



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____	Planner (print): _____
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Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>	
Building and Development Type (Check all that apply)	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input type="checkbox"/> General <input type="checkbox"/> Mixed use <input checked="" type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option
Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____	
GENERAL INFORMATION	
Development name: BAPTIST GROVE CHURCH	
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Property address(es): 7109 LEESVILLE ROAD, RALEIGH, NC 27613	
Site P.I.N.(s): 0787739074	
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4). BUILDING ADDITION	
Current Property Owner(s): LO1 GRT PRT PROP OF TRUSTEES OF BAPTIST GROVE CHURCH BM20	
Company: N/A	Title: OWNERS
Address: 7109 LEESVILLE ROAD, RALEIGH, NC 27613	
Phone #: 919.787.4528	Email: life@baptistgrovechurch.org
Applicant Name (If different from owner. See "who can apply" in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company: N/A	Address: N/A

Phone #: N/A	Email: N/A
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): R-4	Existing gross floor area (not to be demolished): 20,723
Gross site acreage: 8.38	Existing gross floor area to be demolished: 0
# of parking spaces proposed: 331	New gross floor area: 24,925
Max # parking permitted (7.1.2.C): N/A	Total sf gross (to remain and new): 45,648
Overlay District (if applicable): N/A	Proposed # of buildings: 1
Existing use (UDO 6.1.4): CIVIC/CHURCH	Proposed # of stories for each: 2
Proposed use (UDO 6.1.4): CIVIC/CHURCH	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) <u>115,391</u> Proposed total (sf) <u>205,231</u>	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: 0	Total # of hotel bedrooms: 0
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots: 0	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

Continue to Applicant Signature Block on Page Three.

APPLICANT SIGNATURE BLOCK

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: <i>Morris B Mann</i>	Date: <i>11-19-2023</i>
Printed Name: <i>MORRIS T.B. MANN</i>	

BAPTIST GROVE CHURCH

7109 LEESVILLE RD, RALEIGH NC 27610

CITY OF RALEIGH ADMINISTRATIVE SITE REVIEW
--- SUBMITTAL

SUBMITTED ON 11.22.2023

SHEET #	SHEET NAME
C0.00	COVER SHEET
C0.01	GENERAL NOTES
C1.00	EXISTING CONDITIONS PLAN
C-105	RECOMBINATION & EASEMENT PLAN
C2.00	DEMOLITION PLAN
C3.00	SITE PLAN
C3.12	TCA PLAN
C5.00	GRADING & STORM DRAINAGE PLAN
C5.10	SCM DETAIL SHEET
C5.11	SCM DETAIL SHEET
C6.00	UTILITIES PLAN
C6.20	FIRE PROTECTION PLAN
C9.00	SITE DETAILS
A1.0	OVERALL GROUND LEVEL FLOOR PLAN
A1.1	GROUND LEVEL ARCHITECTURAL PLAN
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS



VICINITY MAP
SCALE 1" = 400'

SITE DATA

PROJECT NAME: BAPTIST GROVE CHURCH
 SITE ADDRESS: 7109 LEESVILLE RD, RALEIGH NC 27610
 COUNTY: WAKE
 PARCEL PIN #: 0787-82-1840
 LOT NUMBER: 1
 PARCEL OWNER: BAPTIST GROVE BAPTIST CHURCH
 PARCEL AREA: 365,193 SF / 8.38 AC
 TOTAL SITE GROSS ACREAGE: 365,193 SF / 8.38 AC
 RIGHT-OF-WAY DEDICATION: LEESVILLE ROAD: 0.018 AC / 795 SF
 LYNN ROAD: 0 AC / 0 SF

NET ACREAGE: 8.37 AC / 364,368 SF (0.018 AC / 795 SF ROW DEDICATION)
 CURRENT ZONING: R-4
 PROPOSED ZONING: R-4
 EXISTING LAND USE: CIVIC (CHURCH)
 PROPOSED LAND USE: CIVIC (CHURCH)
 FLOOD PLAIN DATA: DFORM MAP #3720078700K, EFFECTIVE DATE OF 07/19/2022
 RIVER BASIN: NEUSE
 DEVELOPMENT TYPE: CIVIC
 MAX BUILDING HEIGHT: 3-STORIES (40)
 PROPOSED BUILDING HEIGHT: 2-STORIES (40) - 62' TO TOP OF THE CROSS
 PROPOSED BUILDING SF: 24,925 SF
 LIMITS OF DISTURBANCE: 6.61 AC / 287,912 SF
 EXISTING IMPERVIOUS AREA: 2.65 AC / 115,391 SF
 PROPOSED IMPERVIOUS AREA: 4.71 AC / 205,231 SF
 REQUIRED TREE CONSERVATION AREA (10%): 0.838 AC / 36,519 SF
 PROPOSED TREE CONSERVATION AREA: 1.05 AC / 45,145 SF (12.36%)

PARKING DATA:
 REQUIRED VEHICULAR PARKING: NONE
 PROVIDED VEHICULAR PARKING: 231 SPACES
 REQUIRED BICYCLE PARKING: 9 (1 SPACE PER 5,000 SF OF GROSS FLOOR AREA, MINIMUM 4)
 PROPOSED BICYCLE PARKING: 10
 BUILDING/STRUCTURE SETBACKS:
 CIVIC:
 FROM PRIMARY STREET (MIN): 20'
 FROM SIDE STREET (MIN): 20'
 FROM SIDE LOT LINE (MIN): 10'
 FROM REAR LOT LINE (MIN): 30'
 PARKING SETBACKS:
 CIVIC:
 FROM PRIMARY STREET (MIN): 20'
 FROM SIDE STREET (MIN): 10'
 FROM SIDE LOT LINE (MIN): 10'
 FROM REAR LOT LINE (MIN): 10'

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF INSURANCE, INCIDENTS, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER AND FACILITY OWNERS (PER NC STATUTE) NO LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 13 WORKING DAYS PRIOR TO BEGINNING DEMOLITION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
- ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL PIPING PRIOR TO CONCEALMENT, VALVE AND MANHOLE CHANGES, AND HARDSCAPE OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
- IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THERE OF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING FIRE FIGHTING APPARATUS (85,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.
- RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECT TO APPROVAL AT TIME OF SITE PERMITTING REVIEW, WHEN DESIGNING THE SITE. THE DESIGNER SHOULD KEEP IN MIND THE CITY OF RALEIGH RESIDENTIAL DRIVEWAY STANDARD DETAILS AND REGULATIONS AS FOUND IN RALEIGH STREET DESIGN MANUAL, ARTICLE 9.5 AND SECTION 4.6.1.

SOLID WASTE:

- SOLID WASTE TO BE HANDLED VIA ROLL OUT CART. CARTS ARE TO BE STORED IN GARAGES AND ROLLED OUT TO CURB ALONG PROPERTY FRONTAGE OF PUBLIC STREET. DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

Phone #: N/A	Email: N/A
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.	
Developer Contact:	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
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RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
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# of bedroom units: 1br ___ 2br ___ 3br ___ 4br or more ___	
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	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

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Site Plan Tier: Tier Two Site Plan <input type="checkbox"/>	Tier Three Site Plan <input checked="" type="checkbox"/>
Building and Development Type (Check all that apply)	Site Transaction History
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	Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____

GENERAL INFORMATION

Development name: BAPTIST GROVE CHURCH
 Inside City limits? Yes No
 Property address(es): 7109 LEESVILLE ROAD, RALEIGH, NC 27613
 Site P.I.N (s): 0787739074
 Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).

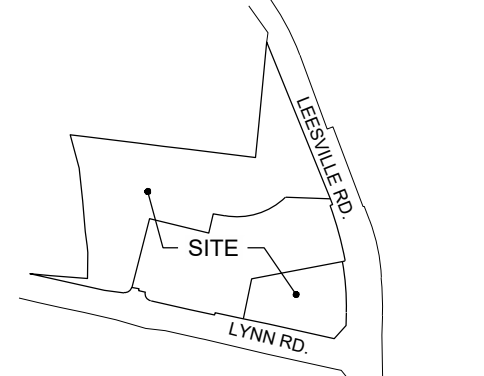
BUILDING ADDITION

Current Property Owner(s): LO1 GRT PRT PROP OF TRUSTEES OF BAPTIST GROVE CHURCH BM2
 Company: N/A Title: OWNERS
 Address: 7109 LEESVILLE ROAD, RALEIGH, NC 27613
 Phone #: 919.787.4528 Email: life@baptistgrovechurch.org
 Applicant Name (if different from owner. See "who can apply" in instructions):
 Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
 Company: N/A Address: N/A

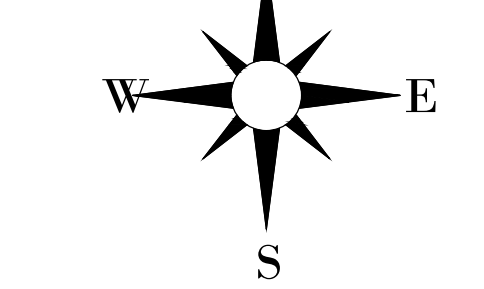
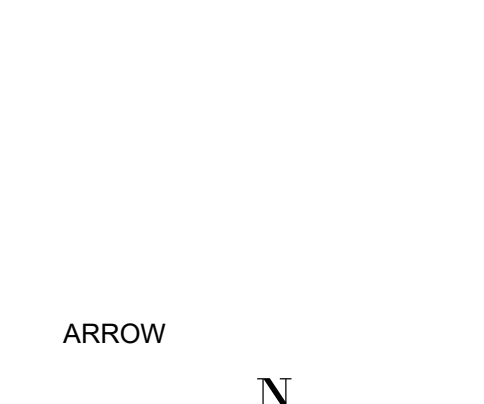


No.	Date	Description

VICINITY



SCALE



SWIFT PARTNERS PLLC
 414 FAYETTEVILLE ST
 RALEIGH, NC 27601
 LUKE PERKINS
 828-735-1882
 LUKE.PERKINS@SWIFT-PARTNERS.COM

DATE: 11.22.2023
 DRAWN BY: RFP
 PROJECT: BAPTIST GROVE CHURCH
 PROJECT #: C202334
 SHEET TITLE: COVER SHEET

SHEET NO.
C0.00

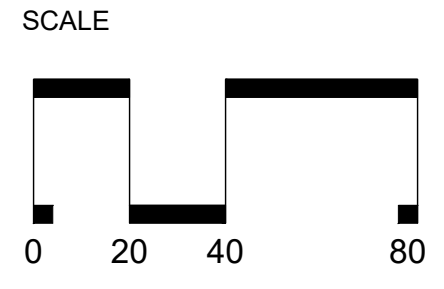
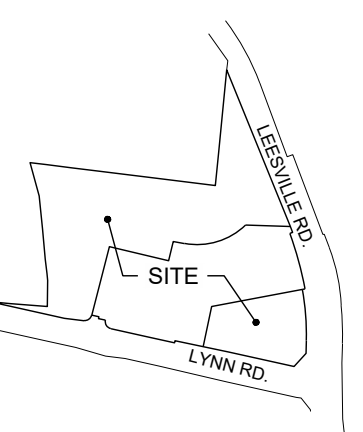
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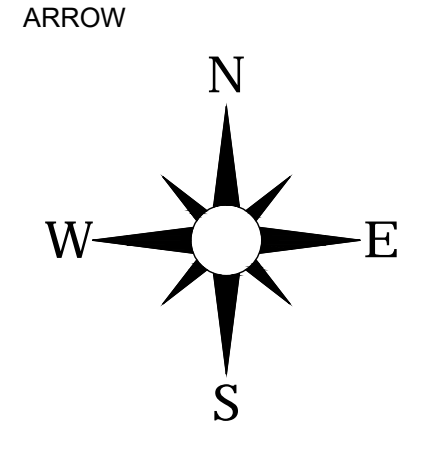
424 S. DAWSON STREET
RALEIGH NC 27617
FIRM LICENSE: P-2187

No.	Date	Description

VICINITY



SCALE: 1" = 40'

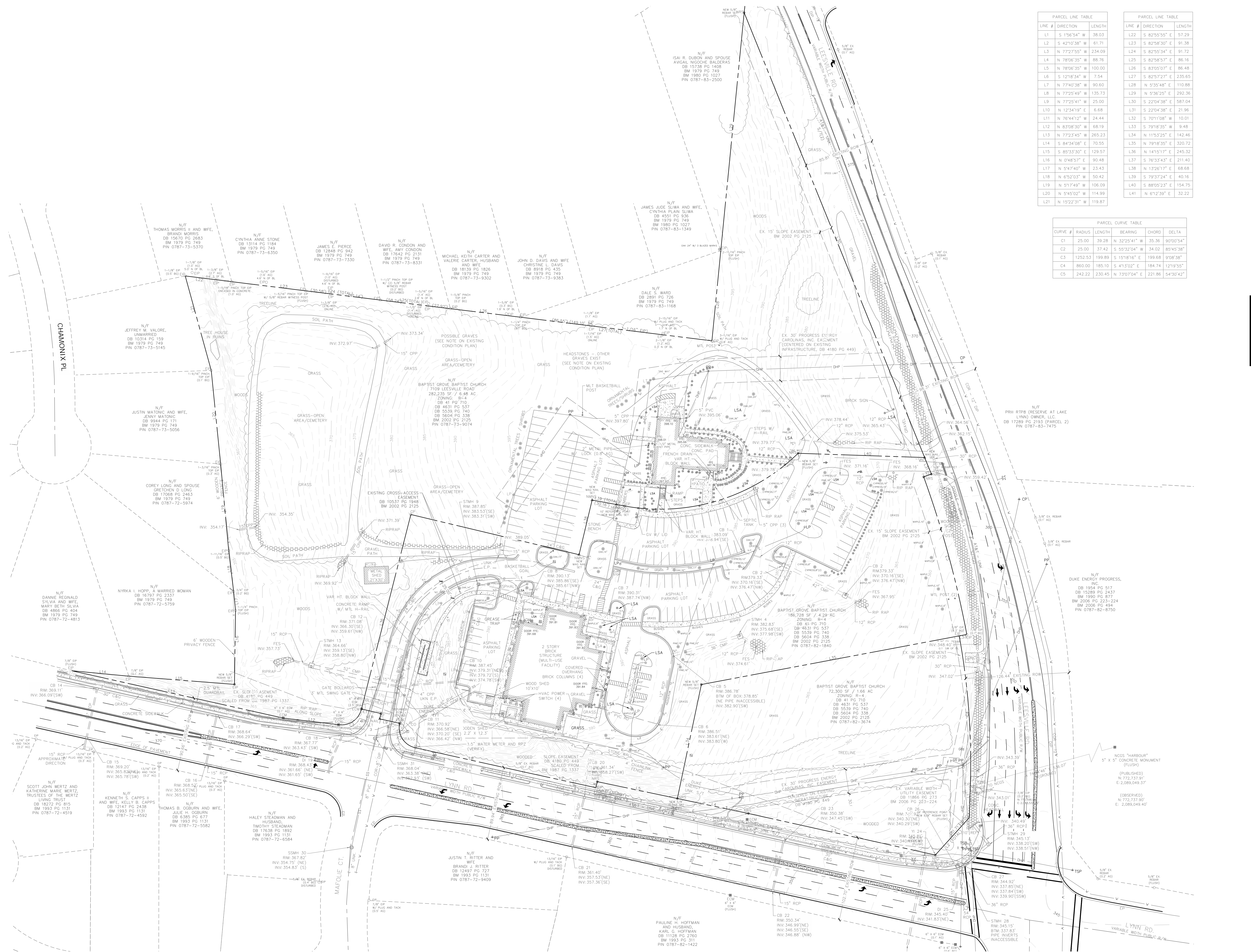


DATE: 11/22/2023
DRAWN BY: JAP
PROJECT: BAPTIST GROVE CHURCH
PROJECT #: C202334

SHEET TITLE

EXISTING CONDITIONS PLAN

SHEET NO. C1.00



PARCEL LINE TABLE

LINE #	DIRECTION	LENGTH
L1	S 1°56'54" W	38.03
L2	S 42°10'38" W	61.71
L3	N 77°27'55" W	234.09
L4	N 78°08'35" W	88.76
L5	N 82°55'55" E	57.29
L6	S 82°58'50" E	91.38
L7	S 82°55'54" E	91.72
L8	N 77°40'38" W	90.60
L9	N 77°25'49" W	135.73
L10	N 77°25'41" W	25.00
L11	N 12°34'19" E	6.68
L12	N 76°44'12" W	24.44
L13	N 83°08'30" W	68.19
L14	N 77°23'45" W	265.23
L15	S 84°34'08" E	70.55
L16	S 85°33'30" E	129.57
L17	N 0°48'57" E	90.48
L18	N 5°47'40" W	23.43
L19	N 6°52'03" W	50.42
L20	N 57°14'49" W	106.09
L21	N 57°45'02" W	114.99
L22	N 15°22'31" W	119.87

PARCEL CURVE TABLE

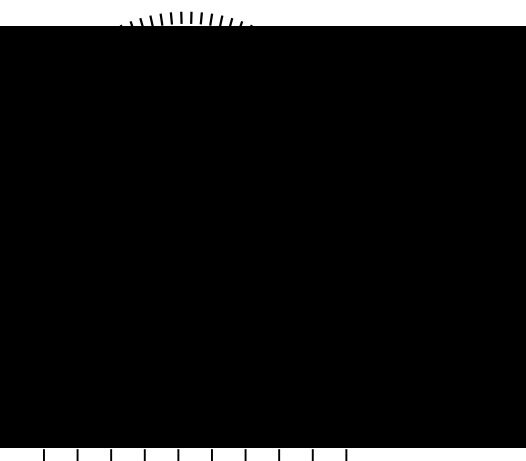
CURVE #	RADIUS	LENGTH	BEARING	CHORD	DELTA
C1	25.00	39.28	N 32°25'41" W	35.36	90°00'54"
C2	25.00	37.42	S 55°32'04" W	34.02	85°45'38"
C3	1282.53	199.89	S 15°18'16" E	199.68	9°08'38"
C4	860.00	185.10	S 41°3'02" E	184.74	12°19'55"
C5	242.22	230.45	N 73°07'04" E	221.86	54°30'42"



