



# Administrative Approval Action

Case File / Name: ASR-0083-2022  
DSLC - PAGE ROAD FLEX

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

- LOCATION:** This vacant 6.32 acre site consists of 3 parcels located between Page Road and World Trade Boulevard, north of the intersection of World Trade Boulevard and Longistics Way at 3503 Page Road, 0 World Trade Boulevard and 10805 World Trade Boulevard. The site is zoned Industrial Mixed Use/IX-3-CU (Z-9-2020). 2.33 acres of the site is located within Wake County and the other portion of the site is located in Durham County.
- REQUEST:** A 57,000 square foot building to accommodate the following uses: light industrial, light manufacturing, research & development, and wholesale trade, with parking and associated infrastructure.
- DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 24, 2023 by Kimley-Horn Associates.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. The multiuse path along the frontage of Page Road will be discernably dimensioned and no less than 12' in width. All lanes shall be dimensioned in Page Road and the striping and markings plan will be reviewed in more detail to ensure compliance with lane widths and continuity with the site at 3411 Page Road.

### **Engineering**

2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.
3. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

### **Stormwater**



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4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

## Urban Forestry

7. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
8. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Public Access Deed of Easement Required

<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## Engineering

1. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

## Public Utilities

2. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.



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## Stormwater

3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

## Urban Forestry

4. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .629 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## Engineering

1. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

## Stormwater

2. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
4. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

## Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 9 street trees along World Trade Blvd.
6. A public infrastructure surety for the 9 required street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

***The following are required prior to issuance of building occupancy permit:***



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## General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. All street lights and street signs required as part of the development approval are installed.
3. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

## Stormwater

4. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** April 6, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

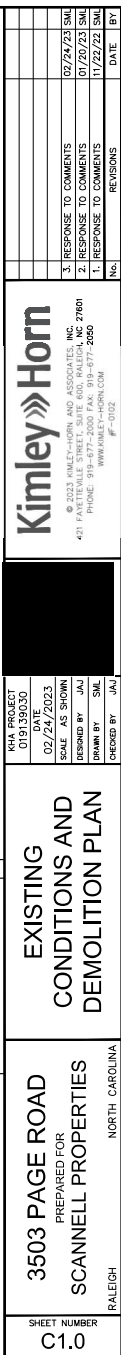
Signed: Daniel L. Stegall Date: 03/30/2023  
Development Services Dir/Designee

Staff Coordinator: Jessica Gladwin



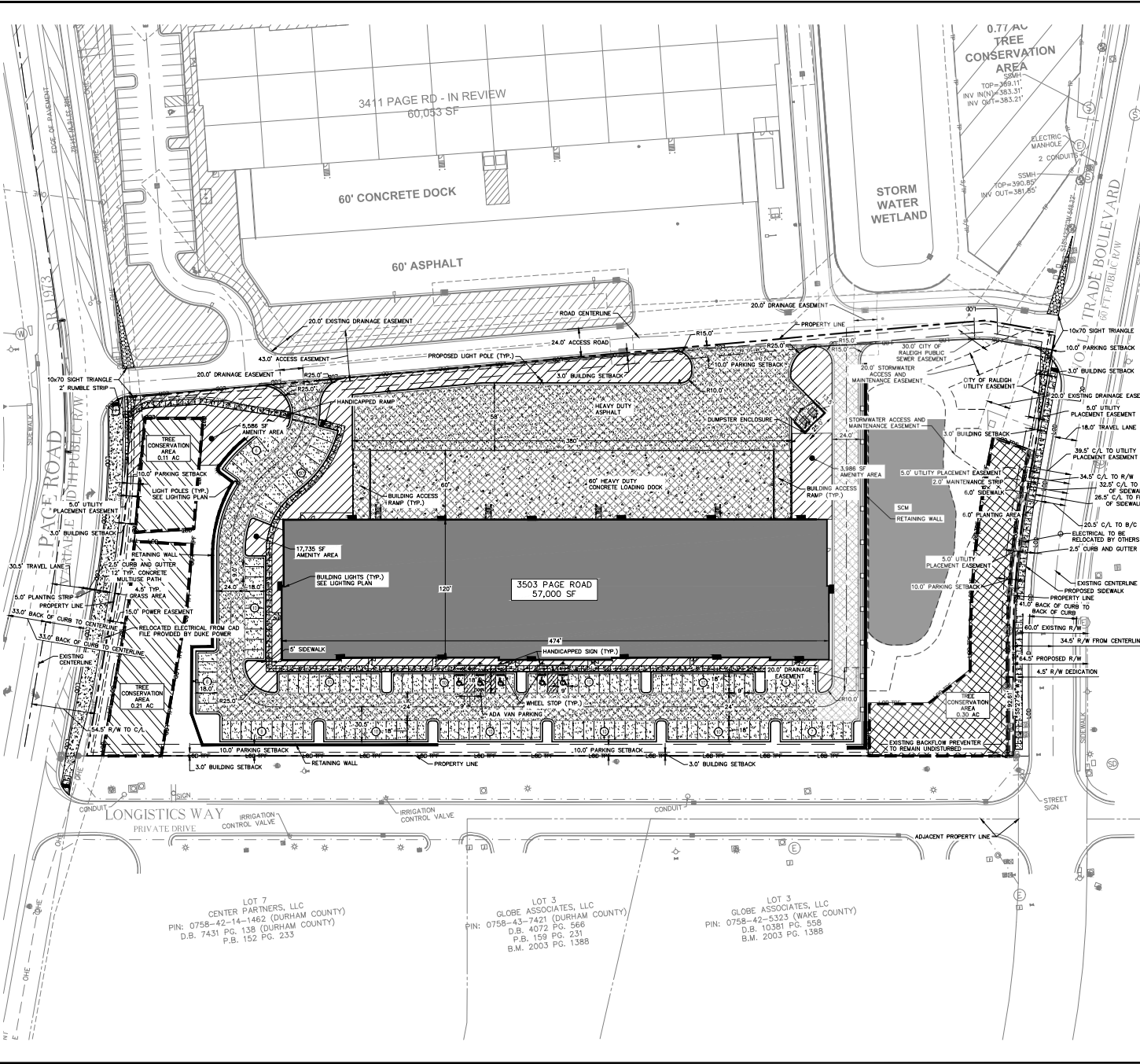






3503 PAGE ROAD, LONGSTICS WAY, WAKE COUNTY, NC 27601. PIN: 0758-42-14-1462 (DURHAM COUNTY) D.B. 7431 PG. 138 (DURHAM COUNTY) P.B. 152 PG. 233

3503 PAGE ROAD, LONGSTICS WAY, WAKE COUNTY, NC 27601. PIN: 0758-42-14-1462 (DURHAM COUNTY) D.B. 7431 PG. 138 (DURHAM COUNTY) P.B. 152 PG. 233



### SITE LEGEND

	PROPERTY LINE
	EASEMENT LINE
	FENCE
	STANDARD CURB AND GUTTER
	SPILL CURB AND GUTTER
	RETAINING WALL
	ADA ACCESSIBLE PATH
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	LIGHT POLE
	WHEEL STOP
	ACCESSIBLE PARKING MARKING
	DIRECTIONAL PAVEMENT ARROWS
	ACCESSIBLE RAMP
	DEPRESSED CURB RAMP
	LIGHT DUTY ASPHALT
	HEAVY DUTY ASPHALT
	STANDARD DUTY CONCRETE
	HEAVY DUTY CONCRETE
	CONCRETE SIDEWALK
	AMENITY AREA
	PRIMARY TREE CONSERVATION AREA (TCA)
	SECONDARY TCA

### SITE DATA TABLE

PROJECT INFORMATION	
PROJECT NAME:	PAGE ROAD FLEX
COUNTY:	WAKE COUNTY/DURHAM COUNTY
JURISDICTION:	CITY OF RALEIGH
PIN #S:	0758425790, 0758373268, 0758427734
SITE SIZE & COVERAGES	
SITE ACREAGE:	6.26 ACRES
BUILDING SIZE:	475'X120' 57,000 SF
REQUIRED TREE CONSERVATION AREA:	10% OF SITE AREA = 0.626 AC
PROVIDED TREE CONSERVATION AREA:	0.829 AC
REQUIRED AMENITY AREA:	10% OF SITE AREA = 0.626 AC
PROVIDED AMENITY AREA:	0.827 AC (10% OF AMENITY AREA WILL BE ADA ACCESSIBLE)
ZONING	
EXISTING ZONING:	INDUSTRIAL MIXED USE (IX-3-CU)
PROPOSED ZONING:	INDUSTRIAL MIXED USE (IX-3-CU)
EXISTING USE:	VACANT
PROPOSED USE:	LIGHT INDUSTRIAL/LIGHT MANUFACTURING/RESEARCH AND DEVELOPMENT/WHOLESALE TRADE
SETBACK REQUIREMENTS	
STREET:	3' BUILDING, 10' PARKING
SIDE:	3' BUILDING, 10' PARKING
PARKING REQUIREMENTS	
REQUIRED MINIMUM:	NONE
ALLOWED MAXIMUM:	NONE
PROVIDED:	128 STANDARD SPACES 5 ADA SPACES 133 TOTAL SPACES



GRAPHIC SCALE IN FEET  
0 20 40 80



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NOT FOR CONSTRUCTION

ALL CONTRIBUTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND NCDDT STANDARDS AND SPECIFICATIONS. MORE STRINGENT SHALL GOVERN.

