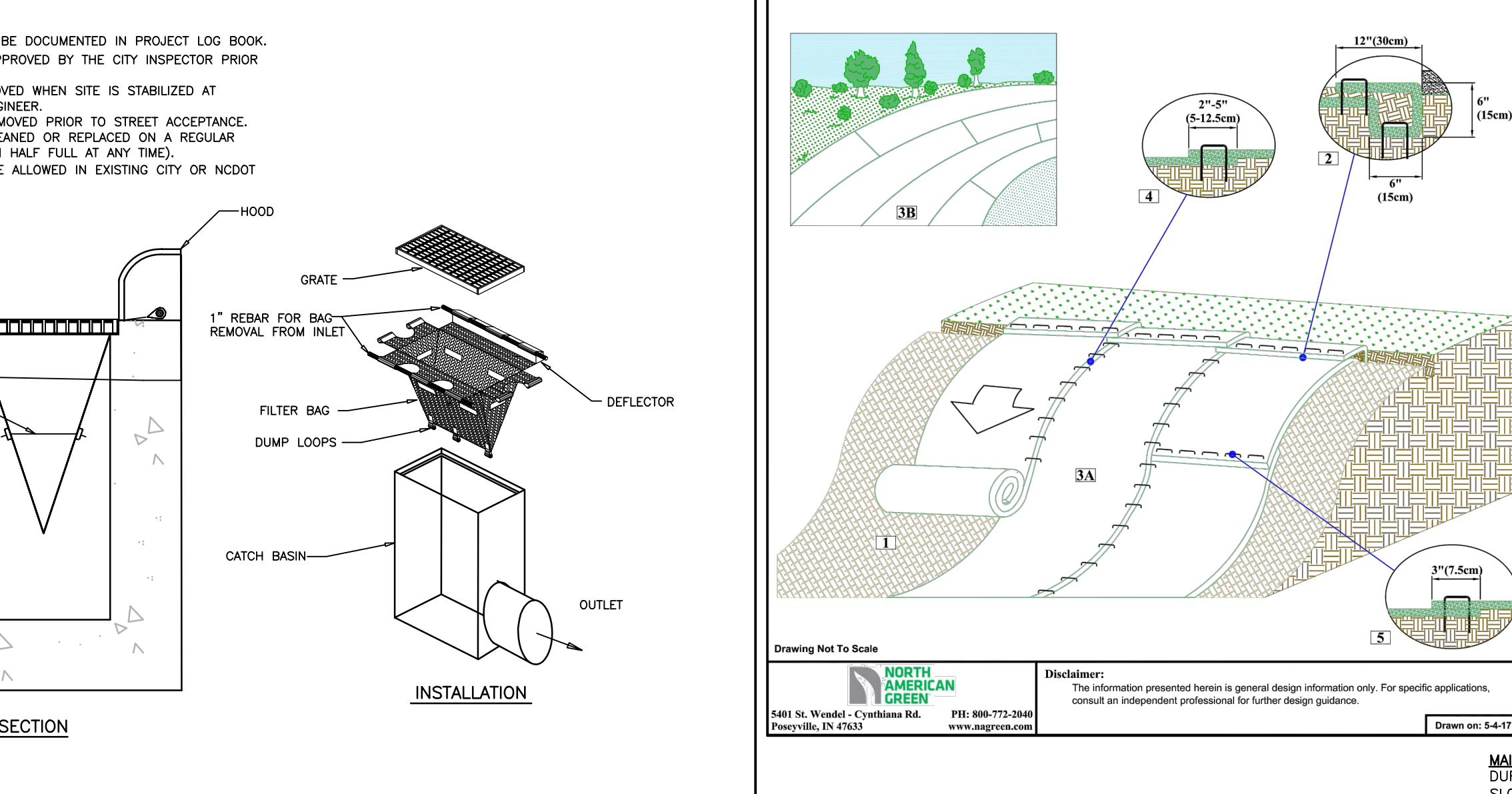
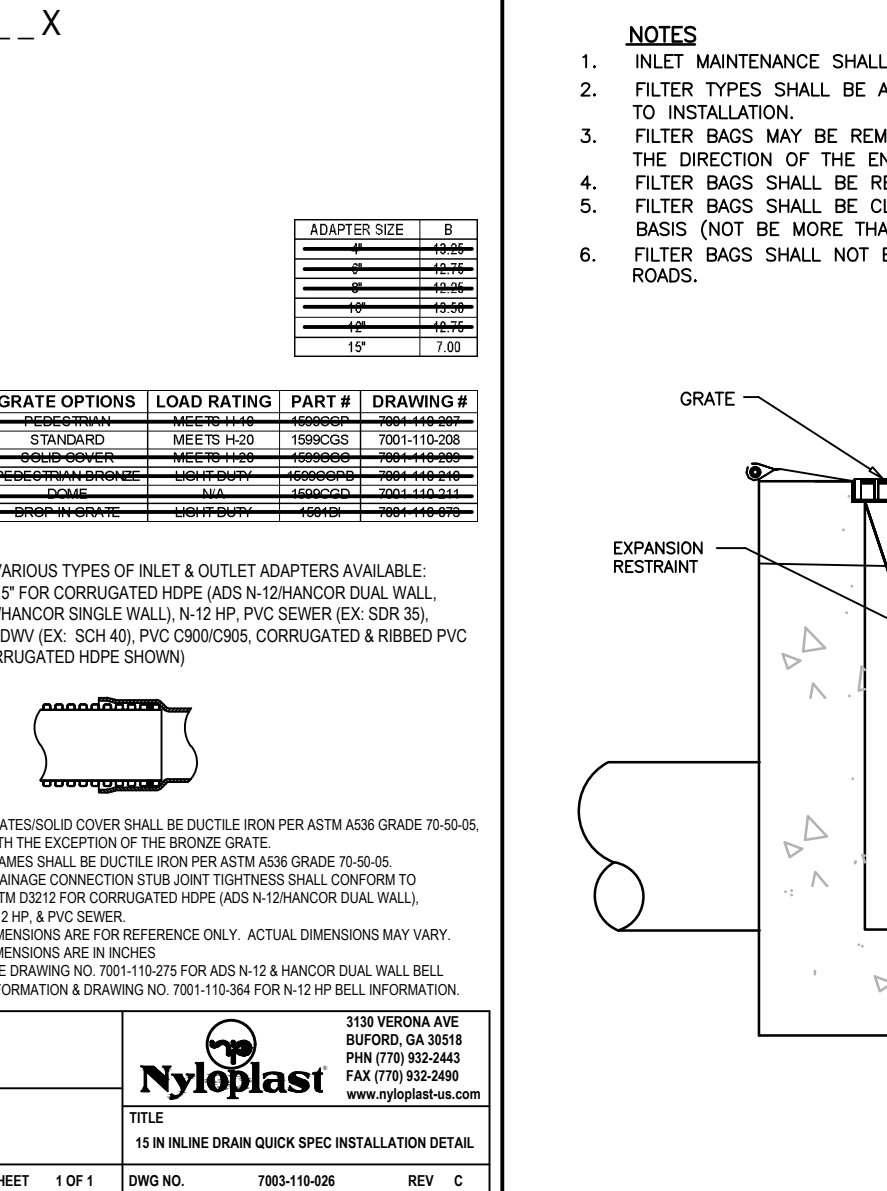
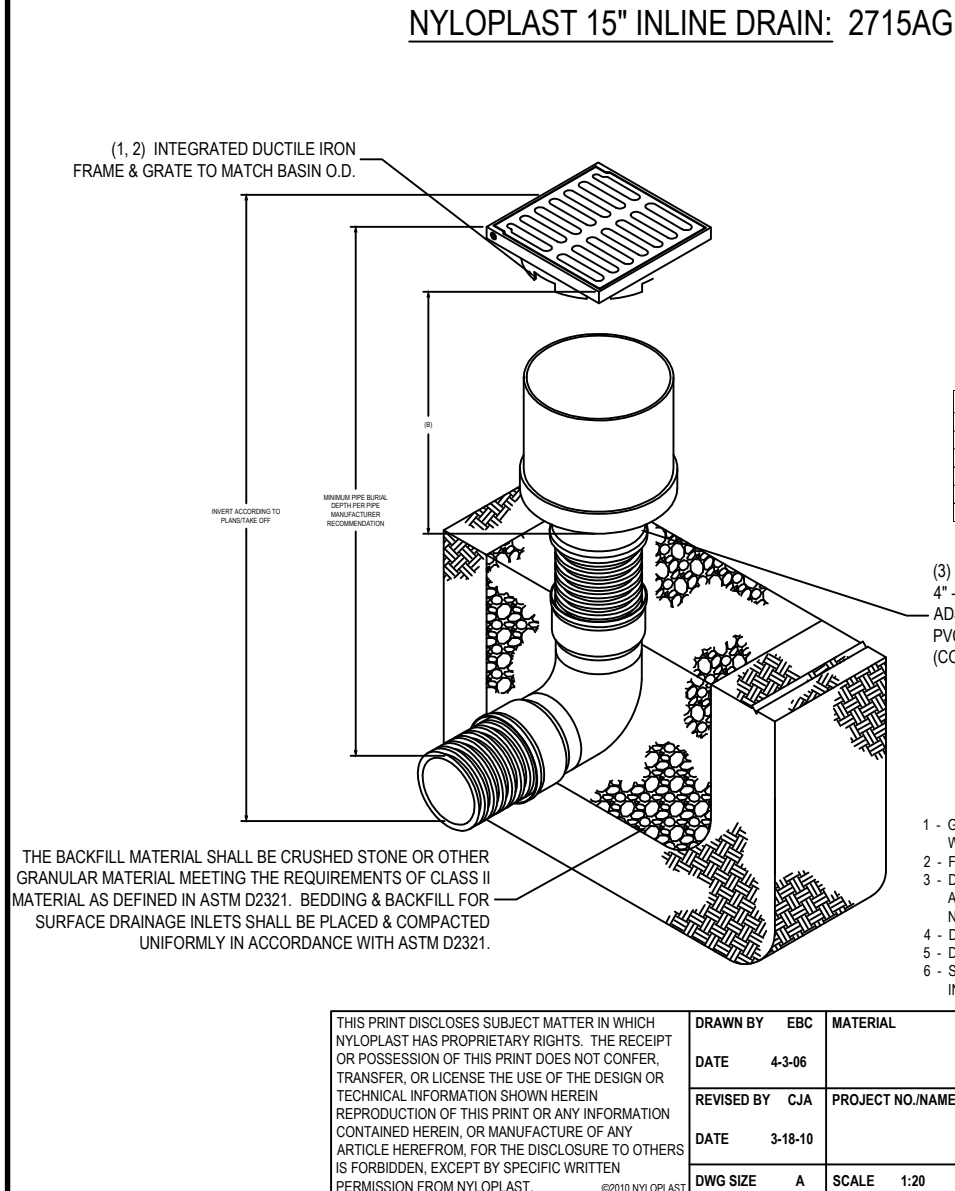
HOKE STREET  
RALEIGH, NC 27601

**WALLICK ASSET MANAGEMENT LLC**

160 W MAIN STREET #200  
NEW ALBANY, OH 43054

**PASSAGE HOME, INC.**

PO BOX 28165  
RALEIGH, NC 27611



**SITE DETAILS**

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REVIEWED BY: JDM  
DATE: OCTOBER 11, 2024

