



Administrative Approval Action

Case File / Name: ASR-0083-2021
DSLC - THE CREAMERY

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is generally located at the northeast corner of the intersection of Glenwood Avenue and W North Street, with common street addresses of 400 and 410 Glenwood Avenue.

REQUEST: This is a revision to a previously approved plan in accordance with UDO Section 10.2.8 E. The previous plan was approved on 6/15/2022 with a sunset date of 10/12/2025. The sunset date for the approved revision is unchanged.

REVISION to the approved ASR (revised approved plans last dated 1/22/2024): revised scope of work includes demolition of the south portion of the existing Creamery Building, and development of an approximately 484,000 square foot 19-story mixed use on the property with a common street address of 410 Glenwood Avenue; and development of an approximately 593,000 square foot 37-story mixed use building containing 306 dwelling units, and a 1-story open air loggia on the property with a common street address of 400 Glenwood Avenue. The subject 2.38 acres zoned DX-40-CU (Z-28-20).

ORIGINAL APPROVED PLAN: Demolition of the south portion of the existing Creamery Building, and development of an approximately 650,000 square foot 21-story mixed use, and a 1-story open air loggia building on the property with a common street address of 410 Glenwood Avenue. Development of an approximately 392,000 square foot 37-story mixed use building containing 295 dwelling units on the property with a common street address of 400 Glenwood Avenue. The subject 2.38 acres zoned DX-40-CU (Z-28-20).

Design Alternates (DA-0027-2021) allowing a minimum 12 foot setback at varying heights 18 feet and height for portions of the Residential Tower fronting North Street and Glenwood Avenue (UDO Section 3.3.3.F), allowing a 116 foot alternate to RSDM Section 9.5.2.C to allow two driveways 84 feet apart on W North Street, and alternates reducing the minimum transparency required along Tucker Street, W North Street, and Glenwood Avenue. (See the approved Appearance Commission minutes from February 3, 2022 for details).

BOA-0070-2021 (February 24, 2022) approval granting a 2 foot variance from the minimum 3 foot primary street setback set forth in UDO Section 3.2.6.B1 along W North Street for the proposed mixed use building at 410 Glenwood Avenue, and a variance from the required 0' to 6' side setback set forth in UDO Section 3.2.6.B along the east property line for the proposed mixed use building at 410 Glenwood Avenue.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 22, 2024 by McAdams.

CONDITIONS OF APPROVAL and NEXT STEPS:



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This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. That a final location of a City Bikeshare station is approved by Transportation Planning and that location shown on the SPR plans.
2. Demonstrate compliance with the minimum bicycle parking standards per UDO Section 7.1 (pre-TC-11-21).
3. Demonstrate compliance with UDO Section 7.4 (Site Lighting).

Engineering

4. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.
5. An encroachment submittal for specific hardscape not outlined in the City of Raleigh standard details and grease traps within the public right-of-way shall be approved by City Council. The executed encroachment agreement shall be filed with the Development Services Department for the approval by City and returned to the Owner. The Owner is responsible to record the executed encroachment agreement with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.

Public Utilities

6. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

7. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
8. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).



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☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map consistent with the approved ASR shall be recorded prior to issuance of any building permit.

Engineering

2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.
4. A sidewalk deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
6. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
7. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).



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8. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
9. An encroachment agreement for Stormwater pipes within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.

Urban Forestry

10. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes (3) street trees along W. North St., (10) street trees along Glenwood Ave., (5) street trees along Tucker St.
11. A public infrastructure surety for (15) tree grate street trees and (3) tree lawn street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:

General

1. That the City Bikeshare station is installed.
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
3. Before issuance of a certificate of occupancy for new construction, a preservation easement will be recorded on that portion of property listed in Deed Book 17795 Page 2292 of the Wake County Registry, PIN 1704417007, including the structures identified as the original 1928 and the 1940s addition in the Historic Landmark Report, and generally occupying two hundred (200) feet south and one hundred twenty-five (125) feet east of that parcel's northwest corner. (Zoning Condition #2, Z-28-20)
4. The site plan for development of the property shall provide for a location on the property or adjacent right-of-way to accommodate a City bikeshare station and the property owner shall provide a station of no fewer than 4 docks. If provided on the property, the property owner shall install the City bikeshare station prior to issuance of a certificate of occupancy. (Zoning Condition #4, Z-28-20)

Stormwater

5. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).



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6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: October 12, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 02/21/2024
Development Services Dir/Designee
Staff Coordinator: Kasey Evans



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333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

www.jaeco.com




THE CREAMERY
410 & 400 GLENWOOD AVE
RALEIGH NC, 27603

501 NORTH WEST ST
RALEIGH NC. 27603

TURNBRIDGE EQUITIES
4 BRYANT PARK, SUITE 200
NEW YORK, NY 10018

LEGEND

- | | |
|------|--------------------|
| BM | BOOK OF MAPS |
| DB | DEED BOOK |
| PG | PAGE |
| N/F | NOW OR FORMERLY |
| R/W | RIGHT OF WAY |
| E/P | EXISTING IRON PIPE |
| EMAG | EXISTING MAG NAIL |
| IPS | IRON PIPE SET |
| MAQS | MAG NAIL SET |
| CP | COMPUTED POINT |
| SS | SANITARY SEWER |

- | | |
|---|--------------------------------|
| CO | SANITARY SEWER CLEAN OUT |
| MH | MANHOLE |
| ST | STORM |
| GV | GUY ANCHOR |
| CB | CABLE BORM |
| WW | WATER VALVE |
| RCP | REINFORCED CONCRETE STORM PIPE |
| CON | CONCRETE |
| SSMH | SANITARY SEWER |
| WM | WATER METER |
| LP | LIGHT POLE |
| GM | GAS METER |
| TP | TELEPHONE PEDESTAL |
| HY | HYDRANT |
| PP | POWER POLE |
| EMH | ELECTRIC MANHOLE |
| STM | STORM MANHOLE |
| TSP | TRAFFIC SIGNAL POLE |
|  | DENOTES CONCRETE |
|  | DENOTES ADDRESS |
|  | DENOTES BRICK |

PROPERTY LINE
RIGHT OF WAY LINE
PROP. LINE NOT SURVEYED
EASEMENT LINE

CB FH LP WW SSM
GW MW PP TP GM

ALTA/NSPS LAND
TITLE SURVEY

ALTA/NSPS LAND TITLE SURVEY

Revisions		
Number	Description	Date
REV.1	TITLE REVISION	03/02/2

REV.2	COMMENT REVISIONS	03/18/2
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REV.3	COMMENT REVISIONS	03/20/2
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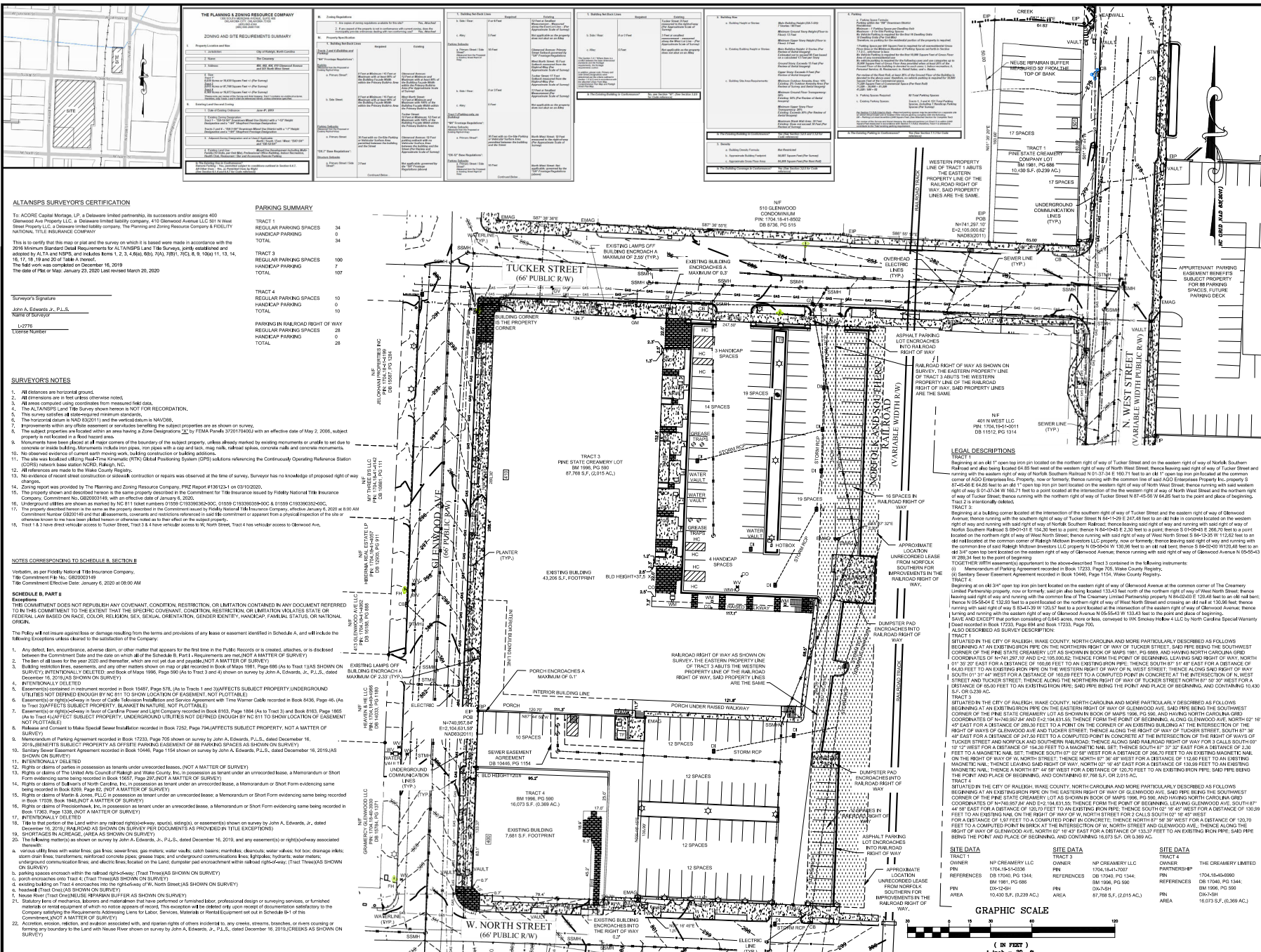
Drawing Scale: 1"=30'

Drawn By:

Drawn By ZCS

Checked By: CLP/JAE, JR
Date Issued: 1/23/2020

Date Issued: 12/30/2020 1 01 1



SITE PLAN NOTES:

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS SHOWN ON SITE PLAN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29CFR PART 1926, SUBPART PP APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
- CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
- EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION OR TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSDUCTION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD APPURTENANCES AS REQUIRED TO COLLECT FLOW FROM THE GRADES AND ADJUSTMENTS DERIVED ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH CITY OF RALEIGH STORMWATER AND EROSION CONTROL DEPARTMENT FOR EROSION CONTROL AND ENGINEERING INSPECTIONS PRIOR TO ANY WATER OR SEWER ABANDONMENT, REMOVAL OR INSTALLATIONS.

GENERAL NOTES:

- OWNER RESERVES RIGHT TO ADJUST SITE IMPROVEMENTS AND MODIFY BUILDING FOOTPRINTS FROM THOSE SHOWN ON THIS PLAN.
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH PUBLIC WORKS, ENGINEERING INSPECTIONS DEPARTMENT, ENVIRONMENTAL DIVISION, AND A REPRESENTATIVE OF THE ENGINEER AND OWNER.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE SITE CONTRACTOR, AFTER PERMISSION BY EROSION CONTROL INSPECTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE AND ENGINEER IMMEDIATELY.

Ordinance 20(2021) 191 ZC 812
Adopted: 2/2/2021

Effective: 2/7/2021

ORDINANCE NO. (2021) 191 ZC 812

Z-28-20 - 400 and 410 Glenwood Avenue, located on the western portion of the block bounded by Glenwood Avenue, Tucker Street, North Street, and West Street, being Wake County PINs 1704406990 & 1704417007, approximately 2.39 acres rezoned to Downtown Mixed Use-40 stories-Conditional Use (DX-40-CU).

Conditions dated: January 12, 2021

- In addition to those otherwise prohibited by the UDO, the following uses are prohibited: social service, adult establishment, cemetery, pawnshop, vehicle fuel sales, detention center, vehicle service, and self-storage service.
- Before issuance of a certificate of occupancy for new construction, a preservation easement will be recorded on that portion of property listed in Deed Book 17795 Page 2292 of the Wake County Registry, PIN 1704417007, including the structures identified as the original 1928 and the 1940s addition in the Historic Landmark Report, and generally occupying two hundred (200) feet south and one hundred twenty-five (125) feet east of that parcel's northwest corner.
- The property listed in Deed Book 17795 Page 2283 of the Wake County Registry, PIN 1704406990 (the "400 Glenwood Parcel") shall comply with the regulations for the Shopfront Frontage type as set forth in the Unified Development Ordinance.
- The site plan for development of the property shall provide for a location on the property or adjacent right-of-way to accommodate a City bikeshare station and the property owner shall provide a station of no fewer than 4 docks. If provided on the property, the property owner shall install the City bike share station prior to issuance of a certificate of occupancy.



September 28, 2023

Shawn Clements

(Owner)

515 Wilmington St.

Raleigh, NC 27603

RE: The Creamery

Also: Shawn Clements

This is a new letter of support for trash and recycling services for your facility being planned for The Creamery located 400 and 410 Glenwood Ave. We have reviewed the plans and have found that GFL Environmental will be able to safely perform all needed services.

Current design plans call for a compactor at the office building, a compactor in the retail space and mini nac compactors for the residential portion of the facility. Frequency of service is yet to be determined. If the project design changes, this letter is void and a new letter must be issued. Additionally, this letter is non-transferable.

We want to visit the site during the initial phases of construction to ensure that the site will continue to be safe to service.

We look forward to providing waste and recycling services at your new property once it has been completed.

Should you have any questions or need more information, please contact me at jara.clements@gfl.com.

Sincerely,

Jara Clements

Account Manager

GFL Environmental - Raleigh

3741 Conquest Drive

Garner, NC 27529

(919) 427-2399

STORM DRAINAGE NOTES:

- ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS II REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
- ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST CITY OF RALEIGH AND NCDOT STANDARDS.
- ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCTURE ELEVATED WITH INSIDE WALL.
- ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO ASHBIT SPECIFICATION M-18 FOR TYPE B FLEXIBLE PLASTICS UNLESS OTHERWISE NOTED.
- THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE FORTED UP AND SMOOTHED TO AN AVAILABLE STANDARD USING ADEQUATE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING REMOVED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO CLOG OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
- MATERIALS DESIGNED BY THE OWNER'S REPRESENTATIVE OR GEOTECHNICAL ENGINEER AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SATISFACTORY MATERIAL.
- BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 90% OF THE MAXIMUM dry DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP RIGHT 10" INCHES SHALL BE COMPACTED TO 90 PERCENT STANDARD PROCTOR.
- UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.