**SURVEY NOTE:**  
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**Kimley»Horn**

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431 FAIRVIEW STREET, SUITE 400, RALEIGH, NC 27601  
PHONE: 919-851-4422 FAX: 919-851-4423  
WWW.KIMLEY-HORN.COM  
#P-002

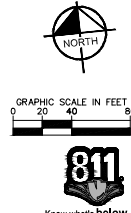
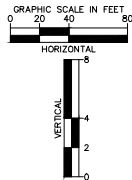
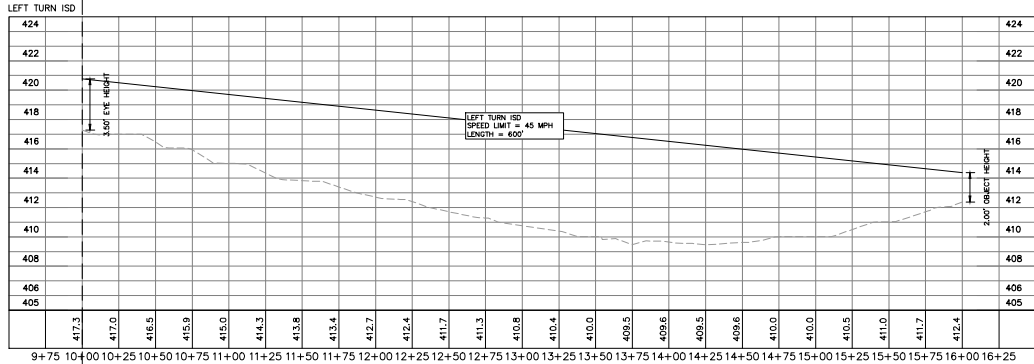
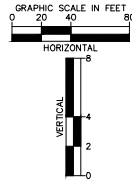
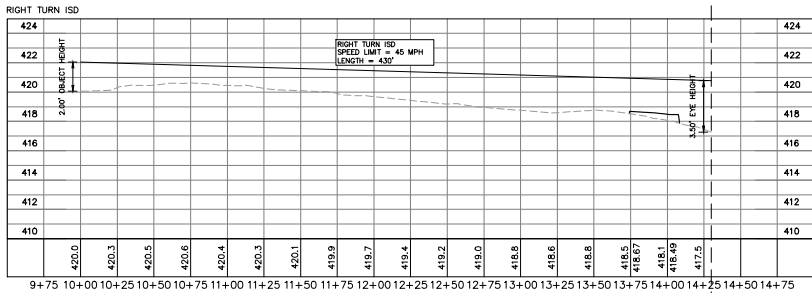
**SITE PLAN**

**3503 PAGE ROAD**  
PREPARED FOR  
**SCANNELL PROPERTIES**  
RALEIGH

SHEET NUMBER  
**C2.0**

NO.	REVISIONS	DATE	BY
1.	RESPONSE TO COMMENTS	02/24/23	SM
2.	RESPONSE TO COMMENTS	07/20/23	SM
1.	RESPONSE TO COMMENTS	11/22/22	SM

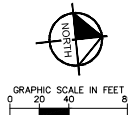
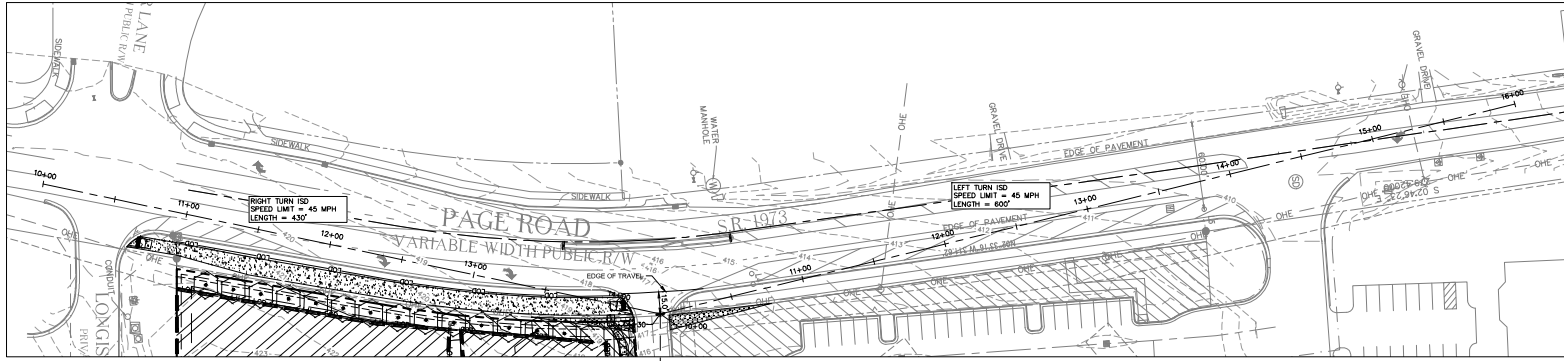
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3503 PAGE ROAD

PREPARED FOR

SCANNELL PROPERTIES

RALEIGH

NORTH CAROLINA

SIGHT DISTANCE

PLAN

KHA PROJECT

07/19/2020

DATE

02/24/2023

SCALE AS SHOWN

DESIGNED BY JAU

DRAWN BY SML

CHECKED BY

Kimley»Horn

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421 FAYVILLE STREET, SUITE 600, RALEIGH, NC 27601

PHONE: 919-851-4422 FAX: 919-877-2050

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#-002

1. RESPONSE TO COMMENTS

2. RESPONSE TO COMMENTS

3. RESPONSE TO COMMENTS

DATE

11/22/22 SML

07/20/23 SML

02/24/23 SML

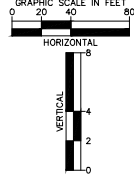
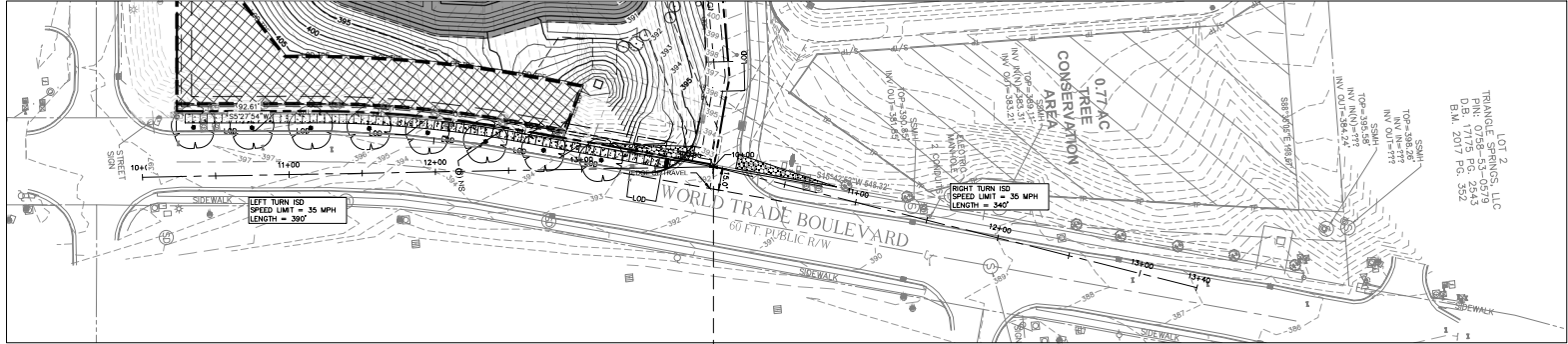
BY

DATE

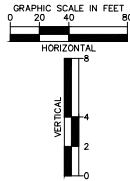
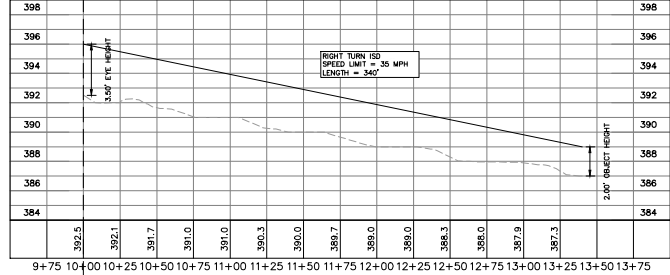
REVISIONS

No.

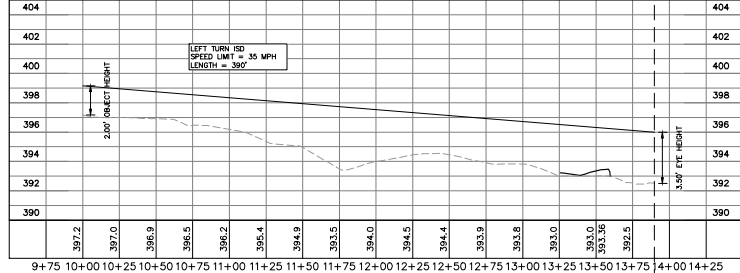
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WORLD TRADE RIGHT TURN



WORLD TRADE LEFT TURN



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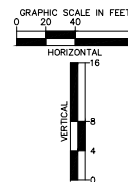
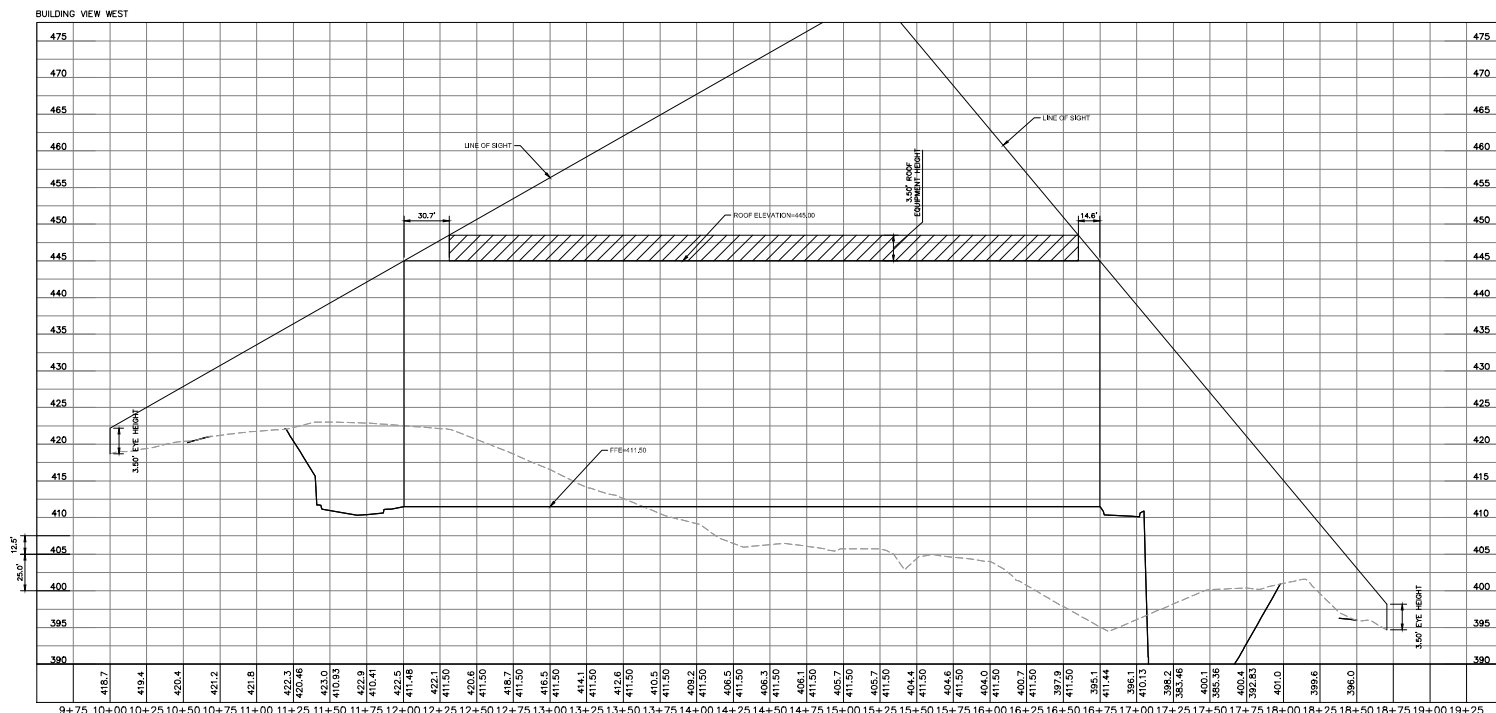
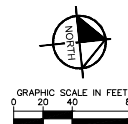
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PHONE: 919-877-2000 FAX: 919-877-2050  
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#F-002