**6**  
C9.6

**15" IN-LINE DRAIN**

-NTS-

**7**  
C9.6

**CATCH BASIN/DROP INLET PROTECTION**

-NTS-

**8**  
C9.6

**TEMPORARY SLOPE MATTING**

-NTS-

**5**  
C9.6

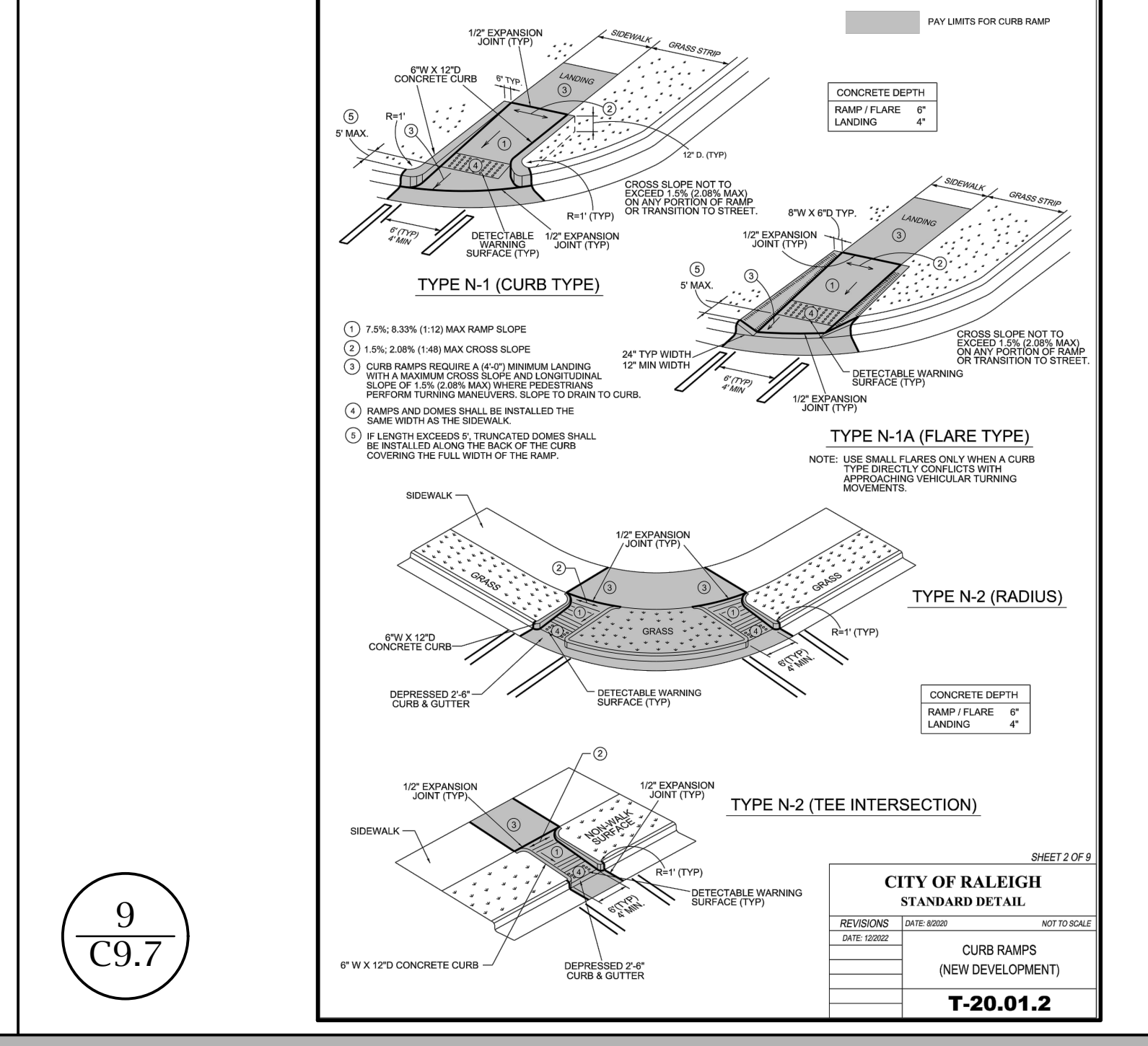
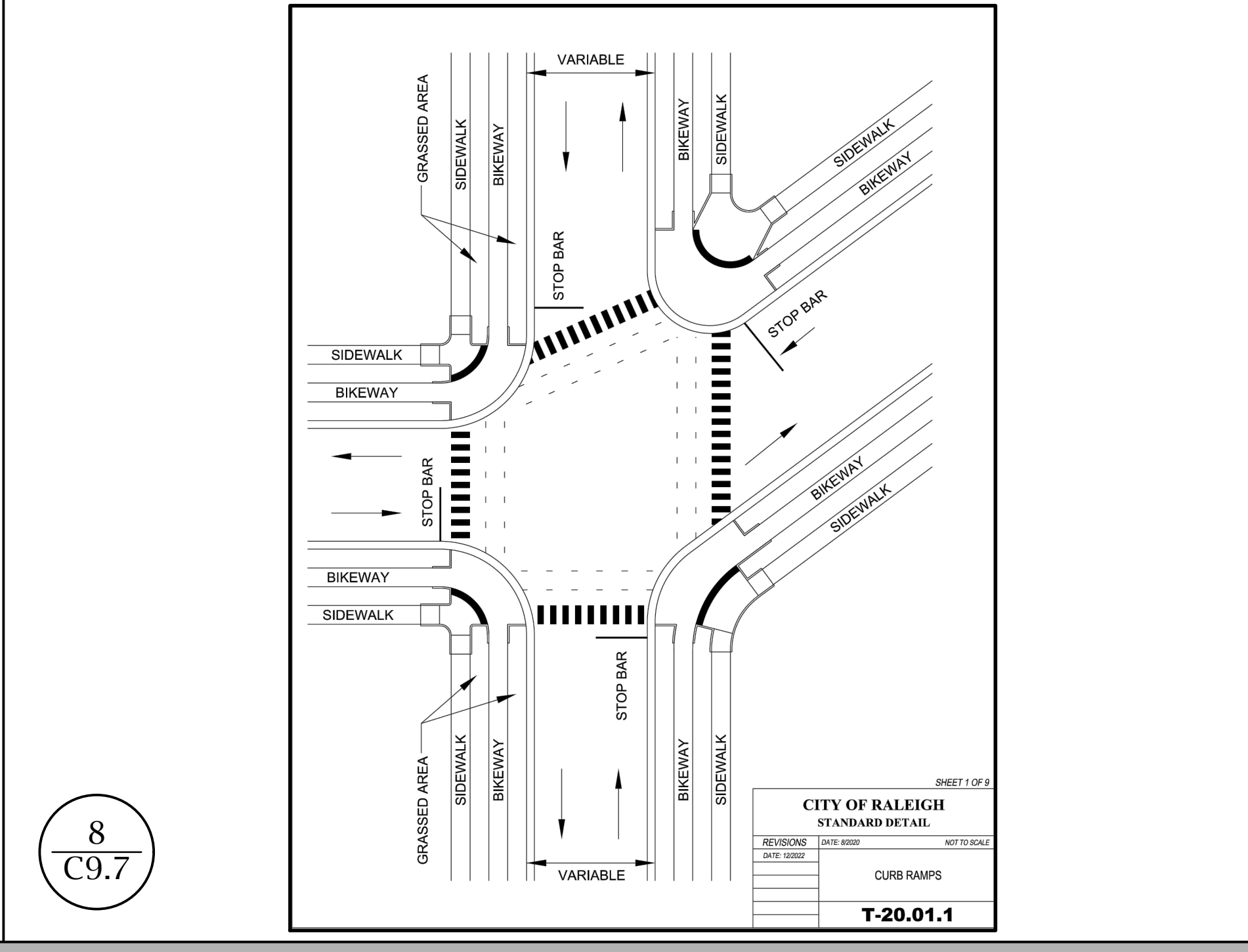
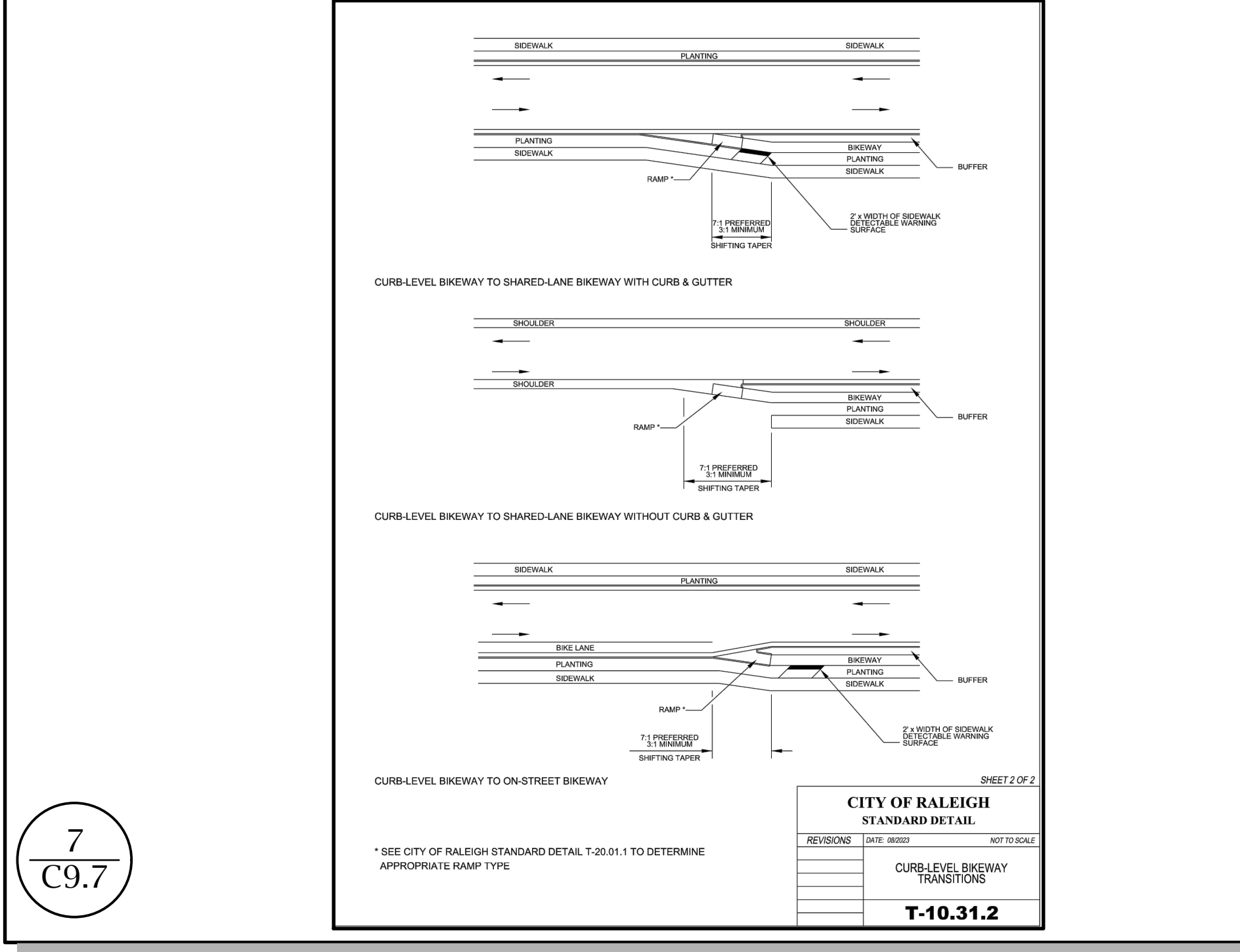
