

Administrative Approval Action

Case File / Name: ASR-0083-2022 DSLC - PAGE ROAD FLEX City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This vacant 6.32 acre site consists of 3 parcels located between Page Road and

World Trade Boulevard, north of the intersection of World Trade Boulevard and Longistics Way at 3503 Page Road, 0 World Trade Boulevard and 10805 World Trade Boulevard. The site is zoned Industrial Mixed Use/IX-3-CU (Z-9-2020). 2.33 acres of the site is located within Wake County and the other portion of the site is

located in Durham County.

REQUEST: A 57,000 square foot building to accommodate the following uses: light industrial,

light manufacturing, research & development, and wholesale trade, with parking

and associated infrastructure.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of

approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 24, 2023 by

Kimley-Horn Associates.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. The multiuse path along the frontage of Page Road will be discernably dimensioned and no less than 12' in width. All lanes shall be dimensioned in Page Road and the striping and markings plan will be reviewed in more detail to ensure compliance with lane widths and continuity with the site at 3411 Page Road.

Engineering

- Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.
- 3. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Stormwater



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- A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
- 5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
- A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

- 7. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
- 8. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☑ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

V	Right of Way Deed of Easement Required
☑	Public Access Deed of Easement Required

Ø	Utility Placement Deed of Easement Required

☑ <u>RECORDED MAP(S)</u> - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A public access deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

2. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.



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Stormwater

 All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

4. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .629 acres of tree conservation area.

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Stormwater

- 2. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
- 3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- 4. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

- 5. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 9 street trees along World Trade Blvd.
- A public infrastructure surety for the 9 required street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:



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City of Raleigh **Development Services Department** One Exchange Plaza Raleigh, NC 27602 (919) 996-2492 currentplanning@raleighnc.gov www.raleighnc.gov

General

- 1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
- All street lights and street signs required as part of the development approval are installed.
- 3. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Stormwater

- As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
- 5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: April 6, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this a	administrative decision.			
Signed:	Daniel L. Stegall	Date:	03/30/2023	
-	Development Services Dir/Designee	_		-
Staff Coordinator:	Jessica Gladwin			

	SITE DATA
PROJECT INFORMATION	
FROJECT NAME:	2583 PAGE RONO
CURRENT OWNER	SCANNELL PROPERTIES A429, LLC
ARECETION:	CITY OF RALEICH
Hurs	0758373268, 0758425790, 0758427734
STREET ADDRESS.	3603 PAIGE ROAD: 1900 WORLD THINDS BOULE/WHD. RALESH, DC 2907
SITE SIZE & COVERAGES	·
ENTERNO ACREAGE	638 AC
TOTAL ROW DECICATION	QUE AC
PROPOSED ACREAGE (EXISTING ACREAGE - ROW DEDICATION)	6,26 AC
GROSS BULDING SQUARE FOOTAGE (PROJECT LIMITS):	57,000 SF (475' X 120')
MODULU BULDING HIJGHT:	3 STORIES / SP MAX
REGURED TREE CONSERVATION AREA (MINIMUM 15% OF SITE AREA).	CASSE AC
PHOVE THEE CONSERVATION AREA:	OURS AC
REQUIRED AMENTY SPACE (MAINLAN FOR OF SITE AREA):	x0,595 AC (x27,268 SF)
PROVIDED ANDMEY SPACE:	10/02 AC (627-291-57)
ZONING	
DISTING ZOMNG	INDUSTRIAL VINED USE (IK-S-CU)
PROPOSED ZONNO:	INDUSTRIAL VINED USE (IN-HOU)
EXISTING USE (MITHIN PROJECT LIMITS):	104CANT LOT
PROPOSED USE (WITH IN PROJECT LIMPIS):	LIGHT INDUSTRING, LIGHT MANUFACTURING, RESEARCH AND DEVELOPMENT, WHOLESALE TRADE
FRONTAGE REQUIPMENTS.	R/A
BUILDING / STRUCTURE SETBACK REQU	JIREMENTS (GENERAL BUILDING)
PREMAYY STREET (PAGE ROAD, WORLD TRACE BOLLEYARD)	SWINN
BIDE STREET (LONGISTICS WAY)	2 MMVLN
NOE FREAT PROPERTY LINE	GOLD MARKET
PARKING SETBACK REQUIREMENTS (GE	:NERAL BUILDING)
PREMARY STREET (PAGE ROAD, WORLD TRADE BOLLEVARD)	10" MINISTRUM
SIDE STREET (LONGISTICS WAY)	12 MKBOM
SIDE FREAR PROPERTY LINE	COLTANANCE
BUILDING USE BREAKDOWN	
FLEX SPACE TO BE USED AS USHT INDUSTRIALL (SHT WANLEACTURING FESE) DEVELOPMENT WHOLESALE TRADE	ARCH AND ST. REGISTER
OFF-STREET PARKING	
PARODING MANAGEM (BEO-CLI):	NONE
PROVIDED PARADNO:	133 SPACES TOTAL
REQUIRED HANDSOM PARMING.	5 SPACES (MIN. 1 WAN SPACE)
PROVIDED HANDICAP PARKING:	S SPACES (1 VAN SPACE)
RECURSED NOYCLE PARKING	SHORT TERM - NO MINUUM LONGTERM - NO MINUUM
PROVIDED DICYCLE PARKING:	0 SPACES

		ADDRESS TABLE		
8	ADDRESS	PIN	PARCEL ID/REID	COUNTY
	3503 PAGE ROAD	#0758373268	#157737	DURHAM
1	3503 PAGE ROAD	#0758425790	#0498388	WAKE
	10805 WORLD TRADE BOULEVARD	#0758427734	#0498386	WAKE

STORMWATER MAINTENANCE NOTE: STORMWATER POND, INCLUDING FOREBAY AND INLET PIPE, TO BE MAINTAINED PER CITY OF RALEGIES STORMWATER SPECIFICATIONS.

BLOCK PERIMETER EXCEPTION
PER TC-06-19, SITE IS IX ZONED AND LESS THAN 9 ACRES AND THEREFORE
EXEMPT FROM BLOCK PERIMETER REQUIREMENTS.

CROSS ACCESS EXCEPTION
PER UDD 8.3.5.5.b.iii, STIE HAS STEEP SLOPES IN EXCESS OF 25% WITHIN 10 FEET OF
A PROPERTY LINE AND IS THEREFORE EXEMPT FROM CROSS ACCESS REQUIREMENTS.

TRAFFIC GENERATION (VEHICLES)						
LAND USE CODE						
110	GENERAL LIGHT INDUSTRIAL	57,000 SF	TOTAL: 43 IN: 38	TOTAL: 27 IN: 4		

ADMINISTRATIVE SITE REVIEW FOR: 3503 PAGE ROAD

ASR-0083-2022

3503 PAGE ROAD (PIN#:0758373268); 3503 PAGE ROAD (PIN#:0758425790); 10805 WORLD TRADE BOULEVARD (PIN #:0758427734); RALEIGH, NORTH CAROLINA 27617

				T TYPE + SITE DATE TABLE le to all developments)	E		
Administrative Site Re	eview Ap	plication	`!r	SITE DATA	B	UILDING DATA	
Planning and Development Customer Service Center •	One Exchange Plaza	Suite 400 Raleigh, NC 27601 919-996-2500	Raleigh	Zoning district (if more than one, please provide the acreage of each):	e Existing gross floor a 0 SF	rea (not to be de	molished):
This form is required when submitting site pla 10.2.8. Please check the appropriate building				Industrial Mixed Use (IX-3-CU)	Existing gross floor a 370 SF	rea to be demolis	shed:
				Gross site acreage: 6.32 AC	New gross floor area	: 57,000 SF	
Office Use Only: Case #:		Planner (print):		# of parking spaces required: None	Total sf gross (to rem	nain and new): 57	,000 SF
Please review UDO Section 10.2.8. as ameni				# of parking spaces proposed: 128 Standard, 5 ADA	Proposed # of building	igs: 1	
assistance determining a Site Plan Tier is ner Permit and Development Portal, (Note: There			d online via the	Overlay District (if applicable): N/A	Proposed # of stories	s for each: 1	
Permit and Development Portal. (Note: There	s is a lee for this	verilication service.)		Existing use (UDO 6.1.4): Vacant	Flex spaces to b		
Site Plan Tier: Tier Two Site Plan	Tier Three Sit	e Plan 🗹		Proposed use (UDO 6.1.4): (see uses to the right)	Industrial/Light N		
Building Type		Site Transaction History	,		Development/W	noiesale trade	
Detached	General	Subdivision case #:			WATER INFORMATION		
Attached	=	Scoping/sketch plan case #: Certificate of Appropriateness #:		Existing Impervious Surface: Acres: 0.087 AC Square Feet: 3,811 SF	Proposed Impervious Acres: 3884 AC	us Surface: Square Feet:	167,009 SF
Apartment Townhouse	Civic	Board of Adjustment #: Zoning Case #: Z9-2020 Administrative Alternate #:		Is this a flood hazard area? Yes No. If yes, please provide:	. v		
				Flood study:			
	GENERAL INF	ORMATION		FEMA Map Panel #: 3720075800J			
Development name: 3503 Page Road				Neuse River Buffer Yes ☐ No 🗸	Wetlands	Yes	No 🗸
Inside City limits? Yes V No				DECIDENT	TIAL DEVELOPMENTS		
Property address(es): 3503 Page Rd (Wak	ke) / 3503 Page	Rd (Durham) / 10805 World Trade Bl	vd. Raleigh. NC	Total # of dwelling units: N/A	Total # of hotel unit	er N/A	
					3br 4br or more	2.1101	
Site P.I.N.(s):, 0758425790, 0758373268, 07				# of lots:	Is your project a cot	ttage court?	Yes No
Please describe the scope of work. Include a Construction of a 57,000 SF industrial a conveyance and treatment, and associ	flex building, k	pading dock, parking lot, wet utilities,	stormwater	SIGN The undersigned indicates that the property owner(s)	NATURE BLOCK		
Current Property Owner/Developer Contact NOTE: please attach purchase agreemen				described in this application will be maintained in all revewith, and in accordance with the provisions and it. J. Austin Jackson	respects in accordance with the regulations of the City of Raleig	e plans and specif gh Unified Develo	fications submitted pment Ordinance.
Company: Scannell Properties #429 LLC		Title: Development Manager		and respond to administrative comments, resubmit pl	will serve as the agent regard	ling this application	n, and will receive
Address: 8801 River Crossing Boulevard, Suit				owner(s) in any public meeting regarding this applica	tion.	mon, and will repr	esent the property
Phone #: 703-371-9790		scannellproperties.com		I/we have read, acknowledge, and affirm that this pro	plact is conforming to all applies	ation row isomont	e applicable with the
Applicant Name: Austin Jackson, P.E.	Email: MikePig	(scarrierproperties.com		proposed development use. I acknowledge that this a	application is subject to the filin		
The state of the s	Address the F		7004	which states applications will expire after 180 days of	inactivity.		
Company: Kimley-Horn and Associates, Inc.		ayetteville Street, Suite 600, Raleigh, NC 2	7601	Signature July July		Date: 11/22/20	122
Phone #:919-678-4178	Email: Austin.J	ackson@kimley-horn.com		Printed Name: J. Austin Jackson			
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-			raleighnc.gov				raleighnc.go
			raieignnc.gov				raieignnc.go