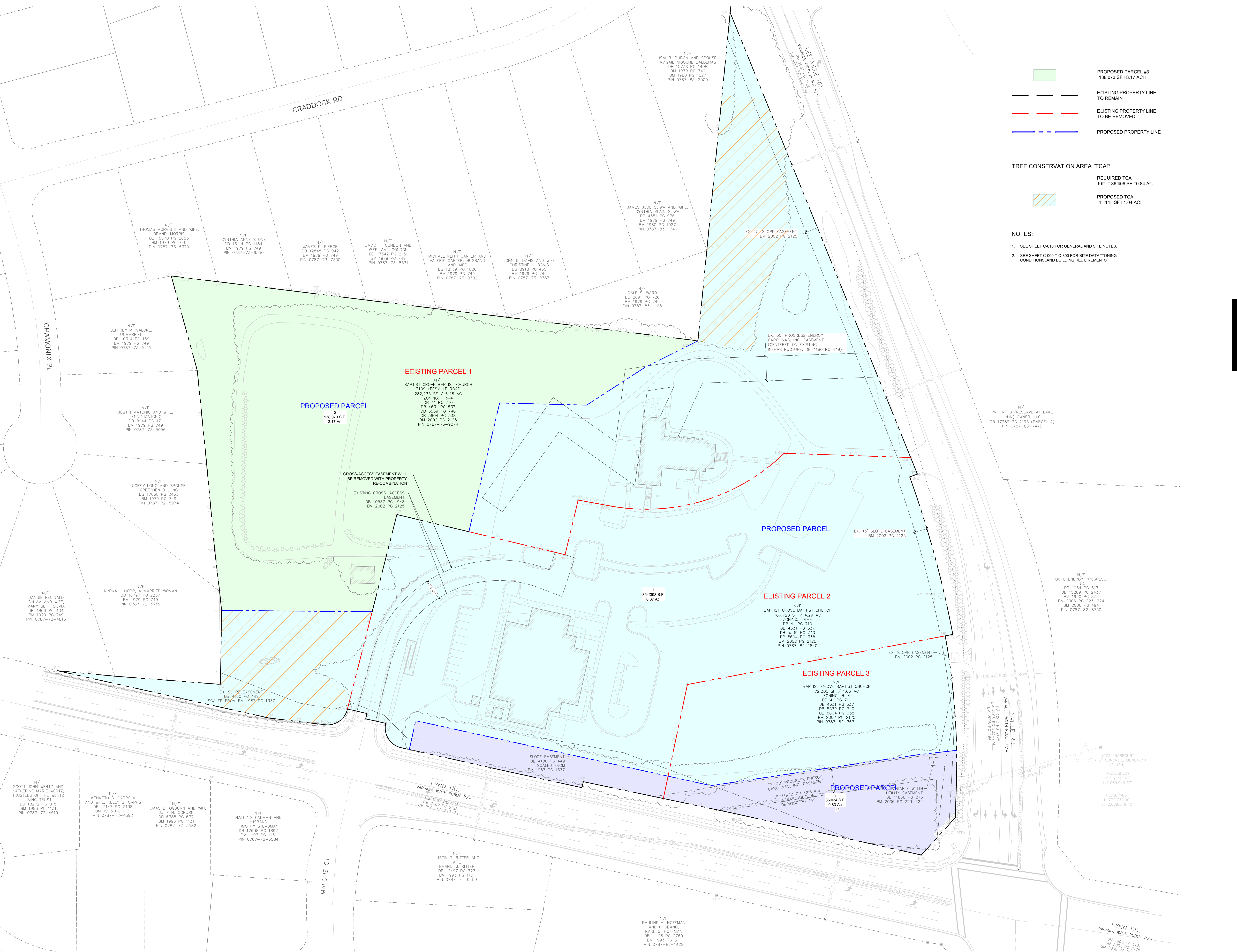
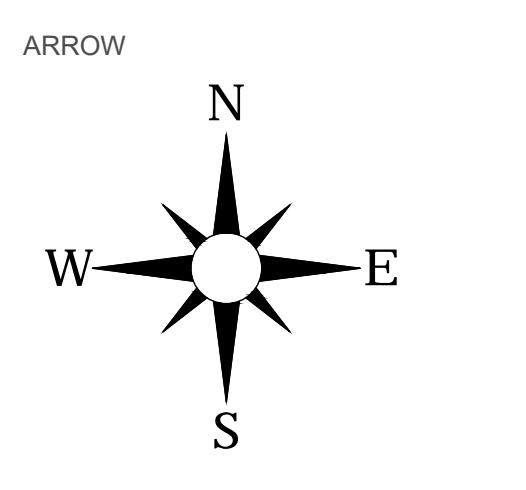
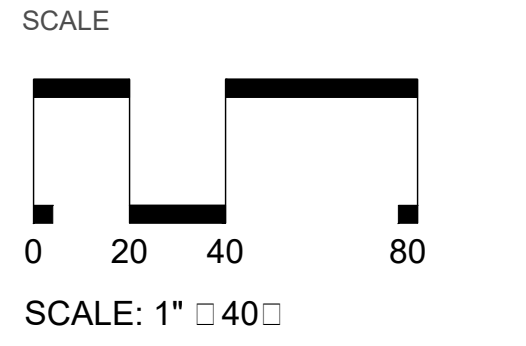
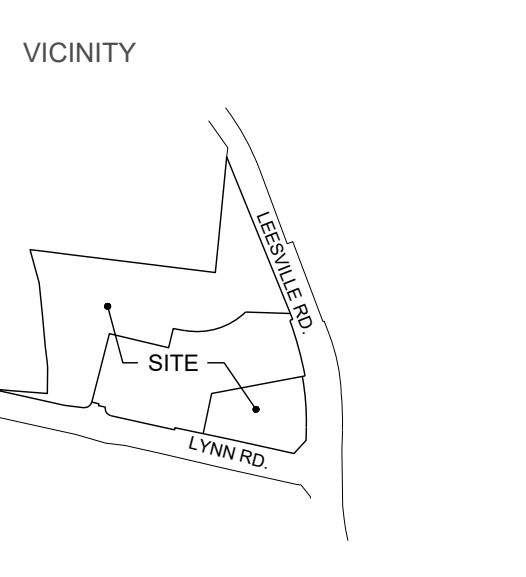
- PROPOSED PARCEL #3
138,073 SF (3.17 AC)
- EXISTING PROPERTY LINE TO REMAIN
- EXISTING PROPERTY LINE TO BE REMOVED
- PROPOSED PROPERTY LINE

- TREE CONSERVATION AREA (TCA)
- REQUIRED TCA
10' (36,406 SF (0.84 AC))
- PROPOSED TCA
4' (14,000 SF (0.32 AC))

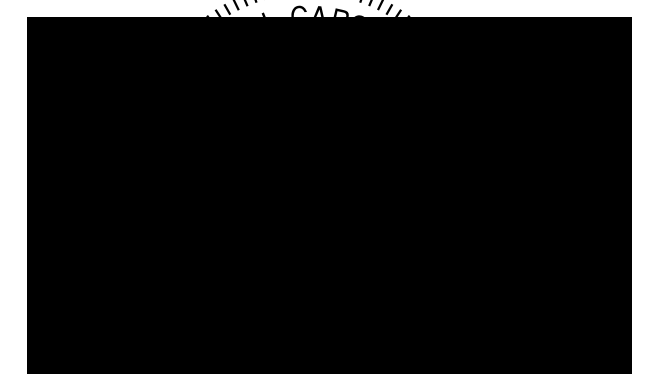
- NOTES:
- SEE SHEET C-010 FOR GENERAL AND SITE NOTES.
 - SEE SHEET C-000 - C-300 FOR SITE DATA, ZONING CONDITIONS AND BUILDING REQUIREMENTS.



No.	Date	Description

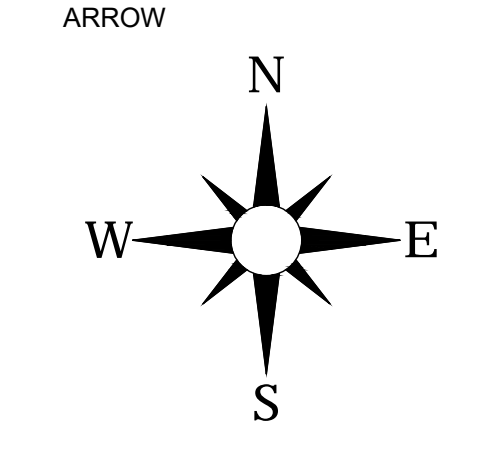
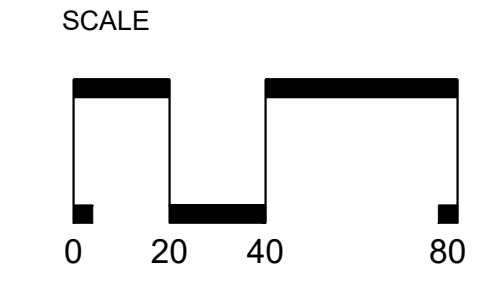
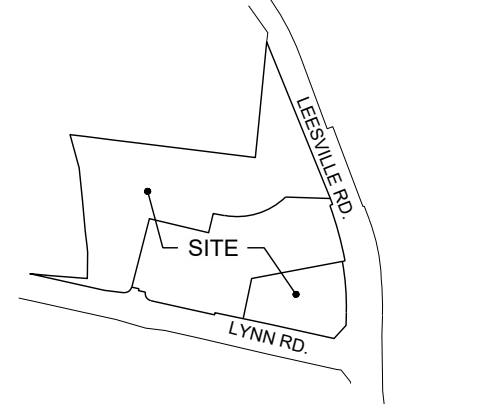


DATE: 11.22.2023
 DRAWN BY: RJS
 PROJECT: BAPTIST GROVE CHURCH
 PROJECT #: C202334
 SHEET TITLE: RECOMBINATION EASEMENT PLAN



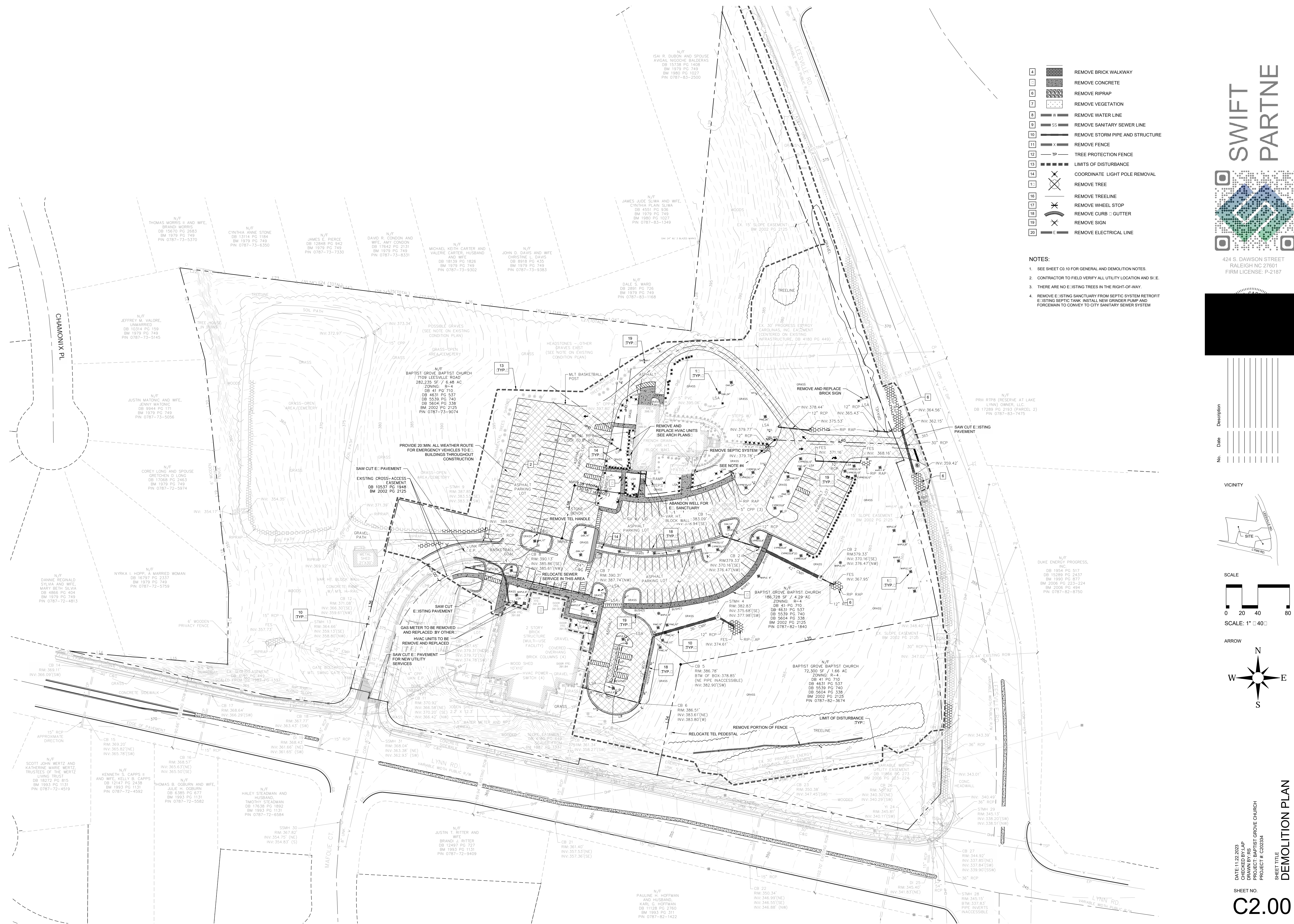
No.	Date	Description

VICINITY

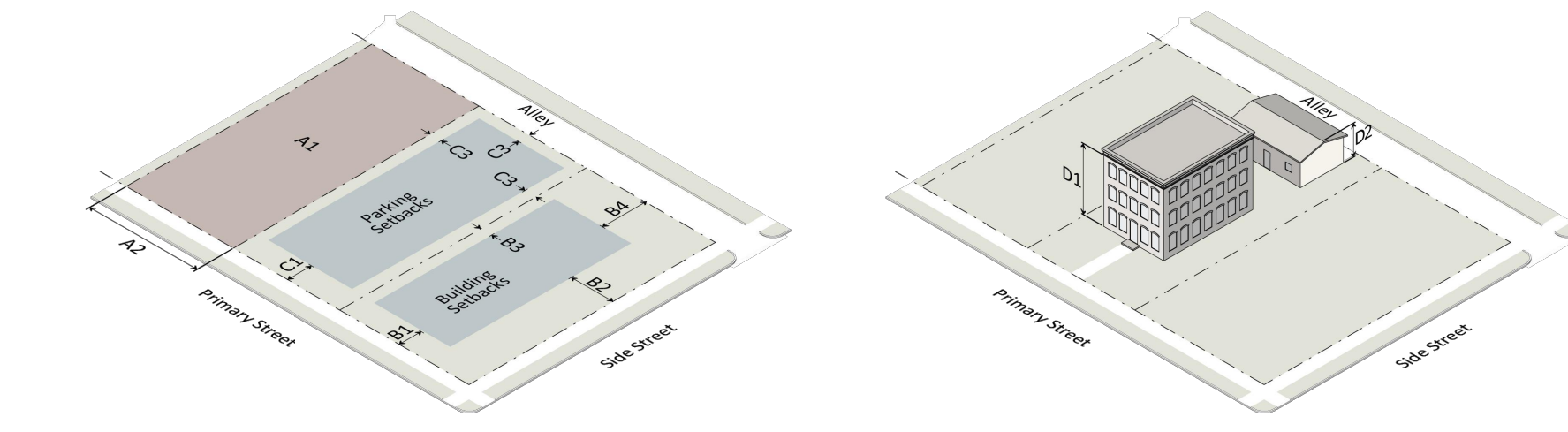


- 4 REMOVE BRICK WALKWAY
- 5 REMOVE CONCRETE
- 6 REMOVE RIPRAP
- 7 REMOVE VEGETATION
- 8 REMOVE WATER LINE
- 9 REMOVE SANITARY SEWER LINE
- 10 REMOVE STORM PIPE AND STRUCTURE
- 11 REMOVE FENCE
- 12 TREE PROTECTION FENCE
- 13 LIMITS OF DISTURBANCE
- 14 COORDINATE LIGHT POLE REMOVAL
- 15 REMOVE TREE
- 16 REMOVE TREELINE
- 17 REMOVE WHEEL STOP
- 18 REMOVE CURB & GUTTER
- 19 REMOVE SIGN
- 20 REMOVE ELECTRICAL LINE

- NOTES:
1. SEE SHEET C0.10 FOR GENERAL AND DEMOLITION NOTES.
 2. CONTRACTOR TO FIELD VERIFY ALL UTILITY LOCATION AND S.I.E.
 3. THERE ARE NO EXISTING TREES IN THE RIGHT-OF-WAY.
 4. REMOVE EXISTING SANITARY FROM SEPTIC SYSTEM RETROFIT. EXISTING SEPTIC TANK. INSTALL NEW GRINDER PUMP AND FORCEMAIN TO CONVEY TO CITY SANITARY SEWER SYSTEM.