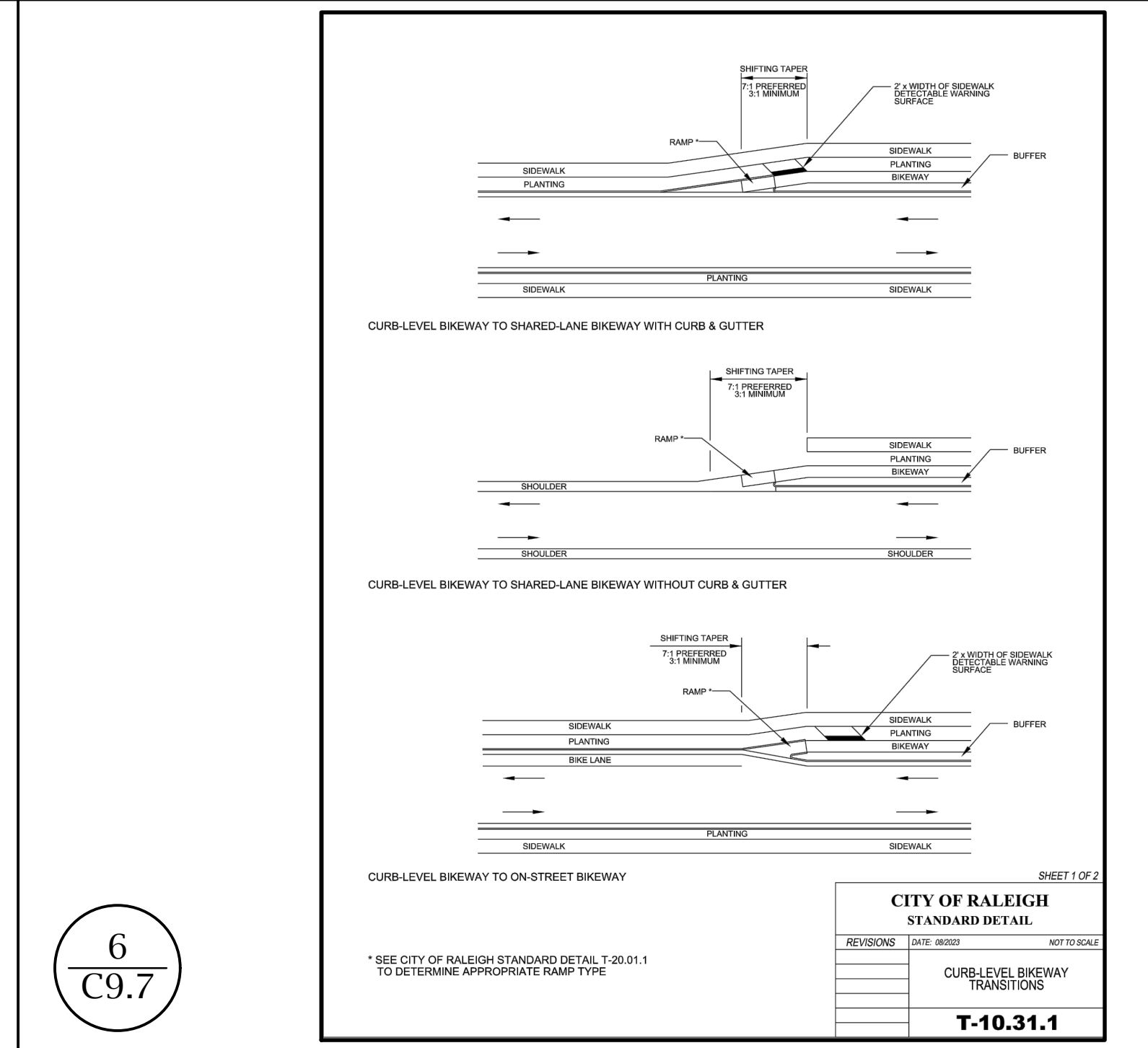
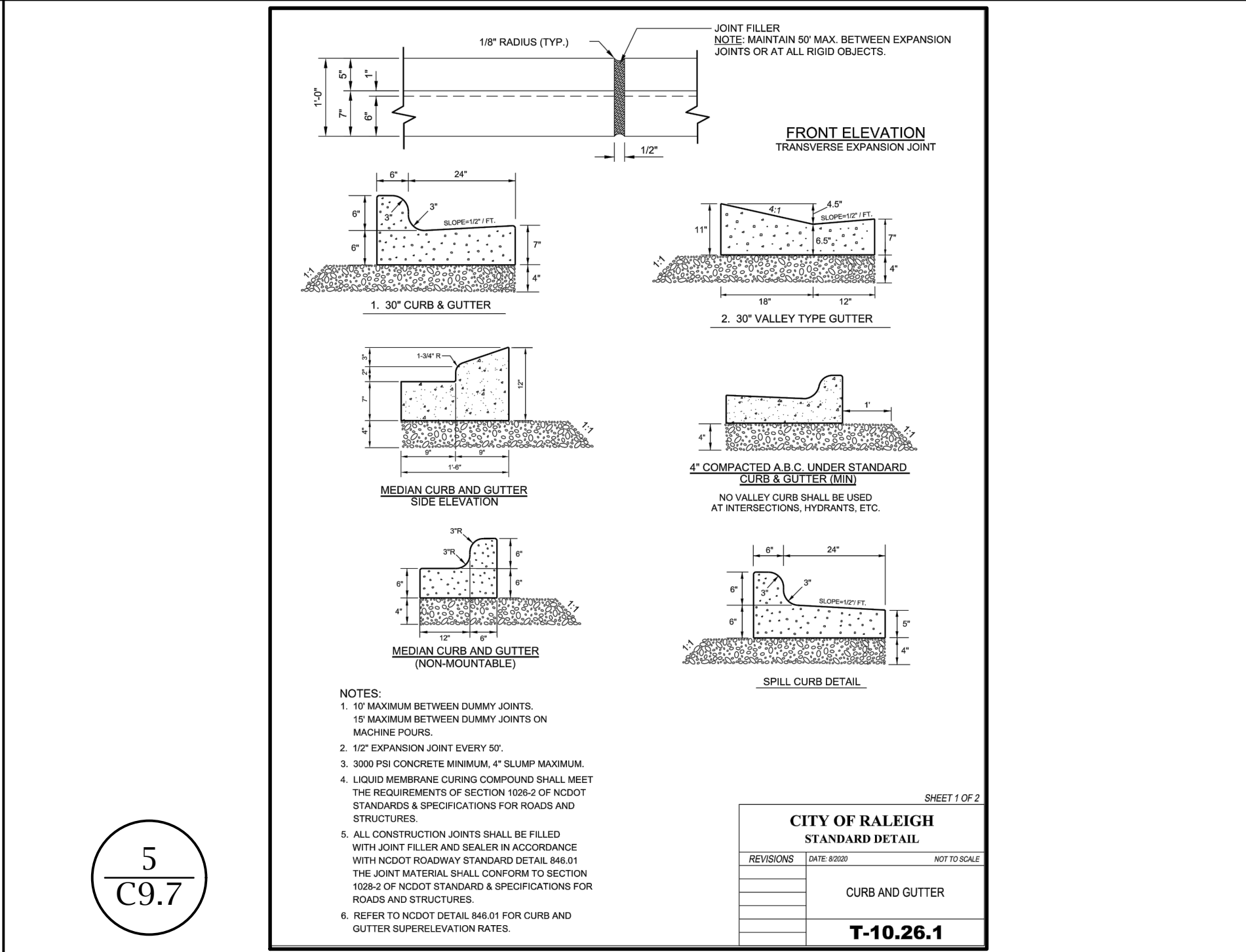
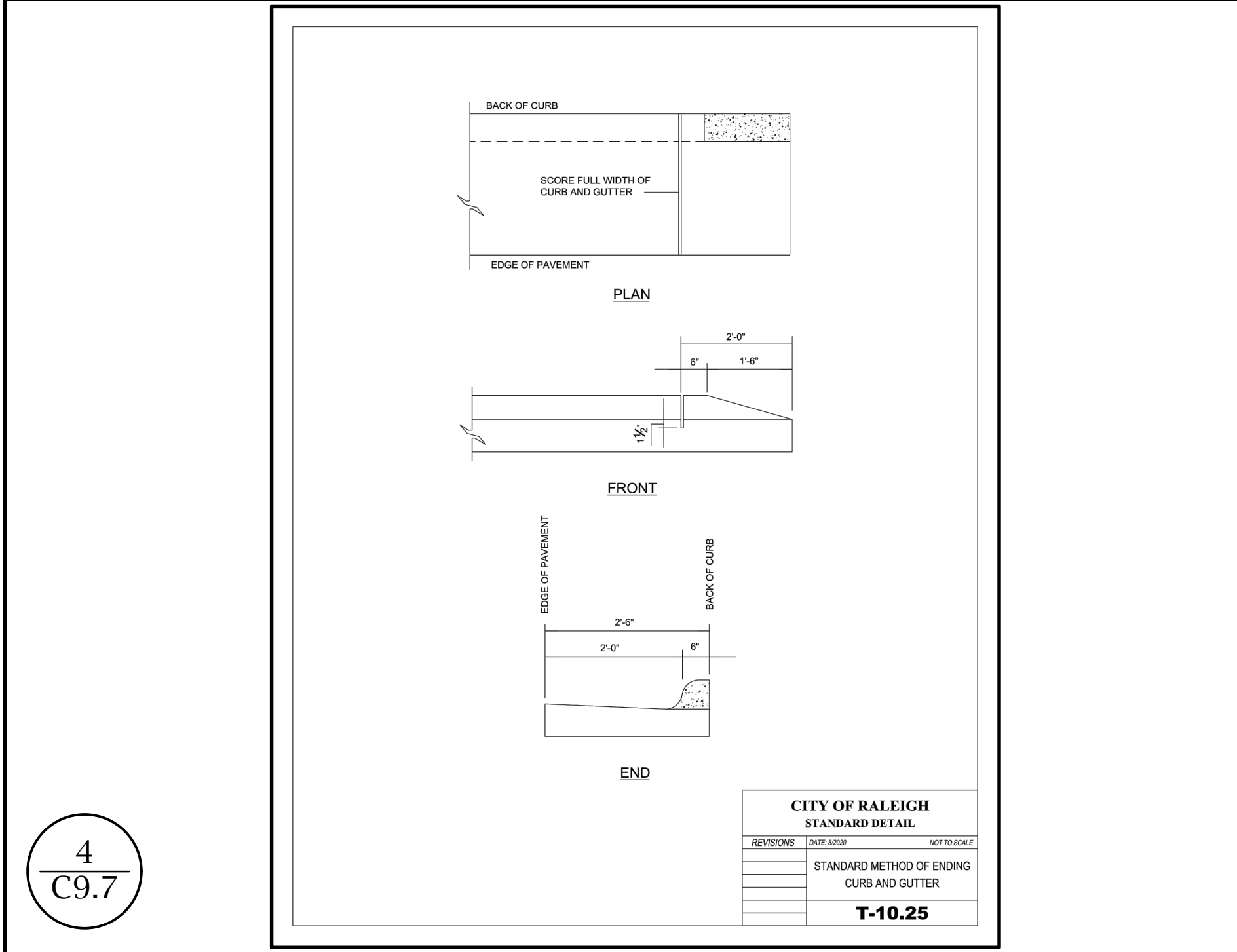
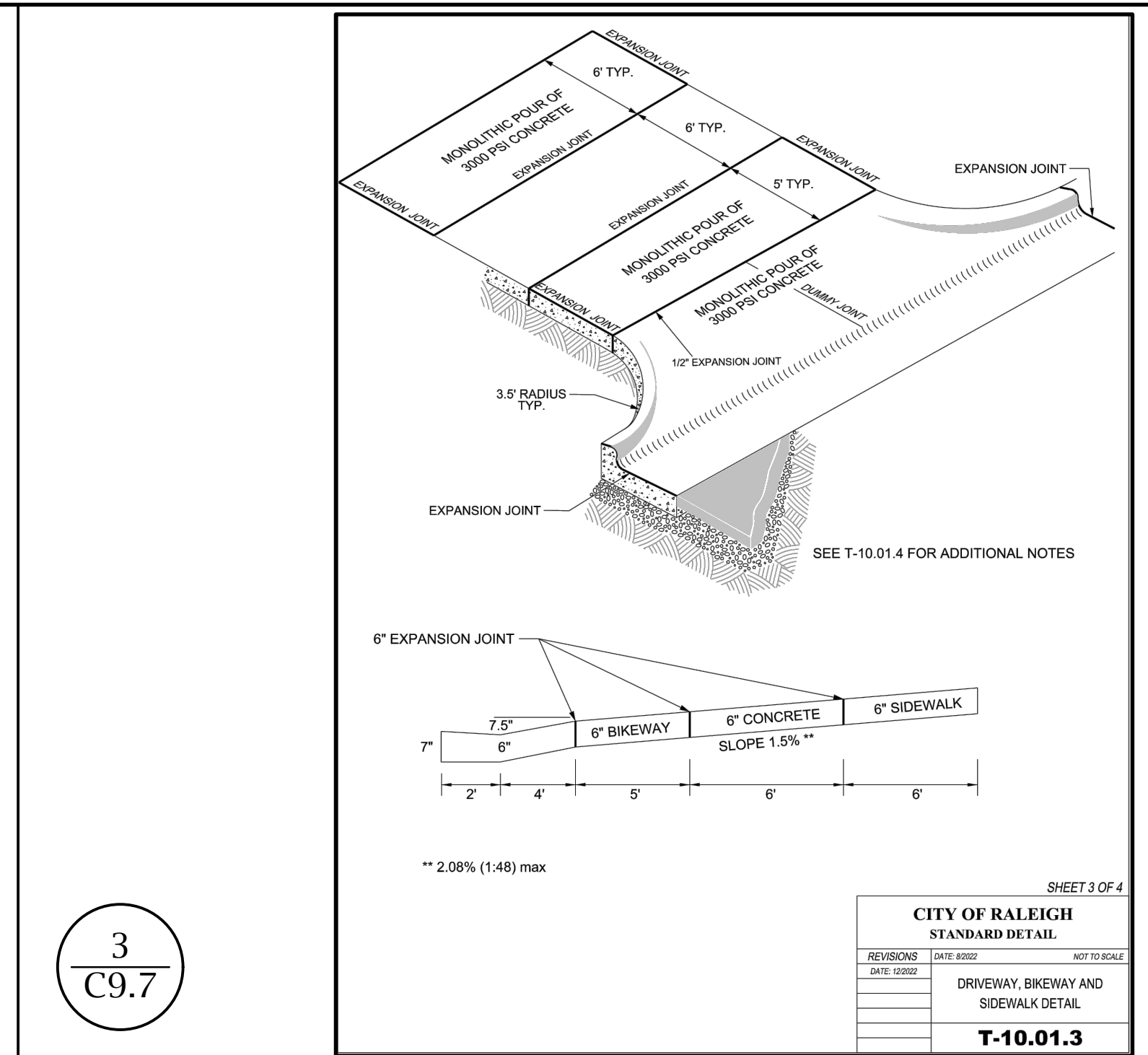
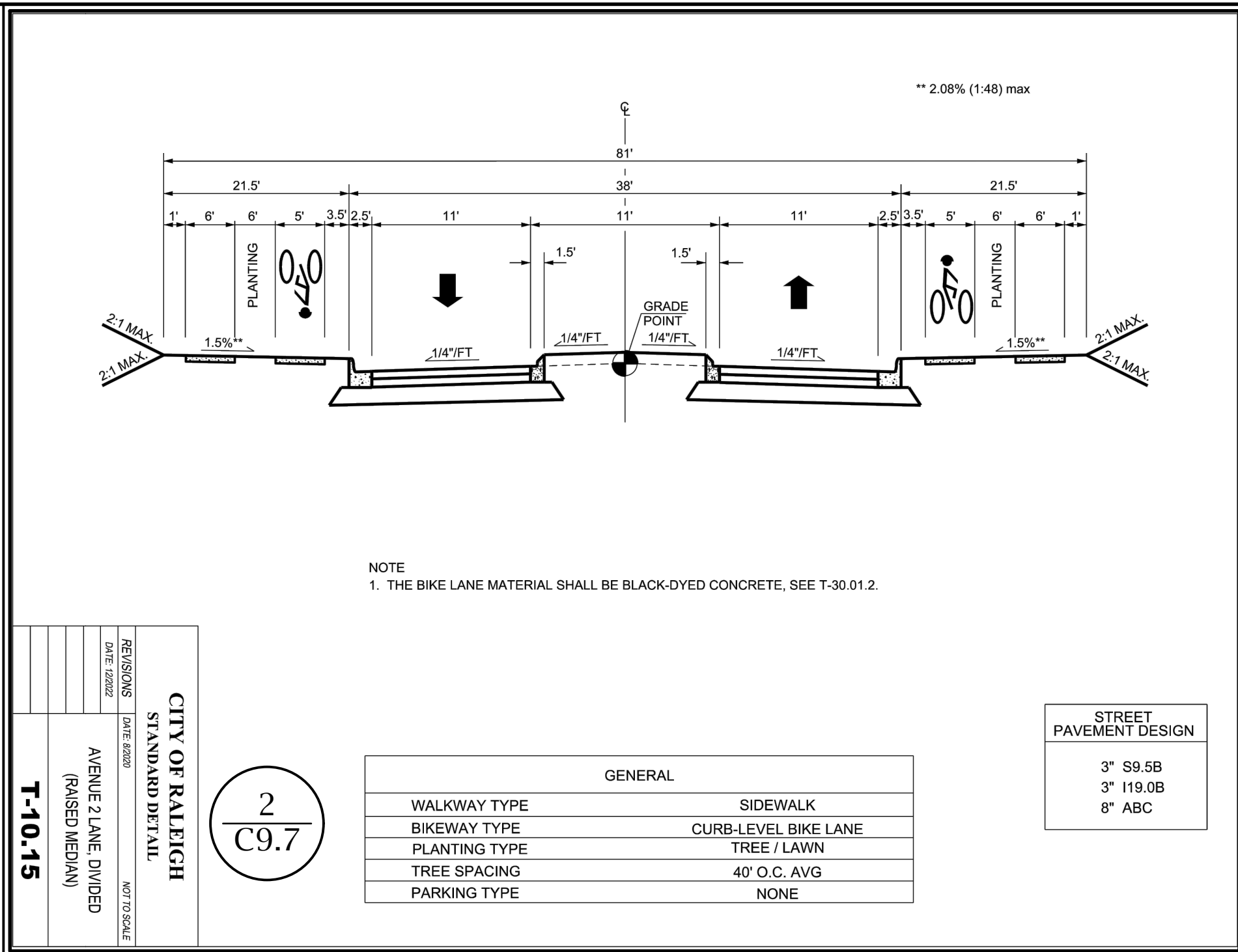
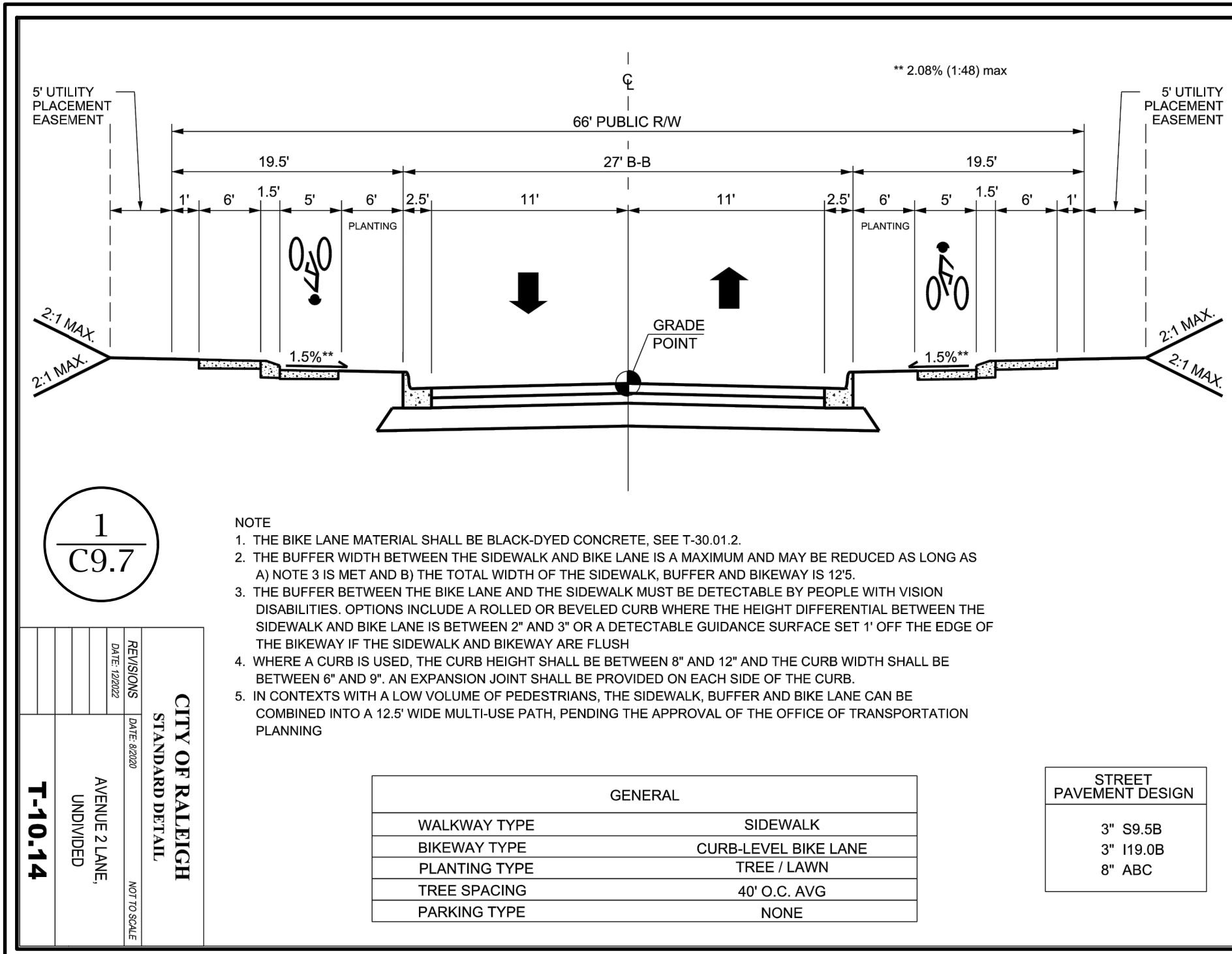
**15" STANDARD GRATE ASSEMBLY**