VICINITY MAP



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C0.0	COVER SHEET
C0.1	GENERAL NOTES
C0.2	APPROVAL LETTERS
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0	SITE PLAN
C2.1	SIGHT DISTANCE PLAN
C2.2	SIGHT DISTANCE PLAN
C2.3	ARCHITECTURAL SIGHT PLAN
C3.0	GRADING AND DRAINAGE PLAN
C4.0	UTILITY PLAN
C5.0	WET POND DETAIL
C6.0	SITE DETAILS
LT1.0	LIGHTING PLAN
LT1.1	LIGHTING PLAN
TC1.0	TREE CONSERVATION PLAN
TC1.1	TREE CONSERVATION METES & BOUNDS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS
A1.0	ARCHITECTURAL ELEVATIONS

DEVELOPER

ARCHITECT PAUL WOODY ARCHITECT, INC.
9840 MORROE ROAD, SUITE 102
MATTHEWS. NC 28106
CONTACT: PAUL WOODY, AIA
PRICNE: (980) 339-3589
EMAIL: PAUL@PAULWOODYARCH.COM

LANDSCAPE ARCHITECT

OWNER

CIVIL ENGINEER

KIMLEY-HORN AND ASSOCIATES, INC.
42! FAYETTEVILLE ST, STE 600
RALEIGH, NC 27801
CONTACT: AUSTIN JACKSON, P.E.
PHONE: (91) 678-4178
EMAIL: AUSTIN JACKSON @KIMLEY-HORN.COM

SURVEYOR

Z-9-20 3411 AND 3503 PAGE ROAD; 10851 AND 0 WORLD TRADE BOULEWARD, BEING DURHAN COUNTY PINS 0758-4-39-3906 DW AND 0758-42-37-2389 DW, AND WAKE COUNTY PINS 0758-4 07594-2399, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759, 57984-2759,

CONDITIONS PER CITY COUNCIL AGENDA ITEM FOR JULY 21, 2020 Z-9-20

- THE FIGURE OF THE CONTROL ADDISONATION OF ALT, 2002 A-201.

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PREPARED FOR SCANNELL PROPERTIES 3503 PAGE ROAD

Kimley » Horn

N C S

DATE
02/24/2
SCALE AS S
DESIGNED BY
DRAWN BY

COVER SHEET

SHEET NUMBER C0.0

ACCESSIBLE PARKING SIGNS WITH A "VAN" MARKING SHALL HAVE ADDITIONAL SIGN MOUNTED BELOW THE SYMBOL
OF ACCESSIBILITY SIGN DENOTING VAN ACCESSIBILITY: REFER TO CONSTRUCTION DETAIL SHEETS.

REFER TO SITE DETAIL SHEETS FOR DETAILS OF ON-SITE SIGNAGE, STRIPING, AND PAVEMENT MARKING. REFER TO SITE PLAN FOR ADDITIONAL DIMENSIONAL INFORMATION.

ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY, AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.

5. ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED UNLESS OTHERWISE INDICATED

SURVEY PROVIDED BY BASS, NIXON, AND KENNEDY, INC. CONSULTING ENGINEERS, 6310 CHAPEL HILL ROAD, STE 250, RALEIGH, NC 27607, PHONE: 919-851-4422.

THE CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY NCDOT AND THE CITY OF RALEIGH INSPECTIONS.

. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION

THE CONTRACTOR SHALL REPLACE EXISTING CONCRETE CURBS, SDEWALK, PAVING, AND GUTTER AS INDICATED ON PLANS AND AS NECESSARY TO CONNECT TO EXISTING INFRASTRUCTURE, INCLUDING ANY DAMAGE CAUSED BY THE CONTRACTOR.

10. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS AND TEMPORARY CONSTRUCTION EASEMENTS MAY BE REQUIRED.

CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO PRIVATE PROPERTY AND THE PUBLIC RIGHT-OF-WAY II ACCORDANCE WITH THE STANDARDS OF THE NCDOT AND THE CITY OF RALEIGH.

12. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH CITY AND/OR NCDOT INSPECTORS

13. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.

14. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.

17. ALL OFF-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT NCDOT STANDARD SPECIFICATIONS AND DETAILS. ALL ON-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.

18. ALL WORK MUST COMPLY WITH NORTH CAROLINA STATE BUILDING CODE AND NORTH CAROLINA ACCESSIBILITY CODE CHAPTER 11 AS WELL AS FEDERAL, STATE, AND LOCAL ACCESSIBILITY REQUIREMENTS. 19. ADJACENT STREETS SHALL BE KEPT CLEAN AT ALL TIMES.

20. CONTRACTOR MUST INSTALL CONSTRUCTION FENCE AROUND THE PERIMETER OF THE PROPERTY UNTIL THE BUILDING IS SECURE WITH TEMPORARY DOORS AND LOCKS.

REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) FOR DETAILS OF STANDARD TRAFFIC CONTROL SIGNS AND STANDARDS.

. ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL AND THE LATEST EDITION OF THE NCOOT STRANDARD SPECIFICATION FOR ROUMAY STRUCTURES; NCDOT ROADMAY STRUC

a) A DISTANCE OF 100 SHALL BE MANTANED BETWEEN SANTARY SEMER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVEN USED AS A SOURCE OF DERINGH WATER. IF ADDICATOR LITERAL SEPARATION CHRON'S EX ADVENT, DEBOODS SANTARY TESSER PRES SHALL BEFORE SHA RESILLATION INTERNET SPECIFICATIONS, HOWEVER, THE WINNION SEPARATION SHALL NOT BE LESS THAN 25 FROM A PRIVATE BELL OR 50'F FROM PRIECE SELL.

b) WEN INSTALLION STRE #/OS STRET MAINS, THE MOREOVERAL SEPARATION BETWEEN UTILITIES SHALL SE 10°. If this SEPARATION CANNOT SEE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARATION ALLOWED IS THE WITTER MAIN IN A SEPARATION CHANNED HE LEURINTON OF THE WATER MAIN AT LIGHT 18 ARDER THE TOP STRET A MUST SEE PRIPRIOLD BY THE PUBLIC UTILITIES DIRECTOR, ALL DISTANCES ARE MASURED FROM OUTSDE DIMETER TO JOINSEED DAMETER.

O WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAN, OP MATERIALS OR STEEL ENCASSMENT EXTENDED 10° ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERINES SPECIFICATIONS.

& INSTALLED TO WATERLINE SPEUPCATIONS.

(1) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.

MANITAIN 15 MIN. VERTICAL SPRANTION TAT LIKE MATERIAN & RCP STORM DRAIN CROSSINGS. MANITAIN 24 MIN. VERTICAL SPARATION AT ALL SANITARY SEREN & RCP STORM DRAIN CROSSINGS. WERE ACCOUNT. SEPARATIONS CANNOT BE ACREVED, SPECTY DP MATERIALS & A CONCRETE CRADE HAVING 6' MIN. LEARANCE (PER CORPUD DEFINES W-41 & 5-49).

1) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEMER FACILITIES WITH 18" MIN. VERTICA SEPARATION REQUIRED. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT, ANY MECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UNITIES DEPARTMENT.

IT IS THE DELOCATE RESPONSIBILITY TO ARMOON OR REMOVE EXISTING WATER A SEMER SERVICES NOT BEING USES IN REDEVICIONENT OF A SITE UNLESS ONERWISE DERICED BY THE CITY OF RALIGHH FURILLY UNLINESS PRATECTED BY THE CITY OF RALIGHH FURILLY UNLINES CORPUL HANDBOOK PROCEDURE. CONTRACTOR TO HAVE INSPECTION ON-SITE TO WINESS REMOVAL OR ARMOONMENT AT MAN.

INSTALL 2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2"X2" WATERLINE EASEMENT IMMEDIATELY ADJACENT, NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROMPER ADEQUATE FLOW & PRESSURE.

Install 6: PVC sewer services ϕ 1.0% minimum grade with cleanouts located at row or easement line & spaced every 75 linear feet maximum. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PS; BACKWATER VALVES ARE REQUIRED ON ALL SANTARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0" ABOVE THE NEXT UPSTREAM MAINICLE.

UNSTITUTE MANHOUS.

ON ALL EVENCOMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE GREANED FROM NCOWO, USAGE &/OR FEMA
FOR ANY REPARAN BUFFER, WELLAND A/OR FLOODH-ANI MAPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
INCODE! / PAREADO BICHOROLOMENTA ARREPMENTS ARE REQUIRED FOR ANY UNITLY MORK (NCULLING) MAN
EXTENSIONS & SERVICE TARS) WITHIN STATE OR RALEPOAD ROW PRIOR TO CONSTRUCTION.
CREATE WITEFORTOPIC / OL WATER SPRACHED SERVICE ALOUATIONS & INSTITUTIONS STORY,
APPROVED BY THE COMPUT FOR PRIOR STATE OF PRIOR TO SUSJANCE OF A BULLION PRIOR TO
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BENEST AT (1917) WHE-CASE OF INDIVIDENSAL PROGRAMMON FOR MICE INFORMATION, ACCORDING TO THE ACT OF THE ACT OF THE ACT OF THE ACCORDING TO THE ACT OF THE ACT OF THE ACT OF THE ACCORDING THE ACCORDING

FL HP JB LOD LP PVC RCP SCM SSCO SSMH SF TCA

ABBREVIATIONS:

ACRE ON OF WALL
BOTON OF WALL
CLEANOUT
CITY OF RALEIGH
CONTROL STRUCTURE
DUCTILE HON PIPE
EXISTING GRADE
EXISTING GRADE
EXISTING FRADE
THE OF T

FLOW LINE
HIGH POINT
JANCSTON ET
JANCSTON ET
LIMITS OF DISTURBANCE
LOW POINT
LOW POINT
FRENCHCED CONDECT PIPE
REINFORCED CONDECT PIPE
STORMMATER CONTROL MEASURE
SANITARY SEMER CLEAMOUT
SOURCE FREE MANIOLE
SOURCE FREE MANIOLE
TIPEE CONSERVATION AREA
TOP OF WALL

1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.

CONTRACTOR SHALL NOTIFY THE CITY OF RALEIGH UTILITY INSPECTORS 72—HOURS BEFORE CONNECTING TO ANY
EXISTING LINE.

6" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP 8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP 6" PVC SDR26DLE 40 DUCTILE IRON PIPE PER AWMA CISO AND AWMA CISI

WATER LINES SHALL BE AS FOLLOWS:

3"-10" DUCTILE IRON PIPE PER AWWA C150 %" TO 2" TYPE K SOFT COPPER

6. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT ON UTILITY DETAILS.