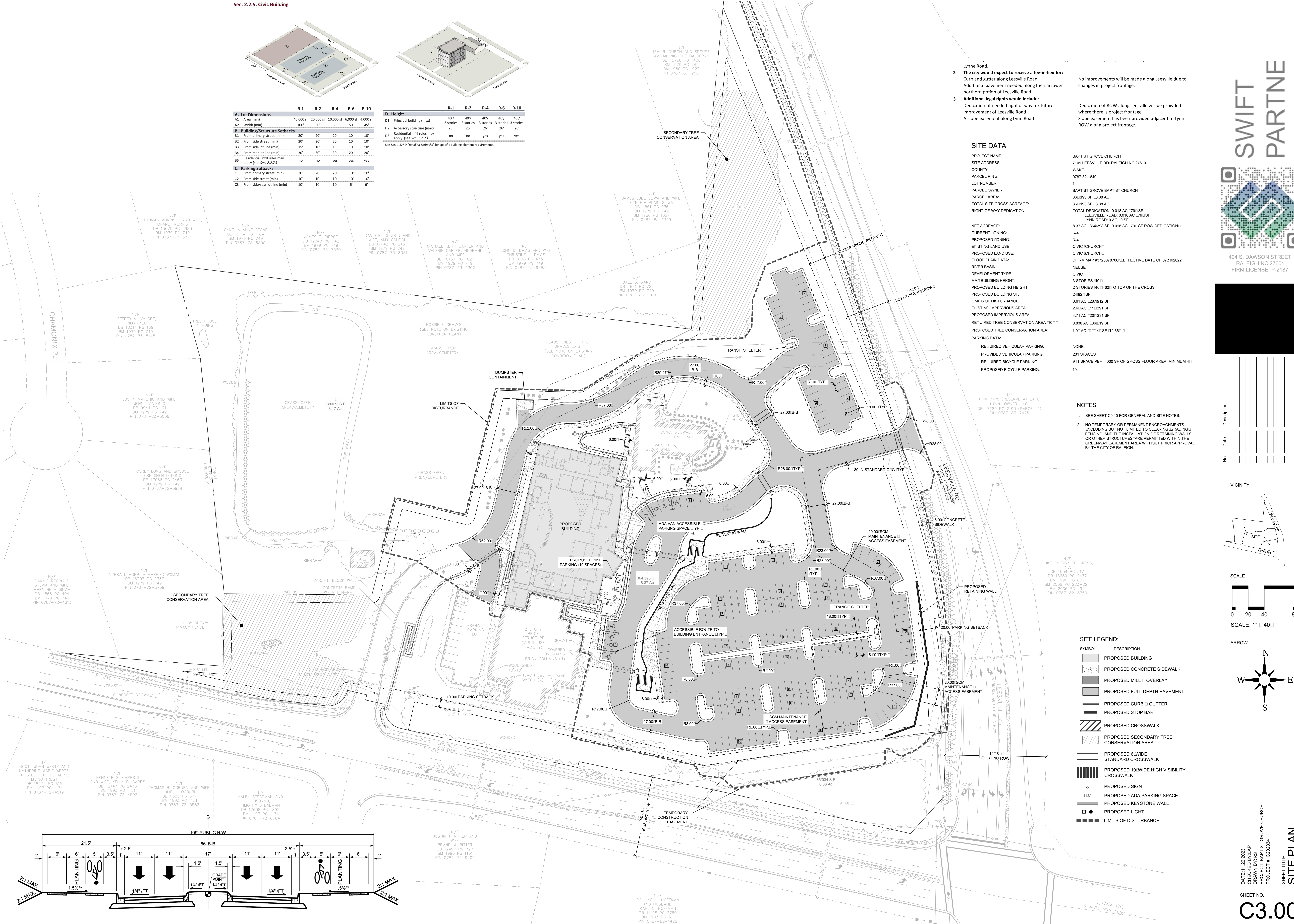
Sec. 2.2.5. Civic Building



	R-1	R-2	R-4	R-6	R-10
A. Lot Dimensions					
A1 Area (min)	40,000 sf	20,000 sf	10,000 sf	6,000 sf	4,000 sf
A2 Width (min)	100'	80'	65'	50'	45'
B. Building/Structure Setbacks					
B1 From primary street (min)	20'	20'	20'	10'	10'
B2 From side street (min)	20'	20'	20'	10'	10'
B3 From side lot line (min)	15'	10'	10'	10'	10'
B4 From rear lot line (min)	30'	30'	30'	20'	20'
B5 Residential infill rules may apply (see Sec. 2.2.7)	no	no	yes	yes	yes
C. Parking Setbacks					
C1 From primary street (min)	20'	20'	20'	10'	10'
C2 From side street (min)	10'	10'	10'	10'	10'
C3 From side/rear lot line (min)	10'	10'	10'	6'	6'

	R-1	R-2	R-4	R-6	R-10
D. Height					
D1 Principal building (max)	40'/	40'/	40'/	40'/	45'/
D2 Accessory structure (max)	26'	26'	26'	26'	26'
D3 Residential infill rules may apply (see Sec. 2.2.7)	no	no	yes	yes	yes

See Sec. 2.5.4.D "Building Setbacks" for specific building element requirements.



- Lynne Road.
- The city would expect to receive a fee-in-lieu for: Curb and gutter along Leesville Road. Additional pavement needed along the narrower northern portion of Leesville Road.
- Additional legal rights would include: Dedication of needed right of way for future improvement of Leesville Road. A slope easement along Lynn Road.

No improvements will be made along Leesville due to changes in project frontage.

Dedication of ROW along Leesville will be provided where there is project frontage. Slope easement has been provided adjacent to Lynn ROW along project frontage.

SITE DATA

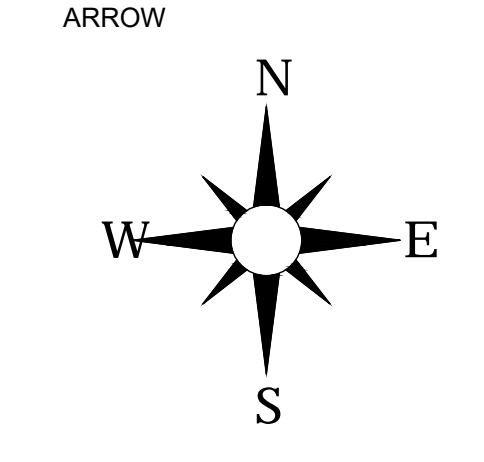
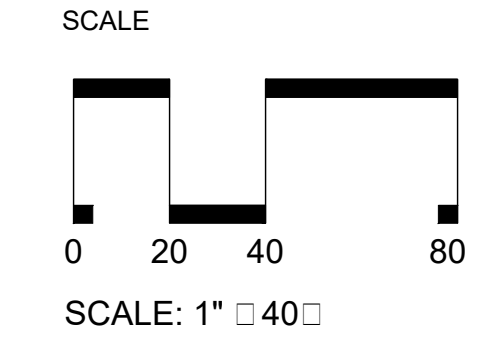
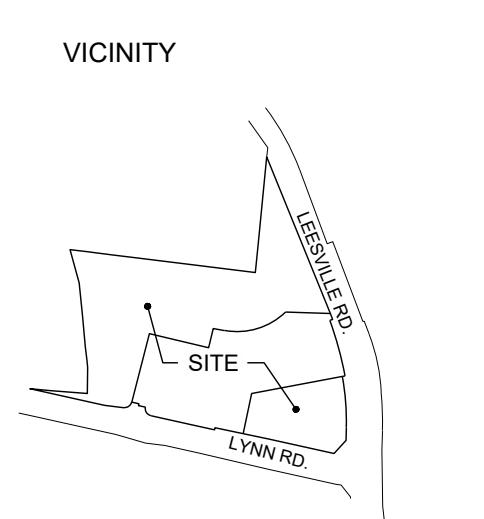
PROJECT NAME:	BAPTIST GROVE CHURCH
SITE ADDRESS:	7109 LEESVILLE RD. RALEIGH NC 27610
COUNTY:	WAKE
PARCEL PIN #:	0787-82-1840
LOT NUMBER:	1
PARCEL OWNER:	BAPTIST GROVE BAPTIST CHURCH
PARCEL AREA:	36.1193 SF (8.38 AC)
TOTAL SITE GROSS ACREAGE:	36.1193 SF (8.38 AC)
RIGHT-OF-WAY DEDICATION:	TOTAL DEDICATION: 0.018 AC (79: SF LEESVILLE ROAD; 0.018 AC (79: SF LYNN ROAD; 0 AC (3: SF
NET ACREAGE:	8.37 AC (364,398 SF; 0.018 AC (79: SF ROW DEDICATION);
CURRENT ZONING:	R-4
PROPOSED ZONING:	R-4
EXISTING LAND USE:	CIVIC (CHURCH)
PROPOSED LAND USE:	CIVIC (CHURCH)
FLOOD PLAIN DATA:	DFIRM MAP #3720078700K; EFFECTIVE DATE OF 07/19/2022
RIVER BASIN:	NEUSE
DEVELOPMENT TYPE:	CIVIC
MAX. BUILDING HEIGHT:	3-STORIES (40'-0" TO TOP OF THE GROSS)
PROPOSED BUILDING HEIGHT:	2-STORIES (40'-0" TO TOP OF THE GROSS)
PROPOSED BUILDING SF:	24,922 SF
LIMITS OF DISTURBANCE:	6.61 AC (287,912 SF)
EXISTING IMPERVIOUS AREA:	2.61 AC (111,391 SF)
PROPOSED IMPERVIOUS AREA:	4.71 AC (204,231 SF)
REQUIRED TREE CONSERVATION AREA:	0.838 AC (363,119 SF)
PROPOSED TREE CONSERVATION AREA:	1.0 AC (43,434 SF; 32.36%)
PARKING DATA:	
REQUIRED VEHICULAR PARKING:	NONE
PROVIDED VEHICULAR PARKING:	231 SPACES
REQUIRED BICYCLE PARKING:	9.1 SPACE PER 1000 SF OF GROSS FLOOR AREA; MINIMUM 4:
PROPOSED BICYCLE PARKING:	10

NOTES:

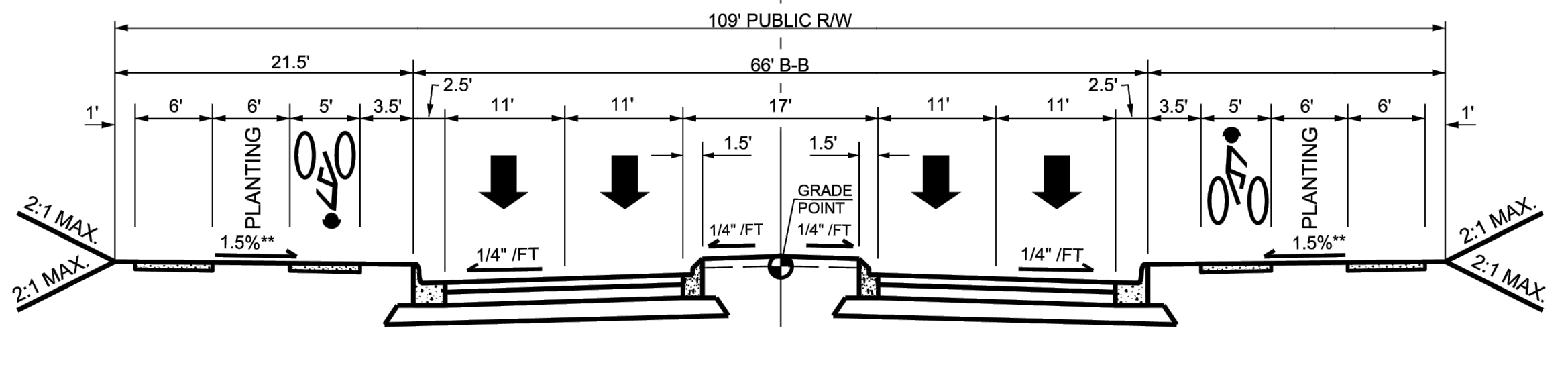
- SEE SHEET C0.10 FOR GENERAL AND SITE NOTES.
- NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.



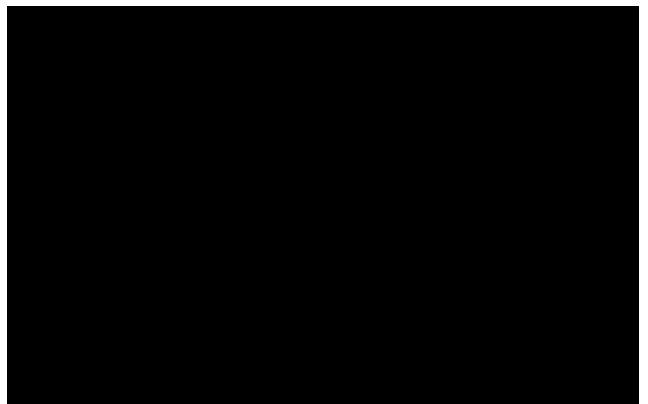
No.	Date	Description



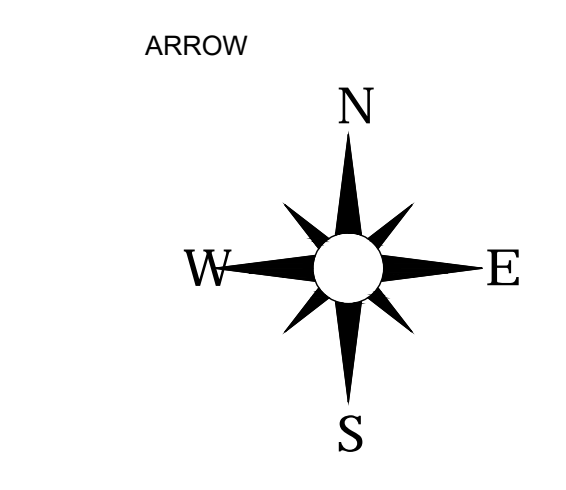
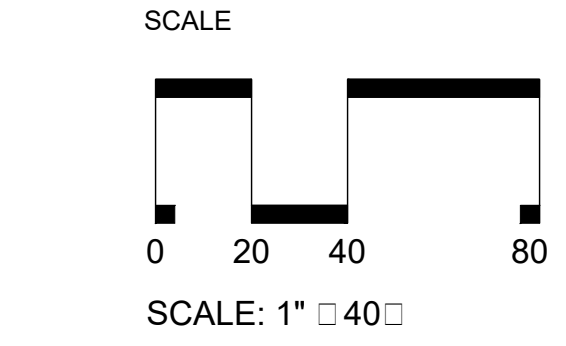
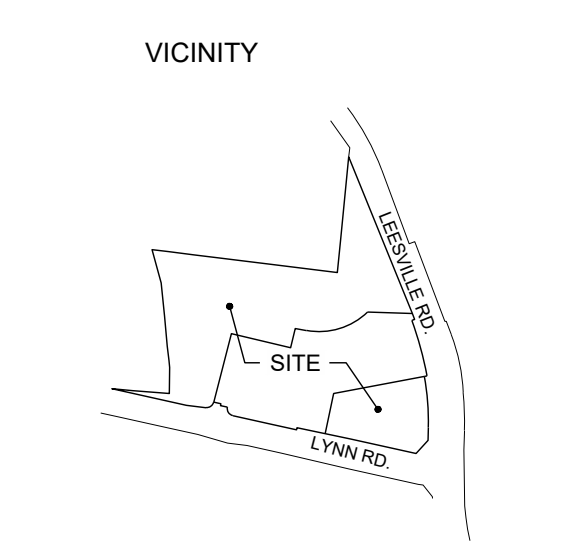
SITE LEGEND:	
[Symbol]	DESCRIPTION
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED MILL & OVERLAY
[Symbol]	PROPOSED FULL DEPTH PAVEMENT
[Symbol]	PROPOSED CURB & GUTTER
[Symbol]	PROPOSED STOP BAR
[Symbol]	PROPOSED CROSSWALK
[Symbol]	PROPOSED SECONDARY TREE CONSERVATION AREA
[Symbol]	PROPOSED 6'-WIDE STANDARD CROSSWALK
[Symbol]	PROPOSED 10'-WIDE HIGH VISIBILITY CROSSWALK
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED ADA PARKING SPACE
[Symbol]	PROPOSED KEYSTONE WALL
[Symbol]	PROPOSED LIGHT
[Symbol]	LIMITS OF DISTURBANCE



DATE: 11.22.2023
 DRAWN BY: PLS
 PROJECT: BAPTIST GROVE CHURCH
 PROJECT #: C202334
 SHEET TITLE: SITE PLAN
 SHEET NO.: C3.00