DEMOLITION NOTES:

- THE INFORMATION SHOWN WAS TAKEN FROM DESIGN DRAWINGS AND FIELD SURVEY WHEREVER POSSIBLE. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL UTILITIES, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL DEMOLITION MATERIAL WILL BE REMOVED FROM THE SITE AND DISPOSED OF IN A PROPER LOCATION AND METHOD AS DETERMINED BY THE LOCAL AUTHORITIES.
- CONTRACTOR SHALL NOTIFY NC811 (811) OR 1-800-632-4949 AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES AND ADJACENT ROADWAYS FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIM, HIS EMPLOYEES OR HIS AID. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- COMPLY WITH REQUIREMENTS FOR FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION. (CHAPTER 8, 2018 NC FIRE CODE, NFPA 241 AND CHAPTER 33, 2018 NC BUILDING CODE)

GRADING NOTES:

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE 29CFR PART 1926, SUBPART PP APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH STORMWATER AND EROSION CONTROL DEPARTMENT, THE ENGINEER AND A REPRESENTATIVE OF THE OWNER.
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED TO THE STANDARD PROCTOR MAXIMUM DRY DENSITY UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

ZONING CONDITIONS

Z-28-20 - 400 and 410 GLENWOOD AVENUE, LOCATED ON THE WESTERN PORTION OF THE BLOCK BOUNDED BY GLENWOOD AVENUE, TUCKER STREET, NORTH STREET AND WEST STREET, BEING IN WAKE COUNTY PINS 1704406990 & 1704417007, APPROXIMATELY 2.39 ACRES REZONED TO DOWNTOWN MIXED USE-40 STORES-CONDITIONAL USE (DX-40-CU).

CONDITIONS DATED: JANUARY 12, 2021

- IN ADDITION TO THOSE OTHERWISE PROHIBITED BY THE UDO, THE FOLLOWING USES ARE PROHIBITED: SOCIAL SERVICE, ADULT ESTABLISHMENT, CEMETERY, PAWNSHOP, VEHICLE FUEL SALES, DETENTION CENTER, VEHICLE SERVICE, AND SELF STORAGE.
RESPONSE: THE PROPERTY WILL NOT BE USED FOR ANY OF THE USES LISTED ABOVE.
- BEFORE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR NEW CONSTRUCTION, A PRESERVATION EASEMENT WILL BE RECORDED ON THAT PORTION OF THE PROPERTY LISTED IN DEED BOOK 17795 PAGE 2292 OF THE WAKE COUNTY REGISTRY, PIN 1704417007, INCLUDING THE STRUCTURES IDENTIFIED AS THE ORIGINAL 1928 AND THE 1940S ADDITION IN THE HISTORIC LANDMARK REPORT, AND GENERALLY OCCUPYING TWO HUNDRED (200) FEET SOUTH AND ONE HUNDRED TWENTY-FIVE (125) FEET EAST OF THAT PARCEL'S NORTHWEST CORNER.
RESPONSE: A PRESERVATION EASEMENT WILL BE RECORDED FOR THE PORTION OF PROPERTY LISTED ABOVE.
- THE PROPERTY LISTED IN DEED BOOK 17795 PAGE 2283 OF THE WAKE COUNTY REGISTRY, PIN 1704406990 (the "400 GLENWOOD PARCEL") SHALL COMPLY WITH THE REGULATIONS FOR THE SHOPFRONT FRONTAGE TYPE AS SET FORTH IN THE UNIFIED DEVELOPMENT ORDINANCE.
RESPONSE: THE PROPERTY WILL COMPLY WITH THE REGULATIONS FOR THE SHOPFRONT FRONTAGE TYPE.
- THE SITE PLAN FOR DEVELOPMENT OF THE PROPERTY SHALL PROVIDE FOR A LOCATION ON THE PROPERTY OR ADJACENT RIGHT-OF-WAY TO ACCOMMODATE A CITY BIKE SHARE STATION AND THE PROPERTY OWNER SHALL PROVIDE A STATION OF NO FEWER THAN 4 DOCKS. IF PROVIDED ON THE PROPERTY, THE PROPERTY OWNER SHALL INSTALL THE CITY BIKE SHARE STATION PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
RESPONSE: A BIKE SHARE STATION WILL BE INCORPORATED ON THE PROPERTY OR ON THE ADJACENT RIGHT-OF-WAY.

RALEIGH STANDARD UTILITY NOTES:

- ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK, CURRENT EDITION (INCLUDING STANDARDS AND SPECIFICATIONS).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 300 SHALL BE MAINTAINED BETWEEN SANITARY SEWER AND ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN UNPOLLUTED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPES SHALL BE SPECIFIED AND INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER AND/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 30'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DIP MATERIAL OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED AND INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER AND STORM SEWER FACILITIES UNLESS OTHERWISE SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MINIMUM VERTICAL SEPARATION AT ALL SANITARY SEWER AND NOT STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATION CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS AND A CONCRETE CHOCOLE HAVING 6" MIN. CLEARANCE (REF. CONCRETE DETAILS W-13 & W-140).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER AND SEWER FACILITIES WITH 18" MINIMUM VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW AND APPROVAL OF AN AMENDED PLAN AND OR PROFILE BY THE CORPUS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER AND SEWER SERVICE TO EXISTING RESIDENCES AND BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CORPUS.
- 3.0" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS AND SEWER FORCE MAINS. 4.0" MINIMUM COVER IS REQUIRED ON ALL RE-USE MAINS.
- IF THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CORPUS. THIS INCLUDES ABANDONING TAP AT MAIN AND REMOVAL FROM R.O.W. OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
- INSTALL PROPERLY SIZED WATER SERVICES WITH METERS LOCATED AT R.O.W. WITHIN A 2'X2' OR APPROPRIATE SIZED EASEMENT IMMEDIATELY ADJACENT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW AND PRESSURE.
- INSTALL 4" PVC SEWER SERVICE WITHIN 1.0' MINIMUM GRADE WITH CLEANOUTS LOCATED AT R.O.W. OR EASEMENT LINE AND SPACED EVERY 100' MAX.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SEWER SERVICES EXCEEDING 16" DRAIN LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDDO, USACE AND/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND AND/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDDO ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS AND SERVICE TAPS WITHIN STATE R.O.W. PRIOR TO CONSTRUCTION.
- GRADE INTERPROTECTION: WATER SEPARATOR USING CALCULATIONS AND INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS GIS PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY 919.296.2334 OR TIMOTHY.BEASLEY@RALEIGH.GOV FOR MORE INFORMATION.
- CROSS CONNECTION CONTROL: PROTECTION MEASURES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX A OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET ASL STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT 919.996.9923 OR JOANIE.HARTLEY@RALEIGH.GOV FOR MORE INFORMATION.

SANITARY SEWER NOTES:

- ALL SEWER SERVICES IN PUBLIC R.O.W. SHALL BE INSTALLED BY A LICENSED UTILITY CONTRACTOR.
- BEFORE COMMENCING ANY EXCAVATION IN ANY HIGHWAY, STREET, PUBLIC SPACE, OR IN AN EASEMENT, THE NORTH CAROLINA UNDERGROUND DAMAGE PREVENTION ACT REQUIRES NOTIFICATION OF EACH UTILITY OWNER HAVING U.G. UTILITIES LOCATED IN THE PROPOSED AREA TO BE EXCAVATED, EITHER ORALLY OR IN WRITING, NOT LESS THAN 2 DAYS NOR MORE THAN 10 WORKING DAYS PRIOR TO STARTING OF THE INTENT TO EXCAVATE.
- ANY EXISTING UTILITY APPURTENANCES SHALL NOT BE RUINED OR PROPOSED IMPROVEMENTS.
- ALL PROPOSED SEWER ON THIS SITE IS TO BE PRIVATE.
- ALL 8" SEWER SHALL BE PVC 30K-35 AND ALL 4" SEWER SHALL BE PVC 40K-45 UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- MINIMUM COVER TO FINISHED GRADE OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINE 4" PIPES AND LARGER. 8' LESS THAN 18" FOR 18" DUCTILE IRON PIPE SHALL BE REQUIRED. WITH TYPE 1 BEDDING TO COVER AT A MIN OF 3 FEET.
- MINIMUM SLOPE FOR THE 8" INCH SANITARY SEWER COLLECTION LINE IS 0.50% AND THE MINIMUM SLOPE FOR THE 4" INCH SANITARY SEWER SHALL BE NO LESS THAN 1.0% (WITH CLEANOUTS EVERY 100' LINEAL FEET).
- SEWER CLEANOUTS ARE NOT ALLOWED IN DRIVEWAYS, DRIVEWAYS AND PARKING LOTS UNLESS SHOWN OTHERWISE. CLEANOUTS WITHIN ASPHALT PAVED TRAFFIC AREAS SHALL BE INSTALLED IN TRAFFIC MARKED MIN-MAHOUTS, DOMESTIC USE ONLY.
- ALL EXISTING UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS. CONTRACTOR SHALL VERIFY ACTUAL LOCATION AND DEPTHS IN FIELD PRIOR TO BEGINNING CONSTRUCTION.
- UTILITY SLEEVES SHALL BE PVC (SCH. 40), INSTALL WITH 2" MINIMUM COVER, CAP AND MARK BOTH ENDS.

WATER NOTES:

- WATER TO BE USED DURING CONSTRUCTION SHALL EITHER HAVE A PERMANENT TAP INSTALLED THROUGH A NEW SERVICE TAP PERMIT, OR A RENTAL OF A PORTABLE WATER SHALL BE SECURED TEMPORARILY, THROUGH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- WATER DESIGN:
 - PUBLIC WATER SYSTEMS SHALL CONFORM TO PUBLIC DISTRIBUTION SYSTEM STANDARDS.
 - PRIVATE DISTRIBUTION SYSTEMS SHALL HAVE A MASTER METER AND MASTER BACK FLOW DEVICE.
- ALL 6" & 8" WATERLINES SHALL BE DUCTILE IRON PIPE PRESSURE CLASS 350 PER CITY OF RALEIGH STANDARDS. ALL 2" WATERLINE SHALL BE TYPE A COPPER.
- ALL MAINS SHALL HAVE A MINIMUM 8" COVER.
- ALL MAINS SHALL HAVE A TYPE 1 LAPPING CONDITIONS (ELECTROCHEMICAL EVALUATION AND COMPACTION REPORTS SHALL BE PROVIDED TO ENGINEER WITH AS-BUILT SUBMITTAL).
- ALL MAINS SHALL HAVE A WORKING PRESSURE OF 150 PSI AND A SURGE PRESSURE OF 300 PSI.
- SERVICE CONNECTIONS CAN ONLY BE MADE TO A PRESSURIZED PIPE UP TO 12" PER CORPUS HANDBOOK.
- REFER TO CORPUS HANDBOOK FOR TESTING AND APPROVAL PROCEDURE PRIOR TO ACCEPTANCE.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI.
- ALL EXISTING UTILITIES ARE SHOWN AT APPROXIMATE LOCATIONS. CONTRACTOR SHALL VERIFY ACTUAL LOCATION AND DEPTHS IN FIELD PRIOR TO BEGINNING CONSTRUCTION.



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license number: C-0293, C-187

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410 GLENWOOD AVENUE PROPERTY LLC
621 HILLSBOROUGH STREET
4 BRYANT PARK, SUITE 200
NEW YORK, NY 10018
PHONE: 646.503.5717

THE CREAMERY
DESIGN DEVELOPMENT
400 & 410 GLENWOOD AVENUE
RALEIGH, NORTH CAROLINA, 27603

REVISIONS

NO.	DATE	DESCRIPTION
1	10.06.2023	RESPONSE TO 1ST ASR REVIEW
2	12.08.2023	RESPONSE TO 2ND ASR REVIEW
3	01.12.2024	RESPONSE TO 3RD ASR REVIEW

PLAN INFORMATION

PROJECT NO.	TBE-20000
FILENAME	TBE20000-ASR-N1
CHECKED BY	CGH
DRAWN BY	CDR
SCALE	N/A
DATE	08.07.2023

SHEET

PROJECT NOTES

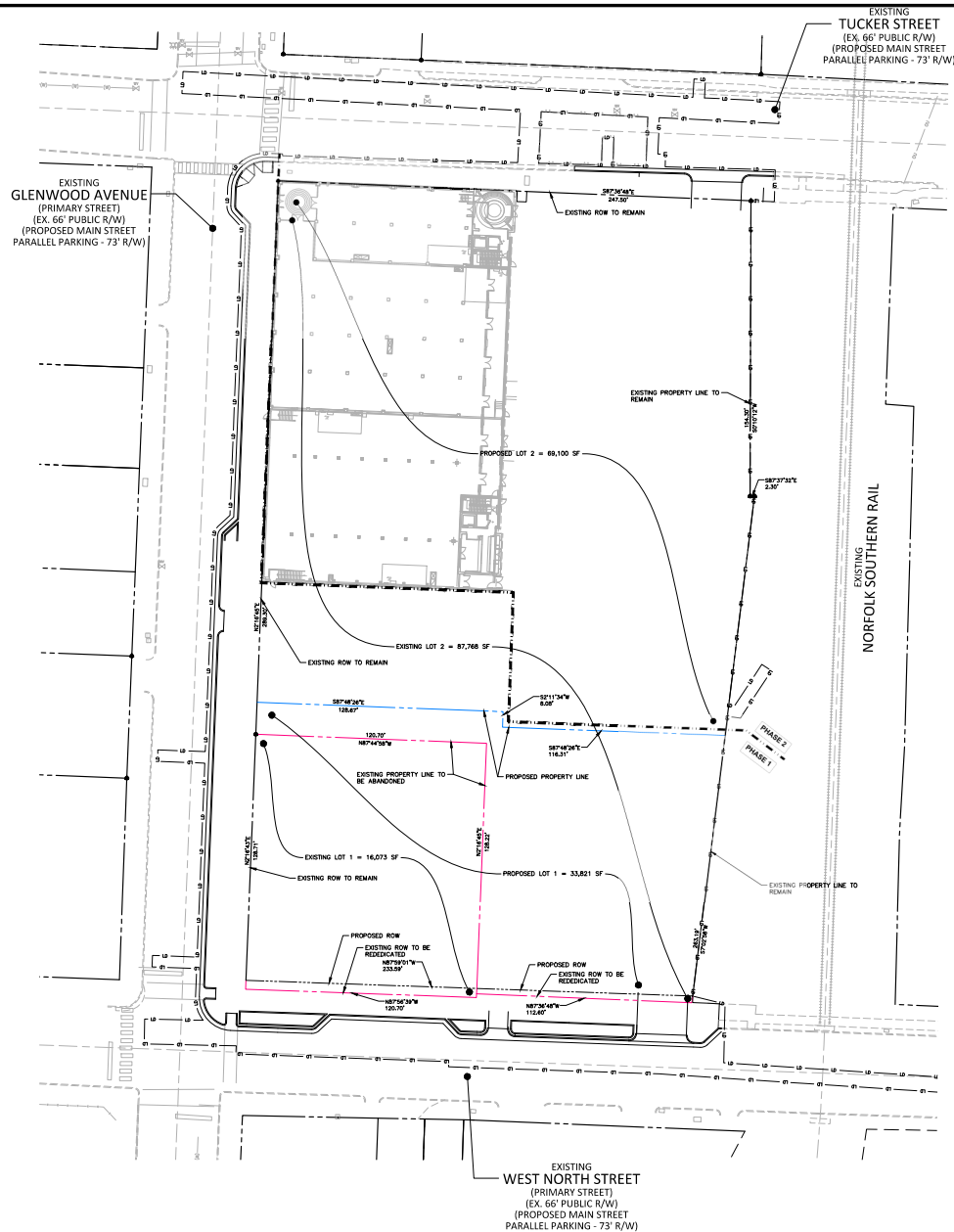
C0.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