WATER AND SEWER MAINS SHALL BE KEPT TEN (10") APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).

8. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.0' COVER ON ALL WATERLINES.

IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANTARY LINES, STORM LINES, AND CAS (EXISTING AND PROPOSED), THE SANTARY LINE SHALL BE DUCITLE BOX PIPE WITH MECHANICAL JOINTS AT 10 FEET ON BOTH SIEDS OF CROSSON, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPRO THRUST BLOCKING, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (ANWA C-151) (CLASS 50).

12. THE CITY OF RALEIGH HAS THE RIGHT TO INSPECT ALL PRIVATE WATER AND WASTEWATER SYSTEMS.

14. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.

15, REFER TO ARCHITECTURAL DRAWINGS FOR TIE-IN LOCATION AND ELEVATION OF ALL UTILITIES AT THE BUILDING.

. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EMSTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE WARROUS UTILITY COMPANES, AND WHERE POSSIBLE, MASSURGENIST STATEON THE FELD. THE REPROMATION IS NOT TO BE RECEDED AN & SENDE DAZAT OR COMPATIES. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCHANGING THE CONTRACT THE CONTRACTOR THE

18. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES CHARTED OR UNCHARTED WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.

. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.

20. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.

22. ALL EXISTING UTILITIES PROPOSED TO BE RELOCATED ON THESE PLANS SHALL BE PLACED UNDERGROUN

23. ALL SANITARY SEWER AND WATER DISTRIBUTION SYSTEM WORK TO BE INSTALLED BY A LICENSED UTILITY CONTRACTOR.

24. THE CONTRACTOR SHALL COORDINATE AS REQUIRED WITH UTILITY PROVIDERS FOR INSTALLATION OF PRIMARY ELECTRIC SERVICE AND TELEPHONE SERVICE TO THE PROPOSED BUILDINGS.

WHEN A WATER MAN GROSSES OVER A SEWER MAN, THERE MUST BE DON'TED NOVES OF VERTICAL SEPARATION. IF THE WATER MAN MUST GO LORDER THE SEMER MAN, BOTH LINES MOST BE OF DUCHEE ROW FOR A DESIGNATION OF THE TO ME THE ORDER OF THE CHOSSING OF THE THE ORDER OF THE ORDER OF

1. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:

15" DIAMETER AND LARGER: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN CASKETS AT JOINTS.

LESS THAN 15" DIAMETER: PVC SCHEDULE 40 OR HOPE – AASHTO DESIGNATION M252 TYPE S, M294 TYPE S, NOD MPT-97 TYPE S, SMOOTH NTERIOR/AMBILLAR EXTERIOR. ONLY PERMITTED WHEN SECRECIALLY INDICATED ON THE CONSTRUCTION DEAWNINGS PER SHALLE ENTSALLED IN ACCORDANCE WITH PIFE AMMUNIFACIUMER'S INSTALLATION CUIDELINES OR NCDO'S PEGFACINON, MINICHERY IS MORE STRINGON. PIFE JOINTS AND FITTINGS SHALL CONFORM TO AGAINTO M252 AND M294 MINICHERY IS MORE STRINGON. PIFE JOINTS AND FITTINGS SHALL CONFORM TO AGAINTO M252 AND M294

ALL STORM DRAINAGE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE CLASS III RENFORCED CONCRETE PIPE UNLESS OTHERWISE SPECIFIED AS CLASS IV.

ALL PIPES SHALL BE LAID ON STRAIGHT AUGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD.

ADDITIONAL SUBSURFACE DRAINAGE MAY RE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED NECESSARY BY THE INSPECTOR.

5.2. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.

EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.

5.4. MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION PER GEOTECHNICAL RECOMMENDATIONS.

5.6. APPLICABLE SAFETY REGULATIONS SHALL BE COMPUED WITH.

IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.

8. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.

PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION. CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC.
SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE NORTH CAROLINA DEPARTMENT OF
TRANSPORTATION STANDARD EXTLAS AND

THIS PLAN DETAILS PIPES UP TO SFT FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR BUILDING CONNECTIONS. CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY.

 ALL STORM SEWER MANHOLES IN PAVED AND UNPAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER". 12. STRUCTURE RIM ELEVATIONS SHOWN HERE IN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS NECESSARY.

13. RIM ELEVATIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS REFLECT FINISHED GRADES. RIM ELEVATIONS REFER TO THE CENTER OF DROP NLETS, MANHOLES, AND JUNCTION BOXES, AND THE GUTTER FLOW LINE FOR CURB

ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF RALEIGH AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION REGULATIONS AND CODES AND O.S.H.A. STANDARDS.

ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. SPOT ELEVATIONS AT CURB AND GUTTER LOCATIONS ARE TO THE GUTTER FLOW LINE, UNLESS OTHERWISE NOTED.

ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.

THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.

ALL FILL TO BE COMPACTED PER THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER LICENSED IN THE STATE OF NORTH CAROLINA.

LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.

THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVENENT CROSS SECTION DATA TO ESTABLISH CORRECT SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT.

CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.

ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS CONSIDERED A VIOLATION OF THE GRADING PERMIT AND SUBJECT TO A FINE.

12. EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY REFERENCED IN THIS PLAN SET

15. CONTRACTOR SHALL STABILIZE AND WATER DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEDITATION OF ALL SHEETING, SHORNE, BRACHG, AND SPECIAL EXCAVATION MESSINESS REGULARD ON MET OSHA, REPERAL, STATE AND LOCAL REQULARDS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWNOS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(5) TO INSTALL AND ITLUS.

THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS AS AN ALTERNATE ALLOWANCE.

CONTRACTOR TO BE RESPONSIBLE FOR DEWATERING AS NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.

THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, DOOR LOCATIONS, AND EXACT UTILITY ENTRANCE LOCATIONS AND ELEVATIONS.

CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

24. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.

CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT—OF—WAY OR ABANDONED AT MAIN AS REFERENCED IN THE PLANS.

26. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED

. ALL AREAS WITH 2:1 SLOPE OR ERODABLE SLOPES SHALL BE COVERED WITH ERONET MATTING OR APPROVED EQUAL INSTALL PER MANUFACTURER'S INSTRUCTIONS.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXSTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS THEMED IN THE FEIGH. THE INFORMATION IS NOT TO BE REJUDED ON AS BEING EXCUT OR COMPARED. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCANATION TO REQUEST EXACT PED LOCATION OF THEMED.

29. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME FINE GRADING NOTES (PRIVATE PROPERTY):

1. SIDENALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE

PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED AREA. ADA PARKING AREAS AND ACCESSIBLE AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.

4. SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.

STRUCTURAL AND SUBSURFACE DRAINAGE DESIGN FOR RETAINING WALLS ARE NOT ADDRESSED IN CIVIL PLANS BY KIMLEY-HORN AND ASSOCIATES, REFER TO RETAINING WALL SHEETS IN THIS PLAN SET.

BACKFLOW PREVENTION NOTES:

ALL REQUIRED BACKFLOW PREVENTER ASSEMBLIES ARE REQUIRED TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM INTO SERVICE.

THE DOMESTIC BACKFLOW PREVENTER SHALL BE INSTALLED PER THE CITY OF RALEIGH REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.

THE FIRE BACKFLOW PREVENTER FOR THE FIRE SPRINKLER SYSTEM SHALL BE INSTALLED PER THE CITY OF RALEIGH REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN. THE IRRIGATION BACKFLOW PREVENTER SHALL BE INSTALLED PER THE CITY OF RALEIGH REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.

1. CONTRACTOR IS RESPONSIBLE FOR PROPERLY DISPOSING OF EXCESS MATERIAL OFF-SITE

THE CONTRACTOR SHALL PROVIDE GROUND COVER ON DESIGNATED AREAS AND SLOPES GREATER THAN 2.1 MINN 7 DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING, CONTRACTOR SHALL REPOWDE GROUND COVER IN 14 DAYS ON ALL DIETR AREAS TOLLOWING COMPLETION OF ANY PHASE OF GRADING PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED WITHIN 13 MORRING DAYS OR 90 CALLEDIAN DAYS (MEMOREN'S IS SHOPTEN) FOLLOWING COMPLETION OF CONSTRUCTION.

DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPIES AND BORROW AREAS SHALL BE STABLIZED OR PROTECTED MINE SEMBALT REAFMEND MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABLIZATION OF ALL SOIL STOCKPIES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED TROM THE PROJECT SITE.

WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISONS SHALL BE MADE TO WINNINZ THE TRANSPORT OF SEMBLAND BY VEHICULAR TRACKING ONTO THE PAVED SUPPRICE. BY CONTRACTION OF THE PAVED SUPPRICE OF THE PAVED SUPPRICE OF THE CLEAVED THOROUGH X AT THE BUT OF EACH DAY. SUBJECT SHALL BE REWINDED FROM THE PAVED BY SHOULD FROM THE ROADS BY SHOVELING OF SEEDING AND TRANSPORTED TO A SEMBLAT CONTROL DISPOSAL AREA. STREET WASHING SHALL BELL ALLOWED ONLY ATTREE SEMBLAT IS REMOVED THIN THE PROBLEMENT SHOULDED BY SHOULDED BY SHOULDED BY SHOULDED BY SHOULD THE SEMBLAT IS REMOVED BY SHOULDED BY SHOULD BY SHOULD BY SHOULD BY S

ALL TEMPORARY EROSON AND SEDIMENT CONTROL MEASURE SHALL BE REMOVED WITHIN 30 DAYS AN FRAIL SITE STABLIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED AND APPRING SEED ORDINATED FROM THE CITY OF RALDEL MISSECTIONS DEFERMENT, TRAPPED SEDIMENT THE DISTURBED SOIL AMERICA RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL PERMANENTLY SHALLEDTO FOR PREVIOUS TURNERS BROOKD AND SEDIMENTATION.

THE CONTRACTOR SHALL DILICENTLY AND CONTRIGUOUSLY MAINTAIN ALL EROSION CONTRIC DEVICES STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE ERI CONTRICL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STACE.

A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.

STABLIZATION IS THE BEST FORM OF ERCORN COUTROL, ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STRAULED SHALL BE TOP SOLED AND SEEDS, TEMPORATELY OF PREMAMENTY IN ACCORDANCE WITH THE CITY OF RALEGIS SEDIMENT CONTROL, REGULATIONS, PERMANENT SEDIMEN AND ORASS ESTRAUEMENT IS REQUIRED PRIOR TO PROJECT COMPLETON AND ACCOPTANCE.

13. CONTRACTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF DOES NOT LEAVE SITE LIMITS OR ENTER PROTECTED AREAS. ANY SEDIMENT DEPOSITED BEYOND DISTURBED AREA WITHIN SITE LIMITS SHALL BE

WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.

ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF CIFANING.

DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET. STABILIZATION MEASURES SHALL BE APPLIED TO STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.

DEMOLITION NOTES: THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER. COORDINATION ITEMS ARE ANTICIPATED TO INCLIDE SITE ACCESS, TRAFFIC CONTROL, MAINTENANCE OF ACCESS AND UTILITIES FOR EXISTING BUILDINGS TO REMAIN, AND EXOSION CONTROL.

ALL FEATURES MARKED TO BE ABANDONED IN PLACE SHALL REMAIN IN EXISTING CONDITION UNLESS REMOVED THROUGH EFFORTS FOR OTHER FEATURES. SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORATION TO ORIGINAL CONDITION AS OF START OF WORK.

WHERE PAVEMENT REMOVAL AREAS ABUT OTHER PAVEMENT AREAS TO REMAIN, THE EXISTING PAVEMENT SHALL BE SAW CUT TO PROVIDE A BOUNDARY WHICH IS STRAIGHT AND CLEAN IN APPEARANCE.

ALL SANITARY SEWER MAIN FEATURES WILL GENERALLY BE PROTECTED IN PLACE UNLESS SPECIFICALLY MARKED FOR REMOVAL.

THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE CONSTRUCTION SITE.

THE CONTRACTOR SHALL PROTECT ALL TREES AND SHRUBS OUTSIDE OF CUT/FILL LINES, IN ADDITION TO THOSE THAT RECEIVE TREE/SHRUB PROTECTION BARRIERS. THE CONTRACTOR IS ALSO REQUESTED TO SAVE ALL OTHER EXISTING TREES AND SHRUBS WHERE POSSIBLE.

WHEN ROOT PRUNNIC IS NECESSARY, USE A TREMPER TO QUT AREA WHERE APPROPRIATE ROOT PRUNNIC SPICILID BE PREFORMED. TO PRUNE ROOTS LARGET THAN THE CAPABILITY OF A TREMER USE HAND TOLLS TO OBTAIN A QUEAN CUT, DRESS WOUNDS LARGER THAN TWO INCHES AND USE PLYWOOD FORMS WHEN TREE ROOTS ARE ADJACENT TO PROPOSED CURB AND QUITER.

NO GRUBBING WITHIN TREE PROTECTION ZONE, LEAVE SOIL AND LEAF LITTER UNDISTURBED, SUPPLEMENT WITH 1-2 INCHES OF MULCH, RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, CLEARING, GRADING, OR CONSTRUCTION BEGINS AND IS NOT TO BE REMOVED UNTIL AFTER CONSTRUCTION.

FOR REVIEW ONLY

SURVEY NOTE:
ALL EXSTING TOPOGRAPHICAL AND BOUNDARY
INFORMATION WAS PROVIDED WITHIN AN ALTA/NSPS
LAND THE SURVEY FOR WORLD TARGE ASSEMBLY
REPEARED BY BASS, NIXON & KETNEDY, INC.
CONSULTING ENGINEERS, 6310 CH242, DATED
20, RALEIGH, NC 27606, (919) 851–4422, DATED

Know what's below.

ATTENTION CONTRACTORS

<u>Failure</u> to notify both City Departments in advance of beginning construction, will result in the issuance of <u>moretar flars</u> and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure. Failure to coll for Inspection, Install a Downstream Plug, have Permitted Plans on the Jobsic, or only other Visitation of City of Ratirgh Standards will result in a <u>Fine and Possible Exclusion</u> from Juture work in the City of Ratirgy.

S 5 5 운 AND ASSOCIATES, UITE 600, RALEIGH, D FAX: 919-677-2 ey»

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NOTES GENERAL

RED FOR PROPERTIES ROAD Ш PAG PREPAI SCANNELL F 503

SHEET NUMBER C0.1

City of Ralaigh Public Utilities Cross Connection Program Certificate of Compliance Application New Construction

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Date: 09/01/9099 PINA ANDREA COMMERCIAL POR PRINCIPATION OF THE PROSPRY OF THE PROSPRY OF THE PROSPRE AND THE P

Activess: 3509 Page Road, 10805 World Trade Blvd. Paleigh, NC 27817
Street Address IS in dinew construction City State Street Address (Sile of new construction)

brytime Phone Number 703-371-9790 British in-keo@scannelloroperties com

Containment Assembly: A backflow assembly, installated this point of separation between the public water supply and a private service or private distribution system or at the point of metadog.

Minimum recoverements. Curiolismont assembles must be installed will in 50' linear less of upining from the most deventation able of the meter box on 1000 and be on the 4505 and 150 approal list. Please see Appendix A: Cuidelines and Seculements for the Greek Consolidor Program For the the Installation of Upining and Consolidor Program For the Installation of Upining Assembly Consolidor Program For the Installation Consolidor Program For the

Water Service (Damestic, Irrigetice, Fire, or Private Dietricution System)	Type of Backflow, Reduced Pressure Zone (RPZ), Reduced Pressure Diffector Assembly (RPDA), Double Check (D), or Double Check Different Agreembly (DDDA)	Miccel of Contigorment Backflore	S za of Sutvice	Office Use Only Approval of Location, Type, sed Model
APRIAT DV	696	WAY BREEFELD AND	19	MB
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700 M9.00617476 - 919.915.1563



148 Stone Back Court Dardours 387 27703

1September 2022

Page Road Floa 3505 Page Read

To whom it may concern,

GFL Environmental is a weete colector headquartered in Paleigh, NC. We verify that we have nestweet the plane defined 15 September 2022 (Sheet C2.0), provided by Klimby-Horn. Seed upon these plane, GFL Environmental has the stillty to provide manipular colid vestes and response services to the Paga Read Flex project, located in Redeligh, NC.

Regards,

Jose McMille

Jason McMillan Account Manager 6FL Environment



STATE OF NORTH CAROLINA DEPARTMENT OF TRANSPORTATION

January 9, 2023

Kimley-Horn 421 Fayetteville Street, Suite 600 Raleigh, North Carolina 27601

Subject: Planting Permit for 3503 Page Road

To whom it may concern:

Please be advised that the planting plans have been declined for 3503 Page Road located in Wake County, North Carolina.

If you have further questions, please let us know

Smearety,

Corey L. Suddenth
Readside Environmental Engineer

2612 NORTH BLKE ST DURLAM, NO 2006



STATE OF NORTH CAROLINA DEPARTMENT OF TRANSPORTATION

ROY COOPER

January 4, 2023

Kimley-Horn 423 Fayetteville Street, Suite 600 Releigh, North Carolina 27601

Subject: Planting Ferruit for 3503 Face Rose

To whom it may concern:

Please he advised that the planting plant have been conditionally approved for 3500 Page. Road located on Page Road in Wake County, North Carolina.

This letter is issuing the Pfanting Permit per North Carolina Department of Transportation policy. The following standard provisions are made part of this agreement

- The permittee shall maintain a clear alglist distance for vehicles as Lizing, Stiveway connections.
- The Division of Highways will not be responsible for any damage to the plants, which may
 be dans by third parties.
- Maintenance of the plantage will be the responsibility of the parmittee. Should the plants not be maintained in a sufficient manner the plants could be subject to remove.
- 4. Plants to be first class quality of their species.
- 5. A crey of this pennit must be on the works to at all times while the work is being performed.
- All trees and plants shall be pruced and maintained in such a manner as to not encreach upon the travel way.

Tologicos, Sant 21 Califo Website appreciator?

2812 BORTH OLKE ST BURBAM, KE 2777

J. ERIC BOYETTE

- The traveling public shall be warred of construction with complete used proper signing and tentile control devices in accordance with the current Manual or Uniform Tentile Devices (MUTCO). No work shall be performed in the Right of Wey unless this requirement is satisfied. ACOMY bearway the right to require a written terfor-control plan for enconcentrated.
- NCDOT does not guarantee the Right of Way on this road, not will to be responsible for any claim for damages brought by any property owner by reason of the transitilities.
- 9. Two-way traffic shall be maintained at all times.
- 10. No lace of tradic shell be closed or restricted featween the bours of 6:00 AM 9:00 AM and 4:00 PM 7:00 PM Monthy Friday. Any violation of there hours will result in termination. of the energachment agreement.
- SCDOT controls the right to further limit, restrict, or suspend operations within the Right of Way if, in the opinion of NCDOT, refery or traffic conditions warrant such action.
- 12. The Traffle Services Supervisor stall be notified a: (919) 477-2914 in Derlam prior to beguning work on the Right off Way If have one working NCDOT signs, ruffle signals, or signal equipment for ment for grapeed work spec. Courts for Johney, replace, or grape Courts of Todors, replace, replace are prior NCDOT as gas, signals, or security equipment shell be the responsibility of the Entroycher.
- The applicant will be required to notify the Roadside Environmental Technician: Mark Country at (919) 816-9290 pitor to beginning and after complotion of work.
- [4]. It shall be the consensibility of the Bueroscher to determine the location of order with its width the encovalment error. The Entropyler shall be responsible for notifying other willing corners and providing protection and antiquated to provent decreage or intertuption to existing the little and to resistant access bility to existing utilities.
- 15. At the end of each working day, aquipment shall be parked a minimum of 30 feer from the edge of any stavel lane and be barkeded in order not be have any equipment obstruction within the olar recovery zone.
- 16. The applicant is responsible for identifying project Impacts in waters of the United States (Seellers, internitates assume poetamical internit and needle hearder which in the XCDOT requires abstraction from the United States of the Impact and Application of the Application (Application (Application
- 17. The applicant is restrons the for complying with the Neuse and Tre-Pendlen Rigarian Buffer Rule is regulated by the XCDWO. The Rule regulates entirity within a 90-first infifer along percential generates, international streams and pends. Additional information can be obtained by consisting the XCDWQ.

- 18. The applicar is represented for revelling instructs to faintful year-cited region during project constituence. But beliefer the state in model constituence board reviews must be admitted and instructed and revellent reduced to the control of the state of the state between the control of the state between the cited of the state between the control of the state between the cited of the state between the control of the state of th
- (9) In the event that plants require relocation or removal for highway construction, reconstruction, maintenance or safety, such removal or relocation will be done immediately by the permittee framine/pisity/seci propried/safeal) upon notification by the Division of Highways, entirely at the expense of the permittee.