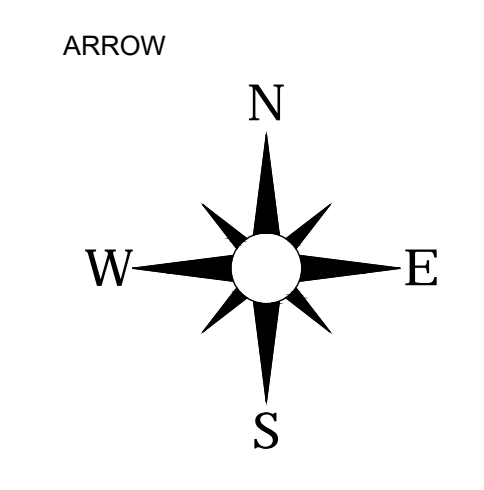
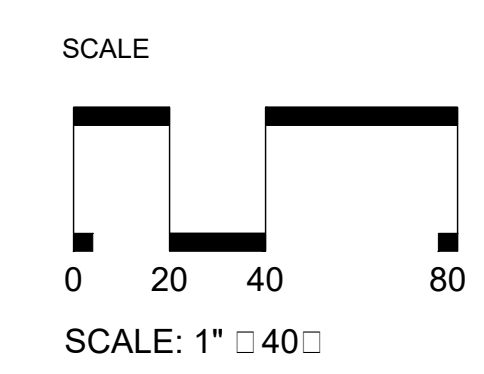
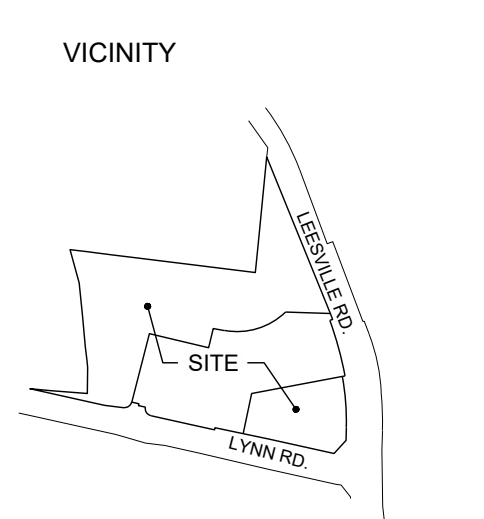


No.	Date	Description





No.	Date	Description

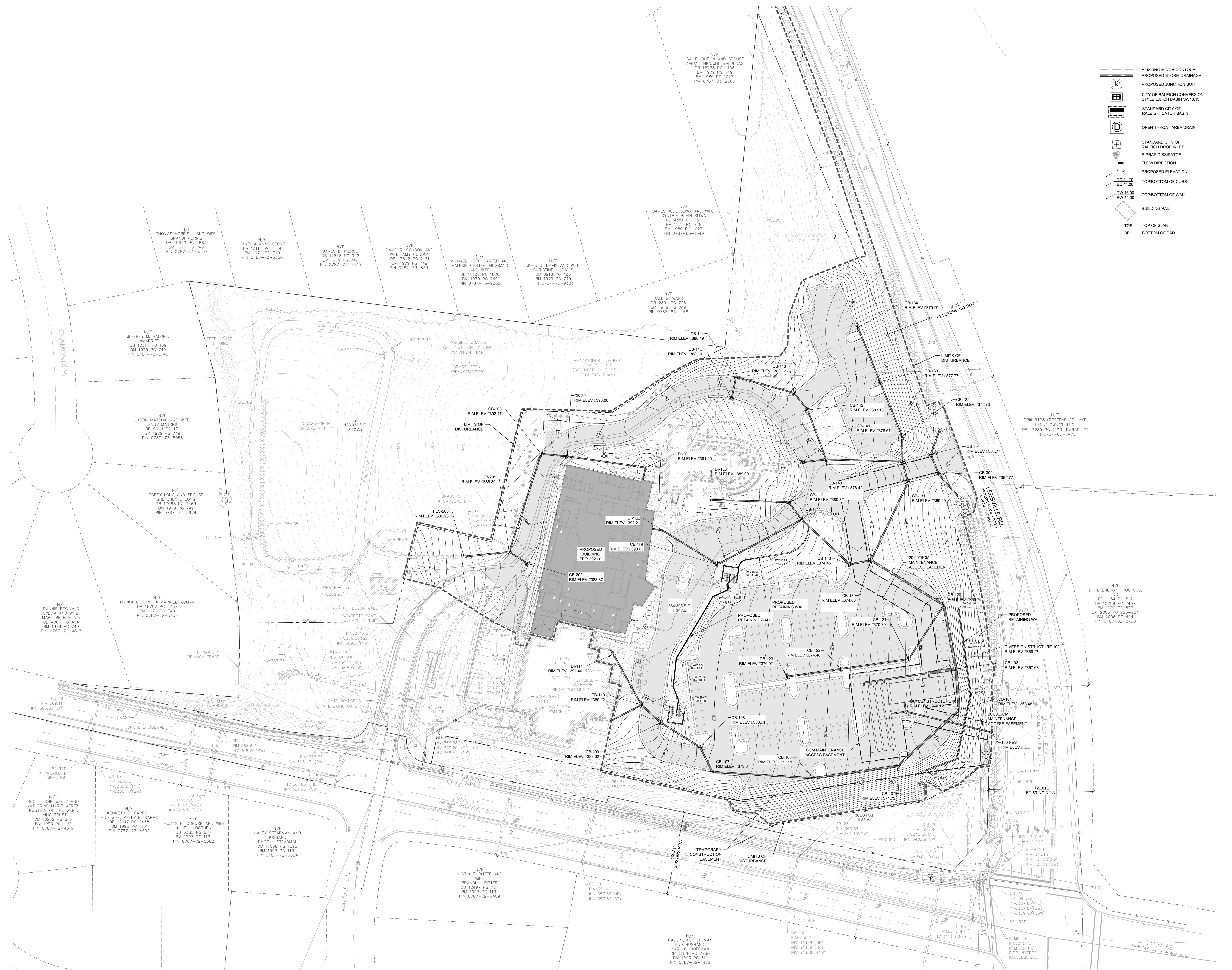


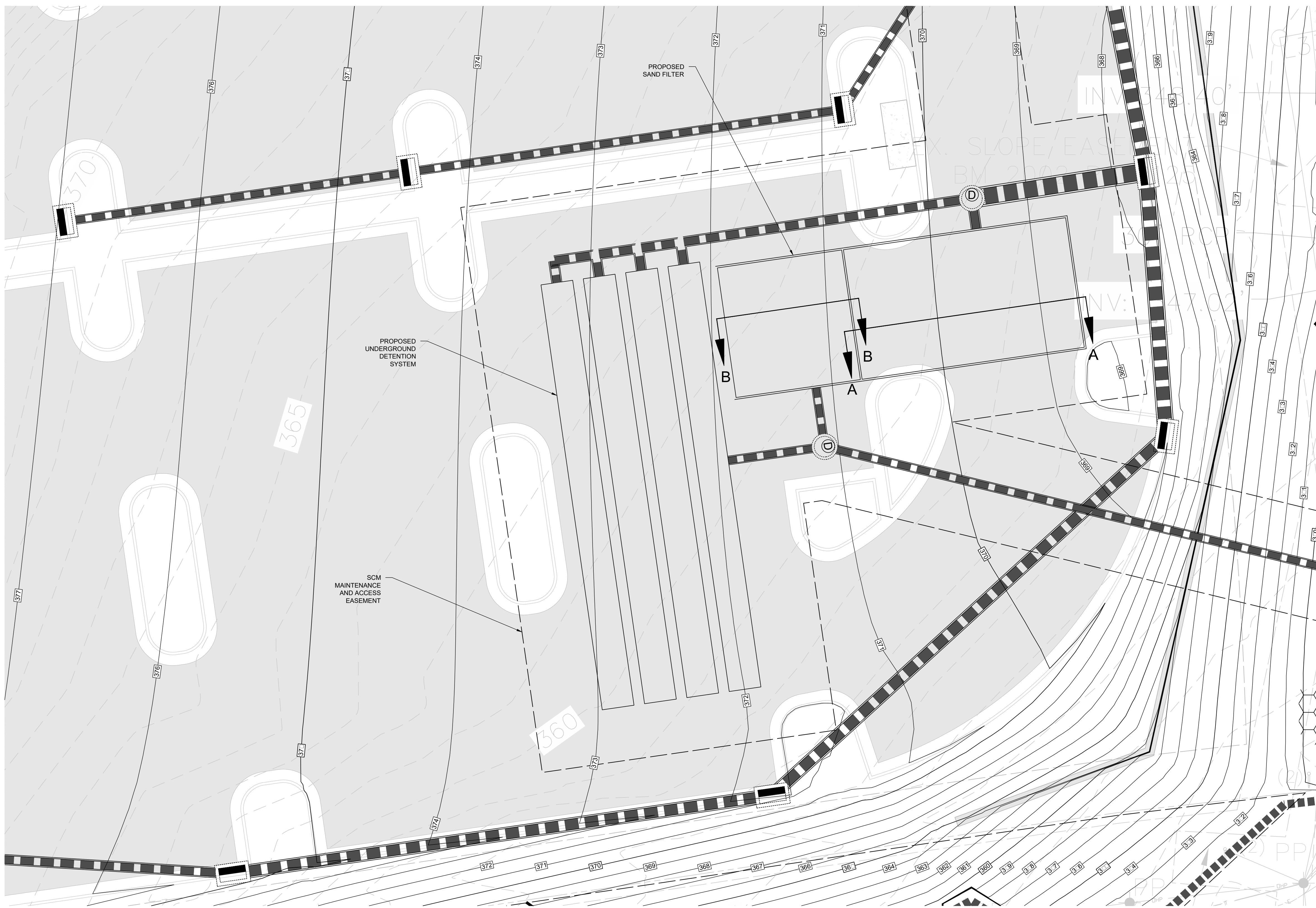
GRADING & STORM DRAINAGE PLAN

DATE: 11/22/2023
DRAWN BY: LBP
PROJECT: BAPTIST GROVE CHURCH
PROJECT #: C202334
SHEET TITLE

SHEET NO. **C1.00**

- EXISTING MINOR CURB
- PROPOSED STORM DRAINAGE
- PROPOSED JUNCTION BOX
- CITY OF RALEIGH CONVERSION STYLE CATCH BASIN SW10.13
- STANDARD CITY OF RALEIGH CATCH BASIN
- OPEN THROAT AREA DRAIN
- STANDARD CITY OF RALEIGH DROP INLET
- RIPRAP DISSIPATOR
- FLOW DIRECTION
- PROPOSED ELEVATION
- TC 44.0
BC 44.0
- TW 45.00
BW 44.00
- BUILDING PAD
- TOS
- BP





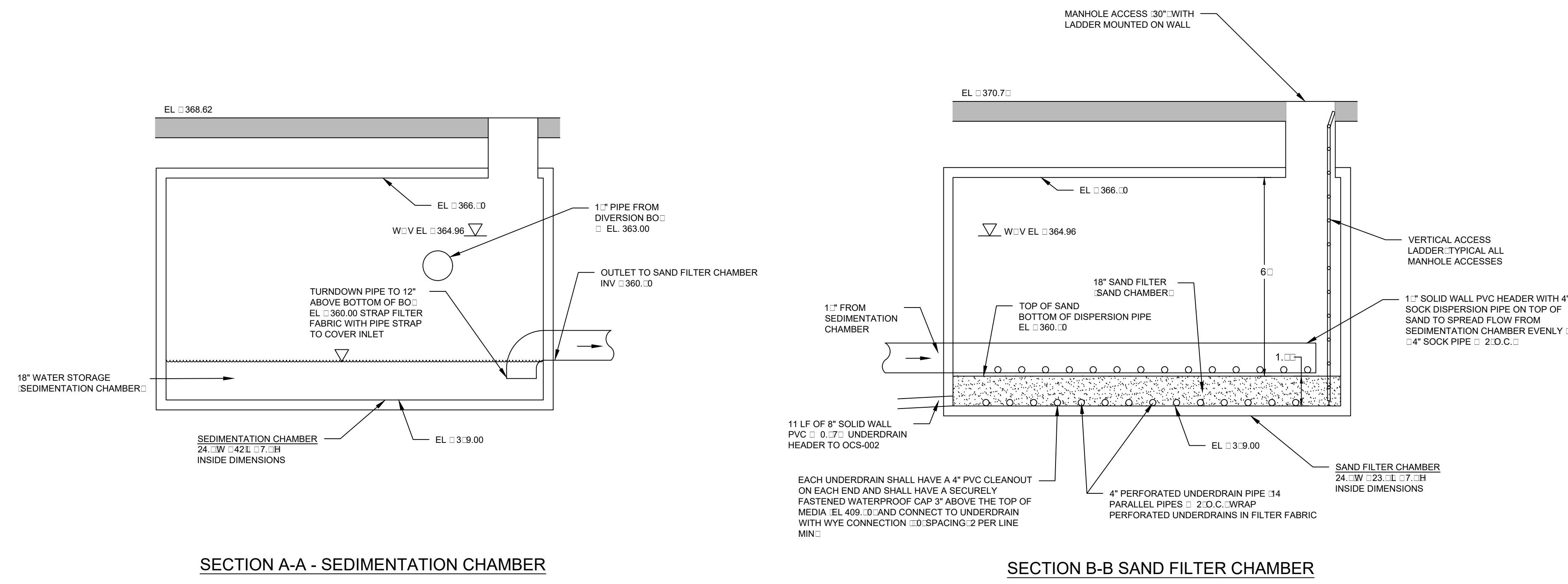
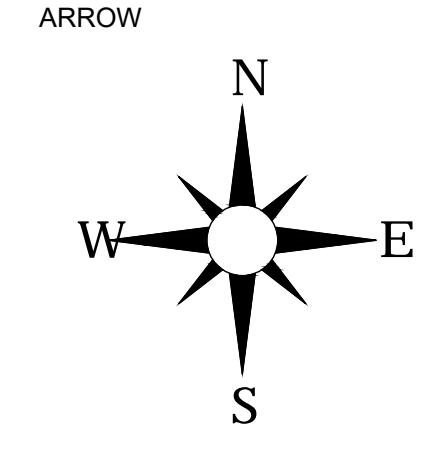
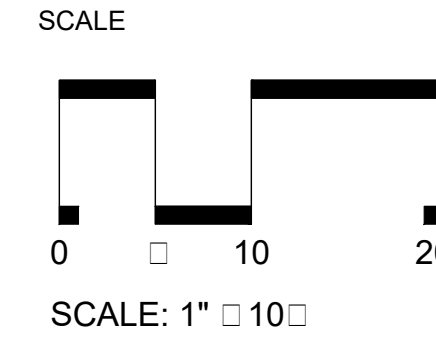
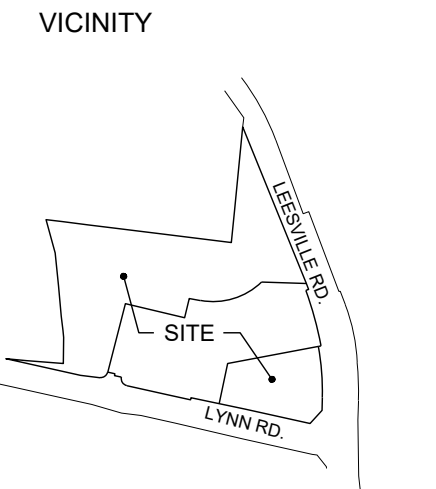
- CONNECTOR MEETING ASTM C-1478 (A-LOK PRODUCTS); TULLY TOWN, PA
4. SHOP DRAWINGS MUST BE SUBMITTED AND APPROVED BY THE ENGINEER BEFORE CONSTRUCTION.
 5. GEOTECHNICAL ENGINEER SHALL MONITOR DAM AND OUTLET STRUCTURE INSTALLATION. ALL FILL AREAS SHALL BE COMPACTED TO 9% OF THE MATERIALS MAIMUM DRY DENSITY UNLESS OTHERWISE DICTATED BY GEOTECHNICAL ENGINEER.
 6. DRAINAGE AREA MUST BE STABILIZED PRIOR TO INSTALLATION PERMANENT STORMWATER CONTROL MEASURE.
 7. PRIOR TO FINAL CERTIFICATE OF OCCUPANCY, SURVEYOR SEALED AS-BUILT DRAWINGS OF WATER QUALITY BASIN AND OUTLET STRUCTURE SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL AND WET POND TO PASS INSPECTION.
 8. PER NCDE: MANUAL INTERIOR SLOPES MAY BE NO STEEPER THAN 3:1.
- NOTES:
1. SEE SHEET C0.10 FOR GENERAL AND GRADING NOTES.

SWIFT PARTNE



424 S. DAWSON STREET
RALEIGH NC 27601
FIRM LICENSE: P-2187

No.	Date	Description



DATE: 11.22.2023
DRAWN BY: JLP
PROJECT: BAPTIST GROVE CHURCH
PROJECT #: C202334

SHEET TITLE
SCM DETAIL SHEET

SHEET NO.
C0.10

REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEAREST FINISHED GRADE.

