



Administrative Approval Action

Case File / Name: ASR-0083-2023
DSLCL - BAPTIST GROVE CHURCH

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

- LOCATION:** This 7.81 acre site consisting of three parcels zoned R-4 is located on the northwest corner of the intersection of Lynn and Leesville Roads at 7109 Leesville Road.
- REQUEST:** This is a 24,925 square foot addition to a civic building as well as additional parking to Baptist Grove Church.
- DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** N/A
- FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 7, 2024 by Swift Partners PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Provide lighting plan for all outdoor lighting (locations, pole height, and foot candles at property edges and right of way) demonstrating compliance to 7.4.5. FYI/reminder All lighting must be > 20' from any shade tree (7.1.7 G)
2. Per discussion during the administrative site review process connection of the pedestrian elements from Leesville Road need to continue to Lynn Road for a fully connected pedestrian experience. Discussions to work towards that connection need to occur prior to SPR approval.

Engineering

3. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to the City of Raleigh Transportation Department – Mobility Strategy and Infrastructure Division prior to Site Permit review approval.

Public Utilities

4. Recombination plat (ref lots 1, 2 & 3 BM 2002 PG 2125) must be recorded to create the subject ASR site (proposed parcel 1).

Stormwater



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- 5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
- 6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

- 7. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
- 8. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
<input checked="" type="checkbox"/>	Slope Easement Deed of Easement Required

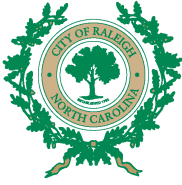
<input checked="" type="checkbox"/>	Sidewalk Deed of Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

- 1. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)



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2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

3. Site Permit Review plans (SPR) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

4. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)

Urban Forestry

5. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .788 acres of tree conservation area.

BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

2. A final plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

3. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).



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4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
5. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

Urban Forestry

6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).
7. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 11 street trees along Leesville Rd.
8. A public infrastructure surety for 11 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. All street lights and street signs required as part of the development approval are installed.
3. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
4. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

Stormwater

5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

BAPTIST GROVE CHURCH

7109 LEESVILLE RD, RALEIGH NC 27610

CITY OF RALEIGH ADMINISTRATIVE SITE REVIEW
ASR-0083-2023 SUBMITTAL

SUBMITTED ON 11.22.2023
REVISED ON 03.28.2024
REVISED ON 06.26.2024
REVISED ON 08.07.2024

SHEET LIST	
SHEET #	SHEET NAME
C000	COVER SHEET
C001	GENERAL NOTES
C005	EXISTING OVERLAYS PLAN
C006	RECONSTRUCTION & EASEMENT PLAN
C020	DEMOLITION PLAN
C300	SITE PLAN
C302	TICR PLAN
C500	GRADING & STORM DRAINAGE PLAN
C510	SGM DETAIL SHEET
C511	SGM DETAIL SHEET
C600	UTILITIES PLAN
C620	RIFE PROTECTION PLAN
C800	SITE DETAILS
C801	SITE DETAILS
L100	PLANTING PLAN
L300	PLANTING DETAILS
A10	OVERALL GROUND LEVEL FLOOR PLAN
A11	GROUND LEVEL ARCHITECTURAL PLAN
A41	EXTERIOR ELEVATIONS
A62	EXTERIOR ELEVATIONS
Z61	ZONING EXTERIOR ELEVATIONS
Z62	ZONING EXTERIOR ELEVATIONS
S81	RTU LIGHT LINE STUDIES



VICINITY MAP
SCALE 1" = 400'