If you should need further assistance, please contact Corey Sudderth by phone at 919-317-4700 or by email at csudderth@ncdet.gov



BHI/cls

Co: Corey Sudderth, Roadside Environmental Engineer File

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SURVEY NOTE:
ALL EXISTING TOPOGRAPHICAL AND BOUNDARY
INFORMATION WAS PROVIDED WITHIN AN ALTA/NSPS
LAND TILE SURVEY FOR WORLD TRADE ASSEMBLAGE
PREPARED BY BASS, NIXON & KENNEDY, INC.
COMSULTING ENORFERS, 6310 CHAPEL HILL RD,
STE
250, RALERGH, NC 27606, (191) 851-4422, DATED

Horn AND ASSOCIATES, I UITE 600, RALEIGH, D FAX: 919-677-20 Kimley» © 2023 KIMLEY—HOF 1 FAYETTEVILE STREET, PHONE: 919—677—2 WWW.KIN

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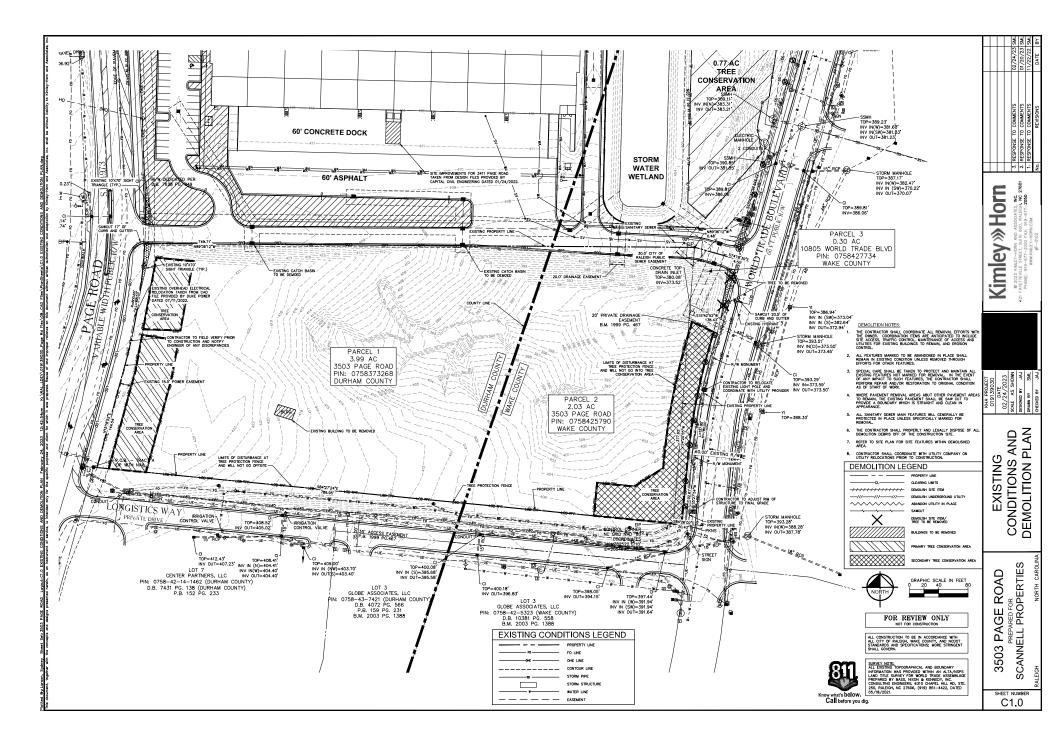
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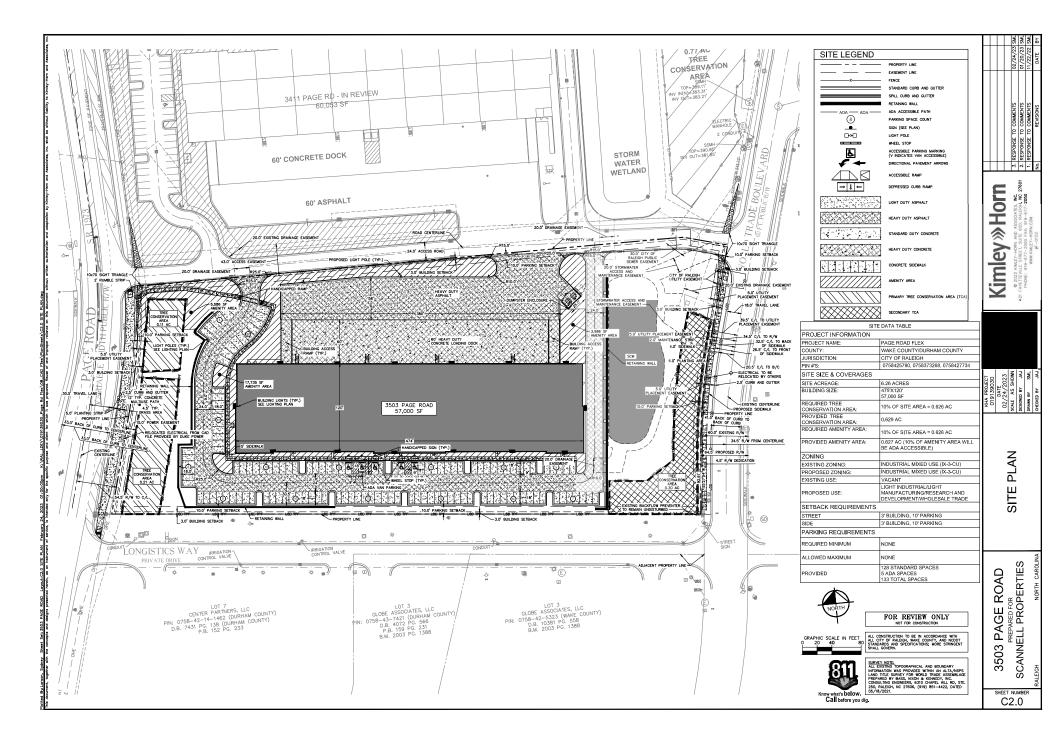
LETTERS **APPROVAL**

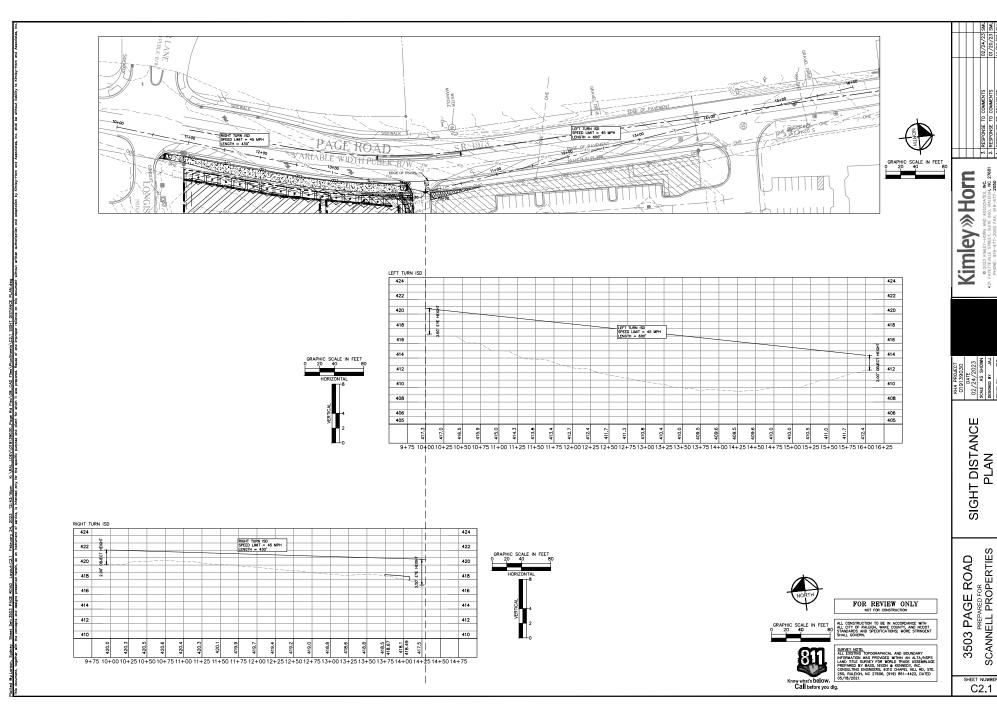
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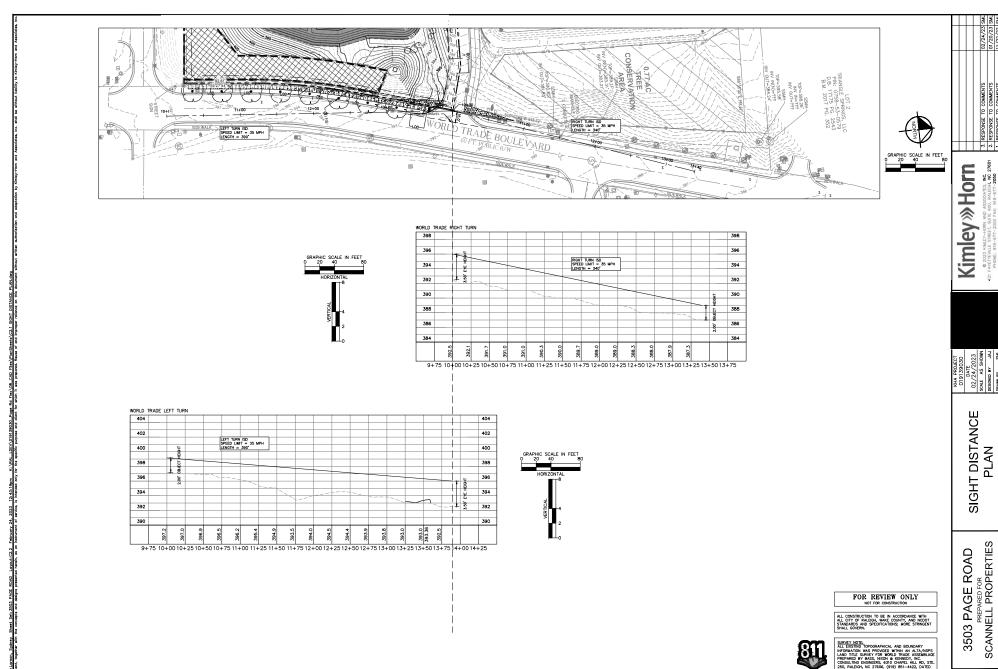




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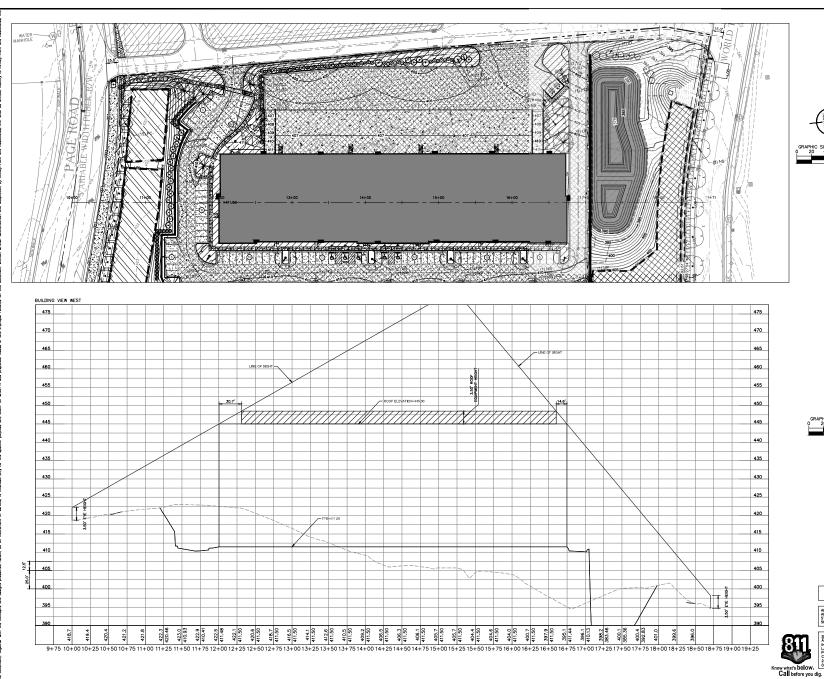
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SIGHT DISTANCE PLAN