-NTS-

**1**  
C9.6

**SAND FILTER #1 OUTLET CONTROL STRUCTURE OC 2**

-NTS-



**M<sup>2</sup>**  
ENGINEERING  
M<sup>2</sup> ENGINEERING, INC.  
2110 BEN CRAIG DR., STE. 400  
CHARLOTTE, NC 28262  
PHONE 704.510.9797

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**WALLICK ASSET MANAGEMENT LLC**  
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**PASSAGE HOME, INC.**  
PO BOX 28105  
RALEIGH, NC 27611

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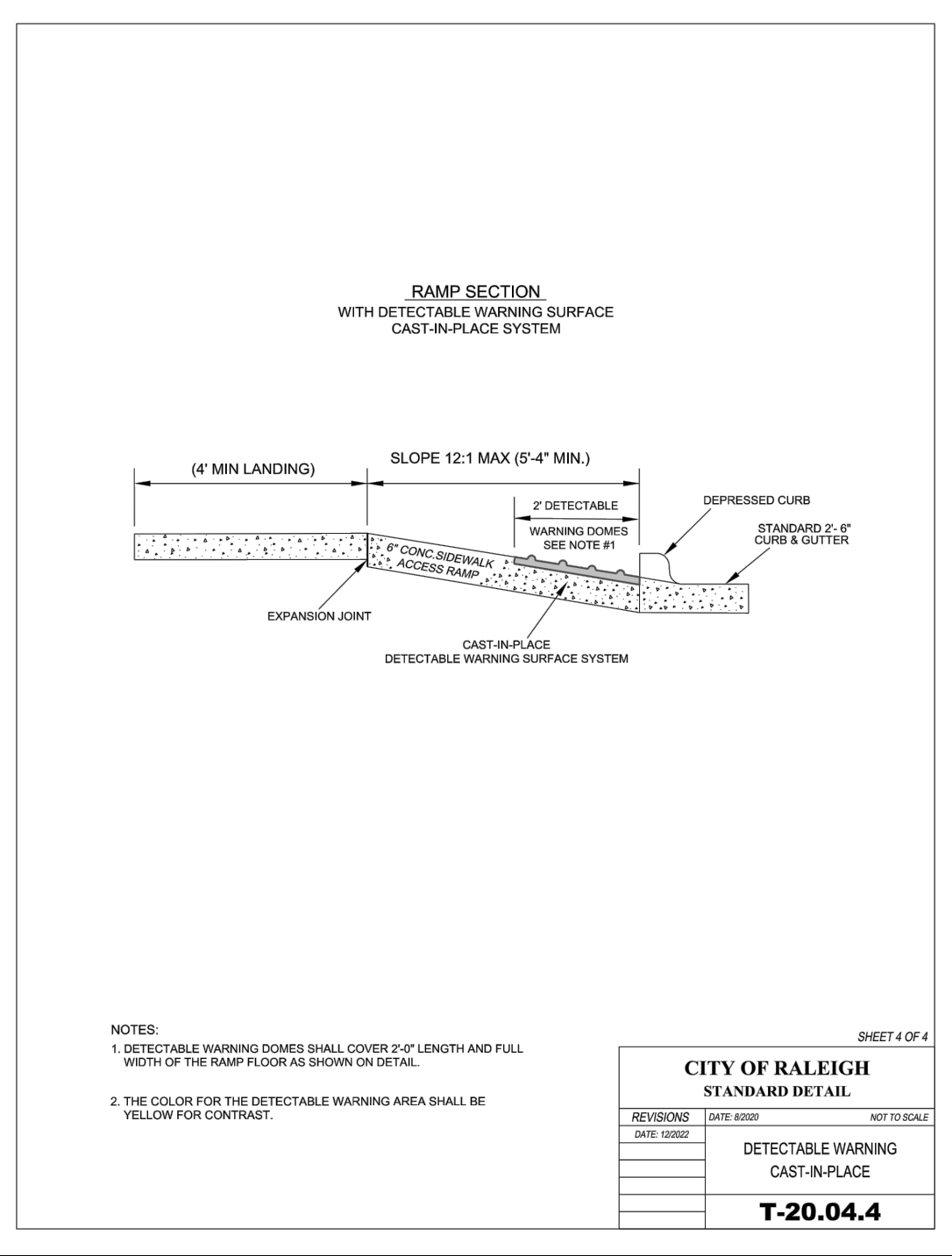
**C9.7**