	Existing SF	Proposed SF
Lot 1	16,073	33,821
Lot 2	87,768	69,100



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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REVISIONS

NO.	DATE	DESCRIPTION
1	10.06.2023	RESPONSE TO 1ST ASR REVIEW
2	12.08.2023	RESPONSE TO 2ND ASR REVIEW
3	01.22.2024	RESPONSE TO 3RD ASR REVIEW

PLAN INFORMATION

PROJECT NO. TBE-20000
FILENAME TBE20000-ASR-S1
CHECKED BY DB
DRAWN BY JJ
SCALE 1"=30'
DATE 08.07.2023

SHEET

RECOMBINATION PLAN

C0.02

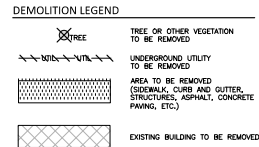
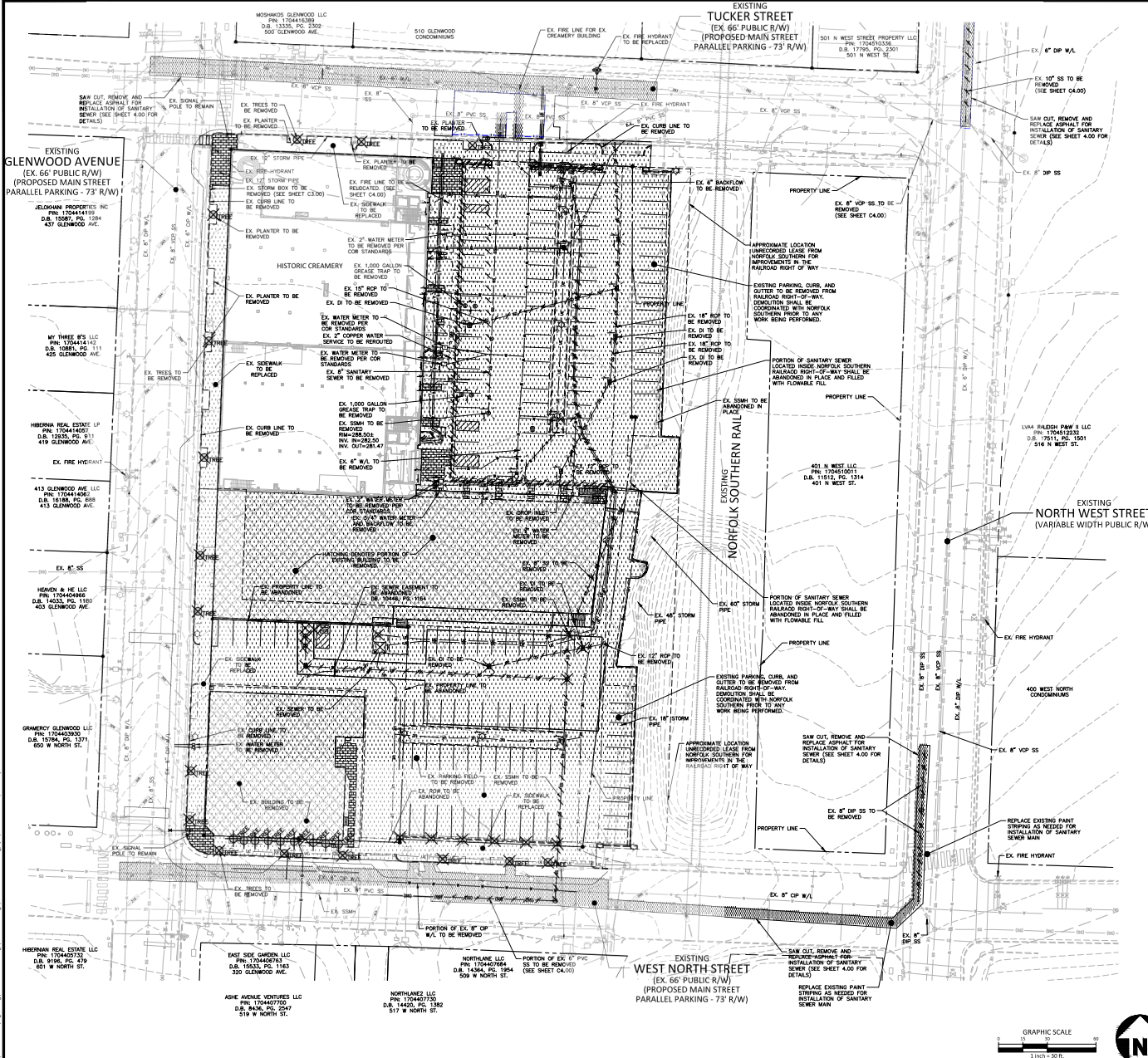
REVISIONS

NO.	DATE	DESCRIPTION
1	10.08.2023	RESPONSE TO 1ST ASR REVIEW
2	12.08.2023	RESPONSE TO 2ND ASR REVIEW
3	01.22.2024	RESPONSE TO 3RD ASR REVIEW

PLAN INFORMATION

PROJECT NO.	TBE-20000
FILENAME	TBE20000-ASR-DM1
CHECKED BY	CGH
DRAWN BY	CDR
SCALE	1"=30'
DATE	08.07.2023

DEMOLITION PLAN
C1.01



NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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3	01.22.2024	RESPONSE TO 3RD ASR REVIEW

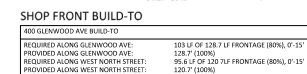
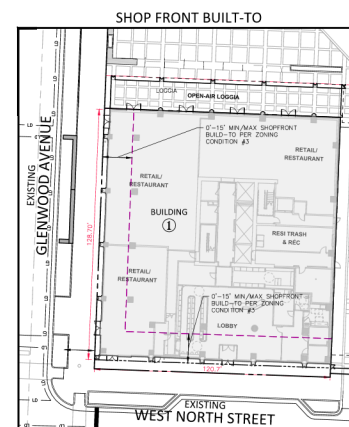
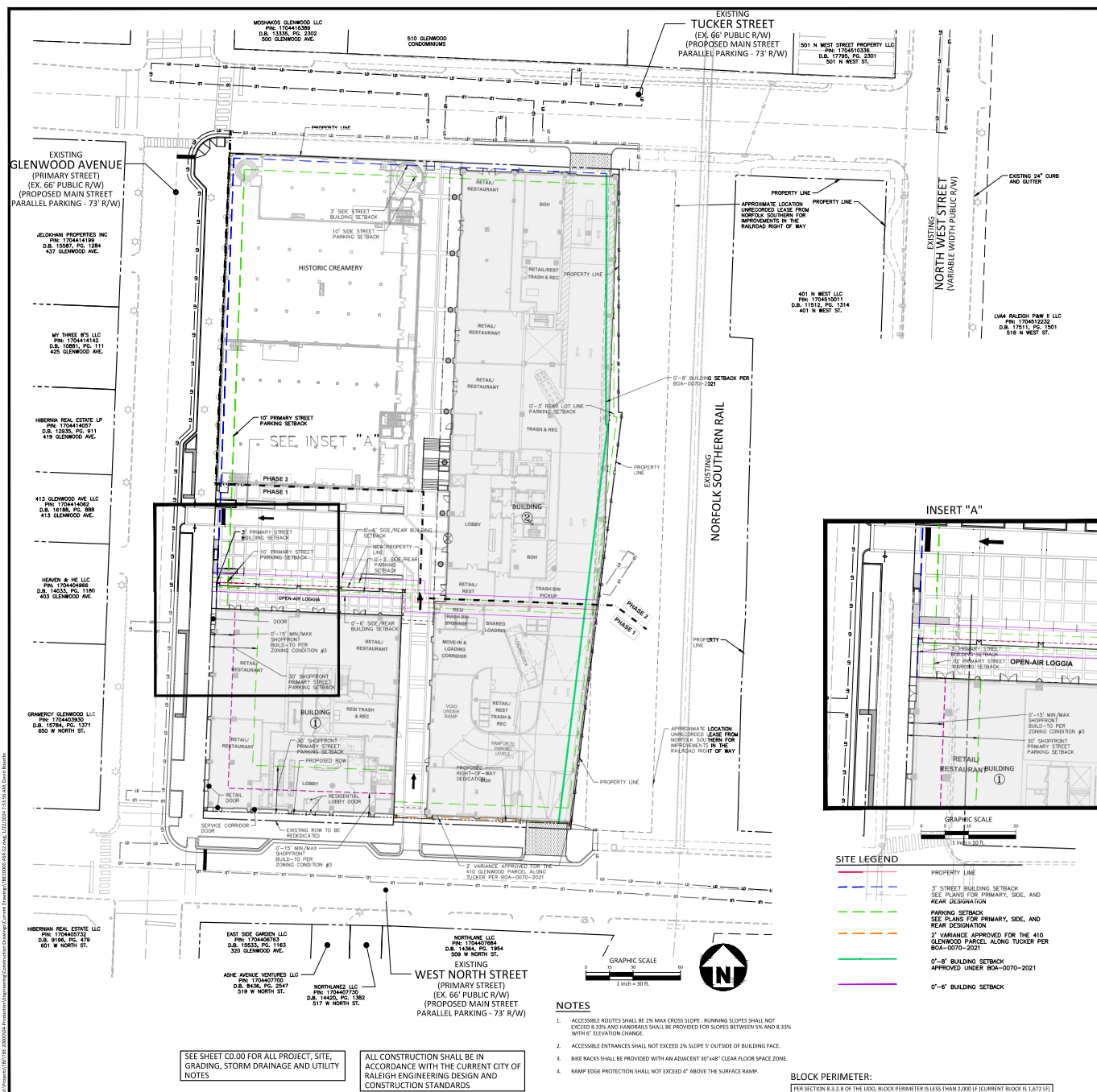
PLAN INFORMATION

PROJECT NO.	TBE-20000
FILENAME	TBE20000-SPR-S2
CHECKED BY	CGH
DRAWN BY	CDR
SCALE	1"=30'
DATE	08.07.2023

SHEET

BUILDING SETBACK AND SHOP FRONT EXHIBIT

C2.01



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

GRADING LEGEND

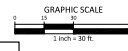
	FLARED END SECTION
	ENDWALL SECTION
	CATCH BASIN
	DROP INLET
	STORM SERVICE INLET
	STORM SERVICE ROOF-DRAIN
	JUNCTION BOX
	DRAINAGE FLOW ARROW
	LINE BREAK SYMBOL
	TOP & BOTTOM CURVE ELEVATIONS
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION (NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
	SPOT ELEVATION
	STORM DRAINAGE
	STORM SERVICE LINE
	ROOF DRAIN, 8\"/>
	NON-PERFORATED TUBING OR EQUAL 1.0% SLOPE 3\"/>
	COVER PVC SCHEDULE 40 IN TRAFFIC AREAS
	TREE PROTECTION FENCE
	LIMITS OF DISTURBANCE
	WOODED AREA
	MAJOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EASEMENT LINE
	ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)

STORM DRAINAGE SCHEDULE (SD-100)

STRUCTURE NO.	T/S - RM ELEV.	INVERT IN	INVERT OUT	DEPTH	DOWNSIDE PIPE INFORMATION
CB-118	291.50 +/-		287.85 (JB-117)	4.1 R	4\"/>
CB-132	302.83 +/-	298.40 (RD-133)	298.50 (Ex. JB-107)	4.9 R	19\"/>
CB-131	297.61 +/-	293.73 (Ex. CB-170)	293.73 (Ex. JB-107)	4.4 R	7\"/>
Ex. Di-104	291.64 +/-	282.24 (Ex. JB-100)	282.14 (Ex. JB-103)	10.0 R	28\"/>
CB-132	302.83 +/-	298.40 (RD-133)	298.50 (Ex. JB-107)	4.9 R	19\"/>
Ex. Di-110	285.07 +/-	280.81 (JB-111)	280.71 (Ex. JB-108)	4.9 R	32\"/>
Ex. JB-107	298.59 +/-	293.50 (CB-132)	293.44 (Ex. JB-106)	5.7 R	25\"/>
JB-111	285.02 +/-	281.10 (RD-112)	280.95 (Ex. Di-110)	4.6 R	15\"/>
JB-117	291.01 +/-	287.81 (CB-118)	287.95 (Ex. CB-116)	3.7 R	32\"/>
JB-125	293.25 +/-	285.45 (JB-126)	285.35 (Ex. Di-104)	8.4 R	25\"/>
JB-126	298.31 +/-	291.50 (SP-BYP-129)	285.65 (JB-125)	13.2 R	20\"/>
JB-152	294.17 +/-	292.80 (JB-153)	292.50 (SPBX-151)	2.2 R	50\"/>
JB-153	302.00 +/-		283.00 (JB-152)	9.5 R	46\"/>
RD-112	283.23 +/-		281.14 (JB-111)	777 R	4\"/>

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

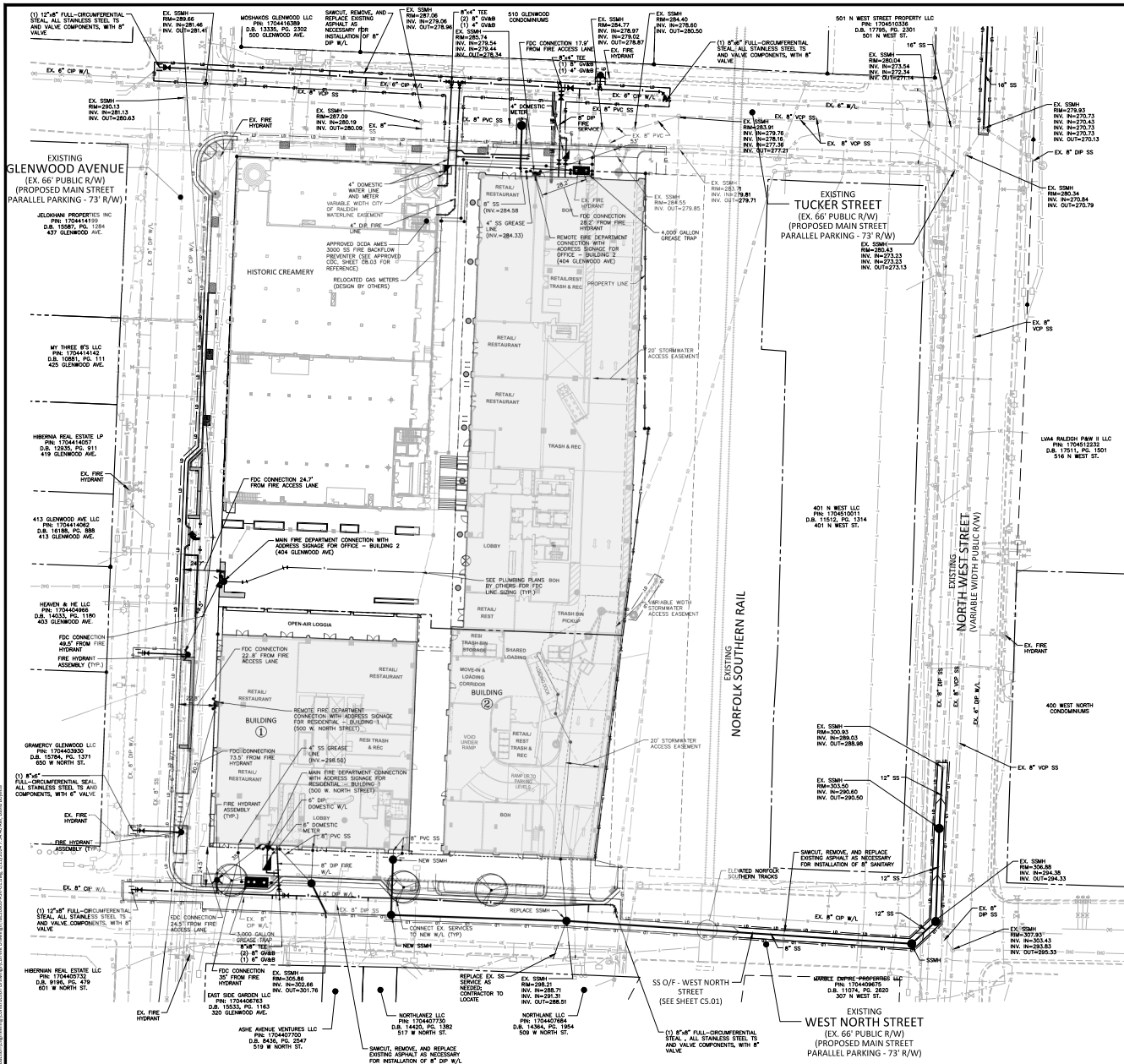
REVISIONS

NO.	DATE	DESCRIPTION
1	10.06.2023	RESPONSE TO 1ST AIA REVIEW
2	12.08.2023	RESPONSE TO 2ND AIA REVIEW
3	01.22.2024	RESPONSE TO 3RD AIA REVIEW