**SIGHT DISTANCE PLAN**

**3503 PAGE ROAD**  
PREPARED FOR  
**SCANNELL PROPERTIES**  
RALEIGH NORTH CAROLINA

**SHEET NUMBER**  
**C2.2**

NO.	REVISIONS	DATE
1.	RESPONSE TO COMMENTS	01/20/23 SML
2.	RESPONSE TO COMMENTS	02/24/23 SML
3.	RESPONSE TO COMMENTS	02/24/23 SML



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250, RALEIGH, NC 27606, (919) 851-4422, DATE  
05/18/2021.



Know what's below.  
Call before you dig.

NO.	REVISIONS	DATE	BY
1.	RESPONSE TO COMMENTS	11/22/22	SMU
2.	RESPONSE TO COMMENTS	01/20/23	SMU
3.	RESPONSE TO COMMENTS	02/24/23	SMU

**Kimley»»Horn**

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PHONE: 919-677-2000 FAX: 919-677-2050

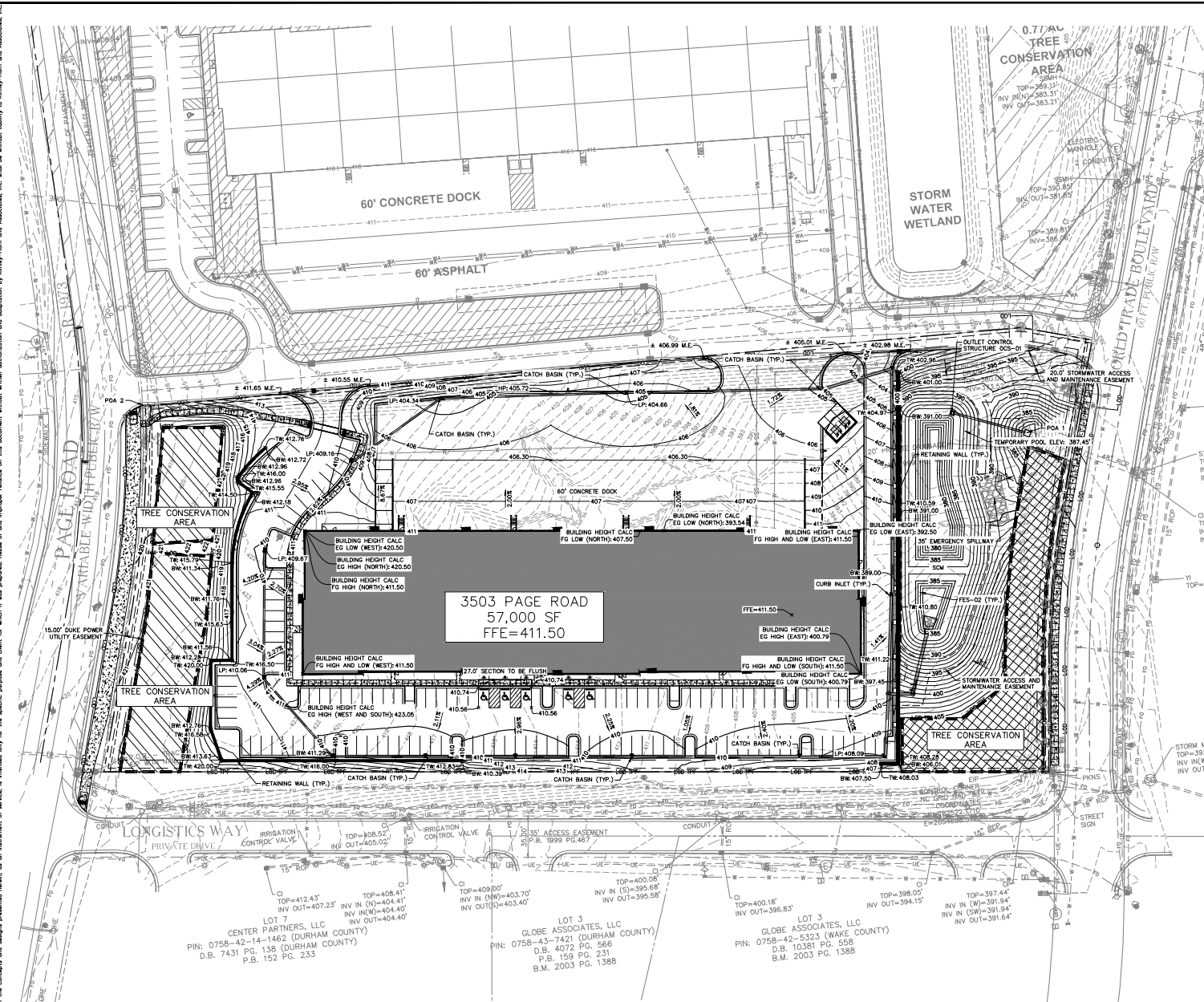
KHA PROJECT	DATE	SCALE	AS SHOWN	DESIGNED BY	JAJ
019139030	02/24/2023				

ARCHITECTURAL  
SIGHT PLAN

3503 PAGE ROAD  
PREPARED FOR  
SCANNELL PROPERTIES  
NORTH CAROLINA  
FIG#

SHEET NUMBER  
C2.3

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### GRADING AND DRAINAGE LEGEND

---	PROPERTY LINE
---	TEMPORARY CONSTRUCTION EASEMENT
---	STORM DRAIN (> 12 INCH)
---	STORM DRAIN (< 12 INCH)
---	ROOF DRAIN
---	UNDER DRAIN
---	CURB AND GUTTER
---	SPILL CURB AND GUTTER
---	CLEARING LIMITS
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	SPOT ELEVATION
---	CATCH BASIN (CB)
---	MANHOLE (SMH)
---	CLEANOUT (SCOC)
---	DROP INLET (DI)
---	AREA DRAIN (AD)
---	CONTROL STRUCTURE (CS)
---	FLARED END SECTION (FES)
---	CONCRETE HEADWALL (HW)
---	RIP-RAP APRON
---	FLOW ARROW
---	TOP OF WALL (GRADE ELEV.)
---	BOTTOM OF WALL (GRADE ELEV.)
---	TOP OF PAVEMENT (GRADE ELEV.)
---	TOP OF CURB (GRADE ELEV.)
---	FLUSH CURB (GRADE ELEV.)
---	WATER TIGHT JOINTS (WT)
---	MATCH EXISTING

- GRADING AND DRAINAGE NOTES:
1. ALL SHOTS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
  2. ALL SHOTS ARE TOP OF PAVEMENT, UNLESS OTHERWISE NOTED.
  3. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF RALEIGH AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
  4. ALL SPOT ELEVATIONS REFLECT FINISHED GRADES. SPOT ELEVATIONS AT CURB AND GUTTER LOCATIONS ARE TO THE GUTTER FLOW LINE, UNLESS OTHERWISE NOTED.
  5. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
  6. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION FROM OWNER PRIOR TO PROCEEDING.
  7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
  8. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
  9. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.
  10. ANY GRADING BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS CONSIDERED A VIOLATION OF THE GRADING PERMIT AND SUBJECT TO A FINE.
  11. EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY REFERENCED IN THIS PLAN SET.
  12. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
  13. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE A INCHES OF TOPSOIL.
  14. CONTRACTOR SHALL STABILIZE AND WATER DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
  15. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SHIELD WALLS.
  16. CONTRACTOR SHALL ADJUST AND/OR SAW OUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
  17. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
  18. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
  19. FLOODPLAIN DOES NOT EXIST ON PROPERTY.
  20. CONTRACTOR SHALL PROTECT EXISTING TREES UNLESS OTHERWISE NOTED. REFER TO PINK-01 AND PINK-02 FOR PROTECTION INFORMATION.