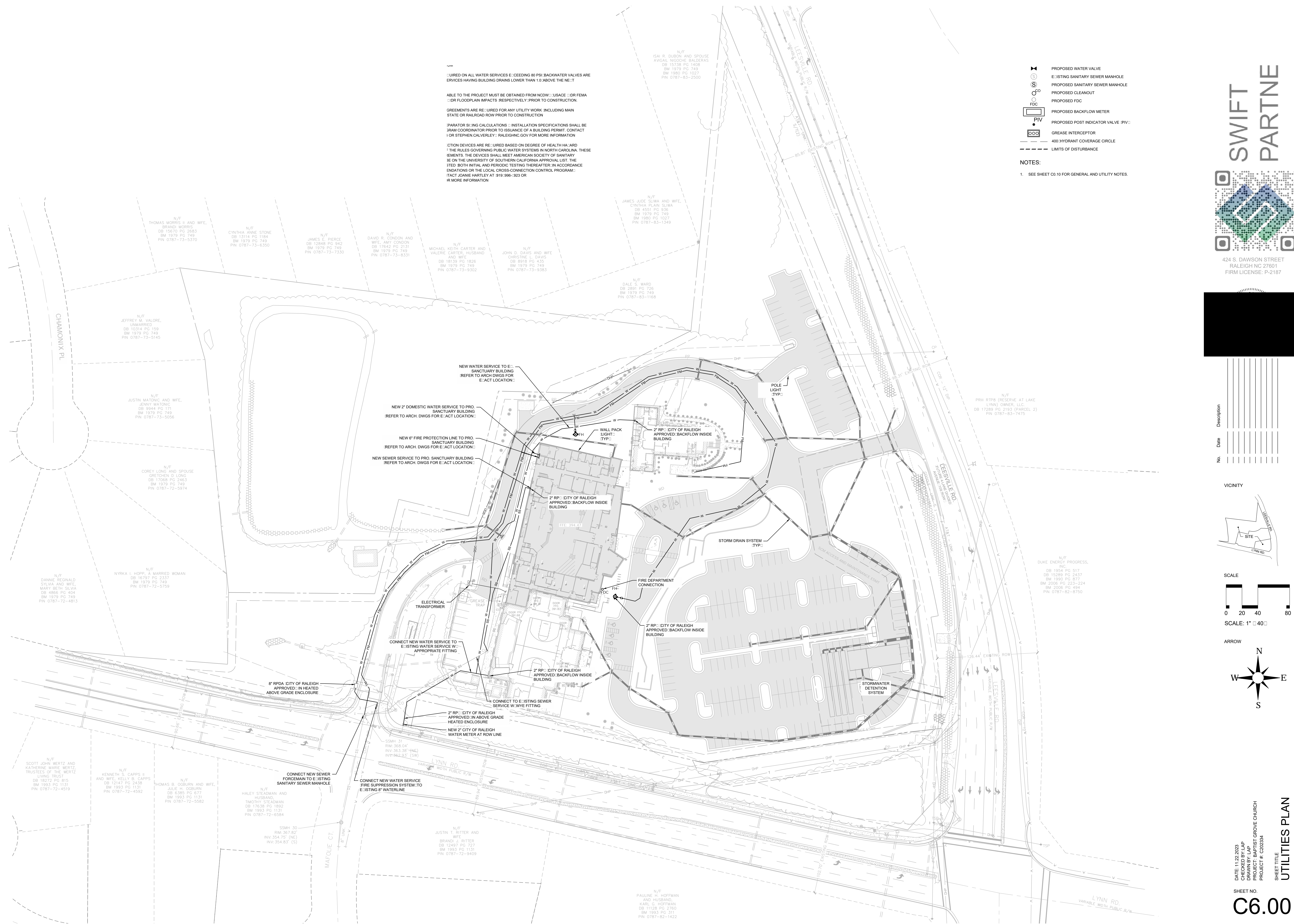
PERMITS TO THE PROJECT MUST BE OBTAINED FROM NCDWR, USAACE, OR FEMA PRIOR TO CONSTRUCTION.

AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK, INCLUDING MAIN EXCAVATION, STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.

FOR SIZING CALCULATIONS, INSTALLATION SPECIFICATIONS SHALL BE REFERRED TO THE CITY OF RALEIGH WATER DEPARTMENT. CONTACT THE CITY OF RALEIGH WATER DEPARTMENT FOR MORE INFORMATION.

ALL DEVICES ARE REQUIRED TO BE TESTED IN ACCORDANCE WITH THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA, SECTION 19. THE DEVICES SHALL MEET AMERICAN SOCIETY OF MECHANICAL ENGINEERS (ASSE) APPROVED LIST. THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERS (ASSE) APPROVED LIST. THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERS (ASSE) APPROVED LIST. THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERS (ASSE) APPROVED LIST.

FOR MORE INFORMATION CONTACT: JOANIE HARTLEY AT 919-996-9233 OR HARTLEY@RALEIGHNC.GOV



LEGEND:

- PROPOSED WATER VALVE
- EXISTING SANITARY SEWER MANHOLE
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED CLEANOUT
- PROPOSED FDC
- PROPOSED BACKFLOW METER
- PIV PROPOSED POST INDICATOR VALVE P.I.V.
- GREASE INTERCEPTOR
- 400' HYDRANT COVERAGE CIRCLE
- LIMITS OF DISTURBANCE

NOTES:

- SHEET C6.10 FOR GENERAL AND UTILITY NOTES.

SWIFT PARTNER

424 S. DAWSON STREET
RALEIGH NC 27601
FIRM LICENSE: P-2187

No.	Date	Description

VICINITY

SCALE

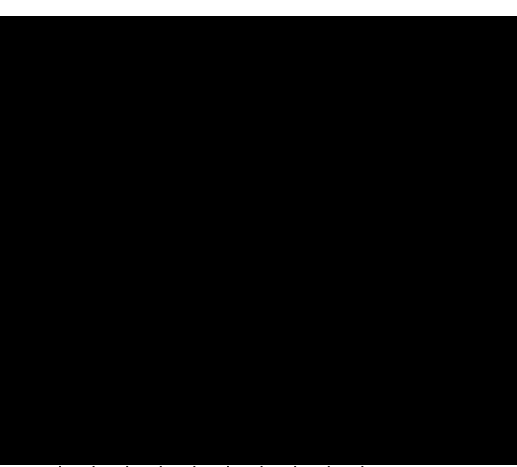
SCALE: 1" = 40'

ARROW

DATE: 11.22.2023
APP:
DRAWN BY: LJP
PROJECT: BAPTIST GROVE CHURCH
PROJECT #: C202334

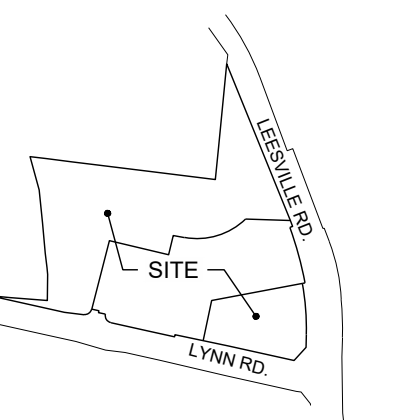
SHEET TITLE: UTILITIES PLAN

SHEET NO.: C6.00

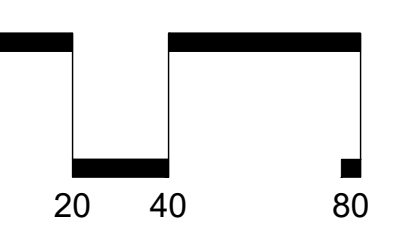


No.	Date	Description

VICINITY

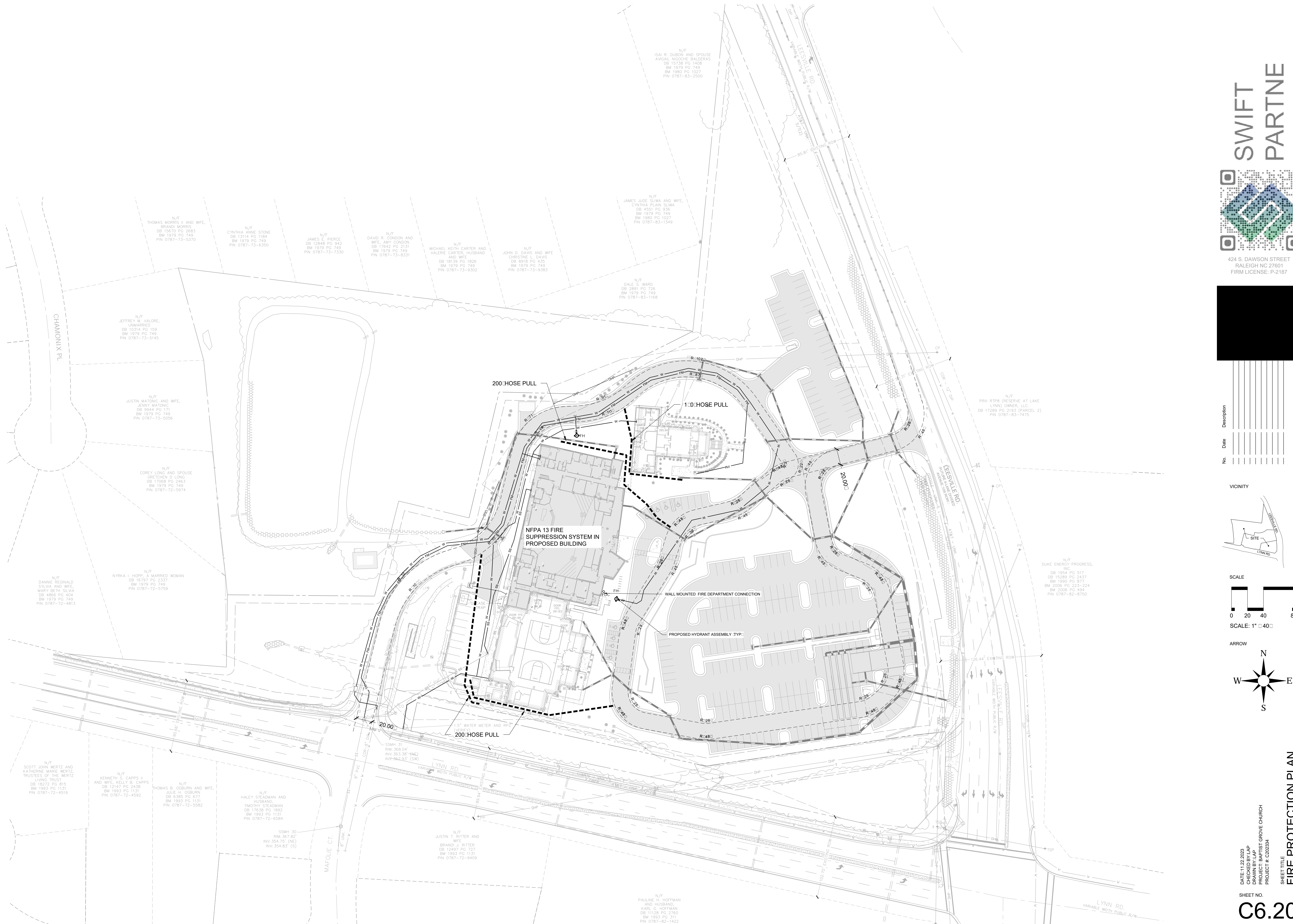
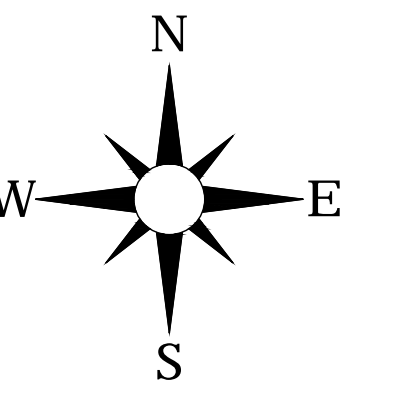


SCALE



SCALE: 1" = 40'

ARROW



N/F
ISAI R. DUBON AND SPOUSE
AVGAIL NICOE BALDERAS
DB 15738 PG 1408
BM 1979 PG 749
BM 1980 PG 1027
PIN 0787-83-2500

N/F
JAMES JUDE SLIWA AND WIFE,
CYNTHIA PLAIN SLIWA
DB 4551 PG 936
BM 1979 PG 749
BM 1980 PG 1027
PIN 0787-83-1249

N/F
DALE S. WARD
DB 2891 PG 726
BM 1979 PG 749
PIN 0787-83-1168

N/F
THOMAS MORRIS II AND WIFE,
BRANDI MORRIS
DB 15670 PG 2853
BM 1979 PG 749
PIN 0787-73-5370

N/F
CYNTHIA ANNE STONE
DB 13114 PG 8184
BM 1979 PG 749
PIN 0787-73-6350

N/F
JAMES E. PERCE
DB 12848 PG 942
BM 1979 PG 749
PIN 0787-73-7330

N/F
DAVID R. GONDON AND
WIFE, AMY GONDON
DB 11842 PG 2131
BM 1979 PG 749
PIN 0787-73-8331

N/F
MICHAEL KEITH CARTER AND
VALERIE CARTER, HUSBAND
AND WIFE
DB 18139 PG 1626
BM 1979 PG 749
PIN 0787-73-9302

N/F
JOHN D. DAVIS AND WIFE,
CHRISTINE L. DAVIS
DB 8916 PG 435
BM 1979 PG 749
PIN 0787-73-9383

N/F
JAMES JUDE SLIWA AND WIFE,
CYNTHIA PLAIN SLIWA
DB 4551 PG 936
BM 1979 PG 749
BM 1980 PG 1027
PIN 0787-83-1249

N/F
DALE S. WARD
DB 2891 PG 726
BM 1979 PG 749
PIN 0787-83-1168

N/F
JEFFREY M. VALORE,
UNMARRIED
DB 10314 PG 159
BM 1979 PG 749
PIN 0787-73-5143

N/F
JUSTIN MATONIC AND WIFE,
JENNY MATONIC
DB 9944 PG 171
BM 1979 PG 749
PIN 0787-73-5056

N/F
COREY LONG AND SPOUSE,
GRECHEN D. LONG
DB 17058 PG 2463
BM 1979 PG 749
PIN 0787-72-5974

N/F
DANNE REGINALD
SILVA AND WIFE,
MARY BETH SILVA
DB 4856 PG 404
BM 1979 PG 749
PIN 0787-72-4813

N/F
NYRKA I. HOPP, A MARRIED WOMAN
DB 16797 PG 2337
BM 1979 PG 749
PIN 0787-72-5759

N/F
SCOTT JOHN WERTZ AND
KATHERINE MARIE WERTZ,
TRUSTEES OF THE WERTZ
LIVING TRUST
DB 18272 PG 816
BM 1993 PG 1131
PIN 0787-72-4519

N/F
KENNETH S. CAPPS II
AND WIFE, KELLY B. CAPPS
DB 12147 PG 2438
BM 1993 PG 1131
PIN 0787-72-4592

N/F
THOMAS B. OGBURN AND WIFE,
JULIE H. OGBURN
DB 6355 PG 577
BM 1993 PG 1131
PIN 0787-72-3582

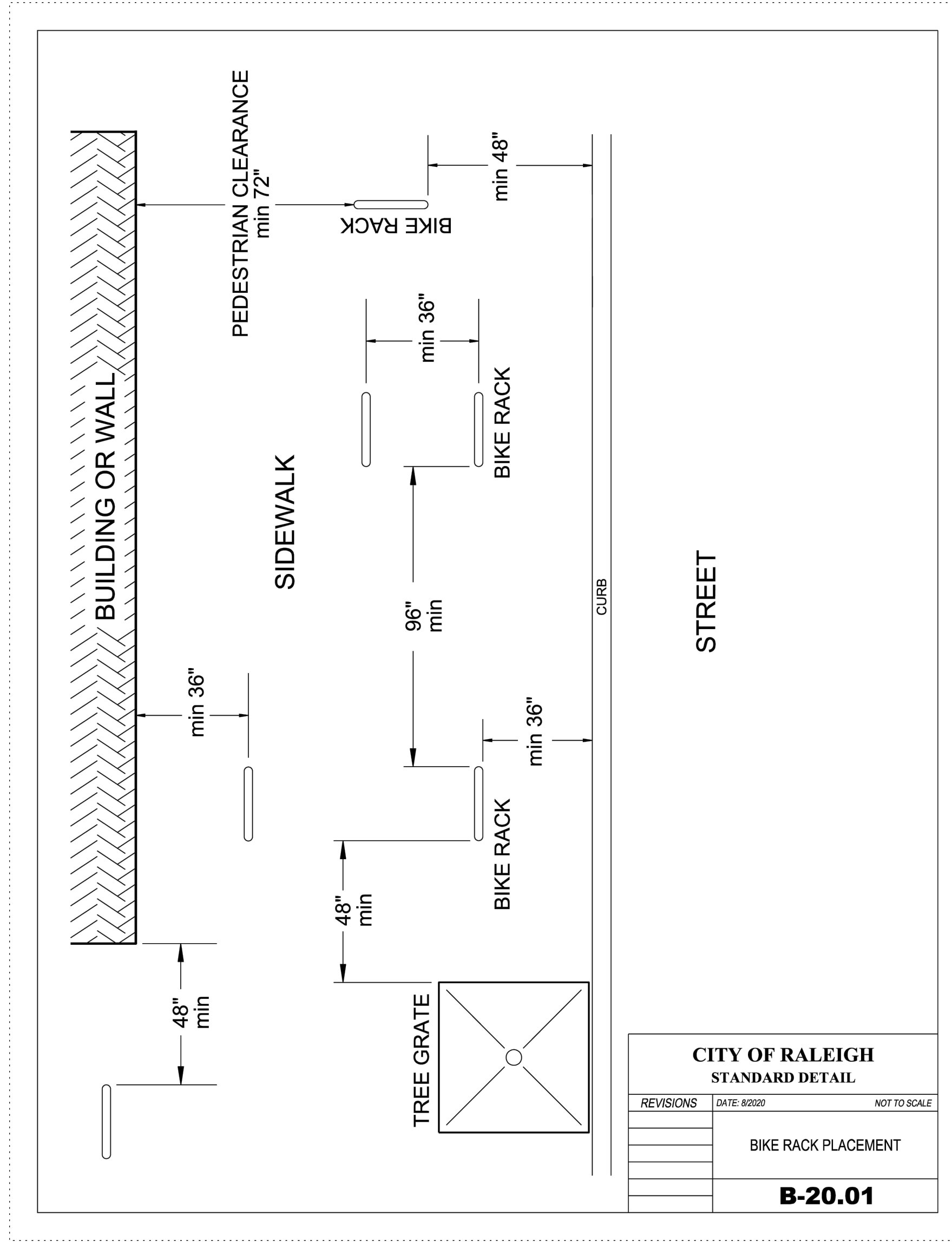
N/F
HALEY STEADMAN AND
HUSBAND,
TIMOTHY STEADMAN
DB 17638 PG 1692
BM 1993 PG 1131
PIN 0787-72-6584