CITY OF RALEIGH  
CURB RAMPS  
GENERAL NOTES

1. CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
2. CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL. HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
3. DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
4. THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
5. NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1:12 (11:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
6. IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
7. USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
8. A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
9. CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

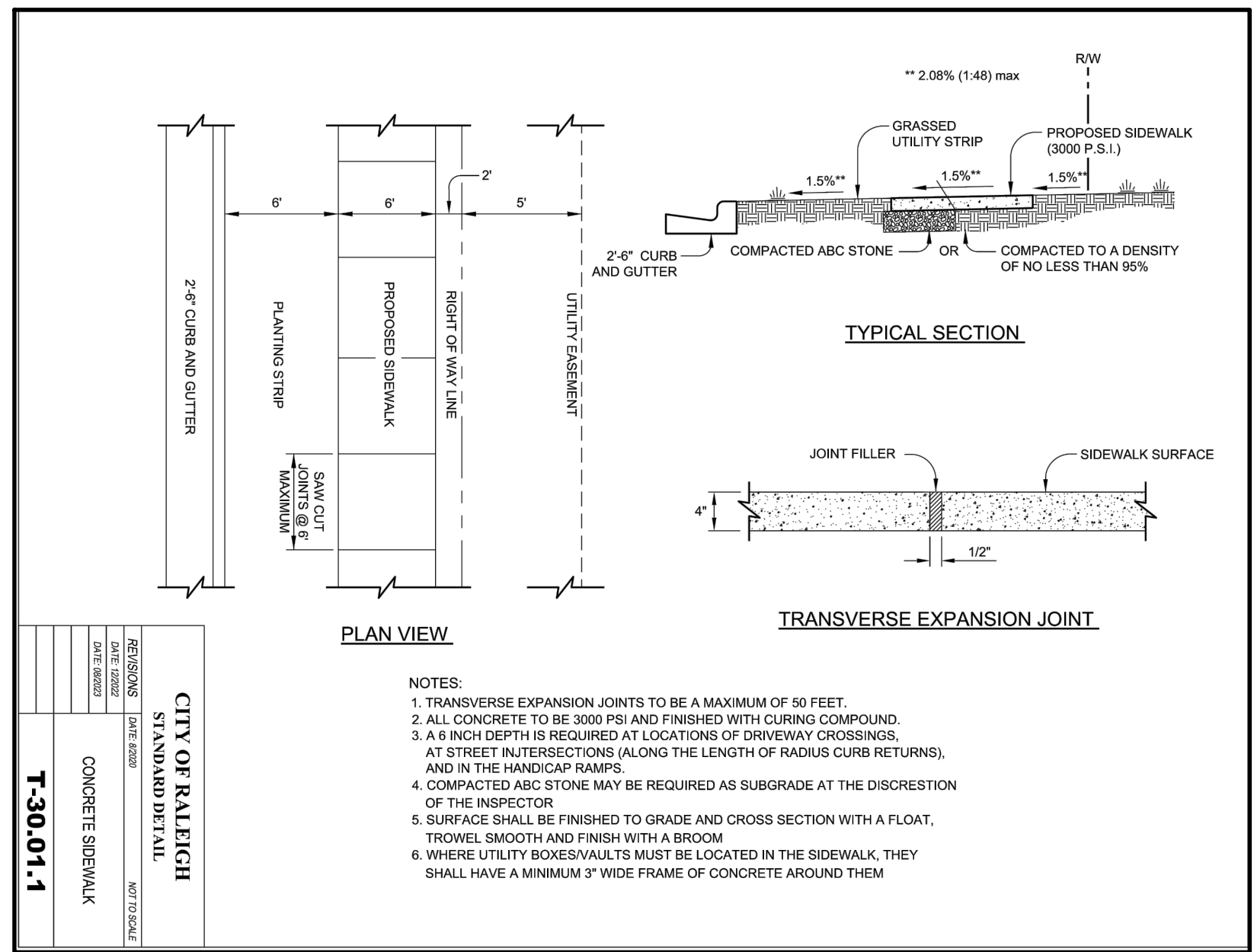
CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
CURB RAMP NOTES		
<b>T-20.01.8</b>		

1  
C9.8



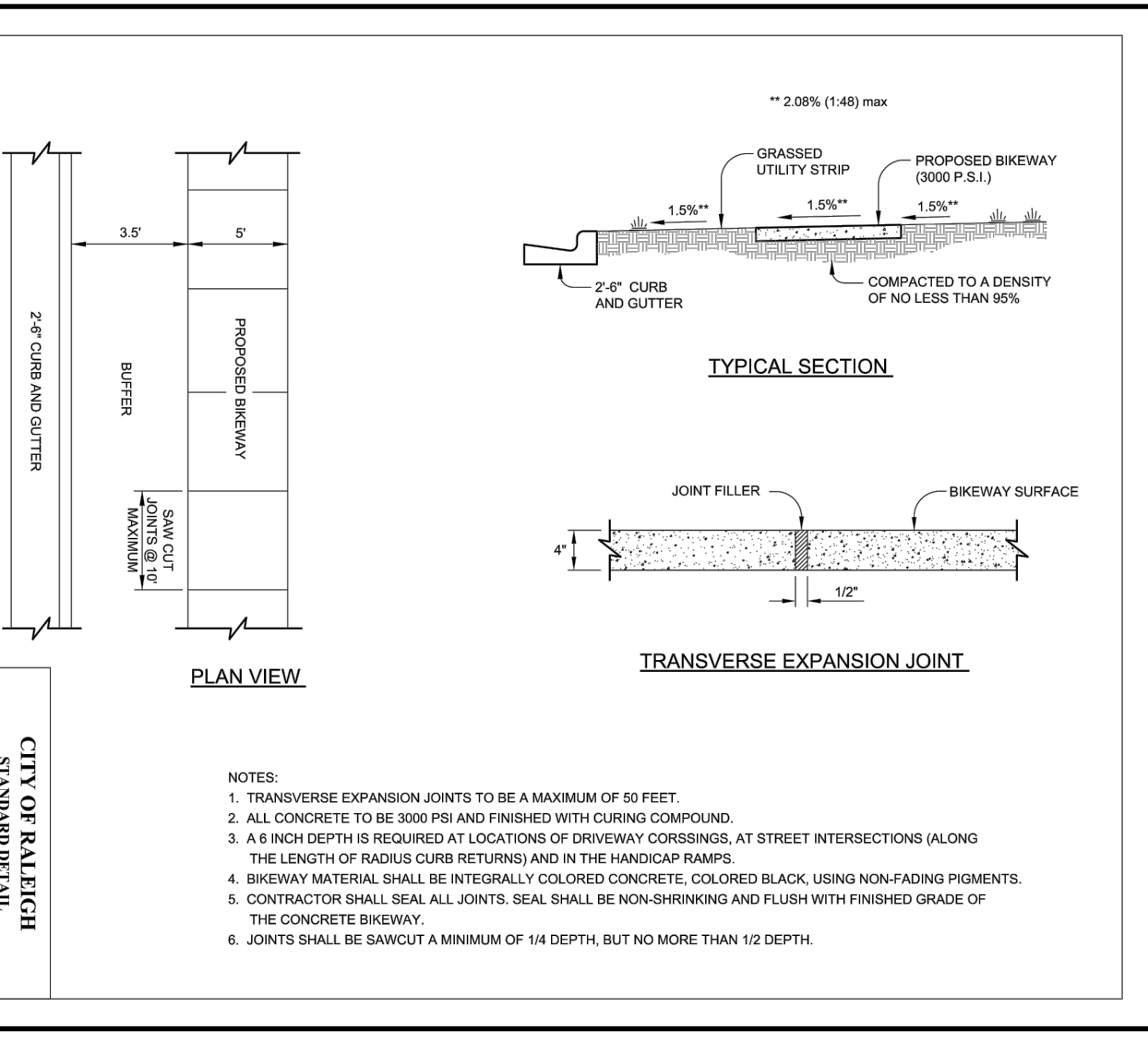
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DETECTABLE WARNING CAST-IN-PLACE		
<b>T-20.04.4</b>		

2  
C9.8



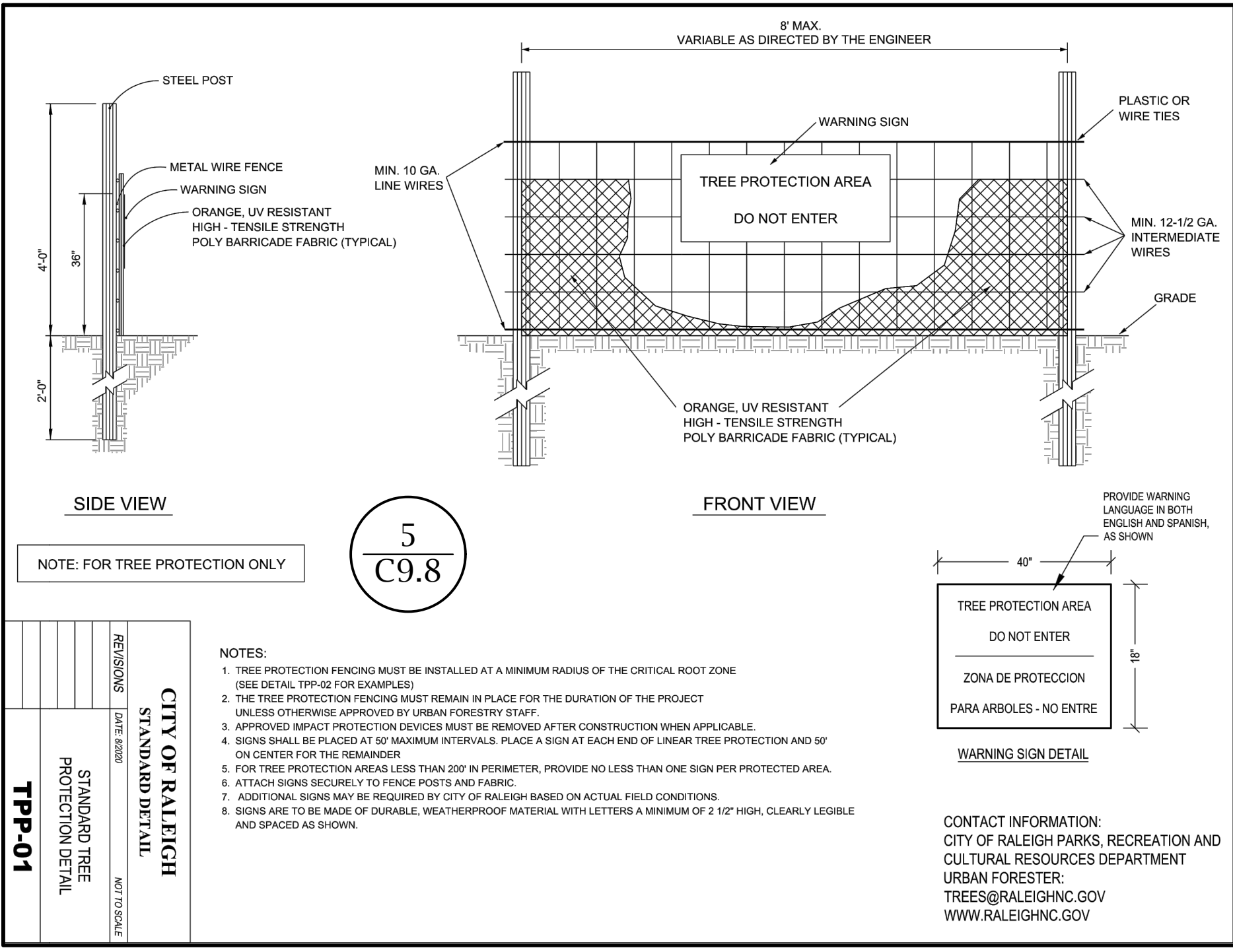
- NOTES:**
1. TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET.
  2. ALL CONCRETE TO BE 3000 PSI AND FINISHED WITH CURING COMPOUND.
  3. A 6 INCH DEPTH IS REQUIRED AT LOCATIONS OF DRIVEWAY CROSSINGS, AT STREET INTERSECTIONS (ALONG THE LENGTH OF CURB RETURNS), AND IN THE HANDICAP RAMPS.
  4. COMPACTED ABC STONE MAY BE REQUIRED AS SUBGRADE AT THE DISCRETION OF THE INSPECTOR.
  5. SURFACE SHALL BE FINISHED TO GRADE AND CROSS SECTION WITH A FLOAT, TROWEL SMOOTH AND FINISH WITH A BROOM.
  6. WHERE UTILITY BOXES/VAULTS MUST BE LOCATED IN THE SIDEWALK, THEY SHALL HAVE A MINIMUM 5" WIDE FRAME OF CONCRETE AROUND THEM.