	2-YEAR PRE FLOW (CFS)	2-YEAR POST FLOW (CFS)	10-YEAR PRE FLOW (CFS)	10-YEAR POST FLOW (CFS)
POA 1	7.64	4.82	14.08	10.98
POA 2	1.04	0.93	1.98	1.75

NORTH

0 20 40 80

8m

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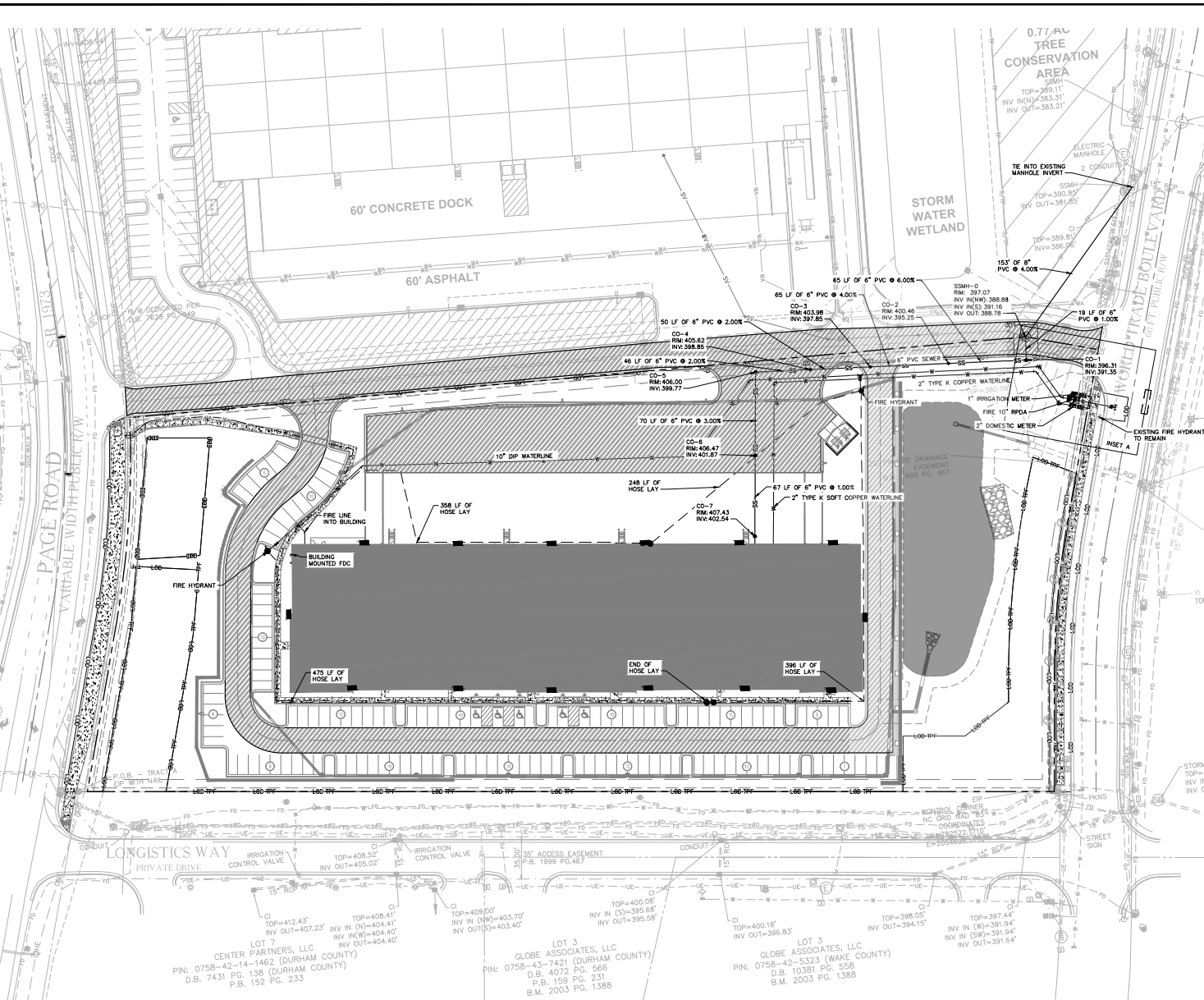
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437 FAIRVIEW STREET, SUITE 200, RALEIGH, NC 27601  
PHONE: 919.486.0000 FAX: 919.486.0001  
WWW.KIMLEY-HORN.COM

NO.	REVISIONS	DATE
1.	RESPONSE TO COMMENTS	02/24/23 SM
2.	RESPONSE TO COMMENTS	07/20/23 SM
3.	RESPONSE TO COMMENTS	11/22/22 SM













**3503 PAGE ROAD**  
PREPARED FOR  
**SCANNELL PROPERTIES**  
RALEIGH

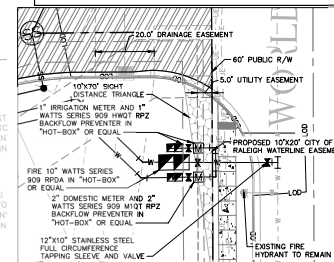
**GRADING AND DRAINAGE PLAN**

SHEET NUMBER  
**C3.0**



### UTILITY LEGEND

_____	PROPERTY LINE
_____ W _____	WATER LINE
_____ F W _____	FIRE LINE
_____ S S _____	SANITARY SEWER LINE
_____ E _____	ELECTRIC
_____ F O _____	FIBER OPTIC
_____ G _____	GAS
_____ P _____	POWER
_____ T _____	TELECOMMUNICATION
_____ C A B L E _____	CABLE
_____ H O S E _____	HOSE LAY
	LIGHT POLE
	WATER METER
	GATE VALVE
	POINT OF CONNECTION
	BACKFLOW PREVENTOR
	PIPE TEE/BENDS
	REDUCER
	FIRE HYDRANT (FH)
	FIRE DEPARTMENT CONNECTION (FDC)
	SANITARY SEWER CLEANOUT (SSCO)
	SANITARY SEWER MANHOLE (SSMH)
	SANITARY SEWER GREASE TRAP
	FIRETRUCK PATH



INSET A



GRAPHIC SCALE IN FEET


A horizontal scale bar with tick marks at 0, 10, 20, and 40 feet. The bar is divided into alternating black and white segments: 0-10 is white, 10-20 is black, 20-30 is white, and 30-40 is black.

STANDARD UTILITY NOTES:

- [illegible]



GRAPHIC SCALE IN FEET



A horizontal graphic scale bar with tick marks at 0, 20, 40, and 80 feet. The bar is divided into four equal segments, each representing 20 feet. The segments are colored in a repeating pattern: white, black, white, and black.

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LAND TITLE SURVEY FOR WORLD TRADE ASSEMBLAGE  
PREPARED BY BASS, NIXON & KENNEDY, INC.  
CONSULTING ENGINEERS, 6310 CHAPEL HILL RD, STE.  
250, RALEIGH, NC 27606, (919) 851-4422, DATED  
08/10/2021.

[illegible]

**Kimley»Horn**

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PHONE: 919-677-2000 FAX: 919-677-2050  
WWW.KIMLEY-HORN.COM  
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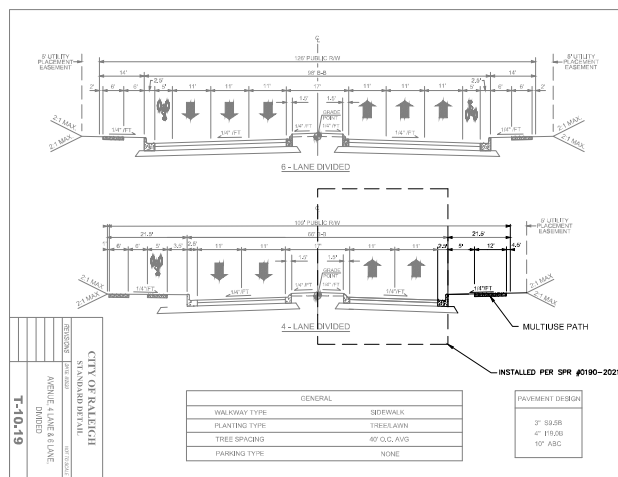
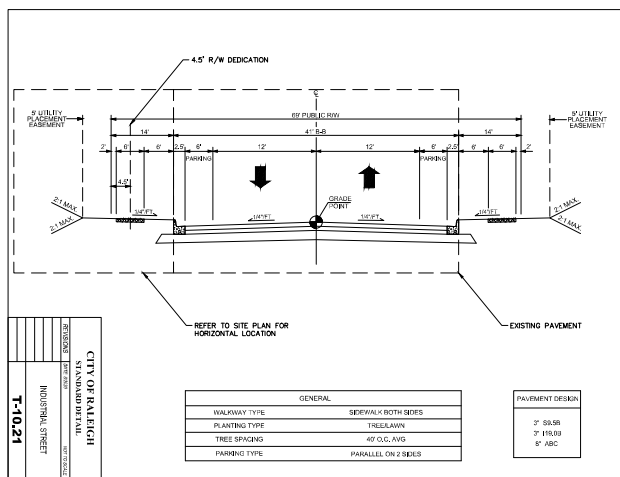
KHA PROJECT	DATE
019139030	02/24/2023
SCALE AS SHOWN	DESIGNED BY JAJ
DRAWN BY SML	CHECKED BY JAJ

## UTILITY PLAN

3503 PAGE ROAD  
PREPARED FOR  
SCANNELL PROPERTIES

SHEET NUMBER  
C4.0





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<p><b>SURVEY NOTE:</b>          ALL EXISTING TOPOGRAPHICAL AND BOUNDARY INFORMATION WAS PROVIDED WITHIN AN ALTA/NSPS LAND TITLE SURVEY FOR WORLD TRADE ASSEMBLAGE PREPARED BY BASS, NIXON &amp; KENNEDY, INC. CONSULTING ENGINEERS, 6310 CHAPEL HILL RD., STE. 250, RALEIGH, NC 27606, (919) 851-4422, DATED 05/18/2021.</p>

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LAND TITLE SURVEY FOR WORLD TRADE ASSEMBLAGE  
PREPARED BY BASS, NIXON & KENNEDY, INC.  
CONSULTING ENGINEERS, 6310 CHAPEL HILL RD, STE.  
250, RALEIGH, NC 27606, (919) 851-4422, DATED  
05/18/2021.