N/F
JUSTIN T. RITTER AND
WIFE,
BRANDI J. RITTER
DB 12487 PG 727
BM 1993 PG 1131
PIN 0787-72-9409

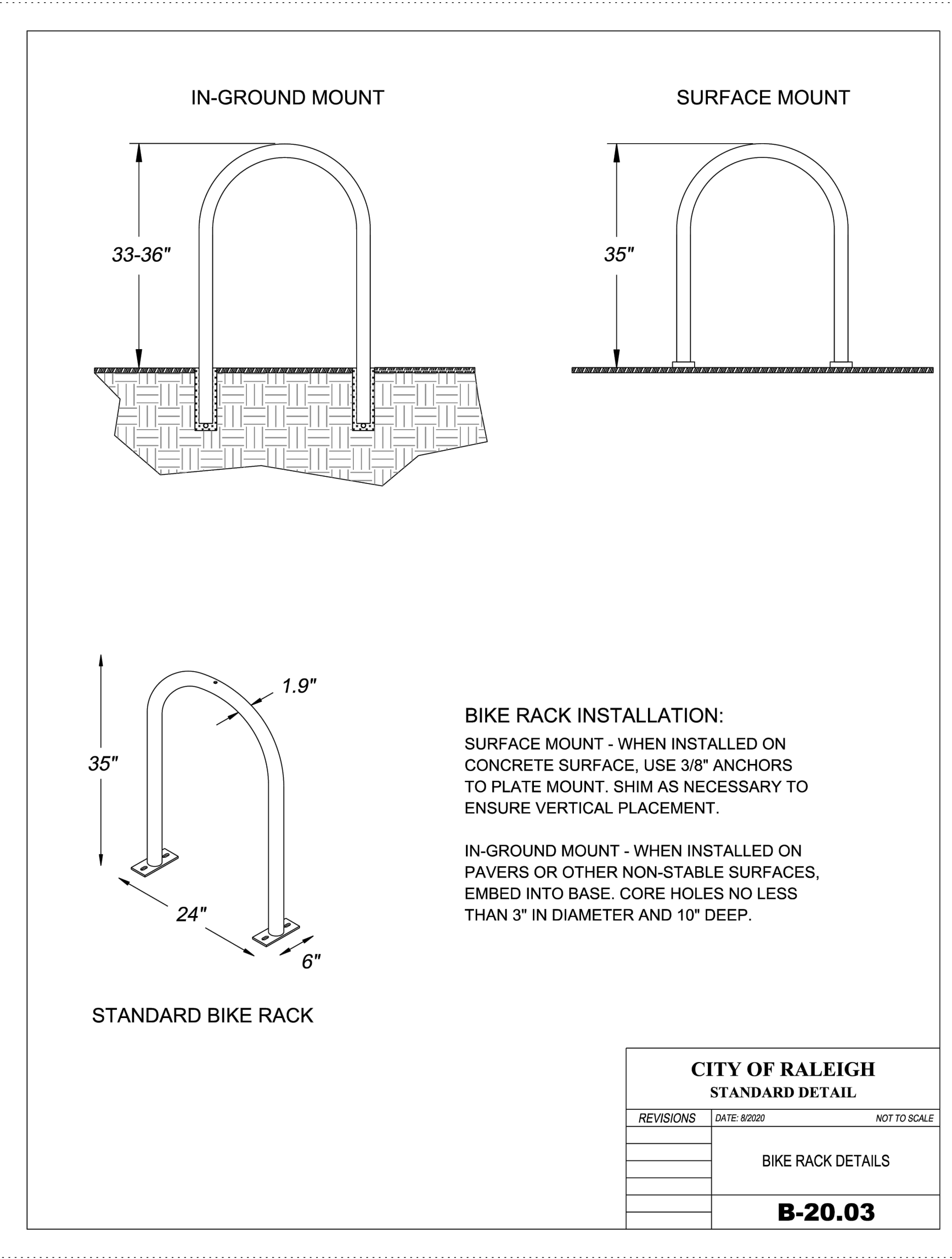
N/F
PAULINE H. HOFFMAN
AND HUSBAND,
KARL C. HOFFMAN
DB 11228 PG 2760
BM 1993 PG 311
PIN 0787-82-1422

N/F
PRIH RTP8 (RESERVE AT LAKE
LYNN) OWNER, LLC,
DB 17289 PG 2193 (PARCEL 2)
PIN 0787-83-7475

N/F
DUKE ENERGY PROGRESS,
INC.
DB 1644 PG 517
DB 15289 PG 2437
BM 1990 PG 877
BM 2008 PG 223-224
BM 2006 PG 494
PIN 0787-82-8750

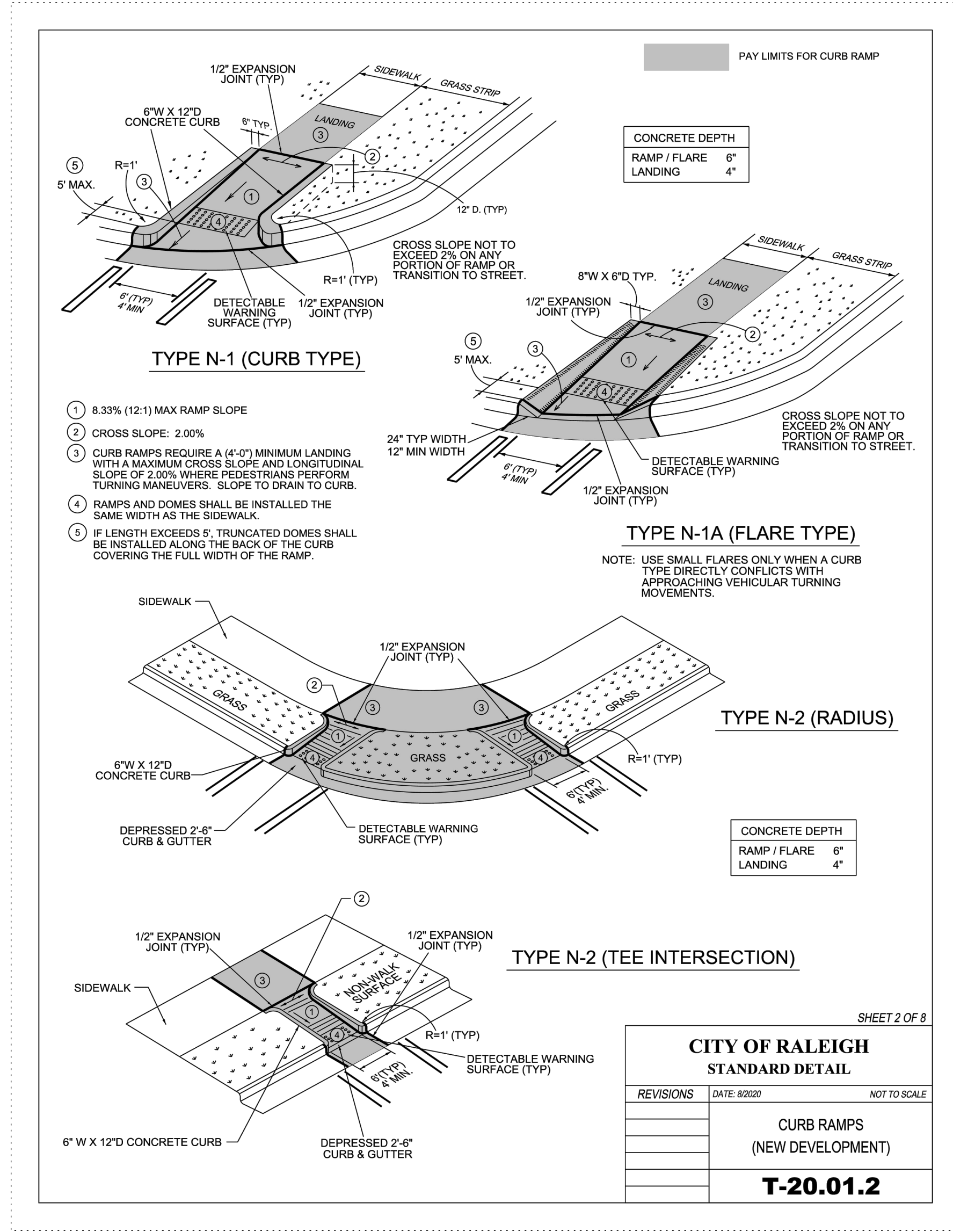


CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
BIKE RACK PLACEMENT		
B-20.01		

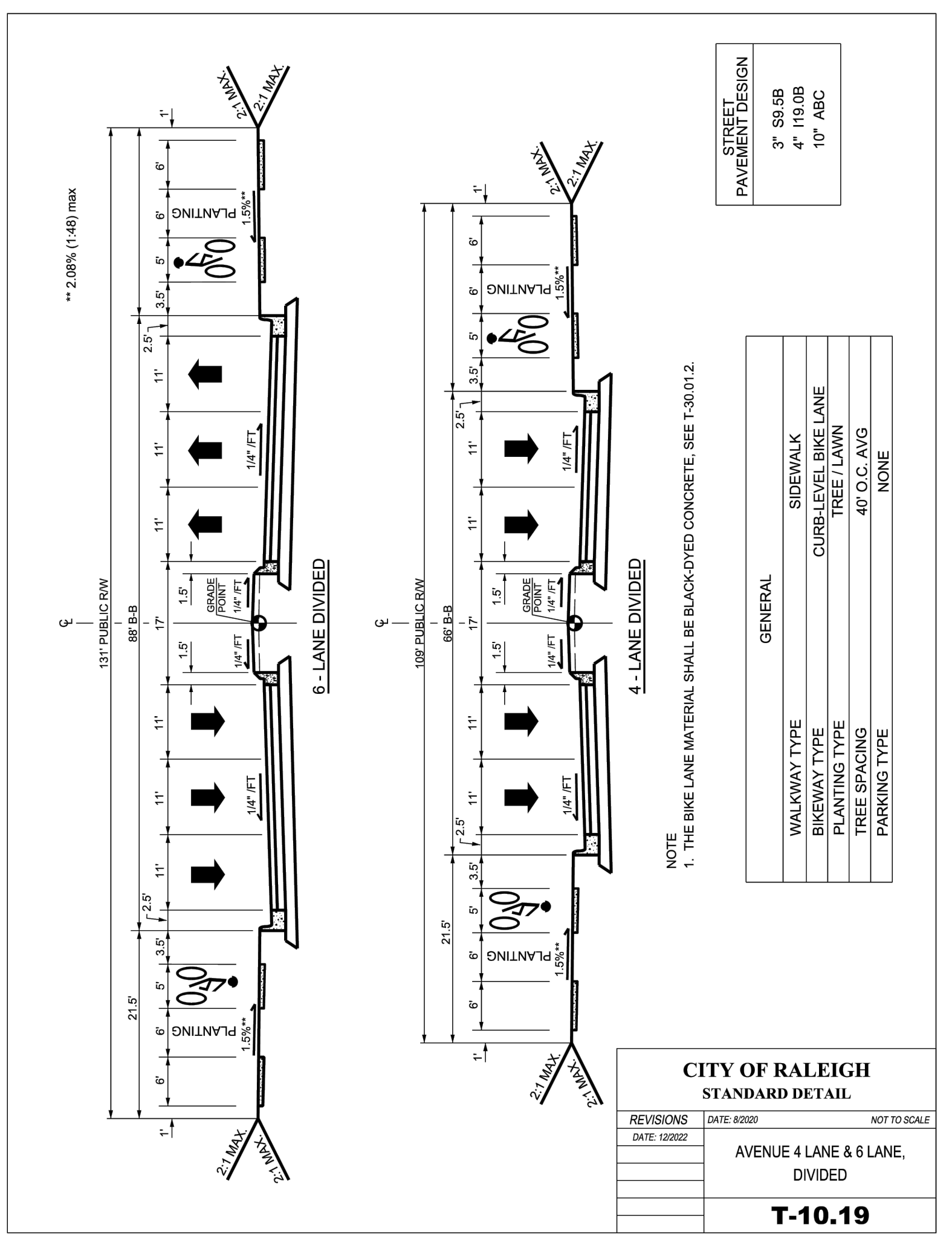


BIKE RACK INSTALLATION:
SURFACE MOUNT - WHEN INSTALLED ON CONCRETE SURFACE, USE 3/8" ANCHORS TO PLATE MOUNT. SHIM AS NECESSARY TO ENSURE VERTICAL PLACEMENT.
IN-GROUND MOUNT - WHEN INSTALLED ON PAVERS OR OTHER NON-STABLE SURFACES, EMBED INTO BASE. CORE HOLES NO LESS THAN 3" IN DIAMETER AND 10" DEEP.

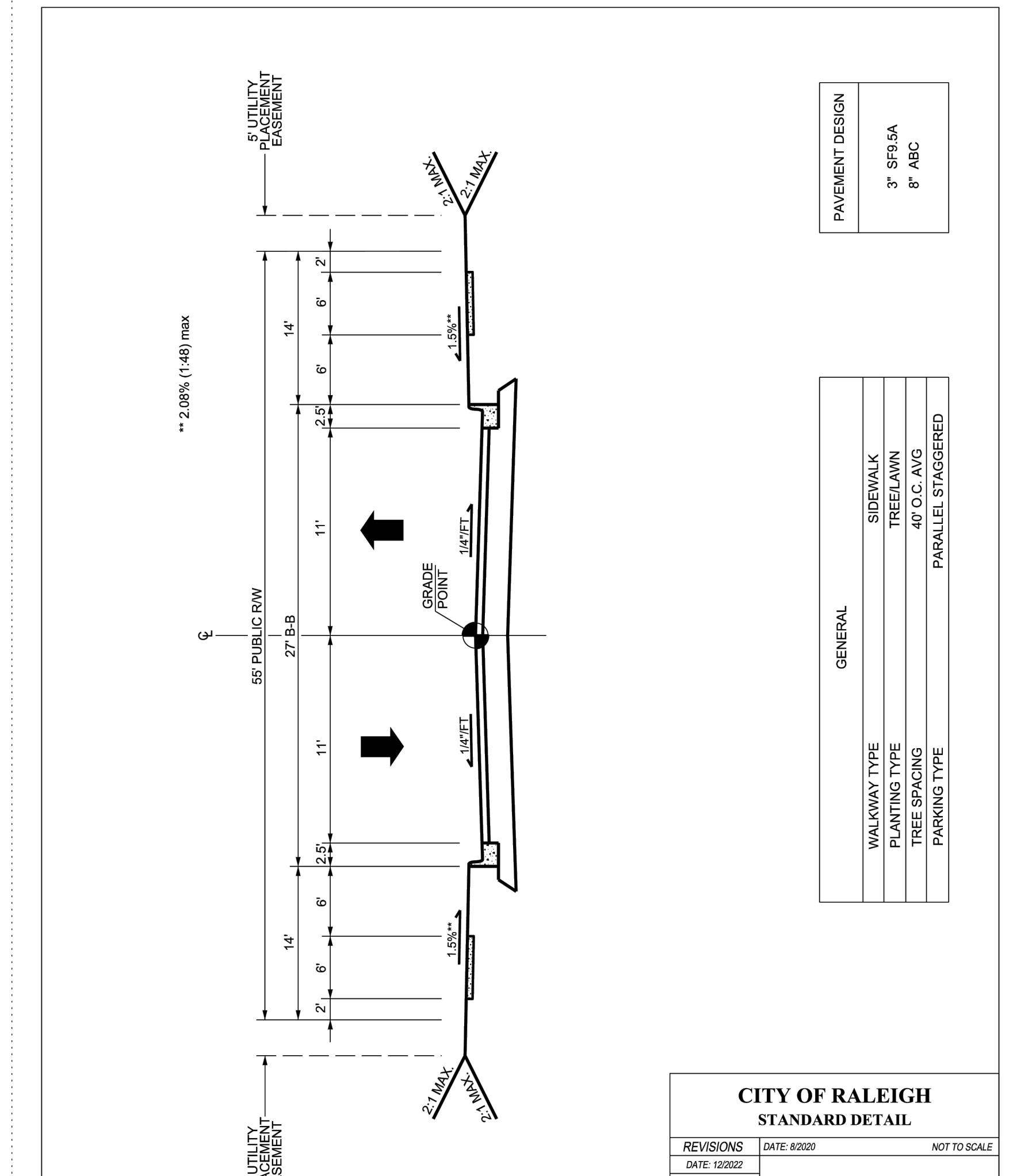
CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
BIKE RACK DETAILS		
B-20.03		



CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
CURB RAMPS (NEW DEVELOPMENT)		
T-20.01.2		



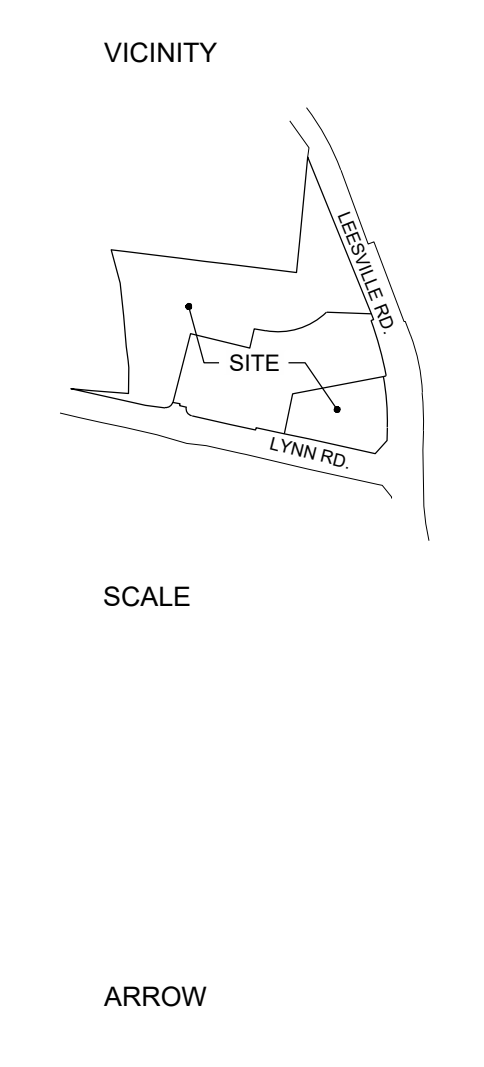
CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
AVENUE 4 LANE & 6 LANE, DIVIDED		
T-10.19		