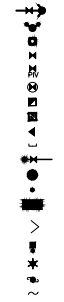
PLAN INFORMATION

PROJECT NO.	TBE-20000
FILENAME	TBE20000-SPR-G1
CHECKED BY	CGH
DRAWN BY	CDR
SCALE	1"=30'
DATE	08.07.2023

SHEET
GRADING AND STORM DRAINAGE PLAN
C3.00



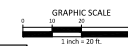
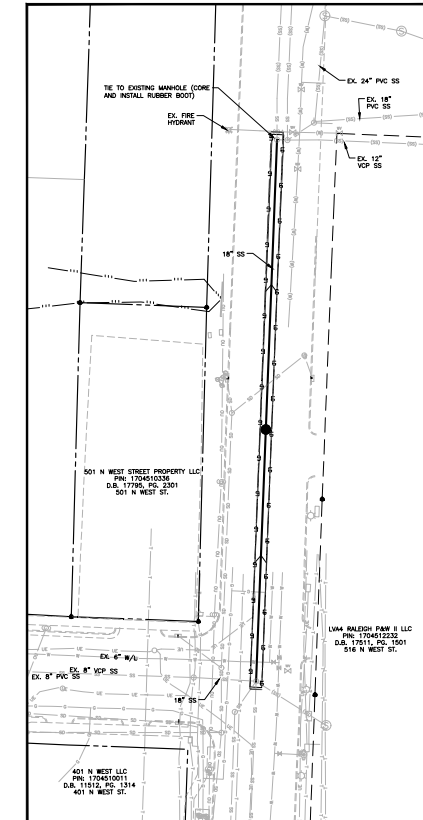
UTILITY LEGEND



FIRE HYDRANT ASSEMBLY
FIRE DEPARTMENT CONNECTION (FDC)
WATER METER
WATER VALVE
POST INDICATOR VALVE
VALVE IN MANHOLE
METER & VAULT
BACKFLOW PREVENTER
REDUCER
PLUG
BLOW-OFF ASSEMBLY
SANITARY SEWER MANHOLE
SEWER CLEAN-OUT
GREASE TRAP
SEWER FLOW DIRECTION
ARROW
YARD LIGHTS
LIGHT POLE
POWER POLE
LINE BREAK SYMBOL

WATERLINE
WATER SERVICE LINE
UTILITY SLEEVE
SANITARY SEWER
SEWER SERVICE LINE
SEWER FORCE MAIN
GAS LINE
OVERHEAD UTILITY
UNDERGROUND ELECTRIC
TELEPHONE
EASEMENT LINE

INSET "A"



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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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THE CREAMERY
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RALEIGH, NORTH CAROLINA, 27603

REVISIONS

NO.	DATE	DESCRIPTION
1	10.08.2023	RESPONSE TO 1ST ASR REVIEW
2	12.08.2023	RESPONSE TO 2ND ASR REVIEW
3	01.22.2024	RESPONSE TO 3RD ASR REVIEW

PLAN INFORMATION

PROJECT NO. TBE-20000
FILENAME TBE20000-ASR-U1
CHECKED BY CGH
DRAWN BY CDR
SCALE 1"=30'
DATE 08.07.2023
SHEET

UTILITY PLAN

C4.00



CLIENT

THE CREAMERY
DESIGN DEVELOPMENT
400 & 410 GLENWOOD AVENUE
RALEIGH, NORTH CAROLINA, 27603

PLAN INFORMATION

SHEET

C8.00

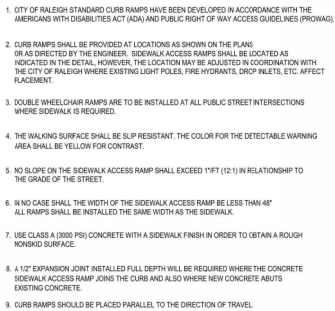


Figure 10 consists of six diagrams illustrating different curb and gutter cross-sections. Each diagram shows a cross-section of a road with a curb, gutter, and sidewalk. The dimensions are given in feet and inches.

- 1. 30' CURB & GUTTER:** Shows a cross-section with a 12' curb, 18' gutter, and 12' sidewalk. The total width is 30'.
- 2. 30' VALLEY TYPE GUTTER:** Shows a cross-section with a 12' curb, 18' gutter, and 12' sidewalk. The total width is 30'.
- 3. 30' COMPACTED CURB & GUTTER:** Shows a cross-section with a 12' curb, 18' gutter, and 12' sidewalk. The total width is 30'.
- 4. 30' COMPACTED CURB & GUTTER:** Shows a cross-section with a 12' curb, 18' gutter, and 12' sidewalk. The total width is 30'.
- 5. 30' COMPACTED CURB & GUTTER:** Shows a cross-section with a 12' curb, 18' gutter, and 12' sidewalk. The total width is 30'.
- 6. 30' COMPACTED CURB & GUTTER:** Shows a cross-section with a 12' curb, 18' gutter, and 12' sidewalk. The total width is 30'.

CITY OF RALEIGH		
STANDARD DETAIL		
DESIGN	DATE 02/20/10	NOT TO SCALE
BY 12/3/02	CURB RAMPS	
	T-20.01.1	

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



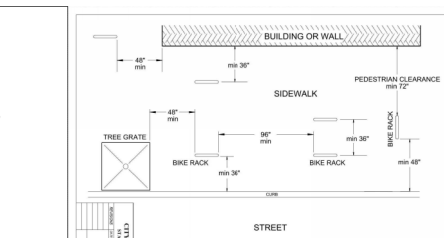
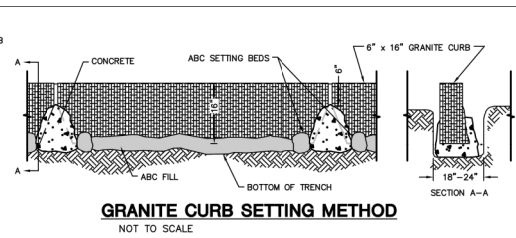
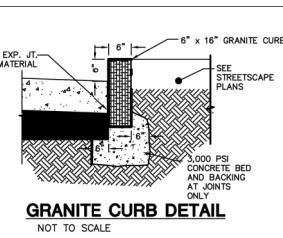
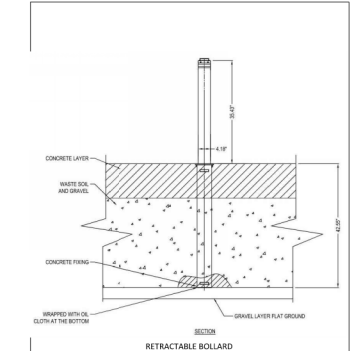
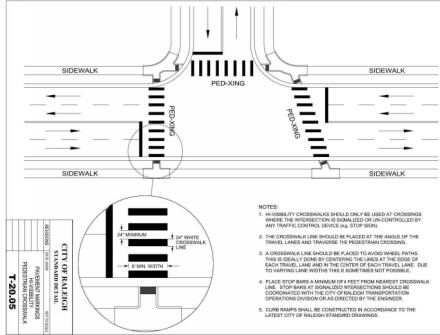
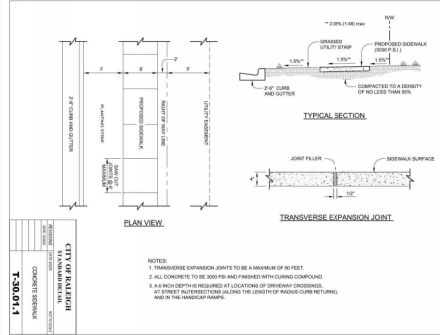
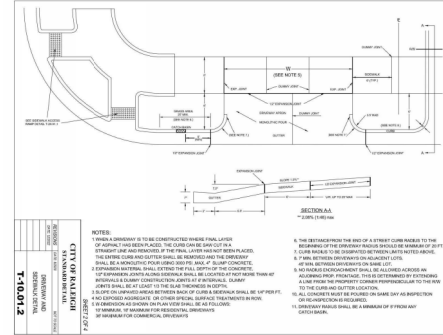
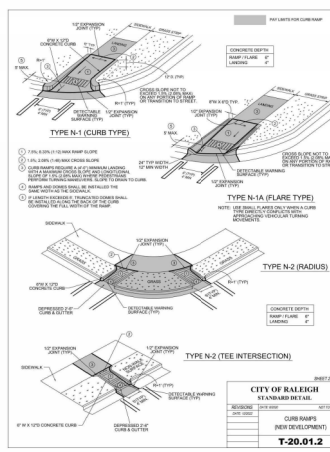
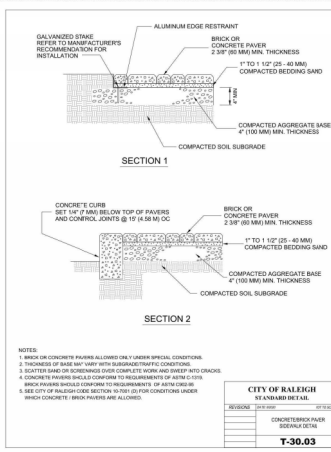
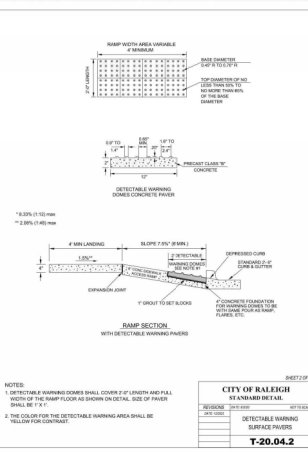
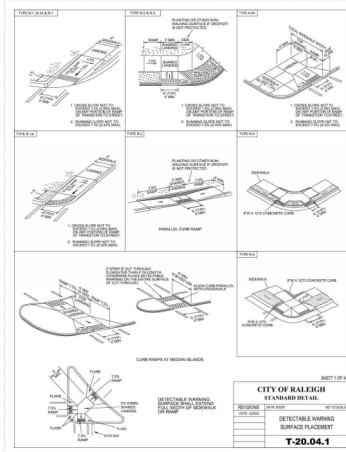
McADAMS

The John R. McAdams Company, Inc.
621 Hillsborough Street
Suite 500
Raleigh, NC 27603
phone 919.361.5000
fax 919.361.2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT

410 GLENWOOD AVENUE PROPERTY LLC
4 BRYANT PARK, SUITE 200
NEW YORK, NY 10018
PHONE: 646.503.5717

THE CREAMERY DESIGN DEVELOPMENT 400 & 410 GLENWOOD AVENUE RALEIGH, NORTH CAROLINA, 27603



ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE CURRENT CITY OF
RALEIGH ENGINEERING DESIGN AND
CONSTRUCTION STANDARDS

REVISIONS

NO.	DATE	DESCRIPTION
1	10.06.2023	RESPONSE TO 1ST ASR REVIEW
2	12.08.2023	RESPONSE TO 2ND ASR REVIEW
3	01.22.2024	RESPONSE TO 3RD ASR REVIEW

PLAN INFORMATION

PROJECT NO.	TBE-20000
FILENAME	TBE200000-SPR-D1
CHECKED BY	LJV
DRAWN BY	JLB
SCALE	NTS
DATE	08.07.2023

SHEET

SITE DETAILS

C8.01

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**CLIENT**

THE CREAMERY
DESIGN DEVELOPMENT
400 & 410 GLENWOOD AVENUE
RALEIGH, NORTH CAROLINA, 27603

400 & 410 GLENWOOD AVENUE
RALEIGH, NORTH CAROLINA, 27603

WATER DETAILS

CS.02





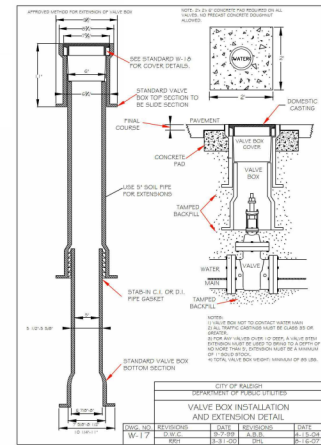
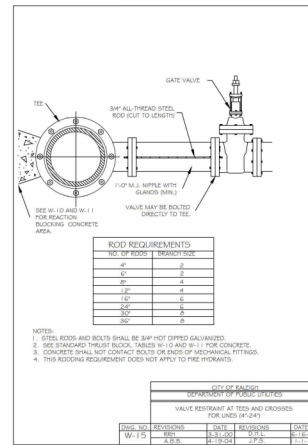
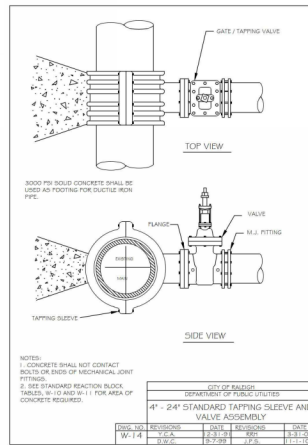
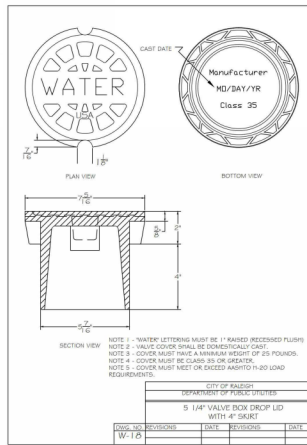
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THE CREAMERY DESIGN DEVELOPMENT 400 & 410 GLENWOOD AVENUE RALEIGH, NORTH CAROLINA, 27603



City of Raleigh Public Utilities
Cross Connection Program
Certificate of Compliance Application
Existing Service