## SITE DETAILS

3503 PAGE ROAD  
PREPARED FOR  
SCANNELL PROPERTIES  
EIGH NORTH CAROLINA

KHA PROJECT	DATE	DESIGNED BY	HGB	DRAWN BY	HGB	CHECKED BY	AMR
019139030	02/24/2023	SCALE	AS SHOWN				

**Kimley»Horn**

No.	REVISIONS	DATE	BY
1.	RESPONSE TO COMMENTS	01/20/23	SMU
2.	RESPONSE TO COMMENTS	02/24/23	SMU
3.	RESPONSE TO COMMENTS	01/20/23	SMU
1.	RESPONSE TO COMMENTS	11/22/22	SMU



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**Autobahn Series ATB2**  
Roadway Lighting

**Performance**

**Optical**

**Application**

**Electrical**

**Notes**

**Autobahn Series ATB2**  
Roadway Lighting

**Performance**

**Optical**

**Application**

**Electrical**

**Notes**

1 LIGHTING CUT SHEET

**KAXW LED Wall Luminaires**

**Optical**

**Application**

**Electrical**

**Notes**

**KAXW LED Wall Luminaires**

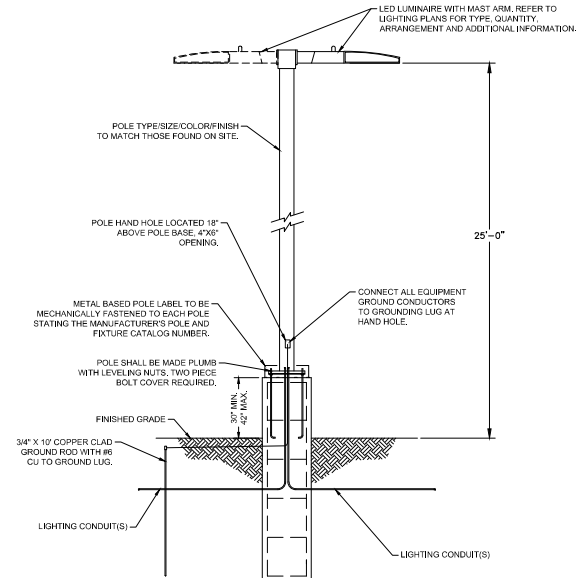
**Optical**

**Application**

**Electrical**

**Notes**

2 LIGHTING CUT SHEET



- NOTES:
1. THIS DETAIL IS FOR REFERENCE ONLY. CONTRACTOR SHALL INSPECT EXISTING SITE POLES AND FOOTERS AND PROVIDE SIMILAR TYPES/SIZES TO MATCH.
  2. POLE FOUNDATION SHALL BE PROVIDED IN DEFERRED SUBMITTAL. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS TO BE INCLUDED IN FINAL AS-BUILTS. SHOP DRAWINGS SHALL BE STAMPED/SIGNED/SEALED BY STATE REGISTERED ENGINEER.
  3. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND VERIFY ALL ANCHOR BOLT DIMENSIONS (SIZE, BOLT CIRCLE, ETC.) WITH THE CONTRACTOR WHO WILL BE INSTALLING THE LIGHTING STANDARD PRIOR TO INSTALLATION OF THE FOUNDATIONS.
  4. POLES, FIXTURES, ARMS AND FIXTURE COMPONENTS TO BE FACTORY PAINTED TO MATCH THOSE FOUND ON SITE.

3 LIGHT POLE DETAIL

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PREPARED FOR  
**SCANNELL PROPERTIES**  
RALEIGH

**LIGHTING PLAN**

**LT1.1**

**3503 PAGE ROAD**  
RALEIGH, NC 27606

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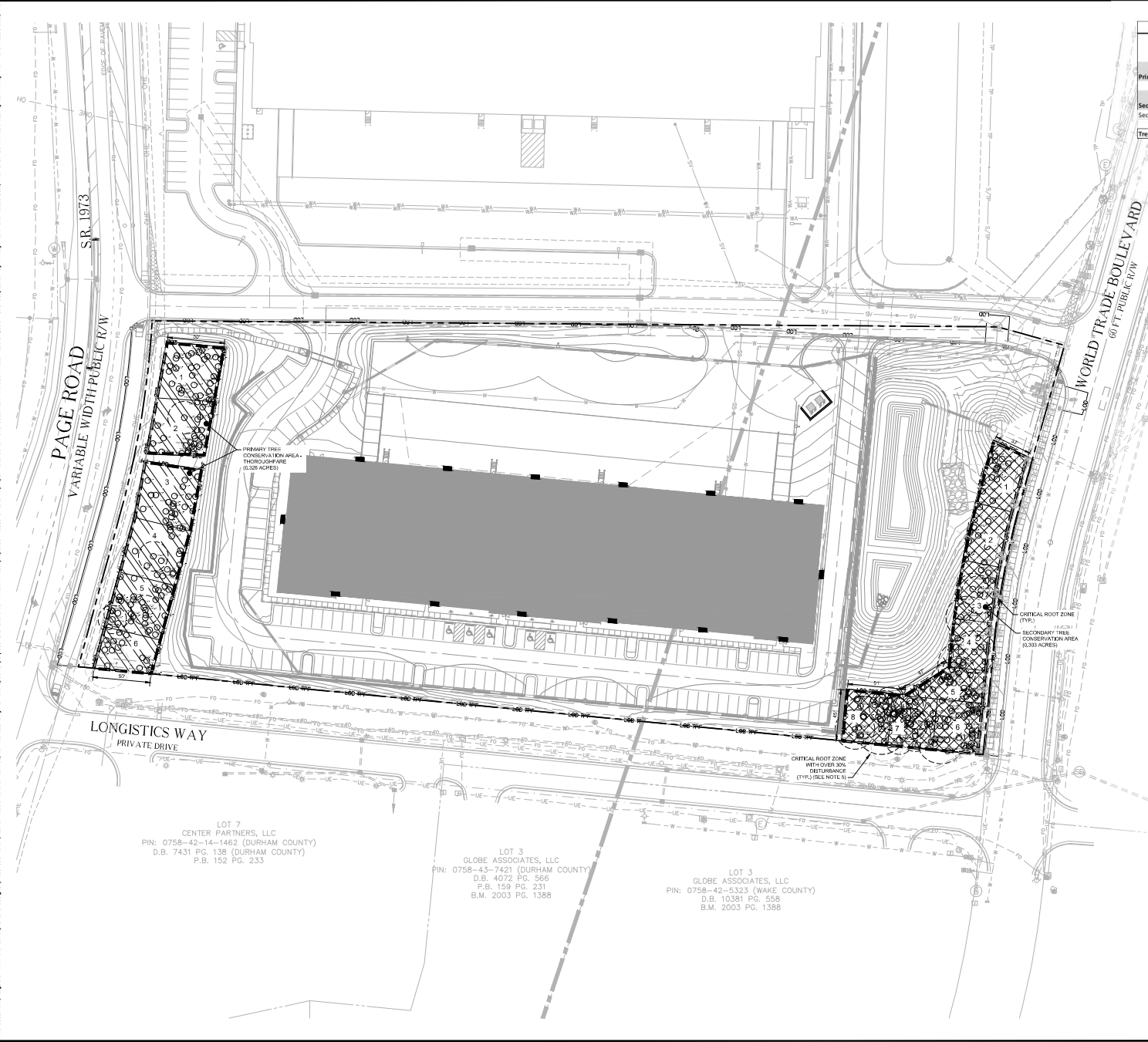
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NO.	DATE	BY	REVISIONS
1	02/24/2023	SM	RESPONSE TO COMMENTS
2	07/20/2023	SM	RESPONSE TO COMMENTS
3	11/22/2023	SM	RESPONSE TO COMMENTS

**SHEET NUMBER**  
LT1.1

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Tree Conservation Plan Data			
Net Project Area - 6.28 AC (after ROW dedication)			
6.28 Total Acres (10% = 0.628 AC Required for TCA)			
Primary Tree Conservation Areas		Number of Tract	Percentage
Primary Tree Conservation Area - Thoroughfare		0.326	5.19%
Secondary Tree Conservation Areas		Number of Tract	Percentage
Secondary Tree Conservation Areas		0.303	4.82%
Tree Conservation Area		0.629	10.02%

**LEGEND**

- PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
- SECONDARY TREE CONSERVATION AREA
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- CRITICAL ROOT ZONE
- CRITICAL ROOT ZONE NOT USED IN BASAL CALCULATION
- EXISTING TREE

Tree Survey Key	
Label	Common Name
T1	red maple
T2	groundsel
T3	pinus hickory
T4	mockernut hickory
T5	flowering dogwood
T6	American holly
T7	eastern red cedar
T8	sweetgum
T9	shortleaf pine
T10	loblolly pine
T11	Virginia pine
T12	black cherry
T13	gallery pear*
T14	white oak
T15	southern red oak
T16	cherrybark oak
T17	willow oak
T18	northern red oak
T19	post oak
T20	black oak
T21	winged elm
T22	Chinese elm

\*Gallery pear is considered an invasive species and shall not be counted towards tree conservation area basal area calculations.

- TREE CONSERVATION NOTES:**
- A TREE CONSERVATION PERMIT IS REQUIRED TO ESTABLISH TREE CONSERVATION AREAS IN THE FIELD.
  - A TREE CONSERVATION PERMIT IS REQUIRED PRIOR TO ISSUANCE OF A GRADING PERMIT. PRIOR TO OBTAINING A BUILDING PERMIT, THE FOLLOWING WILL BE RECORDED WITH THE WAKE COUNTY REGISTER OF DEEDS:  
A) TREE CONSERVATION AREA MUST BE RECORDED PRIOR TO OBTAINING A BUILDING PERMIT PER UDO §1.5.5.2
  - NEW PLANTINGS SHALL NOT BE INSTALLED WITHIN THE CRITICAL ROOT ZONE OF ANY EXISTING TREE LOCATED WITHIN A TREE CONSERVATION AREA.
  - TREE PROTECTION FENCE SHALL BE INSTALLED ON TCA BOUNDARY.
  - CRZ = CRITICAL ROOT ZONE.
  - TREES OVER 10 INCHES DBH WITH 30% OR MORE OF THEIR CRZ IMPACTED BY DEVELOPMENT OR LOCATED OUTSIDE TREE CONSERVATION AREAS WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
  - TREES LISTED ON THE CITY OF RALEIGH INVASIVE SPECIES LIST WILL NOT BE COUNTED TOWARDS BASAL AREA CALCULATIONS.
  - SEE TREE COVER REPORT FOR BASAL AREA CALCULATIONS.
  - TREE LOCATIONS ON THIS PLAN HAVE BEEN TAKEN FROM TREE SURVEYS PERFORMED BY KIMLEY-HORN & ASSOCIATES DATED DECEMBER 10, 2021 AND NOVEMBER 8, 2022.
  - ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE STATED.
  - ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE SYSTEM (NAD 1983/2011).