3  
C9.8



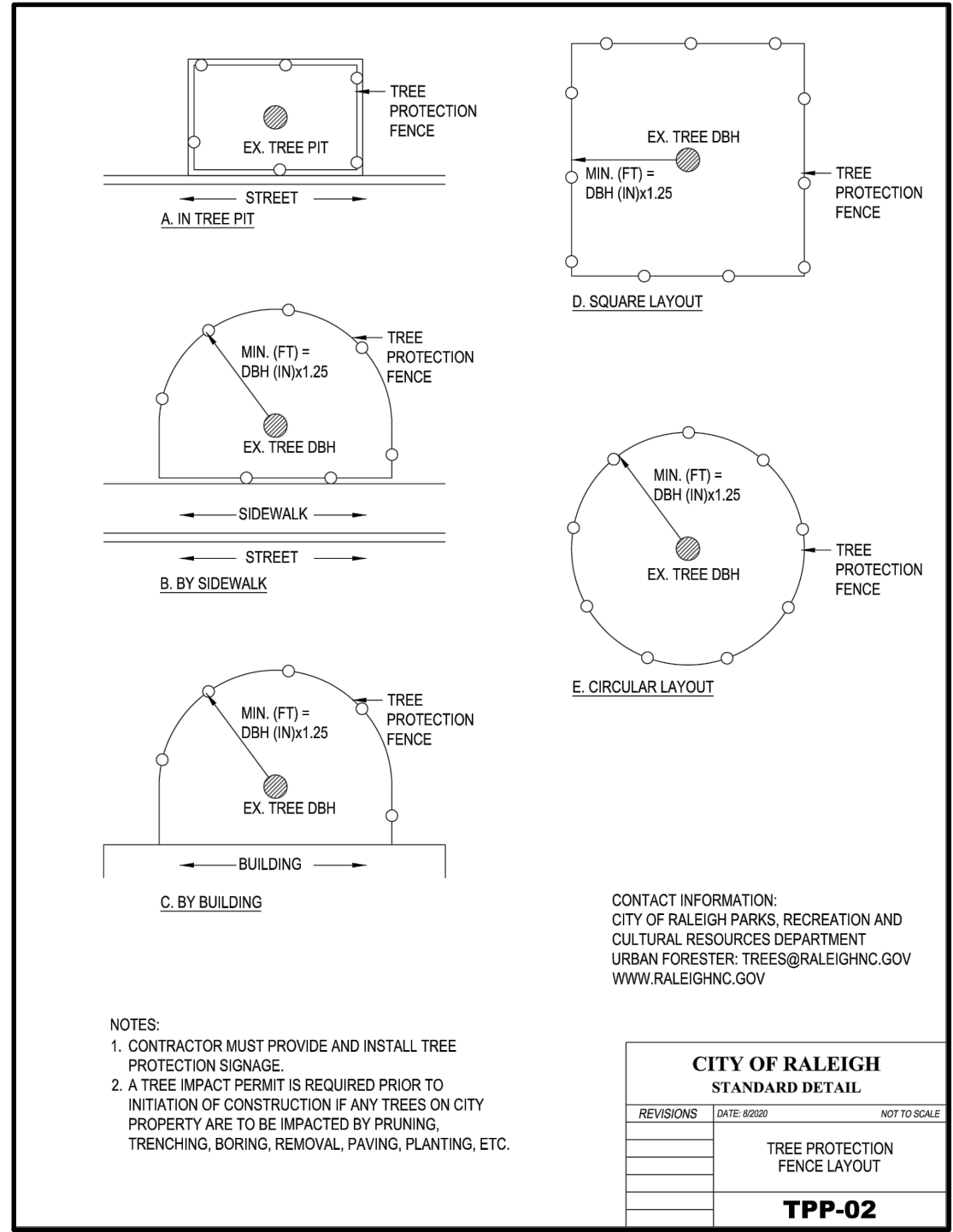
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  3. A 6 INCH DEPTH IS REQUIRED AT LOCATIONS OF DRIVEWAY CROSSINGS, AT STREET INTERSECTIONS (ALONG THE LENGTH OF CURB RETURNS), AND IN THE HANDICAP RAMPS.
  4. BIKEWAY MATERIAL SHALL BE INTEGRALLY COLORED CONCRETE, COLORED BLACK, USING NON-FADING PIGMENTS.
  5. CONTRACTOR SHALL SEAL ALL JOINTS. SEAL SHALL BE NON-SHRINKING AND FLUSH WITH FINISHED GRADE OF THE CONCRETE BIKEWAY.
  6. JOINTS SHALL BE SAWCUT A MINIMUM OF 1/4 DEPTH, BUT NO MORE THAN 1/2 DEPTH.

4  
C9.8



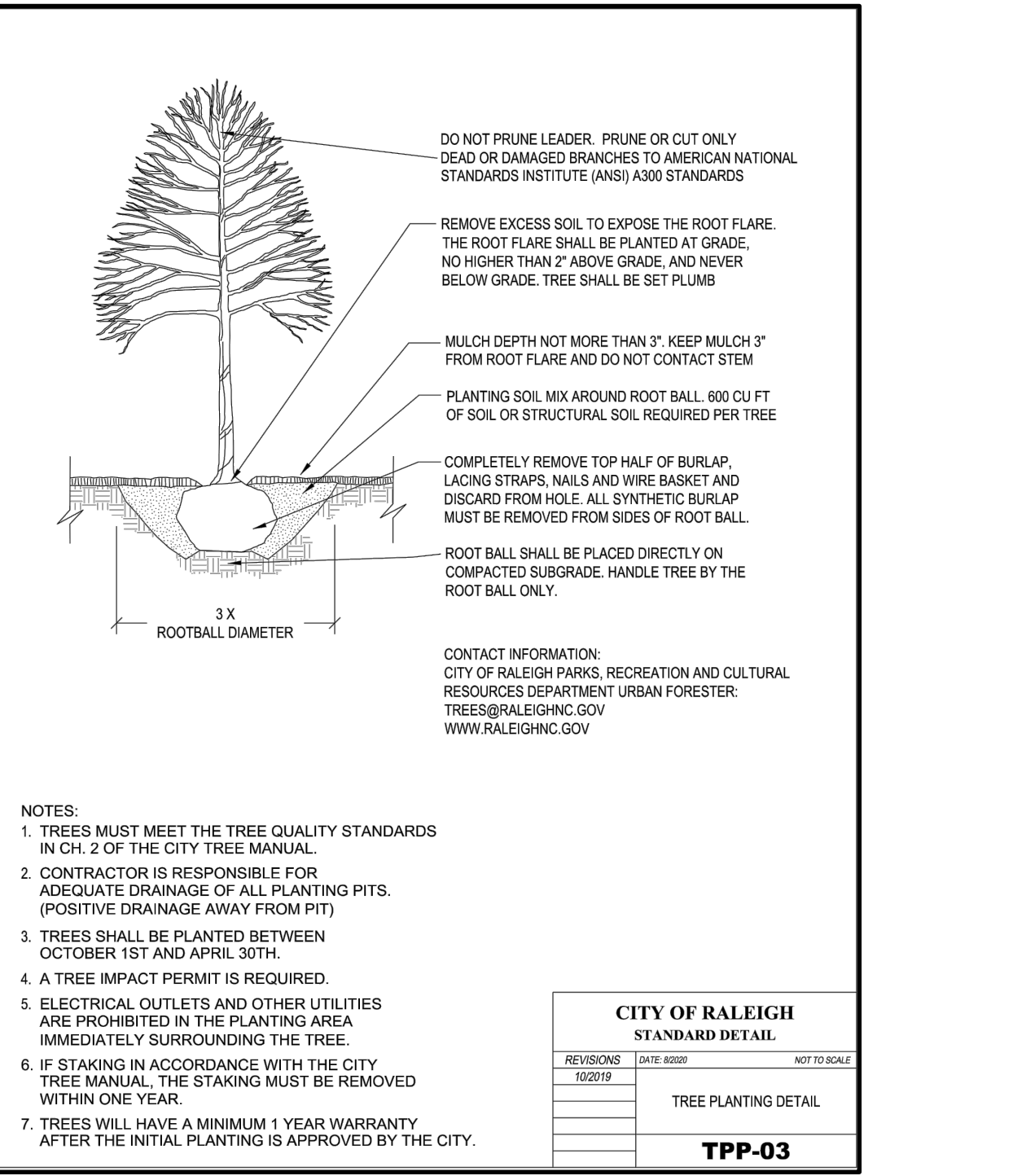
- NOTES:**
1. TREE PROTECTION FENCING MUST BE INSTALLED AT A MINIMUM RADIUS OF THE CRITICAL ROOT ZONE (SEE DETAIL TPP-02 FOR EXAMPLES).
  2. THE TREE PROTECTION FENCING MUST REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE APPROVED BY URBAN FORESTRY STAFF.
  3. APPROVED IMPACT PROTECTION DEVICES MUST BE REMOVED AFTER CONSTRUCTION WHEN APPLICABLE.
  4. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER FOR THE REMAINDER.
  5. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTED AREA.
  6. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
  7. ADDITIONAL SIGNS MAY BE REQUIRED BY CITY OF RALEIGH BASED ON ACTUAL FIELD CONDITIONS.
  8. SIGNS ARE TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL WITH LETTERS A MINIMUM OF 2 1/2" HIGH, CLEARLY LEGIBLE AND SPACED AS SHOWN.
- CONTACT INFORMATION:**  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT  
URBAN FORESTER:  
TREES@RALEIGHNC.GOV  
WWW.RALEIGHNC.GOV