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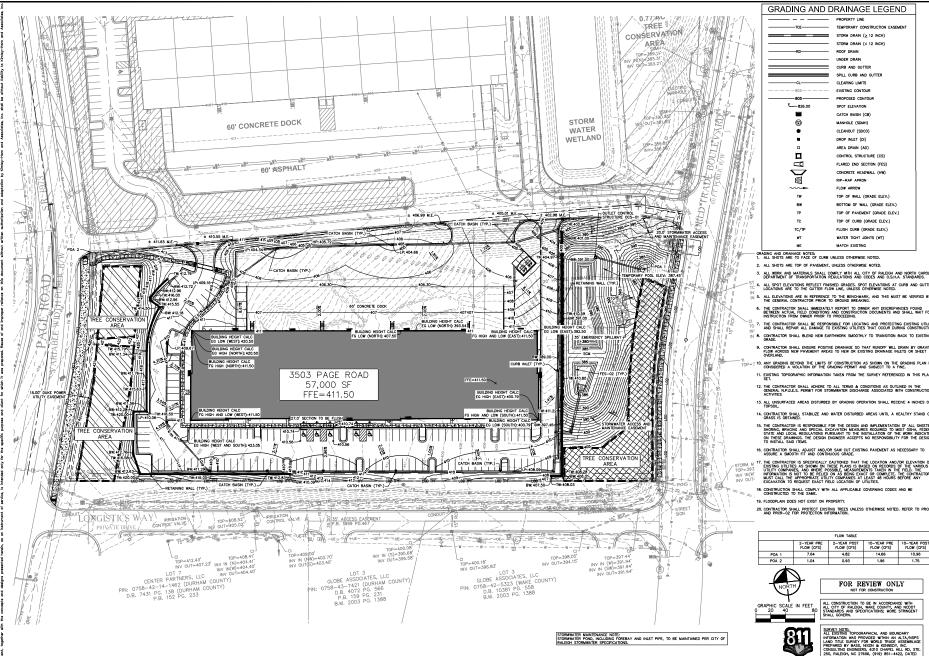
ARCHITECTURAL SIGHT PLAN

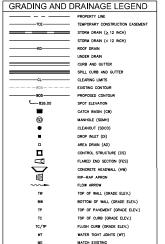
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2. ALL SHOTS ARE TOP OF PAVEMENT, UNLESS OTHERWISE NOTED.

ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF RALEIGH AND NORTH CAROL DEPARTMENT OF TRANSPORTATION REGULATIONS AND CODES AND O.S.H.A. STANDARDS.

ALL SPOT ELEVATIONS REFLECT FINISHED GRADES. SPOT ELEVATIONS AT CURB AND GUTTER LOCATIONS ARE TO THE GUTTER FLOW LINE, UNLESS OTHERWISE NOTED.

IN 5. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION

CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.

CONTRACTOR SHALL ADJUST AND/OR SAW CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

17. THE CONTRACTOR IS SECREDALLY CAUTIONED THAT THE LOCATION AND/ORE LOSSING INITIES AS SHOWN IN INSECT MANS IS SHOWD ON RECORDS OF THE UTILITY COMPANIES, AND WHERE POSSING, MEASUREMENTS TAKEN IN THE FIELD ON AS SERVE EACH OF COMPANIES. THE OWN THE FIELD ON AS SERVE EACH OF COMPANIES. THE OWN THE PROPORTION TO REQUEST EACH OF THE OWN THE OWN THE PROPORTION OF THE DISCOVERY OF UTILITY COMPANIES AT LEAST 48 HOURS BEFORE EXCAVATION OF REQUEST EXACT FEEL DISCOVERY OF UTILITIES.

CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.

19. FLOODPLAIN DOES NOT EXIST ON PROPERTY.

CONTRACTOR SHALL PROTECT EXISTING TREES UNLESS OTHERWISE NOTED. REFER TO PROR-AND PROR-02 FOR PROTECTION INFORMATION.

FLOW TABLE					
	2-YEAR PRE FLOW (CFS)	2-YEAR POST FLOW (CFS)	10-YEAR PRE FLOW (CFS)	10-YEAR POST FLOW (CFS)	
POA 1	7.64	4.82	14.66	10.96	
POA 2	1.04	0.93	1.96	1.75	

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CONSULTING ENGINEERS, 6310 CH242, DATED
20, RALEEN, NC 27606, (919) 851–4422, DATED

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PREPARED FOR SCANNELL PROPERTIES ROAD PAGE 3503

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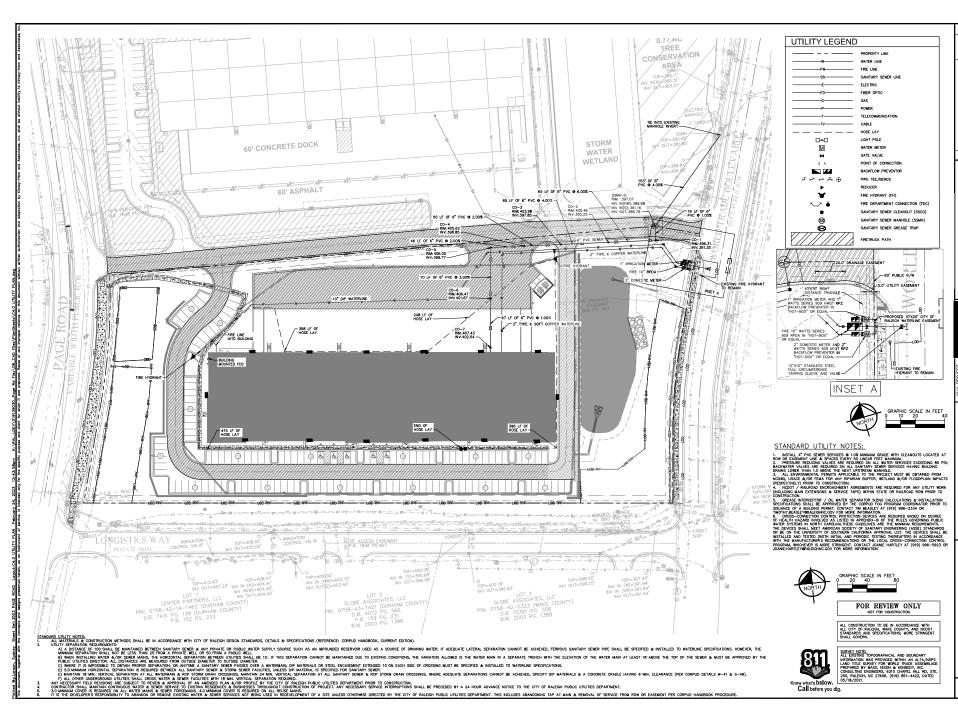
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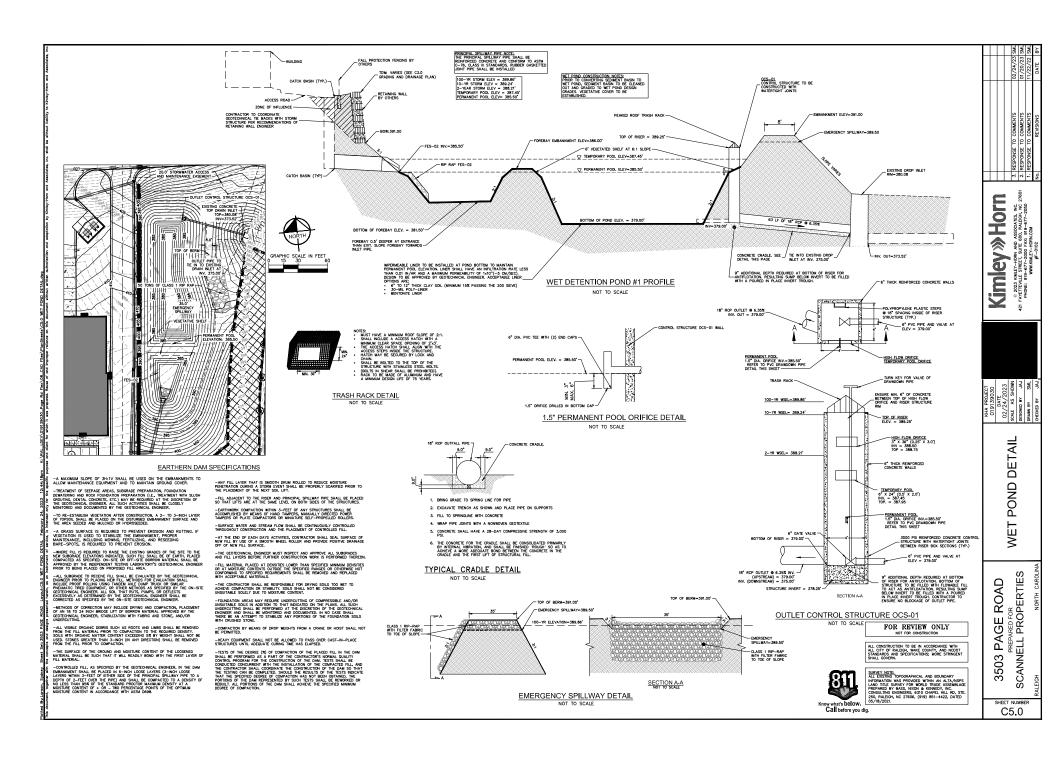
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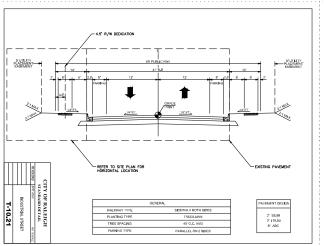
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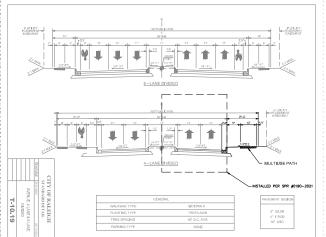
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Know what's below Call before you dig.