DATE: 3/4/2022
FILE: 1704417007

Address: 410 Glenwood Ave, Raleigh, NC 27606

Site Address: 410 Glenwood Ave, Raleigh, NC 27606

City: Raleigh, State: NC, Zip Code: 27606

Customer Name: 410 Glenwood Ave, Raleigh, NC 27606

Water Service: 410 Glenwood Ave, Raleigh, NC 27606

Sanitary: 410 Glenwood Ave, Raleigh, NC 27606

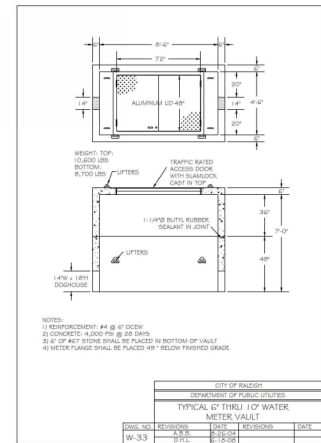
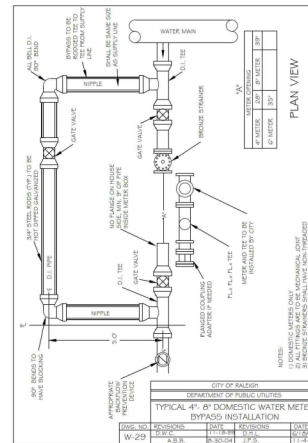
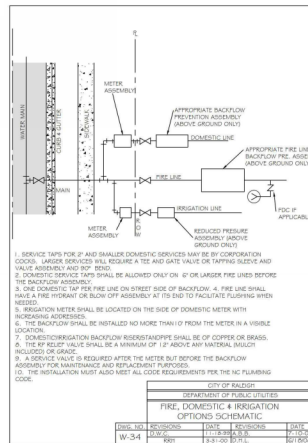
Fire: 410 Glenwood Ave, Raleigh, NC 27606

Other: 410 Glenwood Ave, Raleigh, NC 27606

Signature: [Signature]
Date: 3/4/2022

Seal: [Seal]

410 Glenwood Avenue Property LLC, 301.366 - 6222
4 Bryant Park, Suite 200, New York, NY 10018



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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3	01.22.2024	RESPONSE TO 3RD ASR REVIEW

PLAN INFORMATION

PROJECT NO. TBE-20000
FILENAME TBE20000-SPR-D1
CHECKED BY LV
DRAWN BY JLB
SCALE NTS
DATE 08.07.2023

SHEET

WATER DETAILS

C8.03



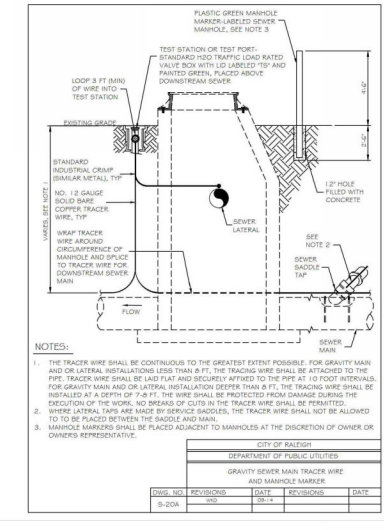
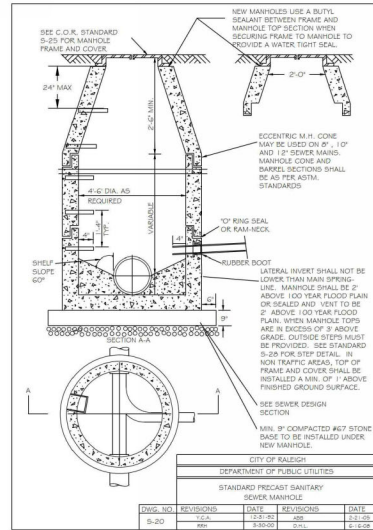
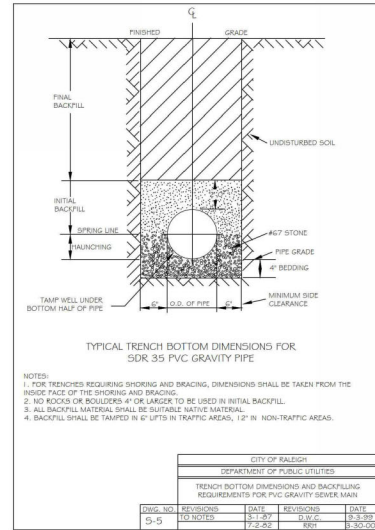
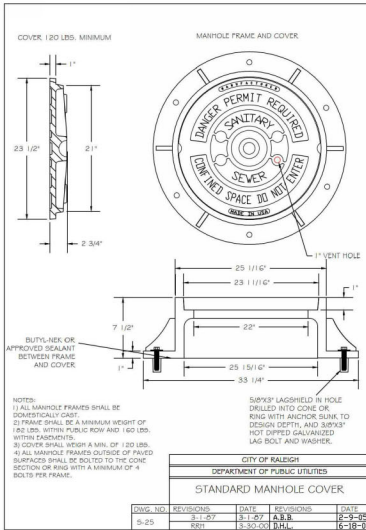
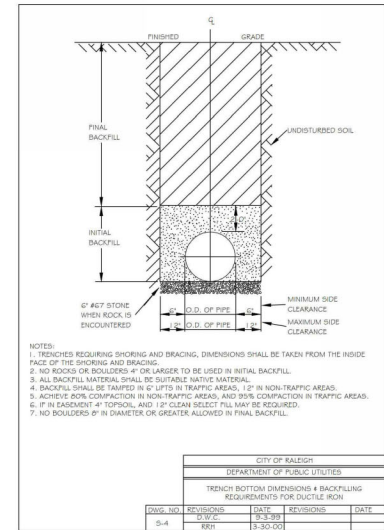
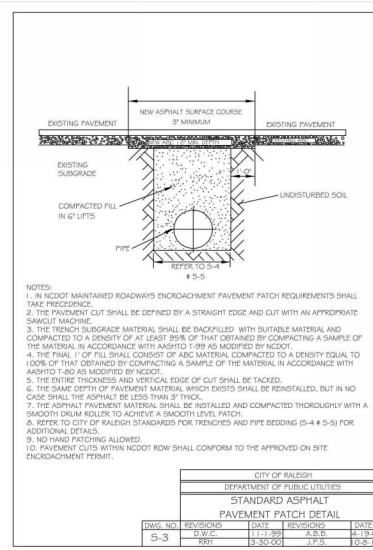
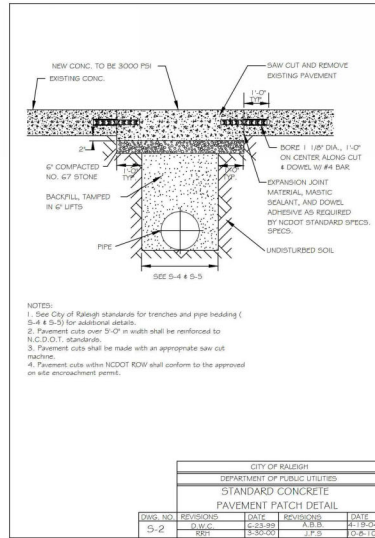
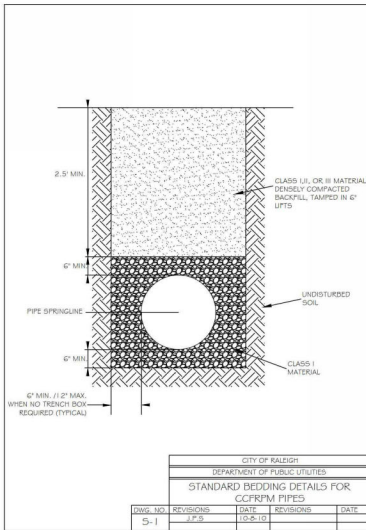
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CLIENT

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NEW YORK, NY 10018
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THE CREAMERY
DESIGN DEVELOPMENT
400 & 410 GLENWOOD AVENUE
RALEIGH, NORTH CAROLINA, 27603



REVISIONS

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3	01.22.2024	RESPONSE TO 3RD AIA REVIEW

PLAN INFORMATION

PROJECT NO. TBE-20000
FILENAME TBE200000-SPR-D1
CHECKED BY LV
DRAWN BY JLB
SCALE NTS
DATE 08.07.2023

SEWER DETAILS

C8.04

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE CURRENT CITY OF
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CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

STORMWATER CONTROL MEASURE CONSTRUCTION SPECIFICATIONS
GENERAL NOTES

- ANY DISCREPANCIES IN THE PLANS AND NOTES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.
- THE CONTRACTOR SHALL MAKE HIMSELF FAMILIAR WITH ALL OF THE OBSERVATION, TESTING, AND AS-BUILT CERTIFICATION REQUIREMENTS OF THE CITY OF RALEIGH. THIS PROGRAM REQUIRES PRELIMINARY OBSERVATION, TESTING, AND CERTIFICATION BY BOTH THE DESIGN ENGINEER AND THE GEOTECHNICAL ENGINEER PRIOR TO AND DURING CONSTRUCTION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT OBSERVATION, TESTING, AND CERTIFICATION REPORTS ARE COORDINATED WITH THE DESIGN ENGINEER AND THE GEOTECHNICAL ENGINEER. NO CERTIFICATES OF OCCUPANCY SHALL BE ISSUED BY THE CITY OF RALEIGH UNTIL THIS FACILITY IS ACCEPTED UNDER THE CITY'S AS-BUILT REQUIREMENTS.
- PRIOR TO ANY CONSTRUCTION OR PLACEMENT OF ANY BACKFILL, THE ON-SITE GEOTECHNICAL ENGINEER SHALL INSPECT THE EXCAVATION AREA FOR THE UNDERGROUND SYSTEM WITHIN THIS AREA TO ASSESS WHETHER SUITABLE SOILS EXIST AT THE SUBGRADE LEVEL. IF THE CONTRACTOR CONSTRUCTS AND COVERS UP THE UNDERGROUND SYSTEM PRIOR TO INSPECTION, THEN THIS AREA SHALL BE UNCOVERED AND TESTED TO THE ENGINEER'S AND OWNER'S APPROVAL AT THE CONTRACTOR'S EXPENSE.
- THE FACILITY SHALL NOT BE USED AS A TEMPORARY EROSION CONTROL DEVICE (E.G. SEDIMENT TRAP OR SEDIMENT BASIN) DURING CONSTRUCTION.
- ONCE CONSTRUCTED, THE STORMWATER CONTROL MEASURE SHALL NOT RECEIVE STORMWATER RUNOFF UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA TO THE STORMWATER FILTERS HAS BEEN COMPLETELY STABILIZED AND SITE CONSTRUCTION IS COMPLETE.
- ALL COMPONENTS OF THE UNDERGROUND SYSTEM (JOINT / RISER CONNECTIONS, ENDCAPS, ACCESS MANHOLES, ETC.) SHALL BE DESIGNED BY OTHERS. PRIOR TO ORDERING OR INSTALLATION, THE SITE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN NORTH CAROLINA, TO THE DESIGN ENGINEER FOR REVIEW. THE STRUCTURAL DESIGN OF THE UNDERGROUND SYSTEM, ALONG WITH ITS ASSUMPTIONS, IS ALSO BY OTHERS. THE JOHN R. MCADAMS COMPANY, INC. AND ITS EMPLOYEES ASSUME NO LIABILITY WITH RESPECT TO ANY ASPECT OF THE STRUCTURAL DESIGN FOR THE UNDERGROUND SYSTEM.
- THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM VARIOUS PARTS OF THE SYSTEM SITE. IT IS ANTICIPATED THAT PUMPING WILL BE NECESSARY IN THE EXCAVATION AREAS. DURING PLACEMENT OF FILL WITHIN THIS AREA (OR OTHER AREAS AS NECESSARY), THE CONTRACTOR SHALL KEEP THE WATER LEVEL BELOW THE BOTTOM OF THE EXCAVATION. THE MANNER IN WHICH THE WATER IS REMOVED SHALL BE SUCH THAT THE EXCAVATION BOTTOM AND SLOPES ARE STABLE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADHERE TO ALL CURRENT OSHA REGULATIONS FOR CONFINED SPACE ENTRY AND PROVIDE SUCH DURING ENGINEER WALK-THROUGH/INSPECTION.
- ALL PIPE PENETRATIONS THROUGH A PRECAST CONCRETE STRUCTURE (I.E. STORM FILTER SYSTEM, STORM DRAINAGE MANHOLES, ETC.) SHALL BE MADE WATER-TIGHT USING NON-SHRINK CEMENTITIOUS GROUT.

FOUNDATION NOTES

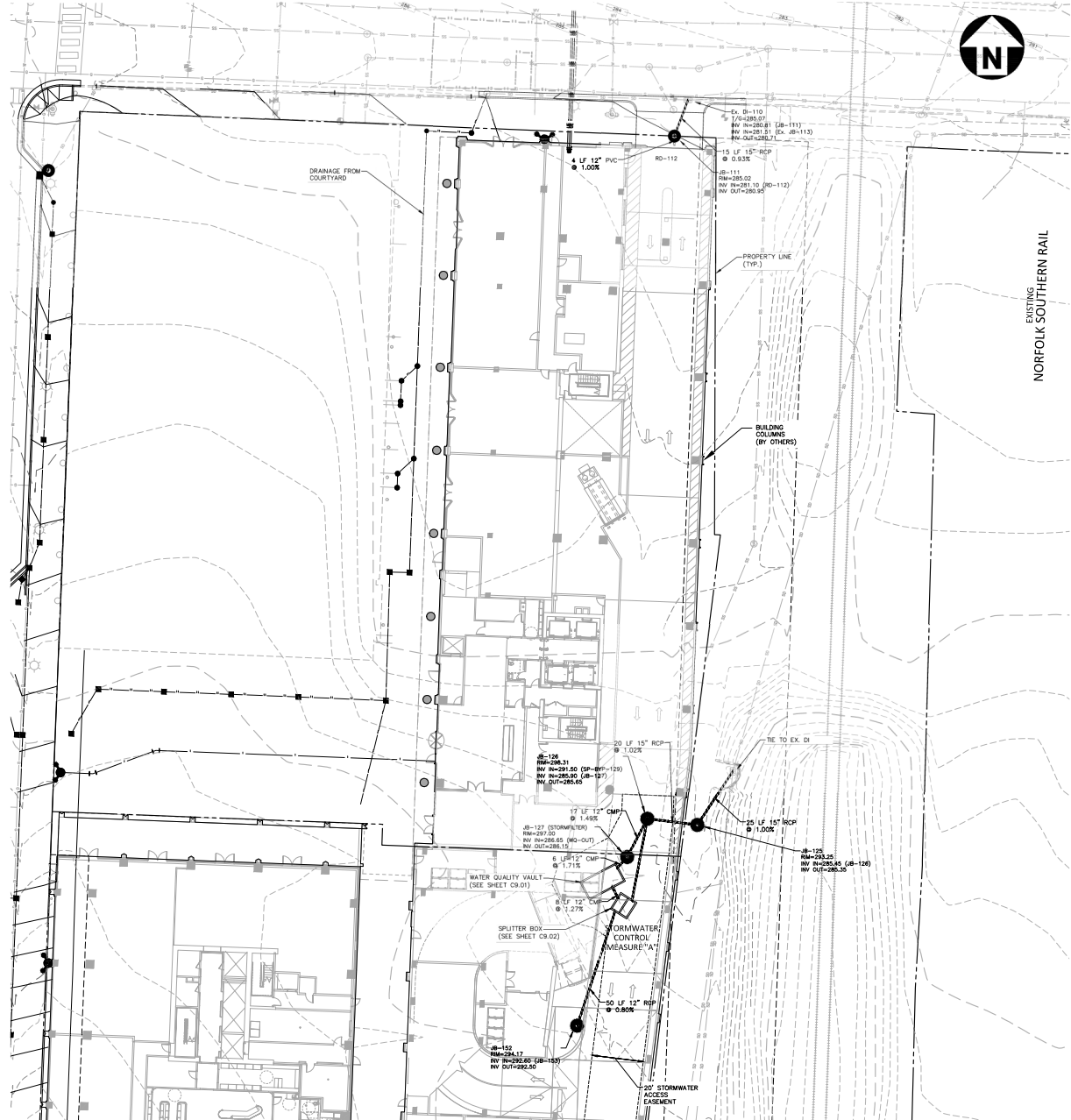
- ONCE THE EXCAVATION IS COMPLETE AND PRIOR TO INSTALLATION OF THE UNDERGROUND SYSTEM, THE ON-SITE GEOTECHNICAL ENGINEER SHALL VERIFY THE BEARING CAPACITY OF THE UNDERLYING SOILS TO BE USED AS A FOUNDATION FOR THE UNDERGROUND SYSTEM. IF THE ON-SITE GEOTECHNICAL ENGINEER DETERMINES THE FOUNDATION SOILS ARE UNSUITABLE, THEN THE UNSUITABLE MATERIAL SHOULD BE REMOVED DOWN TO A SUITABLE DEPTH AND THEN BUILT BACK UP TO THE CORRECT ELEVATION WITH A COMPACTED BACKFILL MATERIAL THAT IS APPROVED BY THE ON-SITE GEOTECHNICAL ENGINEER. THE APPROVED BACKFILL MATERIAL SHOULD HAVE A GRADATION THAT WILL NOT ALLOW THE MIGRATION OF FINES, WHICH COULD CAUSE SETTLEMENT OF THE UNDERGROUND SYSTEM. IF NECESSARY, A GEOTEXTILE FABRIC CAN BE USED TO SEPARATE THE UNDERLYING SOILS AND THE BACKFILL MATERIAL. THIS GEOTEXTILE FABRIC (IF USED) IS TO BE SPECIFIED BY THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM THE EXCAVATION.