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3503 PAGE ROAD  
PREPARED FOR  
SCANNELL PROPERTIES

RALEIGH  
NORTH CAROLINA

TREE  
CONSERVATION PLAN

02/24/2023  
SCALE AS SHOWN  
DESIGNED BY AMF  
DRAWN BY AMF  
CHECKED BY AMF

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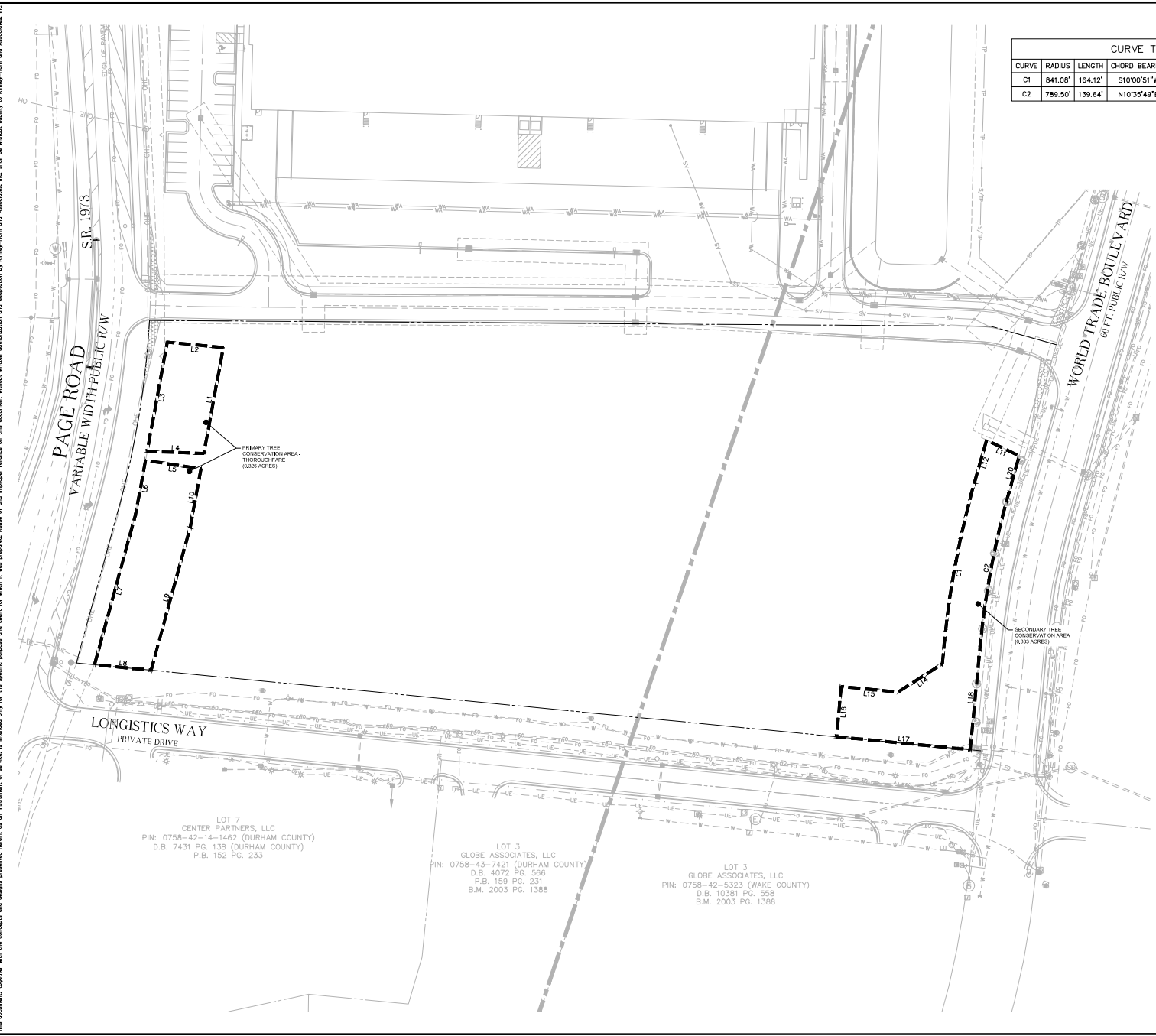
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REVISIONS

DATE

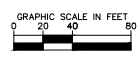
BY

3503 PAGE ROAD, SCANNELL PROPERTIES, INC. (P/N 0758-42-14-1482) (DURHAM COUNTY) PIN: 0758-42-14-1482 (DURHAM COUNTY) D.B. 7431 PG. 138 (DURHAM COUNTY) P.B. 152 PG. 233



CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	841.08'	164.12'	S10°00'51"W	163.86'	11°10'49"	82.32'
C2	789.50'	139.64'	N10°35'49"E	139.46'	10°08'02"	70.00'

LINE TABLE		
LINE	LENGTH	BEARING
L1	95.93	N10°26'13.34"E
L2	50.18	N84°22'33.83"W
L3	99.06	S10°26'13.34"W
L4	50.54	S87°55'12.08"E
L5	50.02	N81°16'07.68"W
L6	49.50	S10°26'13.34"W
L7	138.53	S15°18'52.19"W
L8	50.74	S84°27'22.75"E
L9	132.05	N15°18'52.19"E
L10	53.12	N10°26'13.34"E
L11	32.32	N64°02'56.00"W
L12	39.71	S15°59'37.33"W
L14	46.94	S57°30'44.32"W
L15	50.82	N84°26'45.06"W
L16	44.96	S57°33'06"W
L17	119.70	S84°27'01.27"E
L18	92.61	N52°27'55.84"E
L20	34.03	N15°42'52.40"E



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SCANNELL PROPERTIES  
RALEIGH NORTH CAROLINA

PROJECT  
07/19/2020  
DATE  
02/24/2023  
SCALE AS SHOWN  
DESIGNED BY ANF  
DRAWN BY ANF  
CHECKED BY ANF

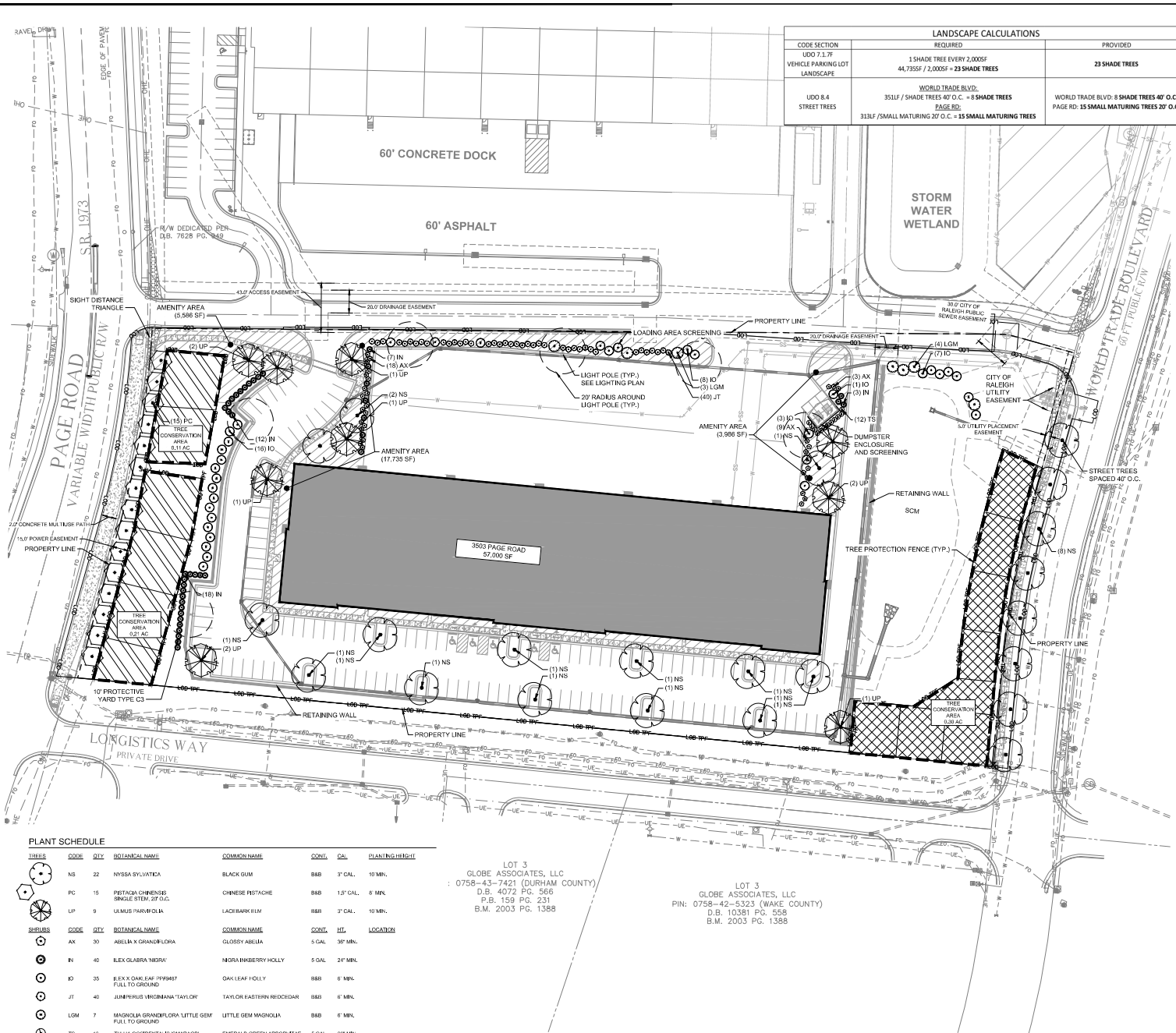
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02/24/23 SM  
07/20/23 SM  
11/22/22 SM

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3. RESPONSE TO COMMENTS  
2. RESPONSE TO COMMENTS  
1. RESPONSE TO COMMENTS