811







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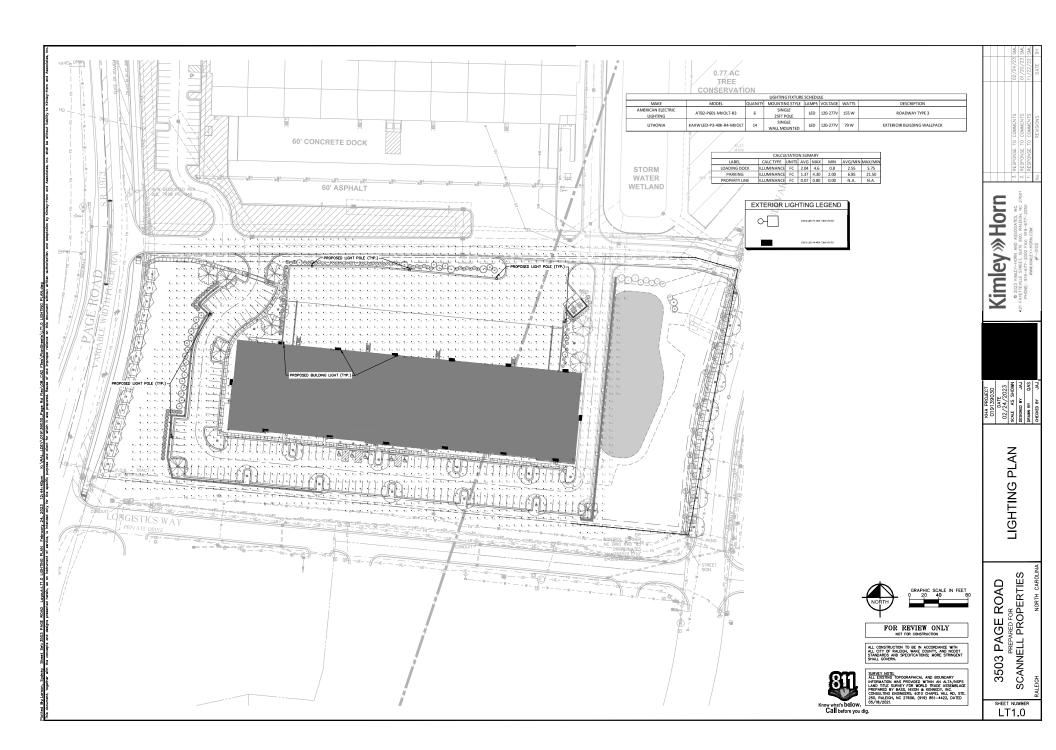
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RAYETTEVILLE STREET, SUITE 600, RALEGH, NC 27601
PHONE: 919-677-2000 FAX: 919-677-2050
WWW.KMLEY-HORN.COM. Kimley»Horn

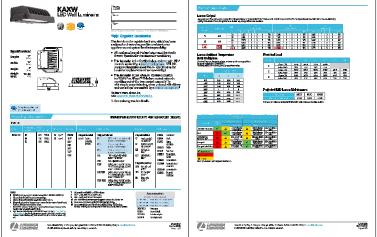
SITE DETAILS

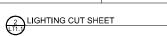
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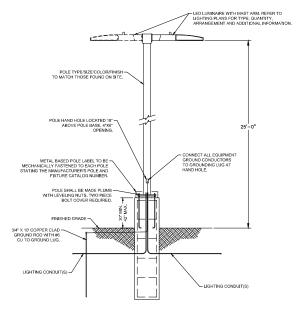
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LIGHTING CUT SHEET







- NOTES

 1. THIS DETAIL IS FOR REFERENCE ONLY, CONTRACTOR SHALL INSPECT EXISTING SITE POLES AND FOOTERS AND PROVIDE SIMILAR TYPESSIZES TO MATCH.

 2. SHALL PROVIDE SHOP DEMANNOS TO BE INCLUDED IN THAL A SHALL PROVIDE SHOP DEMANNOS TO BE INCLUDED IN THAL A SHALL PROVIDE SHOP DEMANNOS TO BE INCLUDED IN THAL A SHALL PROVIDE SHOP DEMANNOS TO BE INCLUDED IN THAL A SHALL PROVIDE SHOP DEMANNOS TO BE INCLUDED IN THAT A SHALL PROVIDE SHOP DEMANNOS TO BE INCLUDED IN THAT A SHALL PROVIDE SHALL PROVIDED SHALL P



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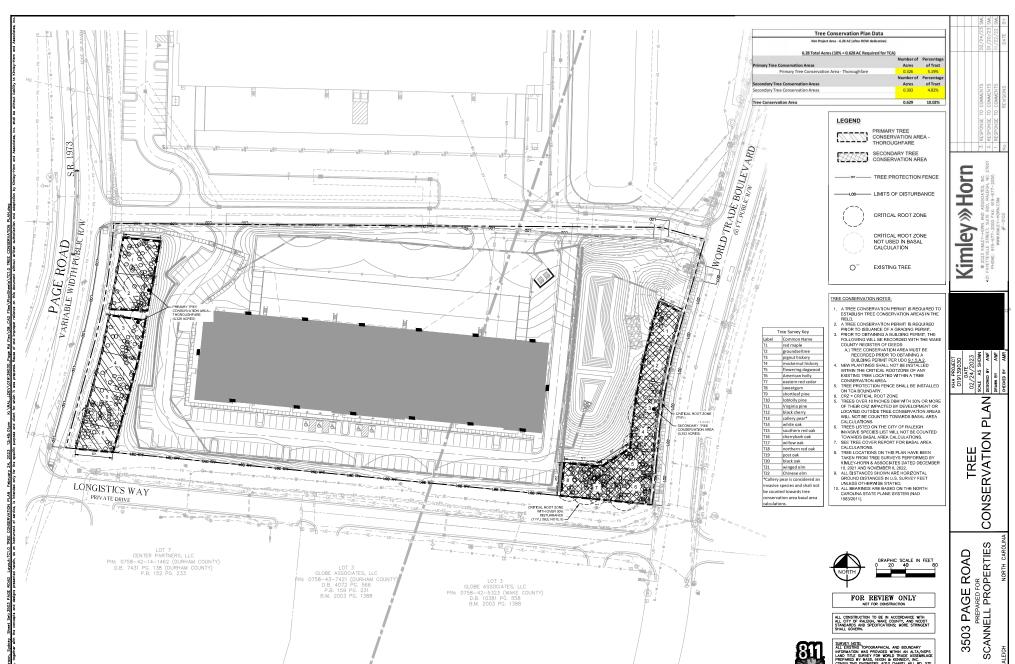
Kimley » Horn N C S © 2023 KIMLEY-HORN AND ASSOCIATES, 421 FAYETTEVILE STREET, SUITE 600, RALEIGH, PHONE: 919-677-2000 FAX: 919-677-2 WWW.KIMLEY-HORN.COM

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LIGHTING PLAN

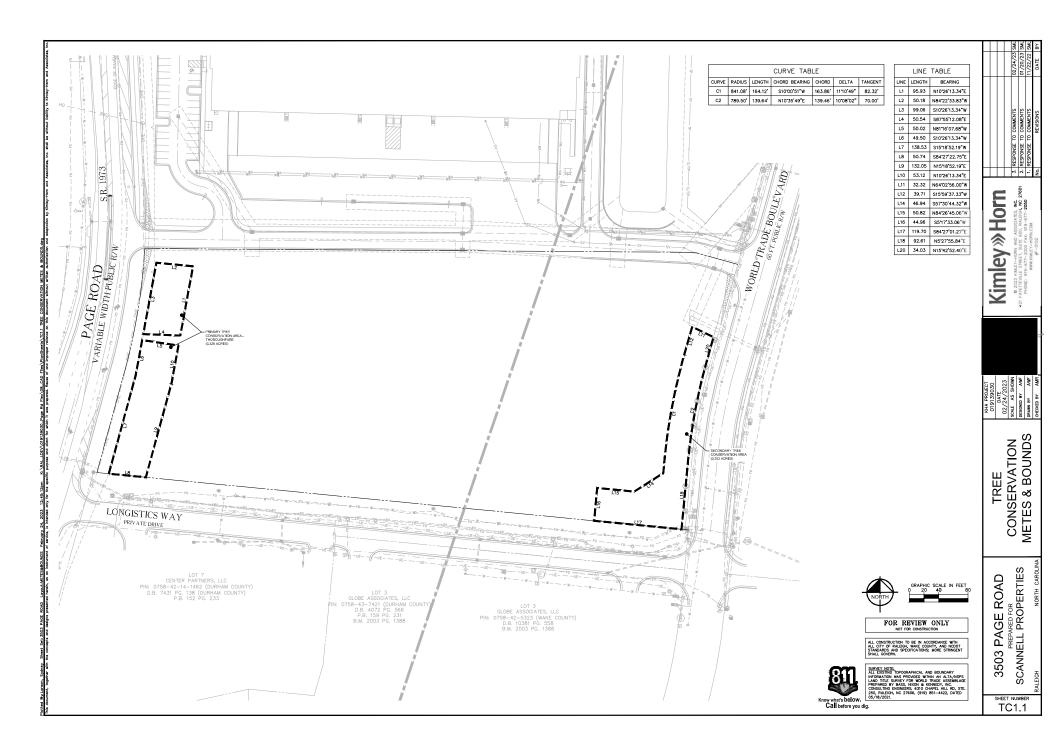
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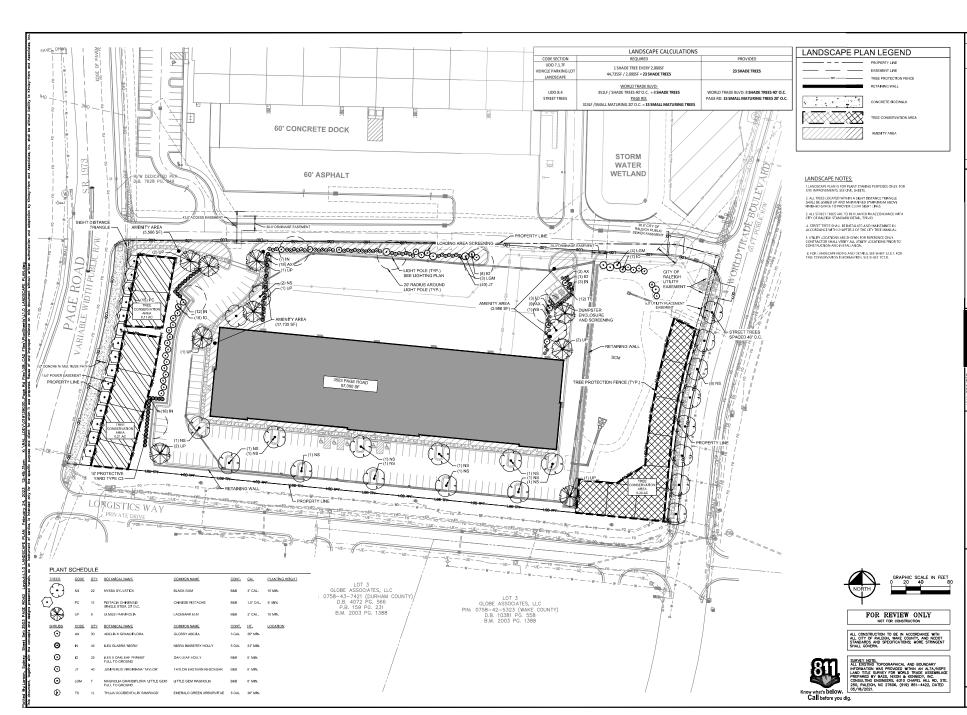
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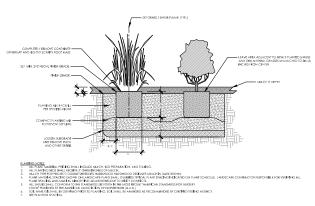
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LANDSCAPE PLAN

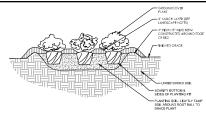
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SHRUB AND ORNAMENTAL GRASS PLANTING DETAIL



PLANTING NOTES:

1. SPUT PLANT ROOTS WITH 2-3 EQUALLY-SPACED VERTICAL CUTS.

GROUNDCOVER PLANTING DETAIL PLANT (TYP.) EQ. EQ.