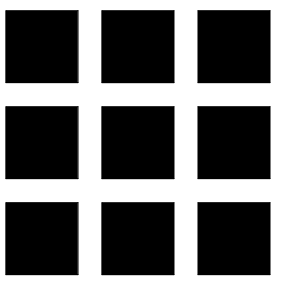
CITY OF RALEIGH STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
NEIGHBORHOOD YIELD		
T-10.10		



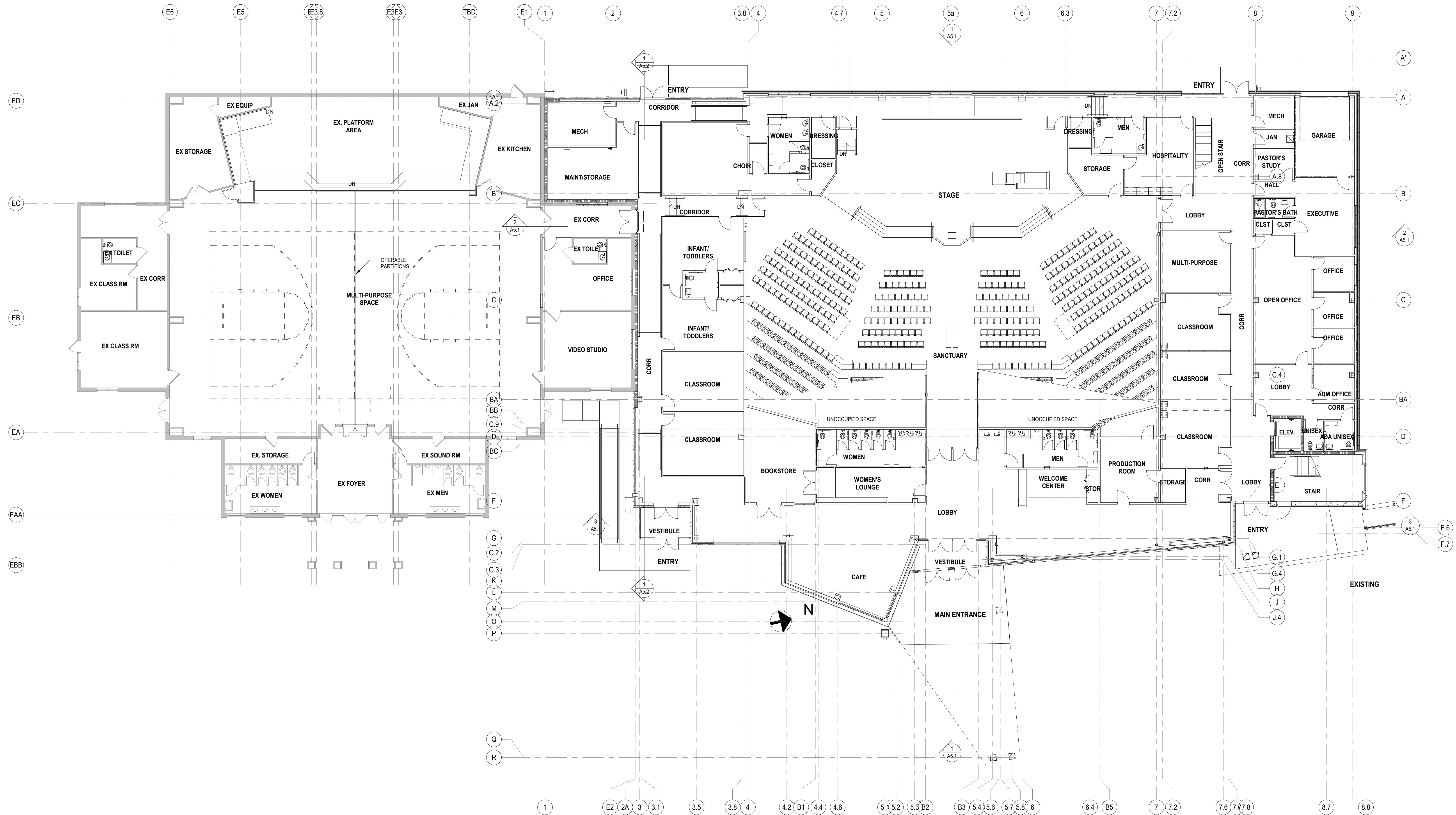
No.	Date	Description



P:\Projects\202334-Baptist Grove Church\B-20\051-45R\3 Sheets\C9.00 Site Details.dwg, 11/22/2023 4:58:41 PM, Roanna Sanchez



CONSTRUCTION DOCUMENTS
**BAPTIST GROVE CHURCH
BAPTIST GROVE CHURCH NEW WORSHIP SPACE
ADDITION**
7109 Leesville Road Raleigh, NC
OVERALL GROUND LEVEL FLOOR PLAN



1 OVERALL GROUND LEVEL FLOOR PLAN
A1.0 SCALE: 3/32" = 1'-0"

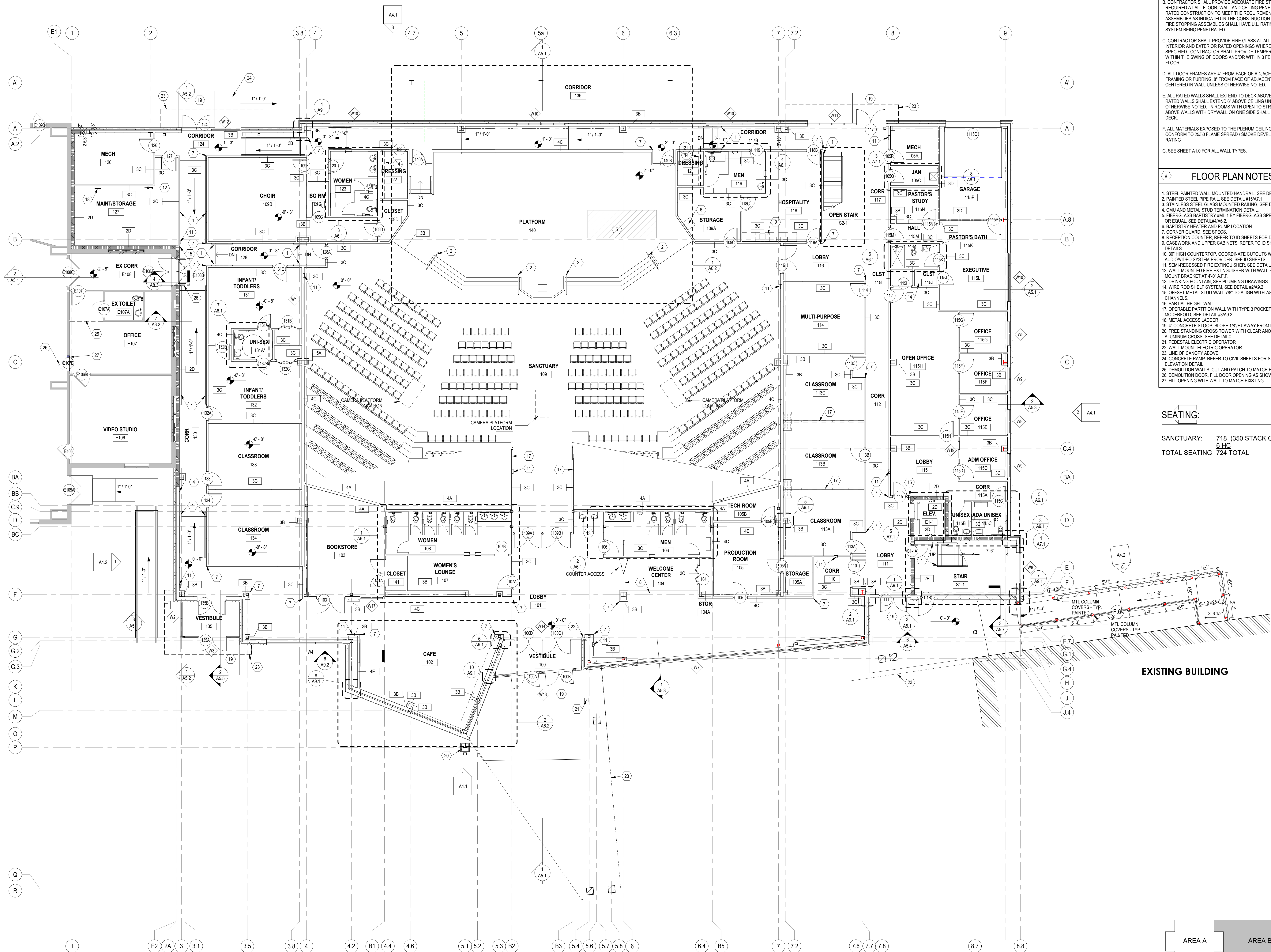
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REVISIONS

Date	Description	#

DRAWN BY: Author	
CHECKED BY: Checker	
PROJECT NO. 0890121	
DATE: 02-03-21	
CERTIFIED BY:	

SHEET NO.
A1.0



PLAN GENERAL NOTES

- A. SLOPE FLOOR TO DRAINS IN ALL ROOMS WHERE FLOOR DRAINAGE IS TO BE INSTALLED. SLOPE A MINIMUM OF 1/16" PER FOOT. SLOPE SHALL EXTEND 5'-0" FROM DRAIN. REFER TO PLUMBING DRAWINGS.
- B. CONTRACTOR SHALL PROVIDE ADEQUATE FIRE STOPPING, AS REQUIRED AT ALL FLOOR, WALL AND CEILING PENETRATIONS OF RATED CONSTRUCTION TO MEET THE REQUIREMENTS OF THE ASSEMBLIES AS INDICATED IN THE CONSTRUCTION DOCUMENTS. FIRE STOPPING ASSEMBLIES SHALL HAVE U.L. RATING FOR SYSTEM BEING PENETRATED.
- C. CONTRACTOR SHALL PROVIDE FIRE GLASS AT ALL PROTECTED INTERIOR AND EXTERIOR RATED OPENINGS WHERE GLASS IS SPECIFIED. CONTRACTOR SHALL PROVIDE TEMPERED GLASS WITHIN THE SWING OF DOORS AND/OR WITHIN 3 FEET OF THE FLOOR.
- D. ALL DOOR FRAMES ARE 4" FROM FACE OF ADJACENT WALL FRAMING OR FURRING, 8" FROM FACE OF ADJACENT CMU OR CENTERED IN WALL UNLESS OTHERWISE NOTED.
- E. ALL RATED WALLS SHALL EXTEND TO DECK ABOVE. ALL NON-RATED WALLS SHALL EXTEND 6" ABOVE CEILING UNLESS OTHERWISE NOTED. IN ROOMS WITH OPEN TO STRUCTURE ABOVE WALLS WITH DRYWALL ON ONE SIDE SHALL EXTEND TO DECK.
- F. ALL MATERIALS EXPOSED TO THE PLENUM CEILING SHALL CONFORM TO 2550 FLAME SPREAD / SMOKE DEVELOPMENT RATING.
- G. SEE SHEET A1.0 FOR ALL WALL TYPES.

FLOOR PLAN NOTES

- 1. STEEL PAINTED WALL MOUNTED HANDRAIL. SEE DETAIL #14A7.1
- 2. PAINTED STEEL PIPE RAIL. SEE DETAIL #15A7.1
- 3. STAINLESS STEEL GLASS MOUNTED RAILING. SEE DETAIL #16A7.1
- 4. CMU AND METAL STUD TERMINATION DETAIL
- 5. FIBERGLASS BAPTISTRY #ML-1 BY FIBERGLASS SPECIALTIES INC. OR EQUAL. SEE DETAIL #14A8.2
- 6. BAPTISTRY HEATER AND PUMP LOCATION
- 7. CORNER GUARD. SEE SPECS.
- 8. RECEPTION COUNTER. REFER TO ID SHEETS FOR DETAILS
- 9. CASWORK AND UPPER CABINETS. REFER TO D SHEETS FOR DETAILS.
- 10. 30" HIGH COUNTERTOP. COORDINATE CUTOUTS WITH AUDIOVISUAL SYSTEM PROVIDER. SEE ID SHEETS
- 11. SEMI-RECESSED FIRE EXTINGUISHER. SEE DETAIL #18A.2
- 12. WALL MOUNTED FIRE EXTINGUISHER WITH WALL BRACKET. MOUNT BRACKET AT 4'-0" A.F.F.
- 13. DRINKING FOUNTAIN. SEE PLUMBING DRAWINGS.
- 14. WIRE ROD SHELF SYSTEM. SEE DETAIL #20A.2
- 15. OFFSET METAL STUD WALL 7/8" TO ALIGN WITH 7/8" FURRING CHANNELS.
- 16. PARTIAL HEIGHT WALL
- 17. OPERABLE PARTITION WALL WITH TYPE 3 POCKET DOOR BY MODERFOLD. SEE DETAIL #3A8.2
- 18. METAL ACCESS LADDER
- 19. 4" CONCRETE STOOD. SLOPE 1/8" PER FOOT AWAY FROM BUILDING
- 20. FREE STANDING CROSS TOWER WITH CLEAR ANODIZED ALUMINUM CROSS. SEE DETAIL #
- 21. PRECAST ELECTRIC OPERATOR
- 22. WALL MOUNT ELECTRIC OPERATOR
- 23. LINE OF CANOPY ABOVE
- 24. CONCRETE RAMP. REFER TO CIVIL SHEETS FOR SURFACE ELEVATION DETAIL
- 25. DEMOLITION WALLS. CUT AND PATCH TO MATCH EXISTING.
- 26. DEMOLITION DOOR. FULL DOOR OPENING AS SHOWN.
- 27. FILL OPENING WITH WALL TO MATCH EXISTING.

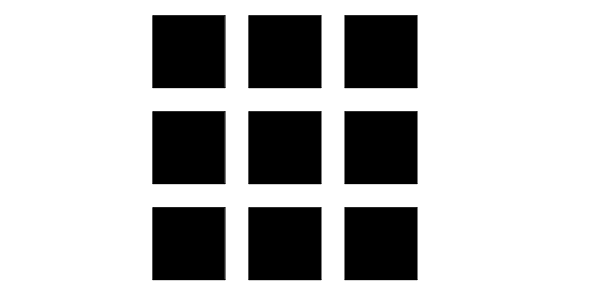
SEATING:

SANCTUARY: 718 (350 STACK CHAIRS)
 6 HC
 TOTAL SEATING 724 TOTAL

EXISTING BUILDING



ARCHITECTURE
 PLANNING
 INTERIOR DESIGN
 ENGINEERING



3921 NORTH MERIDIAN STREET, SUITE 100
 INDIANAPOLIS, INDIANA 46208
 (317)923-3737 FAX (317)923-3730

**BAPTIST GROVE CHURCH
 BAPTIST GROVE CHURCH NEW WORSHIP SPACE
 ADDITION**
 7109 Leesville Road Raleigh, NC
 GROUND LEVEL ARCHITECTURAL PLAN

CONSTRUCTION DOCUMENTS

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REVISIONS

Date	Description	#

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 ACB
 CHECKED BY:
 Checker
 PROJECT NO.
 0890121
 DATE:
 02-03-21
 CERTIFIED BY:
 SHEET NO.