BACKFILL MATERIAL NOTES

- THE ON-SITE GEOTECHNICAL ENGINEER SHALL SPECIFY THE BACKFILL MATERIAL FOR THE UNDERGROUND SYSTEM.
- THE BACKFILL MATERIAL SHOULD BE FREE OF ROCKS, FROZEN LUMPS, AND OTHER FOREIGN MATTER THAT COULD CAUSE HARD SPOTS WITHIN THE BACKFILL MATERIAL, OR THAT COULD DECOMPOSE AND CREATE VOIDS.
- HIGHLY PLASTIC SILTS, HIGHLY PLASTIC CLAYS, ORGANIC SILTS, ORGANIC CLAYS, AND PEATS SHOULD NOT BE USED AS A BACKFILL MATERIAL.
- THE BACKFILL MATERIAL SHOULD BE PLACED IN 4" LOOSE LIFTS AND COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D998). THE FILL SOILS SHALL BE COMPACTED AT A MOISTURE CONTENT WITHIN +/- TWO PERCENT OF ITS OPTIMUM MOISTURE CONTENT.
- ANY MATERIAL STOCKPILING ON TOP OF THE UNDERGROUND SYSTEM SHALL BE APPROVED BY THE STRUCTURAL DESIGN ENGINEER.

STATEMENT OF RESPONSIBILITY

- ALL REQUIRED MAINTENANCE AND INSPECTIONS OF THIS FACILITY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, PER THE EXECUTED OPERATION AND MAINTENANCE AGREEMENT FOR THIS FACILITY.



STORMWATER MANAGEMENT FACILITY 'A' PLAN VIEW

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



McADAMS

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fax 919.361.2269
license number: C-0293, C-187
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CLIENT

410 GLENWOOD AVENUE PROPERTY LLC
4 BRYANT PARK, SUITE 200
NEW YORK, NY 10018
PHONE: 646.503.5717

THE CREAMERY
DESIGN DEVELOPMENT
400 & 410 GLENWOOD AVENUE
RALEIGH, NORTH CAROLINA 27603

REVISIONS

NO.	DATE	
1	10.06.2023	RESPONSE TO 1ST ASR REVIEW
2	12.08.2023	RESPONSE TO 2ND ASR REVIEW
3	01.22.2024	RESPONSE TO 3RD ASR REVIEW

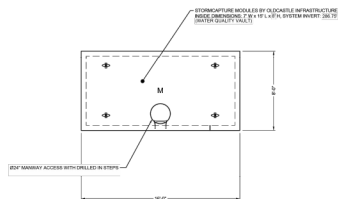
PLAN INFORMATION

PROJECT NO. TBE-20000
FILENAME TBE20000-ASR-SWA
CHECKED BY CGH
DRAWN BY JRB
SCALE 1"=20'
DATE 08.07.2023

SHEET

STORMWATER FACILITY
'A' PLAN VIEW

C9.00



DESIGN NOTES

- DESIGN NOTES:
1. LIVE LOAD CRITERIA:
 - A. AASHTO HS-20-44 DESIGN TRUCK (WITH PATCH) AT 5.0 FT MINIMUM COV
 - B. LATERAL LIVE LOAD BURDEN: 80 PSF (TO 8.0 FT DEPTH)
 2. DEAD LOAD CRITERIA:
 - A. GRADE, SURFACE, CURB, SIDEWALK, DRIVE, DRIVEWAYS, WALLS, FOUNDATIONS, OR ANY ADDITIONAL, SITE ELEMENTS
 3. SOIL LOAD CRITERIA:
 - A. SOIL COVER DEPTH: 1.05 FT (MIN.) - 5.05 FT (MAX.)
 - B. SOIL UNIT WEIGHT: 120 PCF
 - C. SUBGRADE WATER TABLE: TO BE DETERMINED BELOW BOTTOM OF PRECAST
 - D. REQUIRED ALLOWABLE BEARING PRESSURE: 2,500 PSF
 - E. EQUIVALENT LATERAL FLUID PRESSURE, ACTIVE: 45 PCF (DRAINED)
 - F. EQUIVALENT LATERAL FLUID PRESSURE, AT-REST: 30 PCF (DRAINED)
 - G. EQUIVALENT LATERAL FLUID PRESSURE, PASSIVE: 150 PCF (DRAINED)
 - H. EQUIVALENT COEFFICIENT OF FRICTION: 0.30
 - I. SEISMIC LATERAL EARTH PRESSURES: NOT APPLICABLE
 4. STORMWATER PUMPING MODULE TYPE: DETENTION (SLOTTING):
 - A. CONCRETE NORMAL WEIGHT
 - B. MIN. 28-DAY COMPRESSIVE STRENGTH: 6,000 PSI
 - C. CEMENT: ASTM C150
 - D. STEEL: REINFORCING BARS #1 / #36 / #40 / #56 / #60, ASTM A1034 (GRADE 60)
 - E. REFERENCE STANDARDS: ASTM C913, C83, ASTM C318-14



Oldcastle Infrastructure
800.526.5729 • www.oldcastleinfrastructure.com

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STORMCAPTURE® STORMCHASER SYSTEM		Estimated: 1	Actual: 
CUSTOMER			
KH			
JOB NAME: THE CREAMERY - RALEIGH, NC		JOB NUMBER: 724345	
DATE: 06/27/22	SITE: 03	AREA: JMS	DESIGN: -
22-724345-SC1 0-4		1 OF 5	

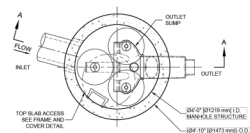


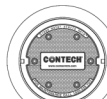
Diagram illustrating the components of a stormwater storage tank, including labels for the contractor to grind to finished grade, manhole reinforcement, inlet pipe, stormwater overflow, hydraulic design (see detail 101), sealed outlet bench, and finish of grade.

The Stormwater Management
StormFilter®

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (3). VOLUME SYSTEM IS ALSO AVAILABLE WITH MAXIMUM 3 CARTRIDGES. 04 [1219 mm] MANHOLE STORMFILTER WITH SEALED OUTLET PIPER MAY REQUIRE AN UPSTREAM BYPASS STRUCTURE.

CARTRIDGE SELECTION				
CARTRIDGE HEIGHT	27" (690 mm)		18" (458 mm)	
RECOMMENDED HYDRAULIC DROP (in)	5.00 (125 mm)		2.3" (59 mm)	
SPECIFIC FLOW RATE (gpm/in ²) (lpm/in ²)	2 (1.30)	1.5 (1.06)	1.2 (1.06)	1 (0.65)
CARTRIDGE FLOW RATE (gpm) (lpm)	22.5 (14.0)	27 (17.1)	15 (9.5)	10 (6.3)

* 1.67 gpm/ft² [1.08 l/min/ft²] SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOGOR® (PSOR®) MEDIA ONLY



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

SITE SPECIFIC

DATA REQUIREMENTS			
STRUCTURE ID			*
WATER QUALITY FLOW RATE (l/s) (L/s)			*
PEAK FLOW RATE (cfs) (L/s)			*
RETURN PERIOD OF PEAK FLOW (yrs)			*
CARTRIDGE HEIGHT (SEE TABLE ABOVE)			*
NUMBER OF CARTRIDGES REQUIRED			*
CARTRIDGE FLOW RATE			*
MEDIA TYPE (PERLITE, ZPS, PEGSOL)			*
PIPE DATA:	I.E.	MATERIAL	DIAMETER
INLET PIPE #1	*	*	*
INLET PIPE #2	*	*	*
OUTLET PIPE	*	*	*
SLIM RIG EVALUATION			*

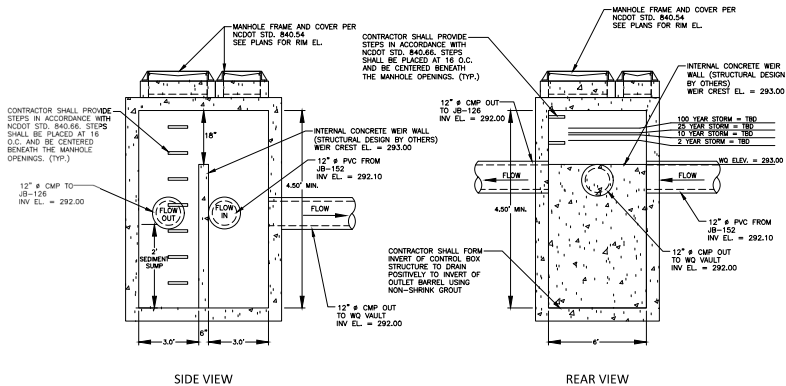
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	"	"
NOTES/SPECIAL REQUIREMENTS:		
* RES. ENGINEER OF RECORD		

* PER ENGINEER OF RECORD

- [illegible]

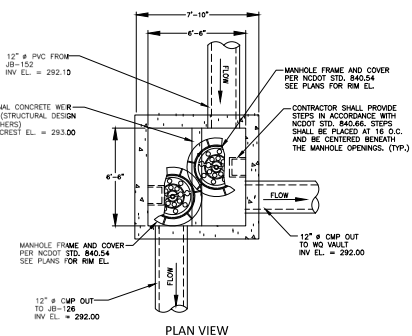
CONTECH®
ENGINEERED SOLUTIONS LLC
www.contechES.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH
937.538.0177 937.649.3900 937.649.3900

SFMH48 W/ SEALED OUTLET RISER
STORMFILTER
STANDARD DETAIL



SIDE VIEW

REAR VIEW



PLAN VIEW

CONCRETE FLOW SPLITTER CONTROL BOX DETAILS

N.T.S.

REVISIONS		
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PLAN INFORMATION

PROJECT NO.	TBE-20000
FILENAME	TBE20000-ASR-SWA
CHECKED BY	CGH
DRAWN BY	JRB
SCALE	N.T.S.
DATE	08.07.2023

SHEET

**STORMWATER FACILITY
'A' DETAILS**

C9.01

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



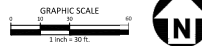
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THE CREAMERY
DESIGN DEVELOPMENT
400 & 410 GLENWOOD AVENUE
RALEIGH, NORTH CAROLINA, 27603



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS.



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PROJECT NO.	TBE-20000
FILENAME	TBE20000-SPR-LS1
CHECKED BY	DCT
DRAWN BY	TEA
SCALE	1"=30'
DATE	08.07.2023

SHEET
LANDSCAPE AND
STREET FURNITURE PLAN
L5.00



McADAMS

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RALEIGH, NORTH CAROLINA, 27603

REVISIONS

NO.	DATE	DESCRIPTION
1	10.06.2023	RESPONSE TO 1ST ASR REVIEW
2	12.08.2023	RESPONSE TO 2ND ASR REVIEW
3	01.22.2024	RESPONSE TO 3RD ASR REVIEW

PLAN INFORMATION

PROJECT NO. TBE-20000
FILENAME TBE20000-ASR-U1
CHECKED BY CGH
DRAWN BY CDR
SCALE 1"=30'
DATE 08.07.2023
SHEET

LIGHTING PLAN

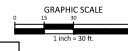
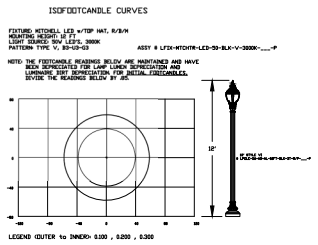
L6.00

CALCULATION SUMMARY		GRID / TYPE		# FPS		SPAC	GROUP	AVE	MAX	MIN	MAX/MIN	AVE/MIN
AREA NAME	DIMENSIONS	PROP	/	100	100	100	100	100	100	100	100	100
Project: 2000	500' x 500' x 500'	100	/	100	100	100	100	100	100	100	100	100

PROPOSED LIGHT FIXTURE		LAMP		LUMENS	MOUNTING/BALLAST	LAF	QTY	CUTOFF	TYPE / OPTION	PROVIDED BY
TYP	SYMBOL	DESCRIPTION	50 WATT LED	4,329	12"	0.80	7	CUTOFF		CLIENT
BLDG		BUILDING/CANOPY LIGHTS	LED	600	6"	0.80	11	CUTOFF		CLIENT

NOTES

- ROADWAY DESIGN IS NOT INCLUDED IN THIS LIGHTING PLAN. DESIGN IS BY OTHERS.
- THE OUTDOOR AMENITY AREA WILL ALSO INCLUDE TREE UP-LIGHTS, AND STRING LIGHTS. ALL ARCHITECTURAL ACCENTS LIGHTS WILL BE DESIGNED TO PREVENT OFFSITE SPILL INTO THE NIGHT SKY.
- ALL BUILDING MOUNTED AND CANOPY LIGHTS TO MEET CITY OF RALEIGH UDO ORDINANCE ARTICLE 7.4 SITE LIGHTING.
- DUKE ENERGY MITCHELL SERIES LED SHALL HAVE A POLE MOUNTED HEIGHT OF 12'.