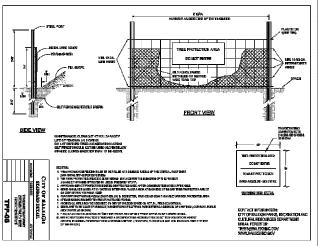
PLANT SPACING NOTES:

1. SEE PLANTING FLAN FOR GROUNDCOVER PLANTING AREAS.

2. PLANTS SHALE BERNSALLID IN STRAIGHT AND PARALLE ROWS UNLESS OTHERWISE SHOWN ON DRAWINGS.

3. SEE PLANT SCHEDULE FOR PLANT SPACING REQUIREMENTS (YET DIMENSION IN THIS DETAIL).

PLANT SPACING DETAIL (TRIANGULAR)



CITY OF RALEIGH TREE PROTECTION FENCE 5

GENERAL LANDSCAPE NOTES:

- 1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- 2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST
- 3. ALL TREES MUST HAVE A STRAIGHT TRUNK AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- 4. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- 5. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
- ALL TREES LOCATED WITHIN VEHICLE SIGHT TRIANGLES SHALL BE BRANCHED MIN. 8' (MEASURED FROM ADJACENT PROJECTED CURB LINE ELEVATION) PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING STREET TREES.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED. MULCH TO BE 3 INCHES OF DOUBLE SHREDDED HARDWOOD DESIGNER MULCH IN DARK BROWN.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL
 AVIOD DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPARRING ANY
 AND ALL DAMAGE OF UTILITIES, STRUCTURES, SITE PAPIETNAMICS, ETC. WHICH OCCURS AS A REQUIT OF THE LONGOCAPE
 CONSTRUCTION CONTRACTOR IS ALSO RESPONSIBLE FOR CONTRIBUTION ADJUSTMENTS WITH FINAL FINASH GRADE.
 ALL UTILITIES SHALL SIT FLUISH WITH FINISH GRADES (BOTH PAYED AND LANGOCAPEE) SURPRACES.
- 9. THE CONTRACTOR IS RESPONSIBLE FOR VERIFING ALL QUANTITIES SHOWN ON THE LANDSCEP CHAIN SEFORE PRICING THE WORK. ANY DISCREPANCIES BETWEEN QUANTITIES ON PLAN AND PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF THE PROL
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, WEEDING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL SUBSTANTIAL COMPLETION.
- THE CONTRACTOR SHALL COMPLETELY WARRANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE WARRANTEE PERIOD.
- 12. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION, CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT A MINIMUM OF ONE (1) WEEK IN ADVANCE TO SCHEDULE STAMIS.
- 13. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT SCHEDULE SPECIFICATIONS.
- 14. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- 15. ALL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH DOUBLE SHREDDED HARDWOOD MULCH IN DARK BROWN OR CURRENT RALEIGH STANDARD TO A DEPTH OF THREE (3) NCHES, ANY EXISTING LANDSCAPE BEDS THAT ARE DISTURBED MUST BE MULCHED TO MATCH EXISTING MULCH FOUND WITHIN LANDSCAPE BED.
- 16, LOCATIONS OF EXISTING QUIHED UTLIFT LINES SHOWN ON THE PLANE ARE BASED LIPON BEST AVAILABLE. INFORMATION AND ARE TO BE CONSIDERED APPROVIMENT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIENT THE LOCATION OF OUTLITY LINES AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTLITY LINES DURING THE CONSTRUCTION PERIOD.
- SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- 18. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- THE TOP OF ALL ROOT BALLS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
- 20. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING
- 21. THE CONTROLTOS SUAL SE RESPONSIBLE FOR INSTALLING TREES, MO SHRUBS THAT MILL MEET BOTH MINIMAN RIZE AND SPACHNE FOR THE RAID THE CITY OF READER WHEN DEVELOPMENT GROWNINGE (GLOS). FAILING TO INSTALL HOWARD MARKET HE FLAT HIS PLAN MILL ISOPARDIZE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY, CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDLINGS INSPECTIONS OF PLANT MATERIAL.
- 22. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING. GENERAL CONTRACTOR IS TO CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.
- 23. THE CONTRACTOR SHALL INSTALL NON-WOVEN GEOTEXTILE UNDER PLANTING BED MULCH IN ALL LANDSCAPE BEDS TO PREVENT

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200, RALEDH, NC 27606, (919) 851–4422, DATED

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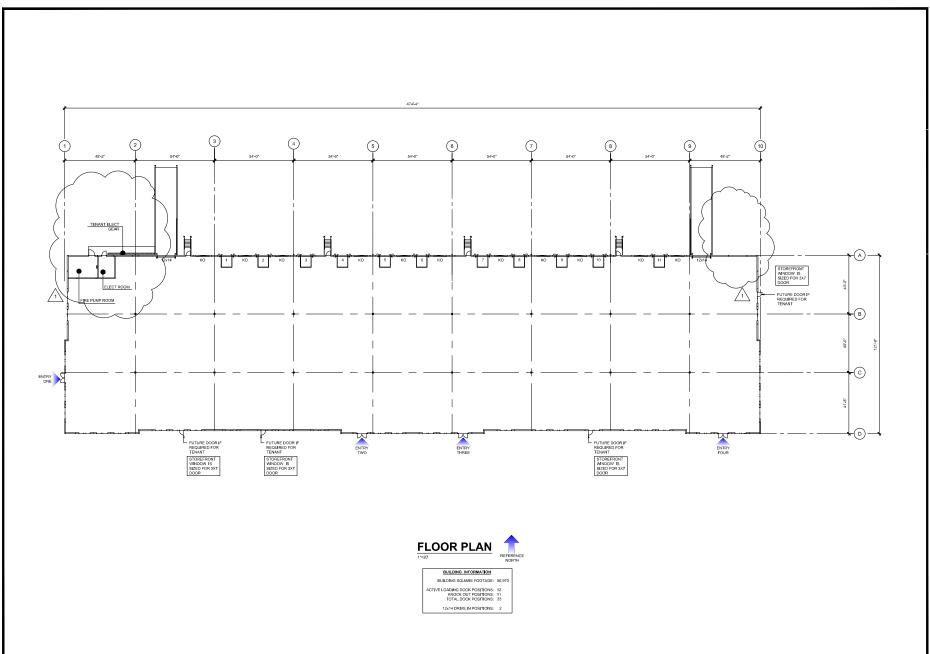
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PaulWoodyARCHITI 447 S. Sharon Amity Road Suite 235 Charlotte, NC 28211 T. 704.385.4932



SCHEMATIC DESIGN

WORLD TRADE PARK BUILDING TWO

3503 Page Rd. Raleigh, NC 27617

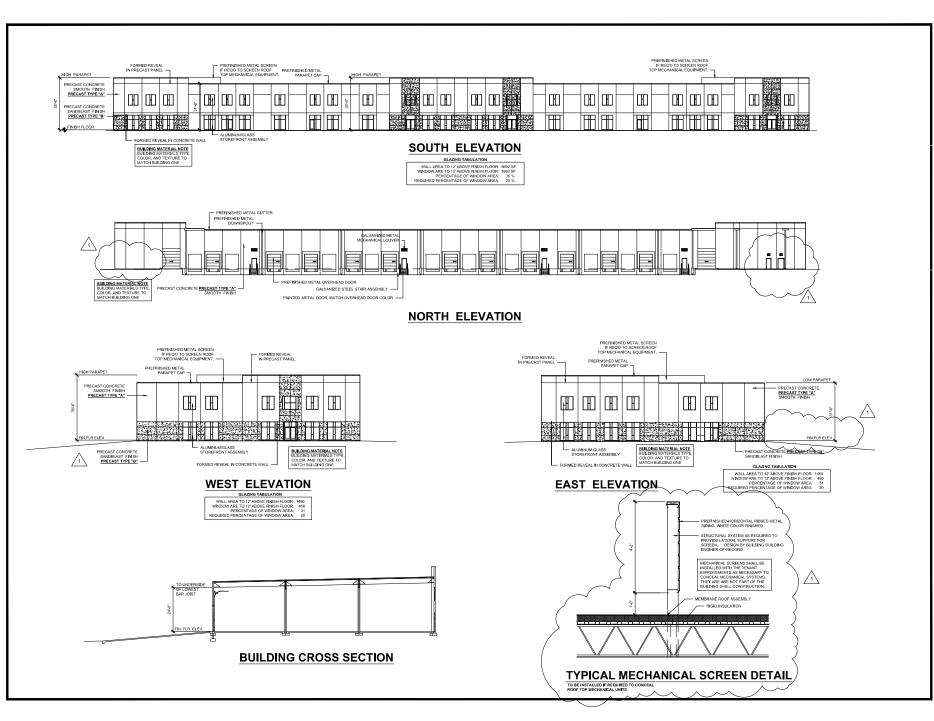
Floor Plan

Progress Set Date:

Issue Date: 09/12/2022
Revisions:
11/18/2022
SITE PLAN REVIEW
REVISIONS

Project Number: 22-24 Cad File Number: 22-24-A1_00-Fp

A1.00





PaulWoodyARCHITEC 447 S. Sharon Amity Road Suite 235 Charlotte, NC 28211 T. 704.385.4932



SCHEMATIC DESIGN WORLD TRADE PARK

BUILDING TWO

3503 Page Rd. Raleigh, NC 27617

EXTERIOR ELEVATIONS

Progress Set Date:

Issue Date: 09/12/2022 Revisions:

11/16/2022 PLAN REVIEW COMMEN

Project Number: 22-24 Cad File Number: 22-24-A2.00-Fp

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