NO. REVISIONS BY DATE




LANDSCAPE CALCULATIONS		
CODE SECTION	REQUIRED	PROVIDED
UDO 7.1.7F VEHICLE PARKING LOT LANDSCAPE	1 SHADE TREE EVERY 2,000SF 44,795SF / 2,000SF = 22 SHADE TREES	23 SHADE TREES
UDO 8.4 STREET TREES	<p>WORLD TRADE BLVD:</p> <p>351F / SHADE TREES 60' O.C. = 8 SHADE TREES</p> <p>PAGE RD:</p> <p>313F / SMALL MATURING 20' O.C. = 15 SMALL MATURING TREES</p>	<p>WORLD TRADE BLVD: 8 SHADE TREES 60' O.C.</p> <p>PAGE RD: 15 SMALL MATURING TREES 20' O.C.</p>

## LANDSCAPE PLAN LEGEND

	PROPERTY LINE
	EASEMENT LINE
 BY	TREE PROTECTION FENCE
	RETAINING WALL
	CONCRETE SIDEWALK
	TREE CONSERVATION AREA
	AMENITY AREA

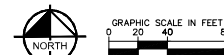
### LANDSCAPE NOTES:

1. LANDSCAPE PLAN IS FOR PLANT STAKING PURPOSES ONLY. FOR SITE IMPROVEMENTS, SEE CIVIL SHEETS.
2. ALL TREES LOCATED WITHIN A SIGHT DISTANCE TRIANGLE SHALL BE LEMBED UP AND MAINTAINED IN MINIMUM ABOVE FINISHED GRADE TO PROVIDE CLEAR SIGHT LINES.
3. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD DETAIL, TYP-03
4. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CHAPTER 2 OF THE CITY TREE MANUAL.
5. UTILITY LOCATIONS ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND INSTALLATION.
6. FOR LANDSCAPE NOTES AND DETAILS, SEE SHEET L2-07. FOR TREE CONSERVATION INFORMATION, SEE SHEET C1-00.

PLANT SCHEDULE									
THREE	CONE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	PLANTING HEIGHT		
	NS	22	NYSSA SYLVATICA	BLACK GUM	88B	3" CAL.	10' MIN.		
	PC	15	PISTACHIA CHINESE SINGLE STEM, 2ST. O.C.	CHINESE PISTACHE	88B	1.5" CAL.	8' MIN.		
	LP	9	ULMUS PARVIFOLIA	LACE BARK ELM	88B	3" CAL.	10' MIN.		
SHRUBS	CONE	QTY	BOTANICAL NAME	COMMON NAME	CONT.	HT.	LOCATION		
	AX	30	ABELIA X GRANDIFLORA	GLOSSY ABELIA	5 GAL	30" MIN.			
	EV	40	ELEX GLABRA TIGRA	MOIRA BERRYFRY HOLLY	5 GAL	24" MIN.			
	JO	35	ELEX X OAK LEAF 1998487 FULL TO GROUND	OAK LEAF HOLLY	88B	6' MIN.			
	JT	40	JUNIPERUS VIRGINIANA 'TAYLOR'	TAYLOR EASTERN REDCEDAR	88B	6' MIN.			
	LOM	7	MAGNOLIA GRANDIFLORA LITTLE GEM FULL TO GROUND	LITTLE GEM MAGNOLIA	88B	6' MIN.			
	TS	12	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	5 GAL	30" MIN.			

LOT 3  
GLOBE ASSOCIATES, LLC  
: 0758-43-7421 (DURHAM COUNTY)  
D.B. 4072 PG. 566  
P.B. 159 PG. 231  
B.M. 2003 PG. 1388

LOT 3  
GLOBE ASSOCIATES, LLC  
PIN: 0758-42-5323 (WAKE COUNTY)  
D.B. 10381 PG. 558  
B.M. 2003 PG. 1388



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CONSULTING ENGINEERS, 6310 CHAPEL HILL RD, S.  
250, RALEIGH, NC 27606, (919) 851-4422, DATED  
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No.	REVISIONS	DATE	BY
3.	RESPONSE TO COMMENTS	02/24/23	SMU
2.	RESPONSE TO COMMENTS	01/20/23	SMU
1.	RESPONSE TO COMMENTS	11/22/22	SMU

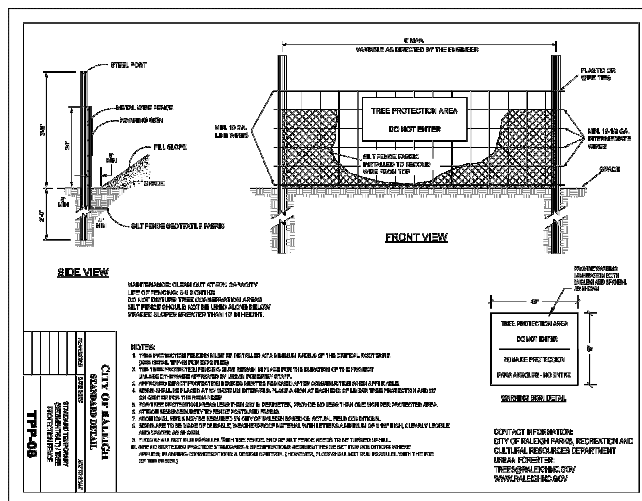
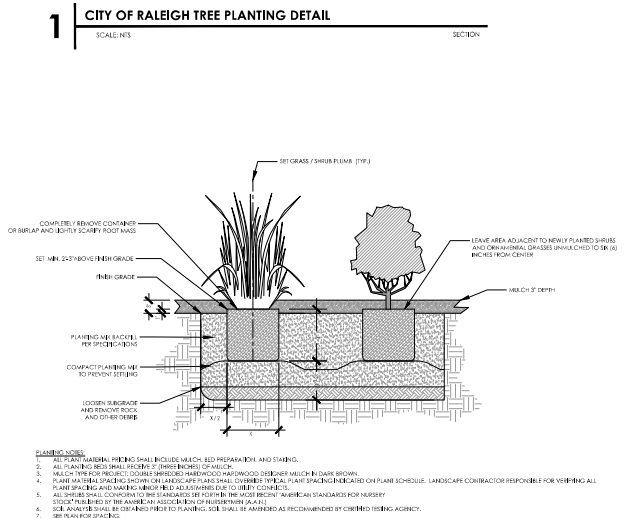
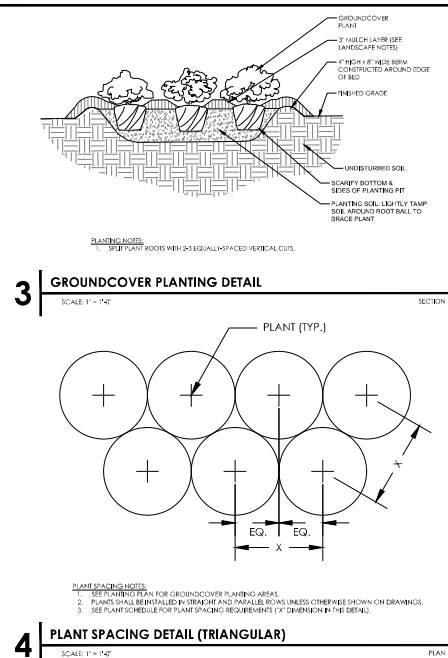
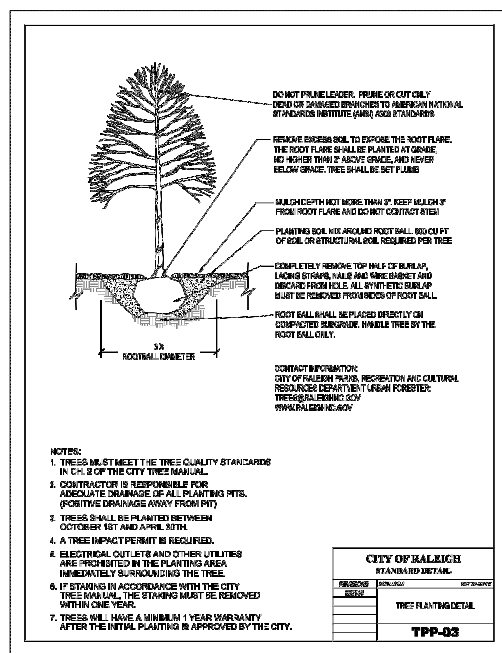
**Kimley»Horn**  
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KHA PROJECT	DATE	DESIGNED BY	HGB	DRAWN BY	HGB	CHECKED BY	AMR
019139030	02/24/2023	SCALE	AS SHOWN				

## LANDSCAPE PLAN

3503 PAGE ROAD  
PREPARED FOR  
SCANNELL PROPERTIES  
EIGHT NORTH CAROLINA

SHEET NUMBER  
L1.0



**GENERAL LANDSCAPE NOTES:**

1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
3. ALL TREES MUST HAVE A STRAIGHT TRUNK AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
6. ALL TREES LOCATED WITHIN VIEWING TRIANGLES SHALL BE BRANCHED MIN. 6" (MEASURED FROM ADJACENT PROJECTED CURB LINE ELEVATION) PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES.
7. ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED. MULCH TO BE 3 INCHES OF DOUBLE SHREDED HARDWOOD DESIGNER MULCH IN DARK BROWN.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES DURING SITE APPOINTMENTS, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION. CONTRACTOR IS ALSO RESPONSIBLE FOR COORDINATING ALL UTILITY ADJUSTMENTS WITH FINAL FINISH GRADE. ALL UTILITIES SHALL SIT FLUSH WITH FINISH GRADES (BOTH PAVED AND LANDSCAPED SURFACES).
9. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THE LANDSCAPE PLANS BEFORE PRICING THE WORK. ANY DISCREPANCIES BETWEEN QUANTITIES ON PLANS AND PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT LANDSCAPE ARCHITECT AND ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO ORDERING AND PLANTING.
10. THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, WEEDING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL SUBSTANTIAL COMPLETION.
11. THE CONTRACTOR SHALL COMPLETELY WARRANT ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR, BEGINNING ON THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE WARRANTY PERIOD.
12. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION. CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT A MINIMUM OF ONE (1) WEEK IN ADVANCE TO SCHEDULE STAKING.
13. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFLATES PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT SCHEDULE SPECIFICATIONS.
14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
15. ALL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH DOUBLE SHREDED HARDWOOD MULCH IN DARK BROWN OR CURRENT RAISEH STANDARDS TO 2 INCHES (3) INCHES. ANY EXISTING LANDSCAPE BEDS THAT ARE DISTURBED MUST BE MULCHED TO MATCH EXISTING MULCH FOUND WITHIN LANDSCAPE BED.
16. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
17. SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
18. ALL PLANT MATERIAL, QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPECING'S SHOWN.
19. THE TOP OF ALL ROOT BALLS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
20. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET BOTH MINIMUM SIZE AND SPACING OF TREES TO PREVENT UNIFORM OR DISJOINT ORANGE BUDS. FAILURE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL JEOPARDIZE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS OF PLANT MATERIAL.
22. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING. GENERAL CONTRACTOR IS TO CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.
23. THE CONTRACTOR SHALL INSTALL NON-WOVEN GEOTEXTILE UNDER PLANTING BED MULCH IN ALL LANDSCAPE BEDS TO PREVENT