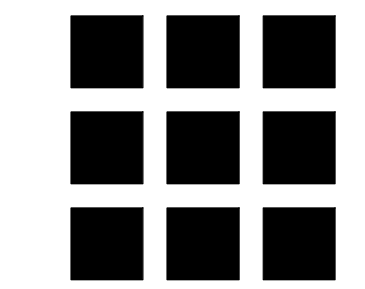
A1.1

1 GROUND LEVEL ARCHITECTURAL FLOOR PLAN
 A1.1 SCALE: 1/8" = 1'-0"

Keynote - Legend	
Key Value	Keynote Text
03 31 00 J5	4" Cast-in-Place Concrete Slab
04 20 00 A6	Cast Stone Watertable
04 20 00 A7	Brick - Clay Unit Masonry
04 20 00 A10	SF CMU - Split Face CMU
04 22 00 A14	4" x 8" x 16" CMU - 2 Core
04 22 00 F14	4" x 8" x 16" Split Face CMU
07 24 00	Exterior Insulation and Finish Systems
07 24 00 A3	EIFS On 2" Insulation Board
07 42 13	Metal Wall Siding Panel
07 71 13	Manufactured Copings
08 36 13	Sectional Doors
08 43 00	Storefronts

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INCORPORATED

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CONSTRUCTION DOCUMENTS
**BAPTIST GROVE CHURCH
NEW WORSHIP SPACE ADDITION**
7109 Leesville Road Raleigh, NC
EXTERIOR ELEVATIONS

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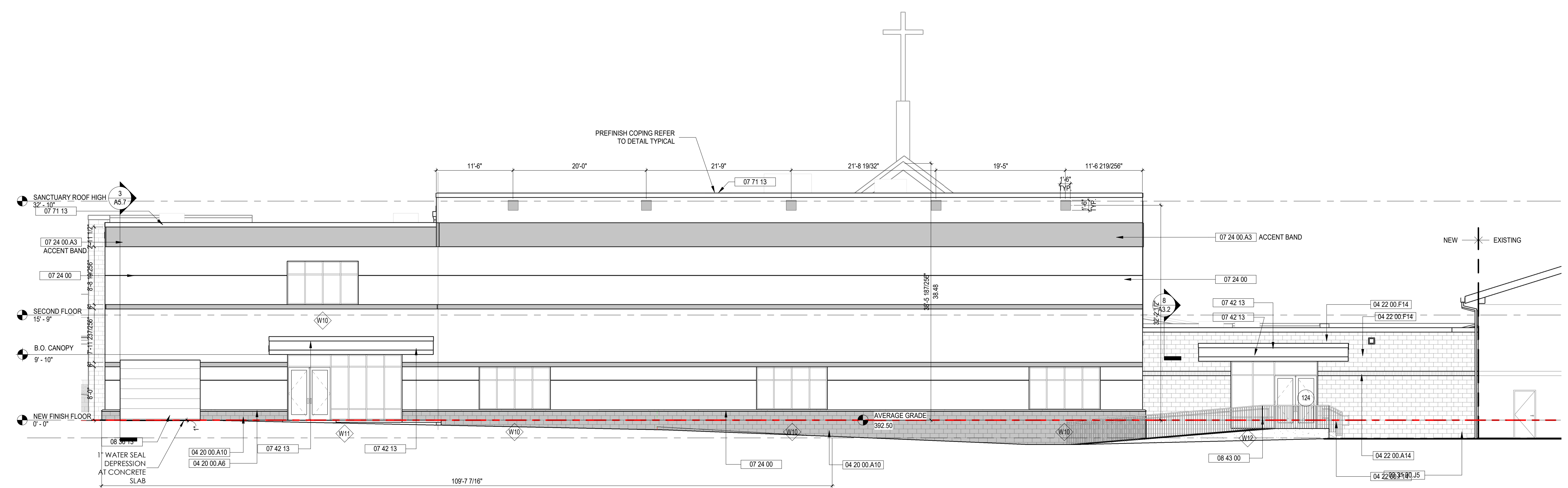
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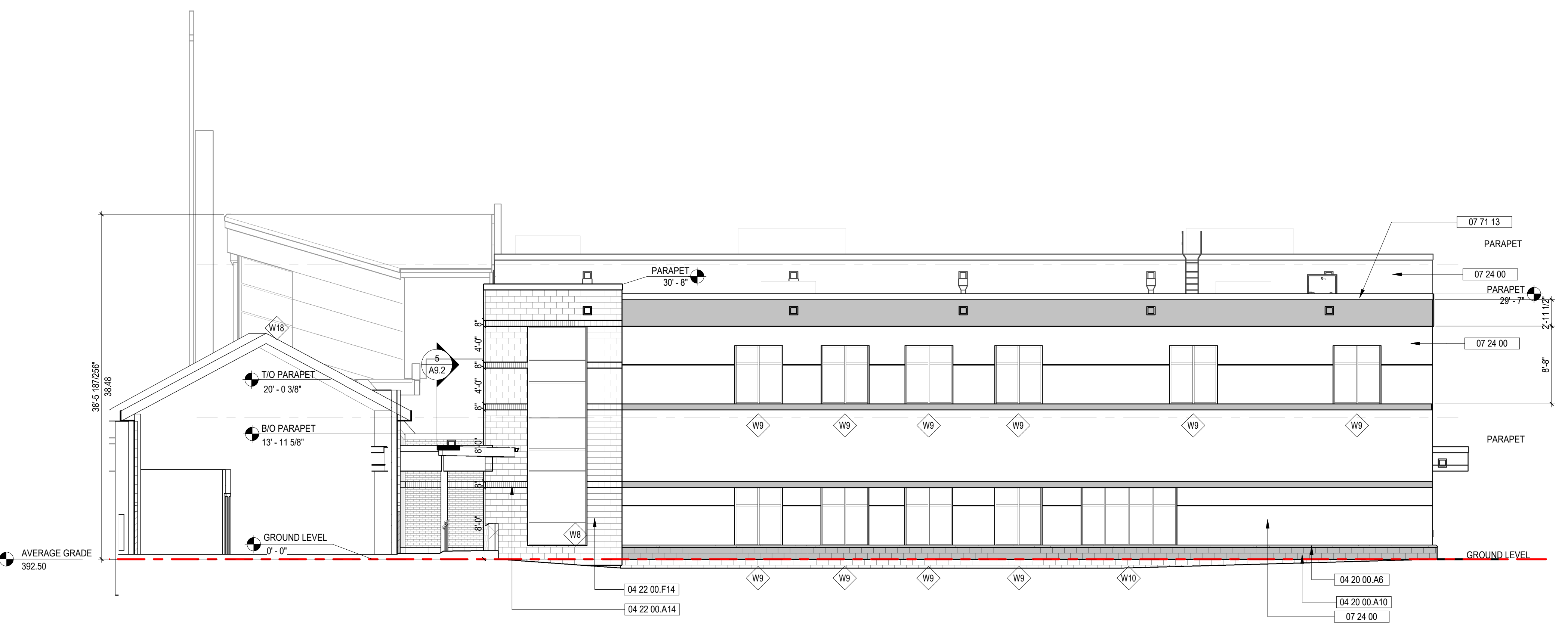
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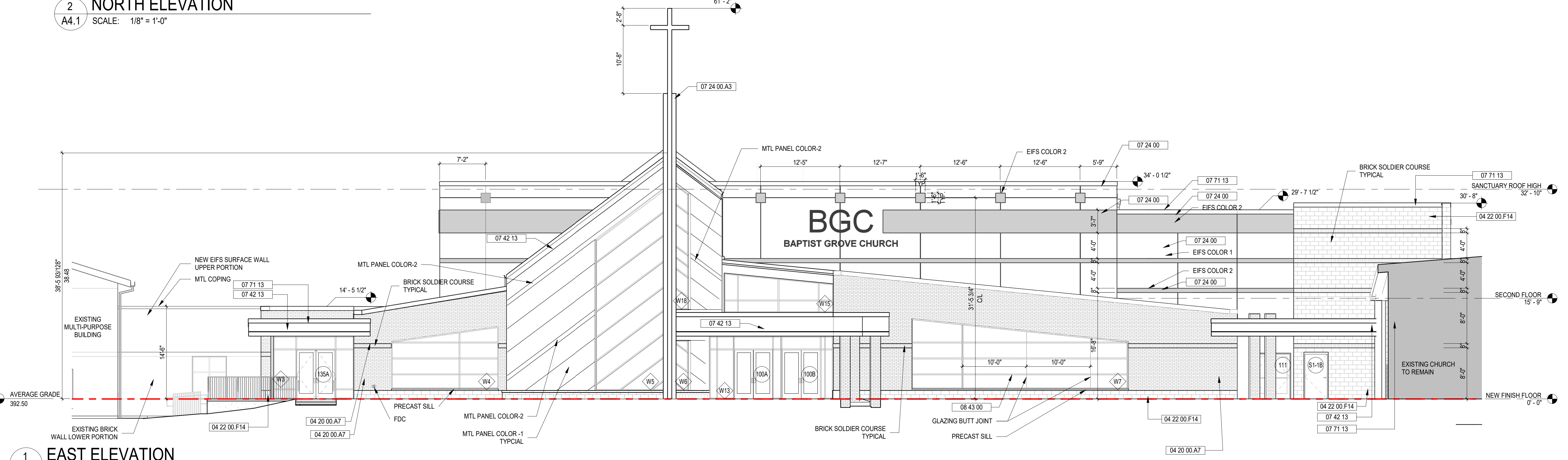
SHEET NO.
A4.1



3 WEST ELEVATION
A4.1 SCALE: 1/8" = 1'-0"



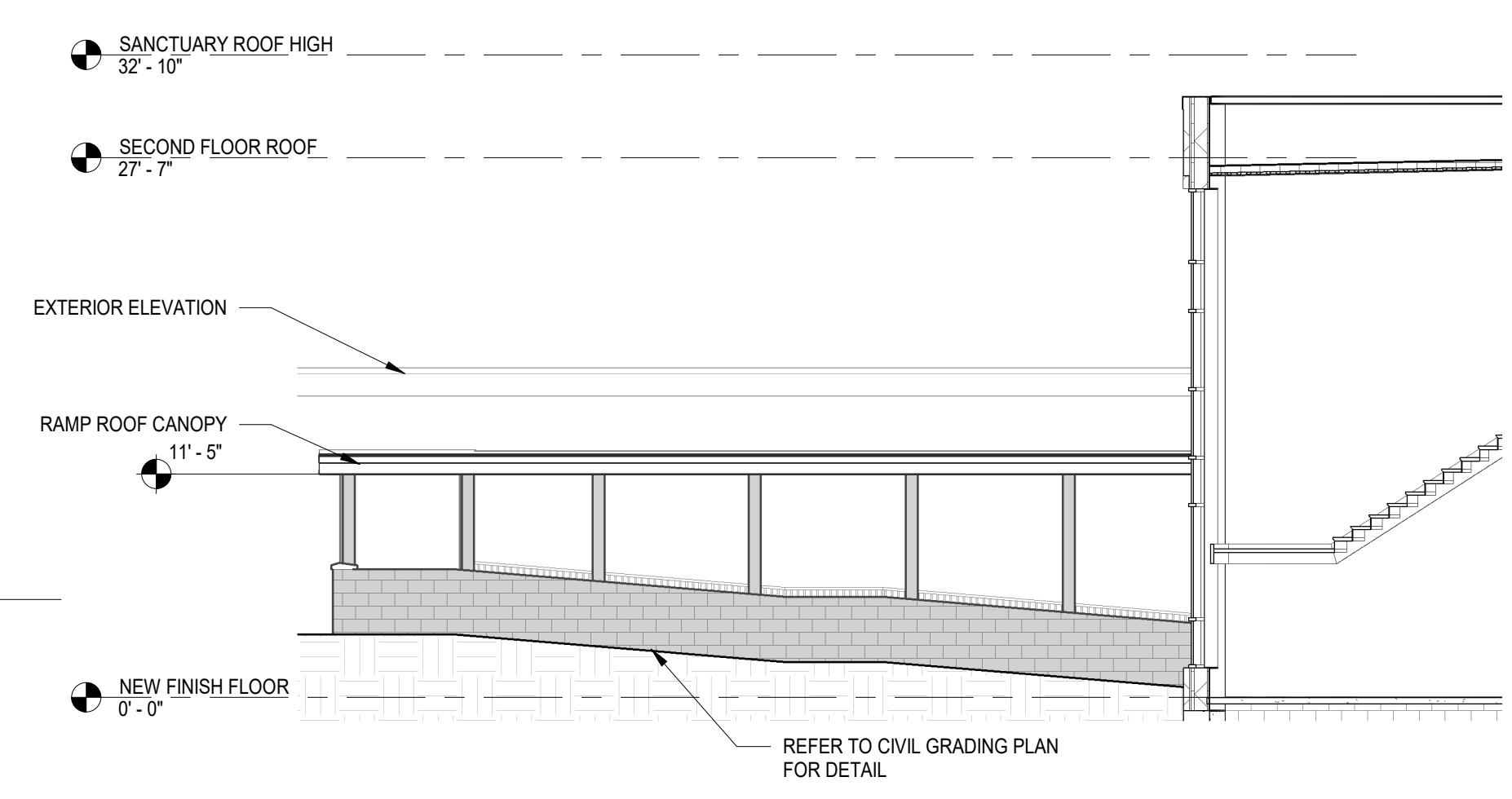
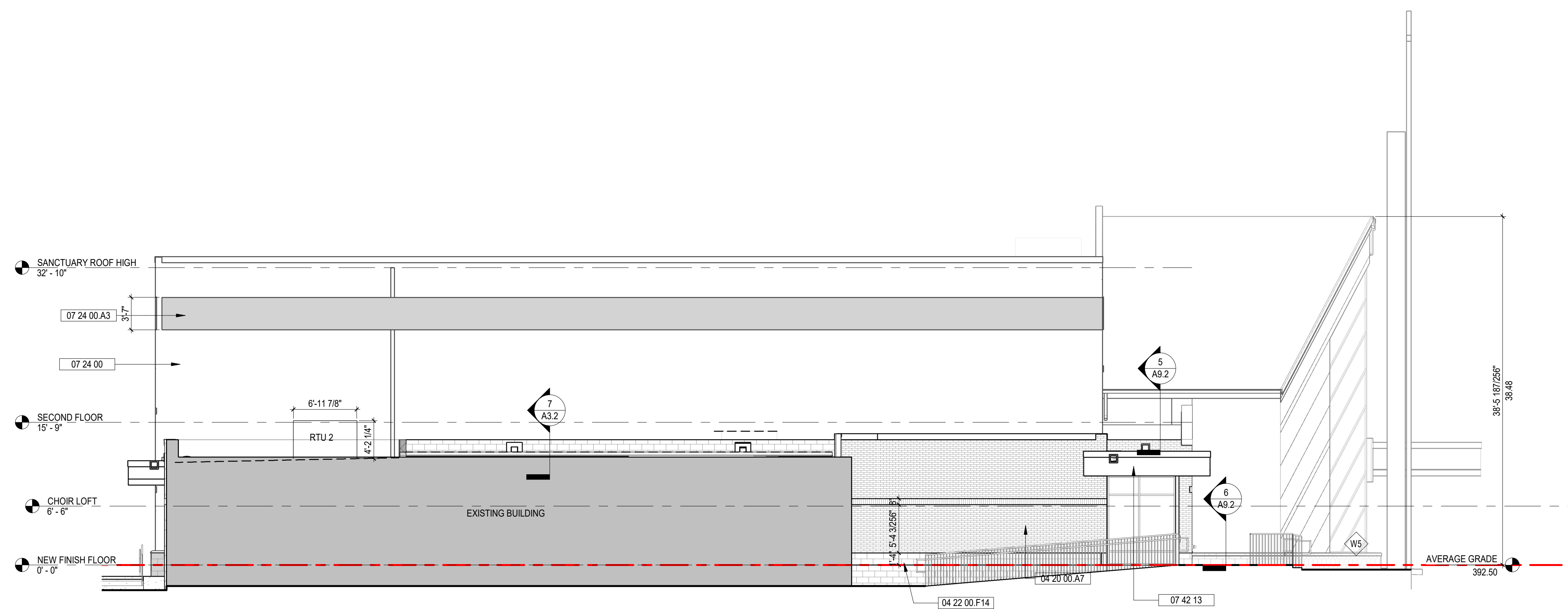
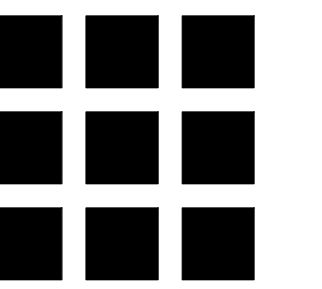
2 NORTH ELEVATION
A4.1 SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
A4.1 SCALE: 1/8" = 1'-0"

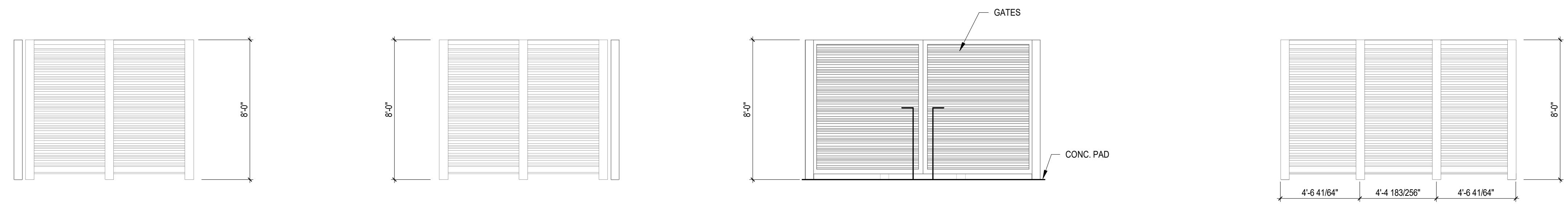
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Keynote - Legend	
Key Value	Keynote Text
04 20 00 A7	Brick - Clay Unit Masonry
04 22 00 F14	4" x 8" x 16" Split Face CMU
07 24 00	Exterior Insulation and Finish Systems
07 24 00 A3	EIFS On 2" Insulation Board
07 42 13	Metal Wall Siding Panel



1 SOUTH ELEVATION
A4.2 SCALE: 1/8" = 1'-0"

6 PARTIAL EXTERIOR ELEVATION
A4.2 SCALE: 1/8" = 1'-0"



2 DUMPSTER ENCLOSURE - NORTH
A4.2 SCALE: 1/4" = 1'-0"

3 DUMPSTER ENCLOSURE - SOUTH
A4.2 SCALE: 1/4" = 1'-0"

4 DUMPSTER ENCLOSURE - EAST
A4.2 SCALE: 1/4" = 1'-0"

5 DUMPSTER ENCLOSURE - WEST
A4.2 SCALE: 1/4" = 1'-0"

DUMPSTER ENCLOSURE ELEVATIONS (REFER TO CIVIL LAYOUT SHEET FOR DUMPSTER LOCATION ON THE SITE)

CONSTRUCTION DOCUMENTS

BAPTIST GROVE CHURCH
NEW WORSHIP SPACE ADDITION

7109 Leesville Road Raleigh, NC

EXTERIOR ELEVATIONS

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SHEET NO.
A4.2