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

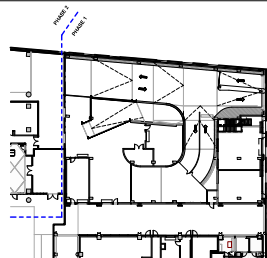
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PROJECT	2101	DATE
ISSUE	ASR SUBMISSION	09/07/2023
	ASR 1ST REVIEW	10/06/2023
	ASR 2ND REVIEW	12/19/2023

REVISION	DESCRIPTION	DATE

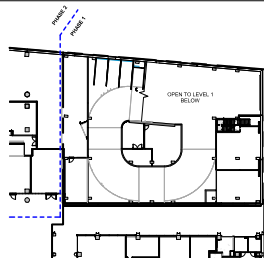
CONTENT: PARKING FLOOR PLANS



GARAGE LEVEL 1 1
 1" = 40'-0"

PHASE 2
 0 Standard
 0 Compact
 0 ADA
 0 VAN
 0 TOTAL

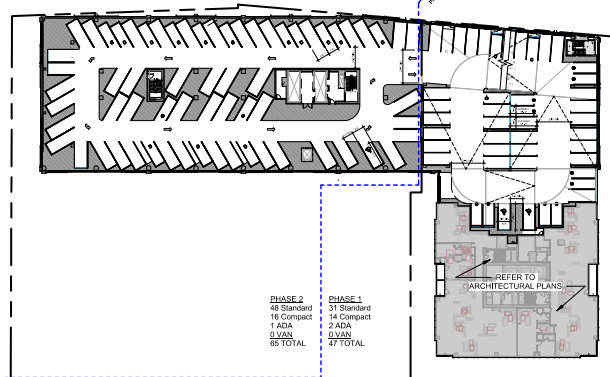
PHASE 1
 0 Standard
 0 Compact
 0 ADA
 0 VAN
 0 TOTAL



GARAGE LEVEL 1 MEZZ 1M
 1" = 40'-0"

PHASE 2
 0 Standard
 0 Compact
 0 ADA
 0 VAN
 0 TOTAL

PHASE 1
 3 Standard
 1 Compact
 1 ADA
 0 VAN
 4 TOTAL



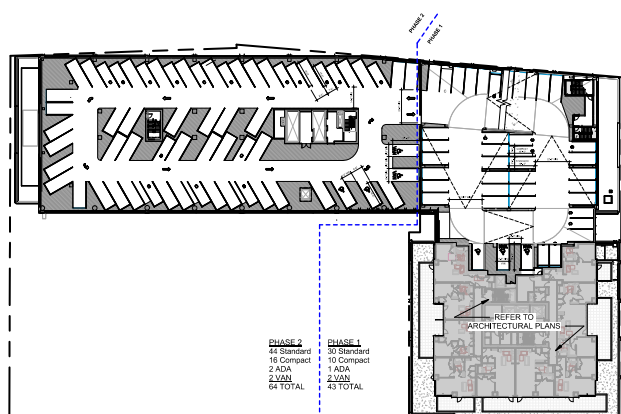
GARAGE LEVEL 5 5
 1" = 40'-0"

PHASE 2
 48 Standard
 16 Compact
 0 ADA
 0 VAN
 64 TOTAL

PHASE 1
 31 Standard
 14 Compact
 2 ADA
 0 VAN
 47 TOTAL

REFER TO ARCHITECTURAL PLANS

Ph 1	S	C	A	V	TTL
L1	0	0	0	0	0
L1M	3	1	0	0	4
L2	30	10	1	2	43
L3	31	14	2	0	47
L4	31	14	2	0	47
L5	31	14	2	0	47
L6	34	14	0	0	48
L7	34	14	0	0	48
L8	33	13	0	0	46
L8M	4	3	0	0	7
TTL	231	97	7	2	337

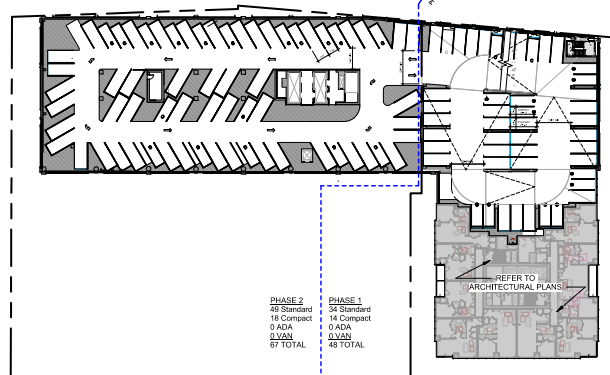


GARAGE LEVEL 2 2
 1" = 40'-0"

PHASE 2
 44 Standard
 16 Compact
 2 ADA
 2 VAN
 64 TOTAL

PHASE 1
 30 Standard
 10 Compact
 1 ADA
 2 VAN
 43 TOTAL

REFER TO ARCHITECTURAL PLANS



GARAGE LEVELS 6-7 6-7
 1" = 40'-0"

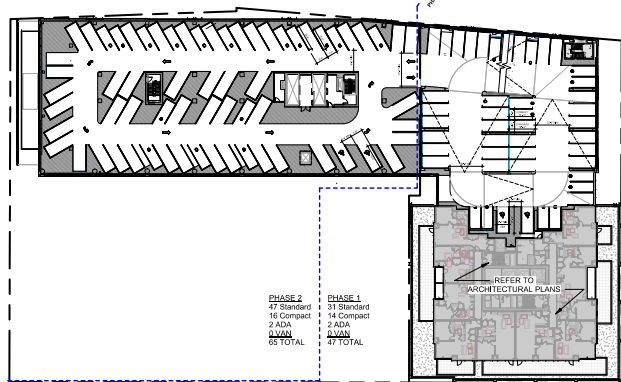
PHASE 2
 48 Standard
 16 Compact
 0 ADA
 0 VAN
 64 TOTAL

PHASE 1
 35 Standard
 14 Compact
 0 ADA
 0 VAN
 49 TOTAL

REFER TO ARCHITECTURAL PLANS

Ph 2	S	C	A	V	TTL
L1	0	0	0	0	0
L1M	0	0	0	0	0
L2	44	16	2	2	64
L3	47	16	2	0	65
L4	47	16	2	0	65
L5	48	16	1	0	65
L6	49	16	0	0	65
L7	49	16	0	0	65
L8	49	16	0	0	65
L8M	0	0	0	0	0
TTL	333	118	7	2	460

Ph 1+2	S	C	A	V	TTL
L1	0	0	0	0	0
L1M	3	1	0	0	4
L2	74	26	3	4	107
L3	78	30	4	0	112
L4	78	30	4	0	112
L5	79	30	3	0	112
L6	83	32	0	0	115
L7	83	32	0	0	115
L8	82	31	0	0	113
L8M	4	3	0	0	7
TTL	564	215	14	4	797

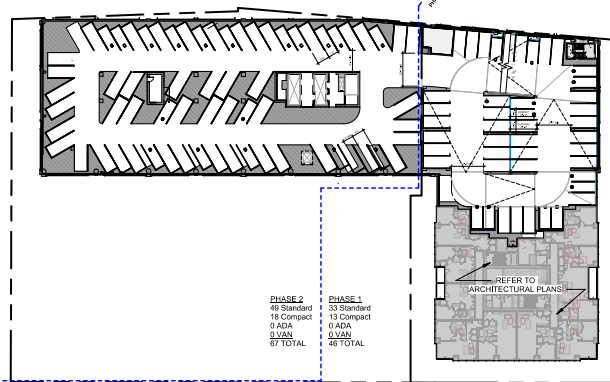


GARAGE LEVELS 3-4 3-4
 1" = 40'-0"

PHASE 2
 47 Standard
 16 Compact
 2 ADA
 0 VAN
 65 TOTAL

PHASE 1
 31 Standard
 14 Compact
 2 ADA
 0 VAN
 47 TOTAL

REFER TO ARCHITECTURAL PLANS

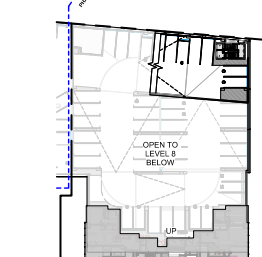


GARAGE LEVEL 8 8
 1" = 40'-0"

PHASE 2
 48 Standard
 16 Compact
 0 ADA
 0 VAN
 64 TOTAL

PHASE 1
 33 Standard
 13 Compact
 0 ADA
 0 VAN
 46 TOTAL

REFER TO ARCHITECTURAL PLANS



GARAGE LEVEL 8 MEZZ 8M
 1" = 40'-0"

PHASE 2
 0 Standard
 0 Compact
 0 ADA
 0 VAN
 0 TOTAL

PHASE 1
 4 Standard
 0 Compact
 0 ADA
 0 VAN
 4 TOTAL

REFER TO ARCHITECTURAL PLANS

[illegible]

OVERALL FLOOR PLAN - LEVEL 01

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NOT FOR CONSTRUCTION

CONTENT:	OVERALL PLAN -	TYP LOWER
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ASR-02



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CONTENT:	OVERALL PLAN -	TYP. UPPER
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ASR-03




$$3/64^{\circ} = 1.47^{\circ}$$

Owner: 410 Glenwood Avenue Property LLC
THE CREAMERY
 400-410 Glenwood Avenue, Raleigh, NC

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CONTENT:	TRASH & LOADING OVERALL PLAN- LEVEL 1
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ASR-04

Owner: 410 Glenwood Avenue Property LLC
THE CREAMERY
 400-410 Glenwood Avenue, Raleigh, NC

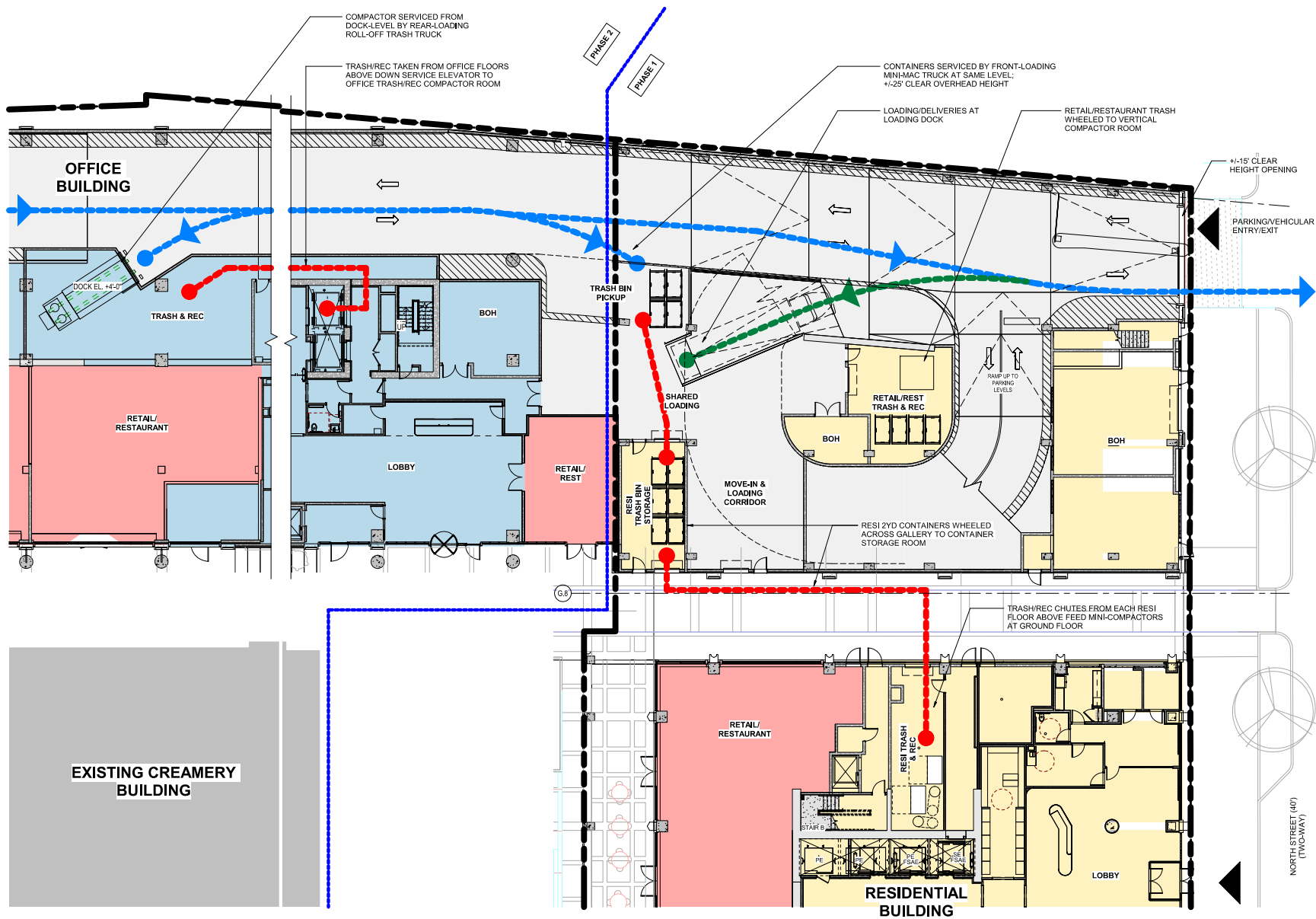
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[illegible]

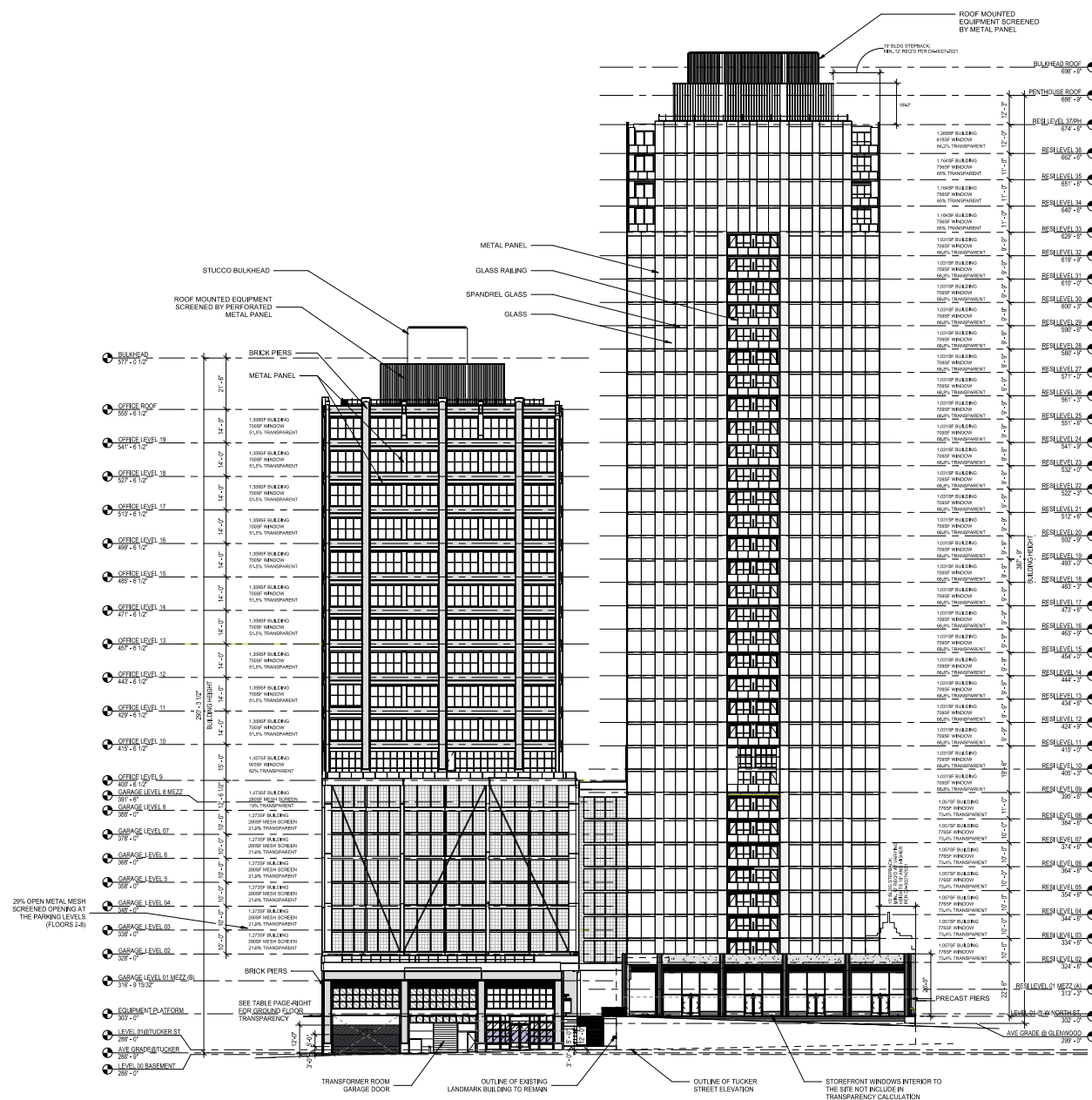
CONTENT:	TRASH & LOADING PLAN LEVEL 1	ENLARGED
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ASR-05