[illegible]



PaulWoodyARCHITECT, Inc.  
447 S. Sharon Amity Road  
Suite 235  
Charlotte, NC 28211  
7.704.365.4032



SCANNELL  
FLOORTILES

## SCHEMATIC DESIGN

WORLD TRADE  
PARK  
BUILDING TWO

3503 Page Rd.  
Raleigh, NC 27617

## Floor Plan

Progress Set Date:

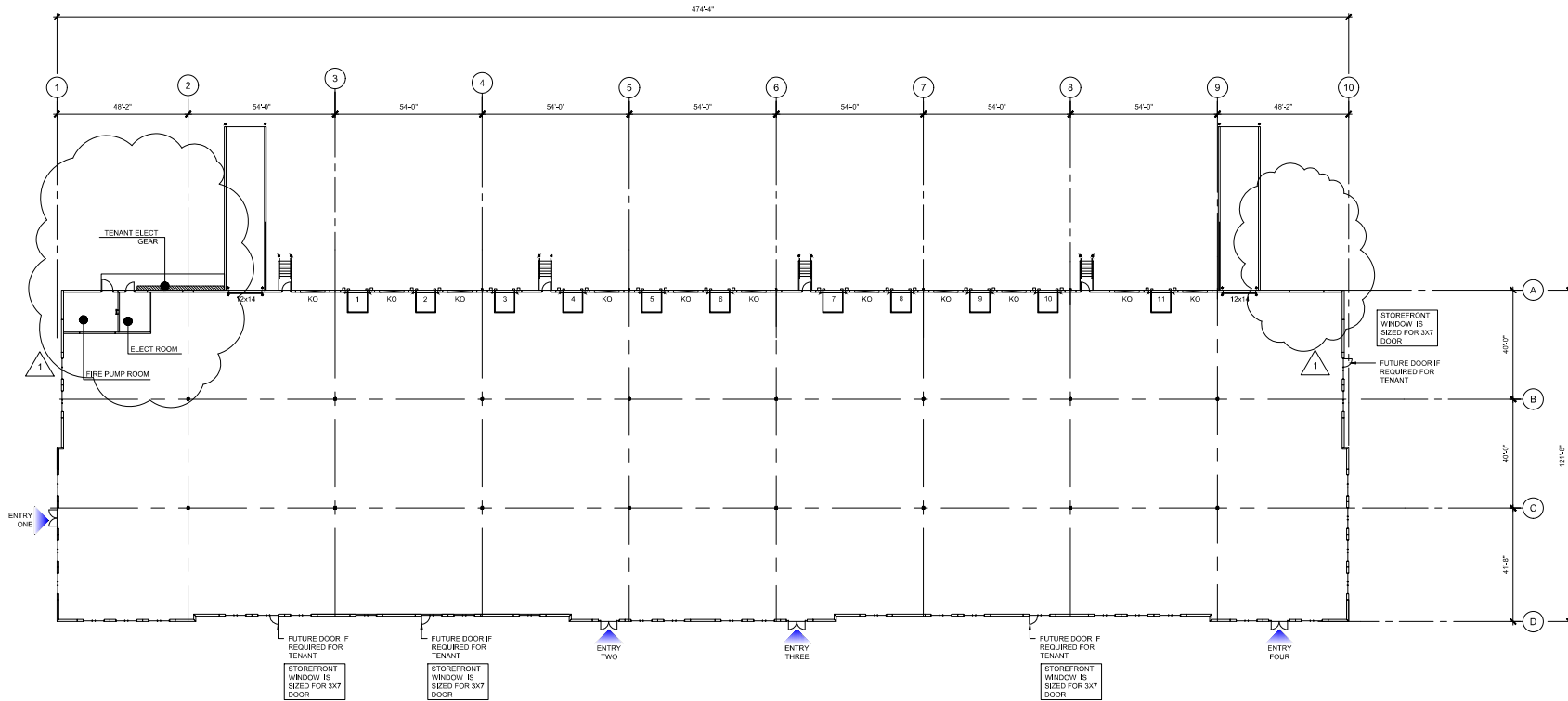
Issue Date: 06/12/2022

Revisions:

1 1/16/2022  
SITE PLAN REVIEW  
REVISIONS

Project Number: 22-24  
Cao File Number: 22-24-A1.00-Fp

A1.00



## FLOOR PLAN

1"=20'



### BUILDING INFORMATION

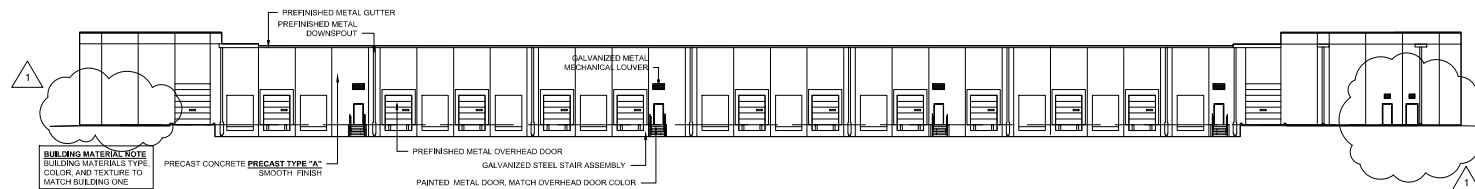
BUILDING SQUARE FOOTAGE: 56,970  
ACTIVE LOADING DOCK POSITIONS: 12  
KNOCK OUT POSITIONS: 11  
TOTAL DOCK POSITIONS: 23  
12x14 DRIVE IN POSITIONS: 2



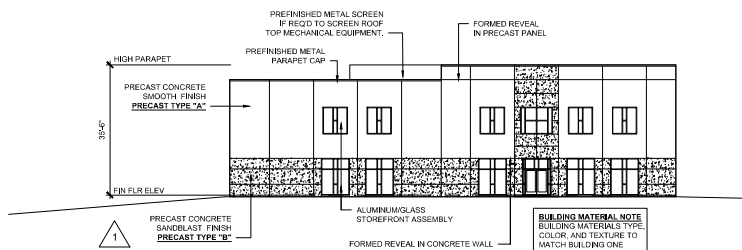
## SOUTH ELEVATION

### GLAZING TABULATION

WALL AREA TO 12' ABOVE FINISH FLOOR: 9692 SF  
WINDOW AREA TO 12' ABOVE FINISH FLOOR: 1993 SF  
PERCENTAGE OF WINDOW AREA: 38 %  
REQUIRED PERCENTAGE OF WINDOW AREA: 20 %



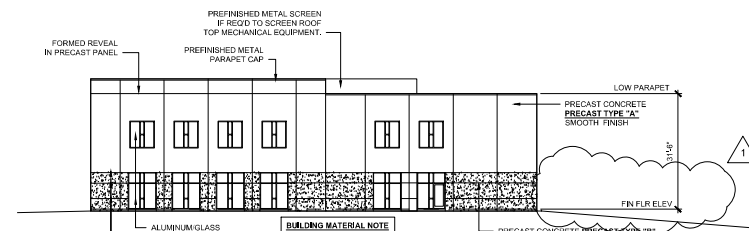
## NORTH ELEVATION



## WEST ELEVATION

### GLAZING TABULATION

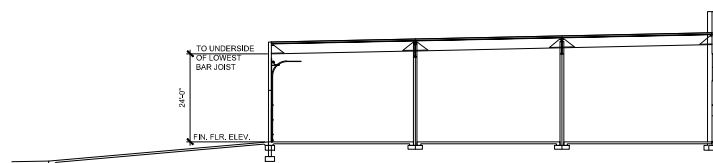
WALL AREA TO 12' ABOVE FINISH FLOOR: 1460  
WINDOW AREA TO 12' ABOVE FINISH FLOOR: 460  
PERCENTAGE OF WINDOW AREA: 31  
REQUIRED PERCENTAGE OF WINDOW AREA: 20



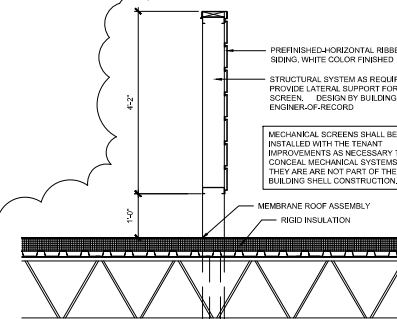
## EAST ELEVATION

### GLAZING TABULATION

WALL AREA TO 12' ABOVE FINISH FLOOR: 1460  
WINDOW AREA TO 12' ABOVE FINISH FLOOR: 460  
PERCENTAGE OF WINDOW AREA: 31  
REQUIRED PERCENTAGE OF WINDOW AREA: 20



## BUILDING CROSS SECTION



## TYPICAL MECHANICAL SCREEN DETAIL

TO BE INSTALLED IF REQUIRED TO CONCEAL ROOF TOP MECHANICAL UNITS



PaulWoodyARCHITECT, Inc.

447 S. Sharon Amity Road  
Suite 235  
Chapel Hill, NC 27611  
T: 704.365.4932



SCANNELL  
PROPERTIES

## SCHEMATIC DESIGN

## WORLD TRADE PARK BUILDING TWO

3503 Page Rd.  
Raleigh, NC 27617

## EXTERIOR ELEVATIONS

Progress Set Date:

Issue Date: 06/12/2022

Revisions:

1 11/16/2022  
PLAN REVIEW COMMENTS

Project Number: 22-24  
Cao File Number: 22-24-A2.00-Fp

A2.00