5  
C9.8



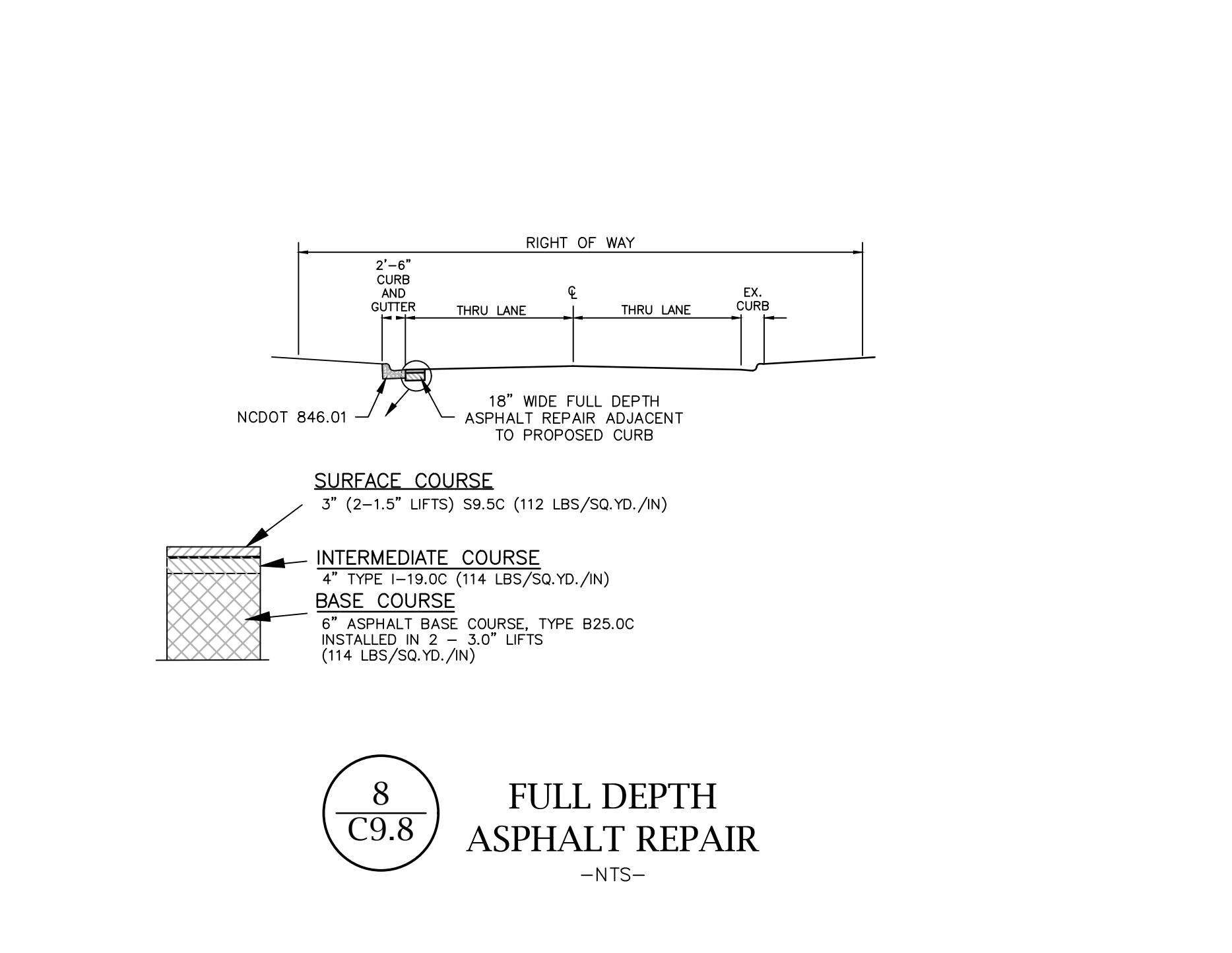
- NOTES:**
1. CONTRACTOR MUST PROVIDE AND INSTALL TREE PROTECTION SIGNAGE.
  2. A TREE IMPACT PERMIT IS REQUIRED PRIOR TO INITIATION OF CONSTRUCTION IF ANY TREES ON CITY PROPERTY ARE TO BE IMPACTED BY PRUNING, TRENCHING, BORING, REMOVAL, PAVING, PLANTING, ETC.
- CONTACT INFORMATION:**  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT  
URBAN FORESTER:  
TREES@RALEIGHNC.GOV  
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6  
C9.8



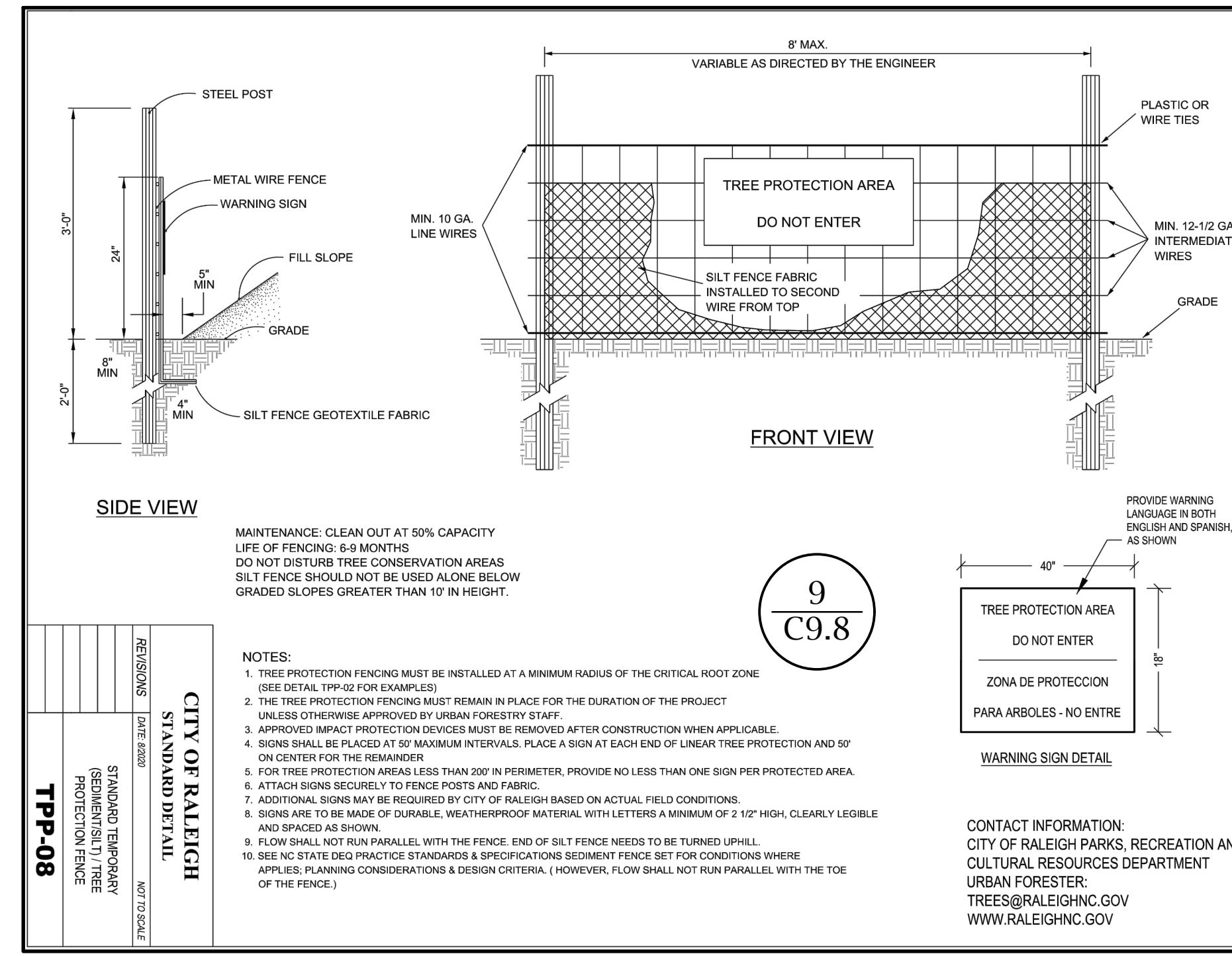
- NOTES:**
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH 2 OF THE CITY TREE MANUAL.
  2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT).
  3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
  4. A TREE IMPACT PERMIT IS REQUIRED.
  5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
  6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
  7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.
- CONTACT INFORMATION:**  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT  
URBAN FORESTER:  
TREES@RALEIGHNC.GOV  
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7  
C9.8



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  8. SIGNS ARE TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL WITH LETTERS A MINIMUM OF 2 1/2" HIGH, CLEARLY LEGIBLE AND SPACED AS SHOWN.
  9. FLOW SHALL NOT RUN PARALLEL WITH THE FENCE. END OF SILT FENCE NEEDS TO BE TURNED UPHELD.
  10. SEE NC STATE GEO PRACTICE STANDARDS & SPECIFICATIONS SEGMENT FENCE SET FOR CONDITIONS WHERE APPLES, PLANNING CONSIDERATIONS & DESIGN CRITERIA (HOWEVER, FLOW SHALL NOT RUN PARALLEL WITH THE TOE OF THE FENCE).
- CONTACT INFORMATION:**  
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8  
C9.8



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9  
C9.8

**MC<sup>2</sup> ENGINEERING**  
INC.  
211 D BEN CRAIG DR., STE. 400  
CHARLOTTE, NC 28262  
PHONE 704.510.9797

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PO BOX 28165  
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**SITE DETAILS**

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DATE: OCTOBER 11, 2024

**C9.8**

AVERAGE GRADE ANALYSIS			
UDO SEC. 15.7.A.2 (SINGLE BLD HEIGHT METHOD)			
FINISHED GROUND PARALLEL TO PRIMARY STREET (GARNER RD)			
	HIGH POINT	LOW POINT	FINISHED AVG. GRADE
PRIMARY STREET (GARNER RD.)	267.00'	267.00'	267.00'

### ELEVATION MATERIAL LEGEND

BASIS OF DESIGN MATERIALS BELOW, CONFIRM ALL SELECTIONS WITH OWNER

VINYL LAP SIDING: ROYAL BUILDING PRODUCTS - ESTATE

- MIDNIGHT SURF
- CYPRESS
- BLUE GREY

VINYL VERTICAL SIDING: ROYAL BUILDING PRODUCTS - BOARD & BATTEN

- WHITE
- MIDNIGHT SURF

TRIM AT VINYL: ROYAL BUILDING PRODUCTS PREFINISHED PVC TRIM - FROST 3 1/2" WINDOW LINEAL TRIM

FIBER CEMENT PANEL SIDING: HARDIE PANEL - SMOOTH

- DEEP OCEAN
- ARCTIC WHITE (PORTE COCHERE & ENTRY COLUMNS)