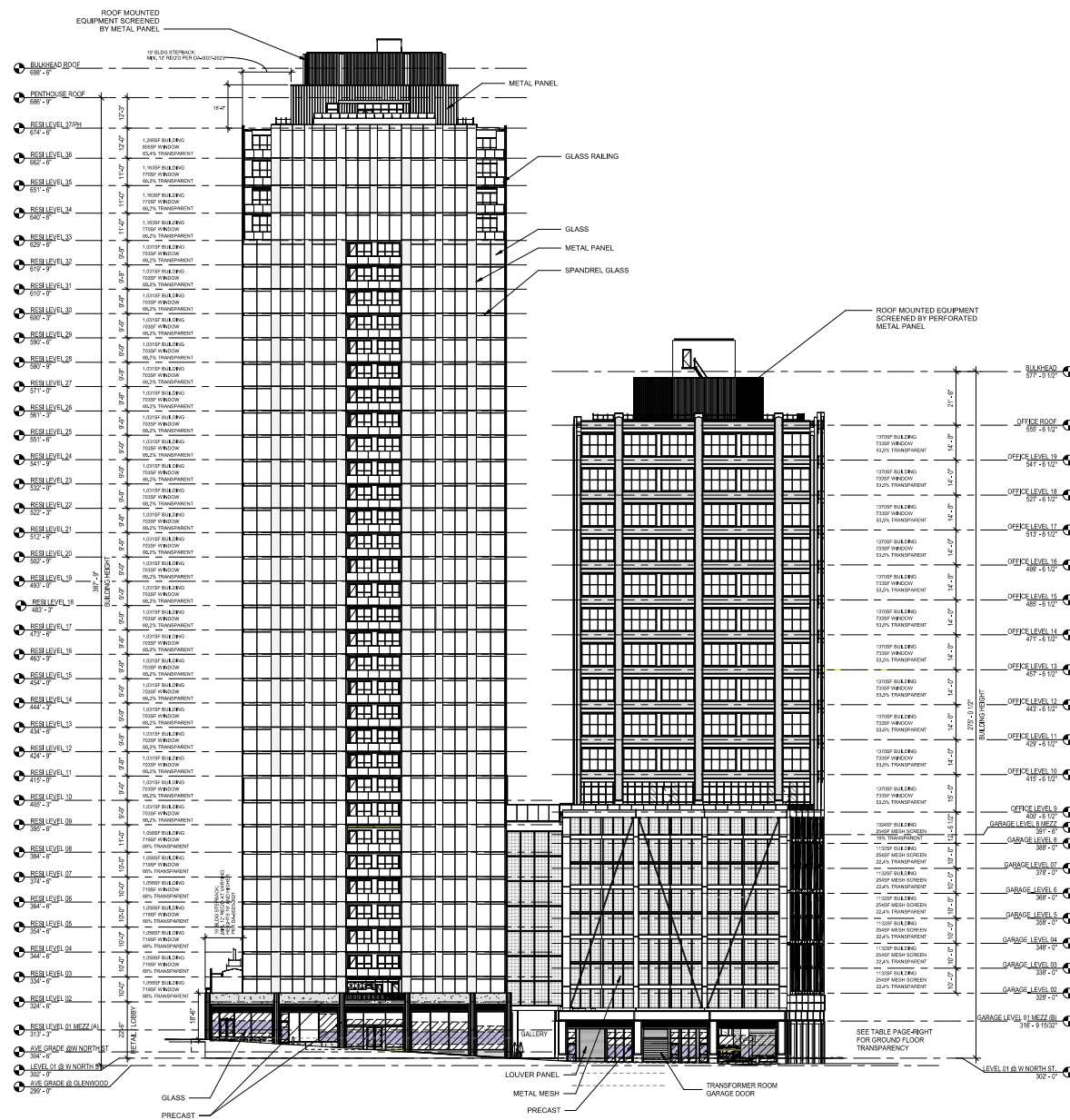


ENLARGED FLOOR PLAN - TRASH & LOADING DIAGRAM

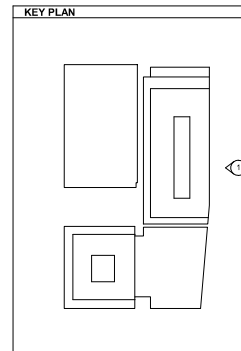
$$3/32" = 1'-0"$$

[illegible]

NORTH ELEVATION



SOUTH ELEVATION



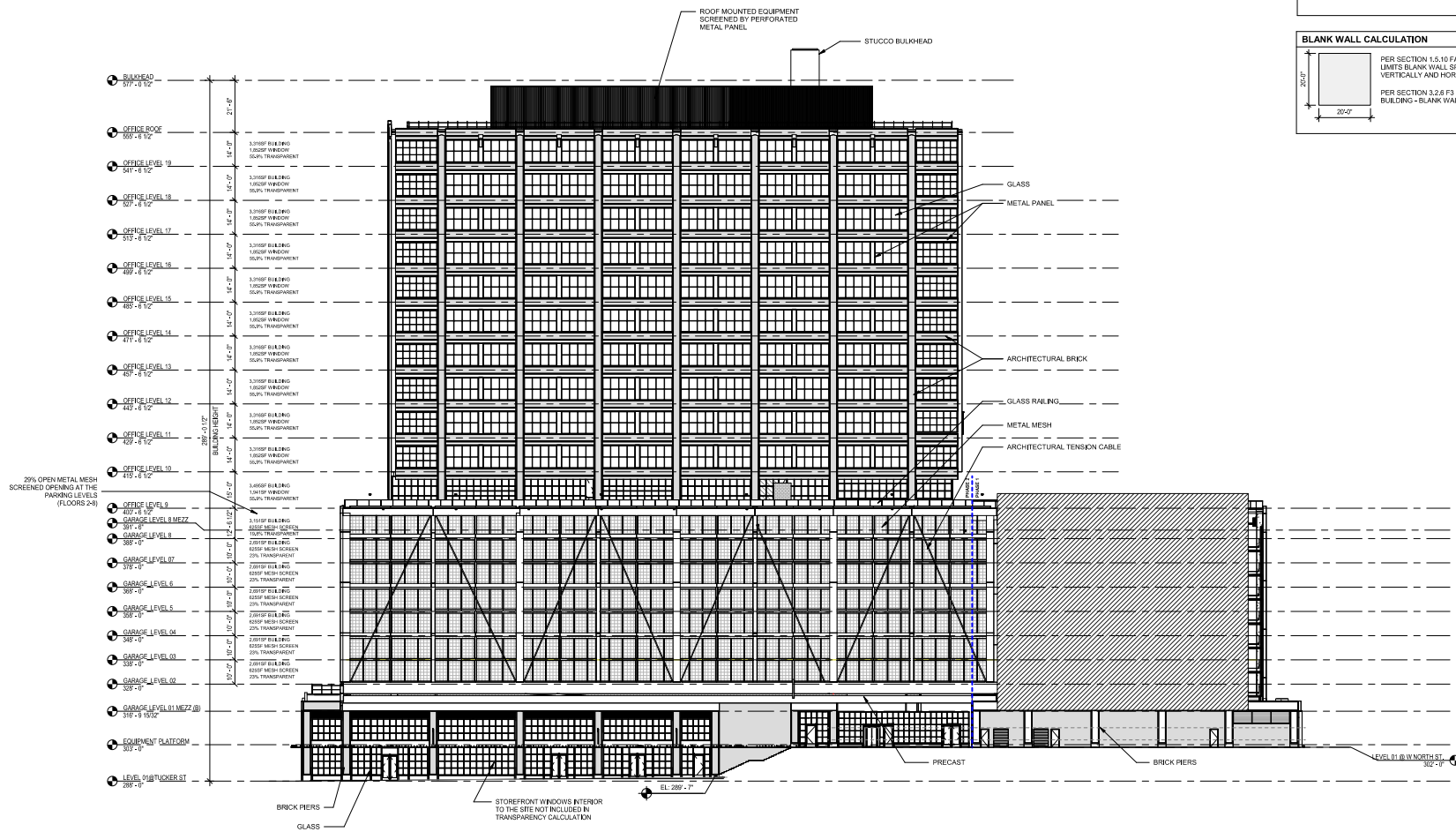
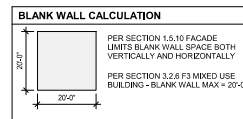
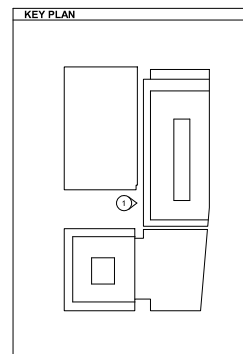
Owner: 410 Glenwood Avenue Property L
THE CREAMERY
 400-410 Glenwood Avenue, Raleigh, NC

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[illegible]

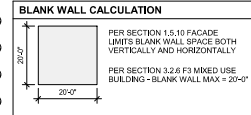
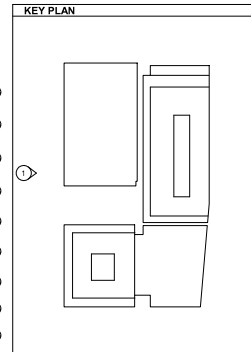
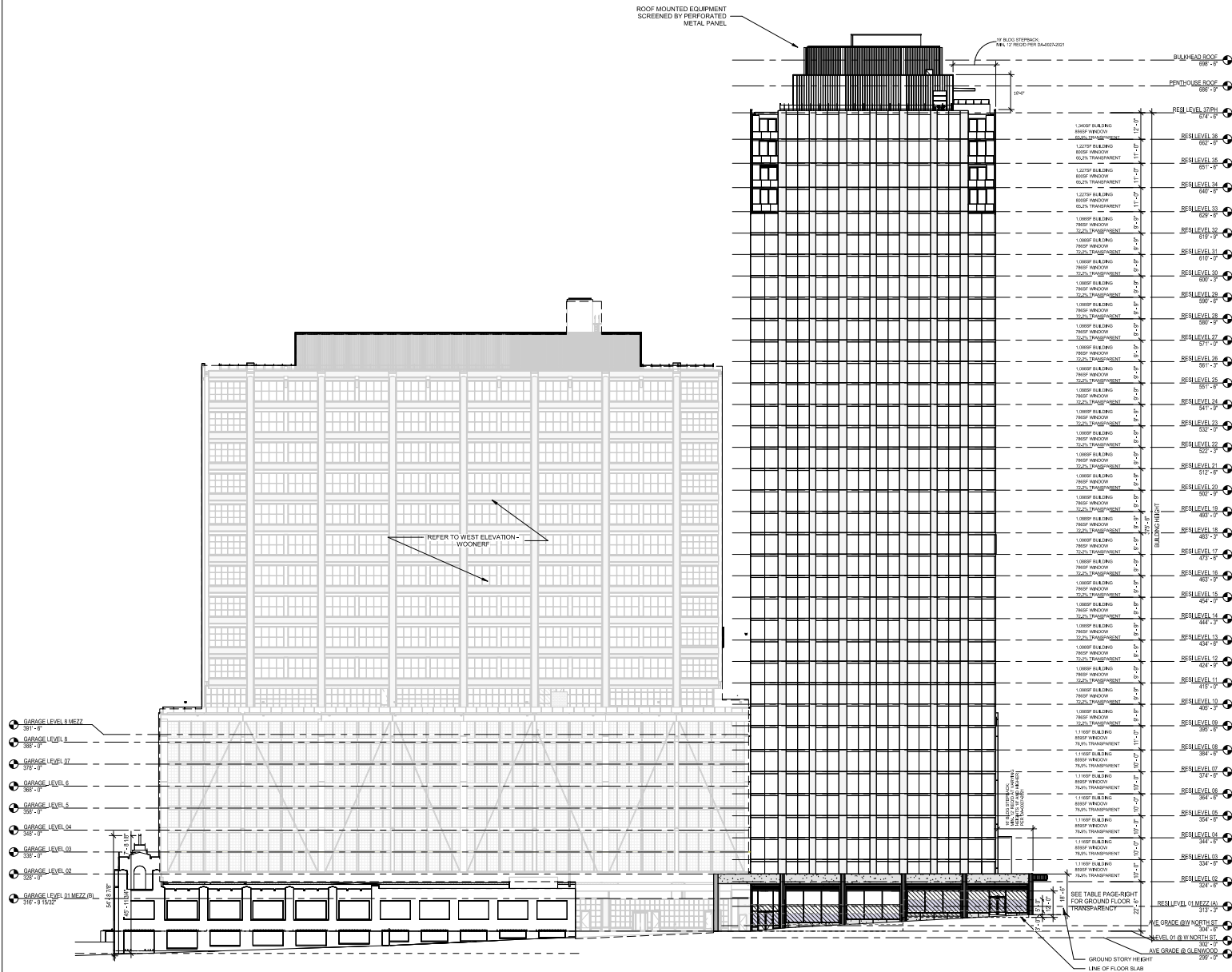
ASR-13



WEST ELEVATION - WOONERF

$$3/64" = 1'-0"$$

1/25/2023 14:52:14
Asst. Archt. Sean C. Gorman, Licensed Architect, No. 11111, The Creamery, Raleigh, NC, 27601-2000



TRANSPARENCY CALCULATIONS	
FOR PERCENTAGE OF WINDOWS AND DOORS BETWEEN 0 AND 12 FEET ABOVE THE SURFACE OF THE FINISHED GROUND FLOOR.	
GROUND FLOOR (RES):	
FINISH GROUND FLOOR SURFACE AREA :	1,542 SF
AREA REQUIRED TRANSPARENCY (60%):	924 SF
REDUCTION APPROVED UNDER DA-04-001:	
50% OF REQUIRED AREA TO BE LOCATED BETWEEN 8 FT AND 12 FT:	447 SF
AREA OF PROVIDED TRANSPARENCY:	1,003 SF
TRANSPARENCY PROVIDED BETWEEN 8 FT AND 12 FT:	473 SF

WEST ELEVATION 1

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REVISION	DESCRIPTION	DATE

CONTENT WEST ELEVATION

ASR-14