TRIM AT FIBER CEMENT PANELS: HARDIE TRIM TO MATCH PANEL COLOR

BRICK: TRIANGLE BRICK

- ASHEVILLE
- CAMDEN

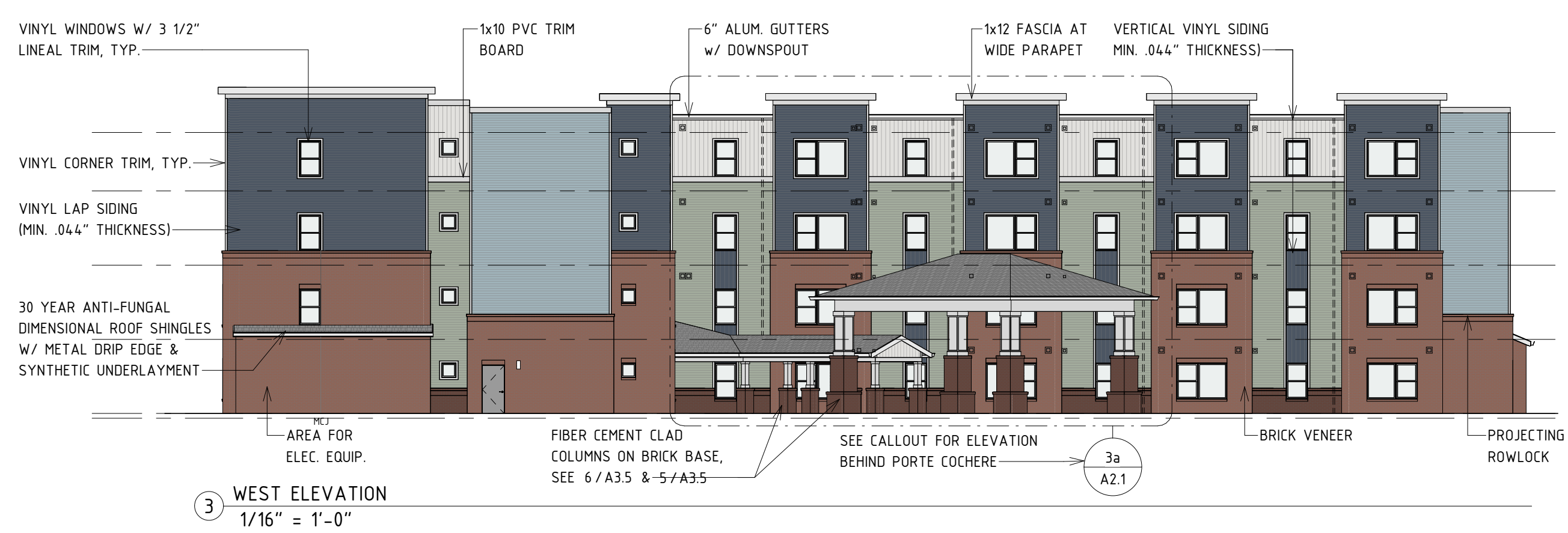
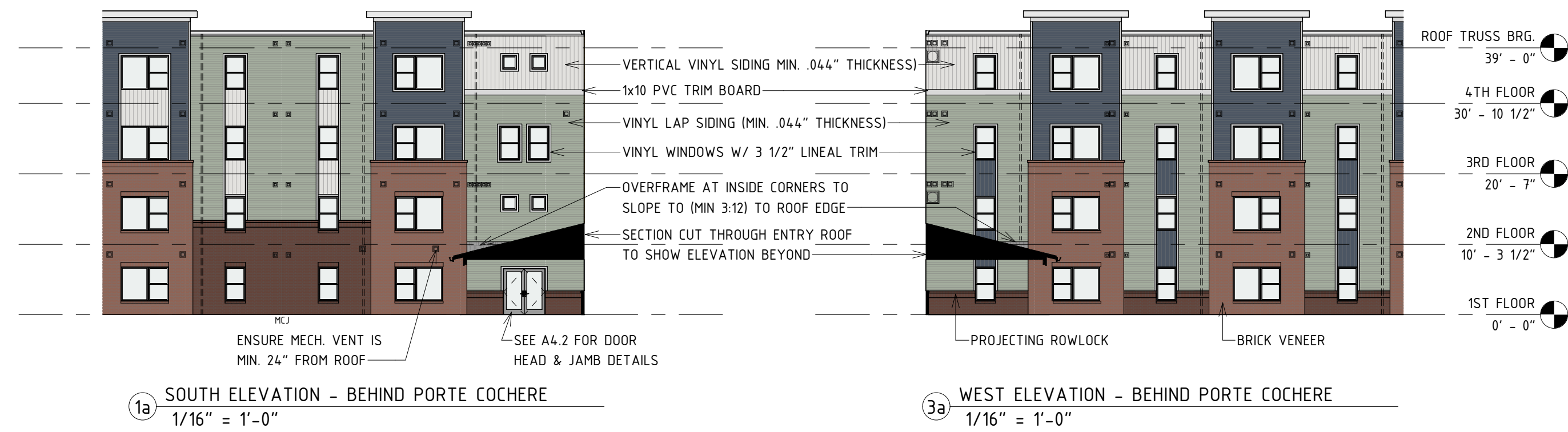
ALL WORK TO COMPLY WITH THE NCEFA'S 2024 DESIGN STANDARDS & FIELD GUIDE, AND THE ENERGY STAR MULTIFAMILY FOR NEW CONSTRUCTION PROGRAM

### ELEVATION NOTES

- MASONRY CONTROL JOINTS TO BE PROVIDED AT ALL INSIDE CORNERS AS WELL AS WHERE INDICATED ON ELEVATIONS (MAX 25' APART).
- MINIMUM THICKNESS OF ALL VINYL SIDING TO BE .044".
- ALL VINYL SIDING TO HAVE A FLAME SPREAD VALUE OF 20 OR LESS.
- WHERE FIBER CEMENT IS NOTED, CONFIRM W/ OWNER IF FIBER CEMENT, PVC, OR COMPOSITE IS TO BE USED.
- ALL MECH. VENT COVERS TO MATCH COLOR OF SIDING/BRICK THEY PENETRATE. FOR PREFINISHED COVERS, PROVIDE OWNER AND ARCHITECT SAMPLES OF FULL RANGE OF COVER COLOR OPTIONS FROM MANUFACTURER.
- SEE ROOF PLAN FOR DOWNSPOUT LOCATIONS.
- GUTTERS TO BE MIN. 6" SEAMLESS ALUMINUM GUTTERS (RECTILINEAR OR HALF ROUND PROFILE), AND DOWNSPOUTS TO BE MIN. 3X4 ALUMINUM.
- STREET NUMBERS SHALL BE POSTED ON THE BUILDING AND VISIBLE FROM THE ROADWAY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUNDS. NUMBERS SHALL BE A MINIMUM STROKE WIDTH OF 0.75 INCHES. CONFIRM REQUIREMENTS WITH LOCAL A.H.J.
- INSTALL MOUNTING BLOCK FOR BUILDING SIGNAGE AND EXTERIOR LIGHTING FIXTURES, G.C. TO VERIFY EXACT LOCATION IN THE FIELD.

#### NOTATIONS:


- MCJ = MASONRY CONTROL JOINT
- T = TEMPERED WINDOW LOCATION
- = MECHANICAL DUCT COVER
- = EXTERIOR BLDG. MOUNTED LIGHT FIXTURE (PER ELEC. DWGS.)
- = OUTDOOR CONDENSING UNIT







### Outdoor Lighting



**LED**  
Light-emitting diode

**Mounting height**  
25', 30', 35'

**Color**  
Black | Bronze | Gray | White

**Pole**  
Fiberglass (1 or 2 fixtures per pole)  
Decorative tapered metal  
Decorative square metal

**Applications**  
Neighborhoods  
Roadways  
Shopping centers

**Light source:** LED (inhibit)

**Wattage:** 150 | 220 | 420 | 530 watts

**Light pattern:** IES Type V | Type IV (forward throw) | Type III

**IESNA cutoff classification:** Full-cutoff

**BUG rating:** 150W Type III = B2U003 / Type IV = B3U004 / Type V = B5U005  
220W Type III = B2U004 / Type IV = B3U004 / Type V = B4U003  
420W Type IV = B3U005 / Type V = B5U005  
530W Type IV = B3U005 / Type V = B5U005

**Color temperature:** 4,000K

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Round tapered decorative metal	35'	Black, Bronze
Decorative square metal	25' and 30'	Black, Bronze, Gray, White
Fiberglass	25' and 30'	Black (1 or 2 fixtures per pole) Gray (1 or 2 fixtures per pole)

**FEATURES**

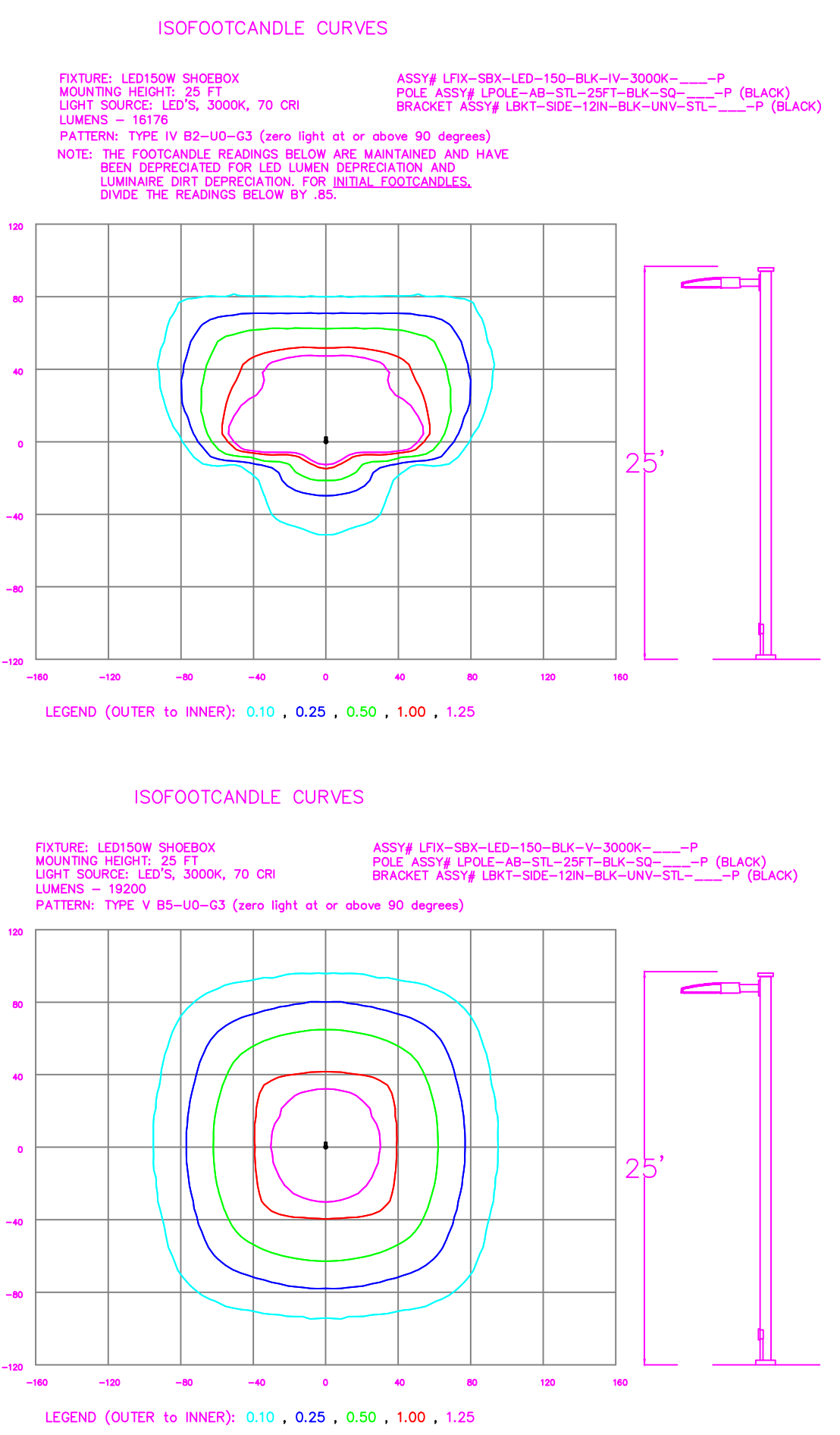
- Turnkey operation
- Little or no installation cost
- Design services by lighting professionals included
- Maintenance, electricity & warranty included
- One low monthly cost on your electric bill

**BENEFITS**

- Provides hassle-free installation and service
- Freest up capital for other projects
- Meets industry standards and lighting ordinances
- Eliminates high and unexpected repair bills
- Convenience and savings for you

For additional information, email us at [O&L.Care@dukeenergy.com](mailto:O&L.Care@dukeenergy.com)

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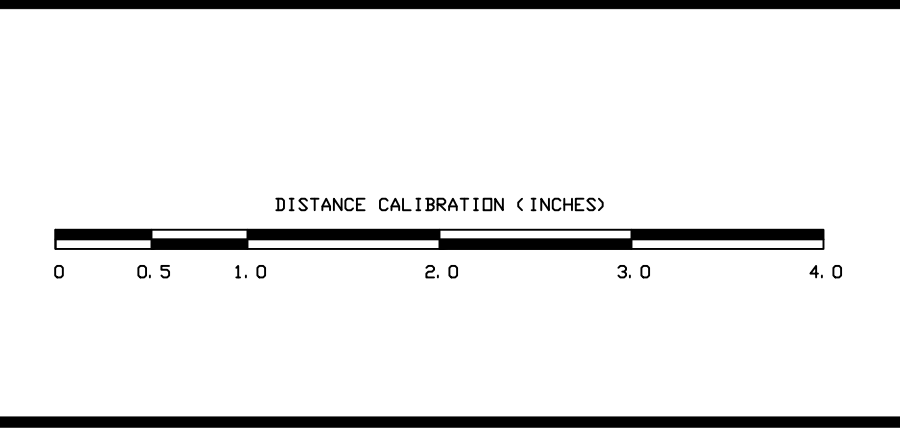


Symbol	Label	Quantity	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor
◆	A	3	LED 150w Shoebox - Type IV - 3000K	48	337	0.85
◆	B	2	LED 150w Shoebox - Type V - 3000K	48	400	0.85

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking	✕	1.2 fc	2.9 fc	0.3 fc	9.7:1	4.0:1

NO.	DATE	REVISION	BY



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**HOKE STREET APARTMENTS**  
Raleigh, NC

**SITE LIGHTING ARRANGEMENT**

Designed by **DUKE ENERGY PROGRESS LIGHTING SOLUTIONS**

Reviewed by **N. Johnson** Scale **1" = 20'**

Date **10/16/2024** Size **Drawing size "D"**

Description **LED 150w Shoebox**

Drawing No. **24-0411A** Sht. **1 OF 1**