SITE DATA

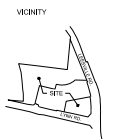
PROJECT NAME:	BAPTIST GROVE CHURCH
SITE ADDRESS:	7109 LEESVILLE RD, RALEIGH NC 27610
WAVE:	
COUNTY:	0787-001940
PARCEL PIN #:	1
LOT NUMBER:	BAPTIST GROVE BAPTIST CHURCH
PARCEL OWNER:	7815 AC / 340,434 SF
GROSS SITE AREA:	
RIGHT-OF-WAY DESIGNATION:	TOTAL DEVELOPMENT: 6,000 AC / 877 SF LEESVILLE ROAD: 10,700 AC / 796 SF LYNN ROAD: 6,001 AC / 77 SF
NET SITE AREA:	7,780 AC / 338,940 SF
CURRENT ZONING:	R4
PROPOSED ZONING:	R4
EXISTING LAND USE:	CHC (CHURCH)
PROPOSED LAND USE:	CHC (CHURCH)
FLOOD PLAIN DATA:	DROW MAP #3720078700K, EFFECTIVE DATE OF 07/19/2022
NEIGHBOR:	NEIGH
DEVELOPMENT TYPE:	CHC
MIN LOT SIZE:	10,000 SF
PROPOSED LOT SIZE:	7,780 AC / 338,940 SF
MAX BUILDING HEIGHT:	34-FEET (S1)
PROPOSED BUILDING SF:	246,000 SF - 50' TO TOP OF THE CROSS
UNITS OF DISTURBANCE:	6.62 AC / 288,364 SF
EXISTING IMPERVIOUS AREA (PARCELS):	2,666 AC / 116,000 SF
PROPOSED IMPERVIOUS AREA (PARCELS):	4,400 AC / 192,841 SF
EXISTING IMPERVIOUS AREA (INCLUDES ROW):	2,666 AC / 116,000 SF
PROPOSED IMPERVIOUS AREA (INCLUDES ROW):	4,384 AC / 215,310 SF
REQUIRED TREE CONSERVATION AREA:	0.25 AC / 10,800 SF (0.25%)
PROPOSED TREE CONSERVATION AREA:	0.78 AC / 34,110 SF (0.25%)
PARKING DATA:	
EXISTING VEHICULAR PARKING:	168 SPACES
REQUIRED VEHICULAR PARKING:	NO MAX.
PROPOSED VEHICULAR PARKING:	228 SPACES
EXISTING VEHICULAR PARKING TO REMAIN:	11 SPACES
TOTAL VEHICULAR PARKING PROVIDED:	235 SPACES
REQUIRED BICYCLE PARKING:	9 (1 SPACE PER 5,000 SF OF GROSS FLOOR AREA, MINIMUM 4)
PROPOSED BIKE-REAR BI-CYCLE PARKING:	14
BUILDING STRUCTURE SETBACKS:	
FROM PRIMARY STREET (MIN):	20'
FROM SIDE STREET (MIN):	20'
FROM SIDE LOT LINE (MIN):	10'
FROM REAR LOT LINE (MIN):	30'
PARKING SETBACKS:	
FROM PRIMARY STREET (MIN):	20'
FROM SIDE STREET (MIN):	10'
FROM SIDE LOT LINE (MIN):	10'
FROM REAR LOT LINE (MIN):	10'

SWIFT PARTNERS

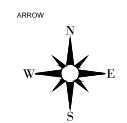


424 S. DAWSON STREET
RALEIGH NC 27601
FIRM LICENSE: P-2187

No.	Date	Description
1	11/22/23	COVER SHEET
2	03/28/24	GENERAL NOTES
3	06/26/24	EXISTING OVERLAYS
4	08/07/24	RECONSTRUCTION
5		DEMOLITION
6		SITE PLAN
7		TICR PLAN
8		GRADING & STORM DRAINAGE
9		SGM DETAIL SHEET
10		UTILITIES PLAN
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17		EXTERIOR ELEVATIONS
18		EXTERIOR ELEVATIONS
19		ZONING EXTERIOR ELEVATIONS
20		ZONING EXTERIOR ELEVATIONS
21		RTU LIGHT LINE STUDIES



VICINITY



SCALE



ARROW

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE OFFICE OF STATE CONSTRUCTION DEPARTMENT OF INSURANCE, FEDERAL AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL SUBORDINATE. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL, AMERICAN NATIONAL STANDARDS AND PRACTICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATION SERVICES INCLUDING NECESSARY LOCATION SERVICES. THE CONTRACTOR SHALL PROVIDE NOTICE OF EXCAVATION TO NOTIFICATION CENTER AND FACILITY OWNERS PER NC STATUTE NO. LESS THAN 10 BUSINESS DAYS AND NO MORE THAN 12 WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION. EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEMOLITION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
- ALL SUB-SURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION BASED ON SURVEY INFORMATION GATHERED FROM FIELD INSPECTION AND/OR ANY OTHER APPLICABLE RECORD DRAWINGS WHICH MAY BE AVAILABLE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- IDENTIFY IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, NOTIFICATIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL MAINTAIN "AS-BUILT" DRAWINGS TO RECORD THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. UTILITIES AND FINANCE CHANGES, AND MODIFICATIONS OR LANDSCAPE CHANGES, DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD PURPOSES.
- IF DISCREPANCIES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DISCREPANCIES AND REASONS THEREOF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL. DISCREPANCIES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITY LINES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATION OF WHITE MATERIALS AND RUBBER CHIPS BY THE CONTRACTOR. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.

11. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.

12. ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING THE FIGHTING APPARATUS (20,000 LBS) DURING ALL PHASES OF CONSTRUCTION ONCE VEHICULAR CONSTRUCTION HAS BEGUN.

13. RESIDENTIAL DRIVEWAY LOCATIONS AND WIDTHS WILL BE SUBJECT TO APPROVAL AT THE OF UTILITY PERMITTING AGENCY. WHEN DESIGNING THE SITE, THE CONTRACTOR SHOULD KEEP IN MIND THE CITY OF RALEIGH RESIDENTIAL DRIVEWAY STANDARD DETAILS AND REGULATIONS AS FOUND IN RALEIGH STREET DESIGN MANUAL, ARTICLE 8.3 AND SECTION 8.4.1.

14. POST-OASH-16 THE PRIMARY STREET DESIGNATIONS SHALL BE LEESVILLE ROAD AND LYNN ROAD.

15. THE SITE WILL BE CONFORMING TO THE EXEMPTION OF BLOCK PERMITTER REQUIREMENTS PER THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT ORDINANCE CODE SECTION 8.3.2.4.1.1.1. AS THE SITE TO BE DEVELOPED IS A PLACE OF WORSHIP.

16. THIS SITE WILL BE CONFORMING TO THE EXEMPTION OF CROSSACCESS REQUIREMENTS PER THE CITY OF RALEIGH'S UNIFIED DEVELOPMENT ORDINANCE CODE SECTION 8.3.2.4.1.1.2 AS THE SITE TO BE DEVELOPED IS A PLACE OF WORSHIP.

17. INFILL DESIGN REQUIREMENTS DO NOT APPLY SINCE SITE IS GREATER THAN 1/4 ACRES PER SEC. 2.2.3.7.8.1.A.

SOLID WASTE:

SOLID WASTE TO BE HANDLED VIA DUMPSTER. DUMPSTERS ARE TO BE HOUSED IN A DOUBLE CORRAL. COMBUSTIBLE WASTE AND RECYCLING SERVICES WILL BE PROVIDED BY LOCAL ENVIRONMENTAL DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

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M: +1 8287351862 | W: +1 8287351862

SURVEY LEGEND:

- ▲ VRS CONTROL POINT
- EXTENDING CONCRETE MONUMENT
- EXTENDING IRON PIPE REBAR
- COMPLETED POINT
- BENCH MARK WITH IRON SET
- ▲ NEW MAG NAIL SET
- LIGHT POLE
- POWER POLE
- TRANSFORMER
- S/S ANCHOR
- S/S VALVE
- S/S METER
- TELEPHONE HANGHOLE
- OTHER OBJECT MARKER
- TELEPHONE PRESTAL
- TELEPHONE HANGHOLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEAN OUT
- WATER VALVE
- HYDRANT
- WIRE
- WATER MANHOLE
- WELL
- WATER VAULT
- STORM MANHOLE
- TOP OBJECT
- SIGN
- TREE
- AC LIMIT

- AG... ABOVE GROUND APPROXIMATE
- BL... BELOW GROUND
- BM... BENCH MARK
- BL... BOUNDARY LINE
- BM... BOOK OF MAPS
- BS... CURB & GUTTER
- BTM... BOTTOM
- CB... CATCH BASIN
- CC... COVERED CONDUIT FACTOR
- CP... CORRUGATED PLASTIC PIPE
- CONC... CONCRETE
- CONC... CITY OF RALEIGH
- CR... CRACK
- CR... CROWN ROOF
- CR... EXISTING CONCRETE MONUMENT
- CR... EXISTING IRON PIPE
- ELEV... ELEVATION
- ED... EDGE OF PAVEMENT
- EL... ELATED IRON SECTION
- EM... EXISTING OBJECT MARKER
- GA... GAS METER
- HA... HANDICAP PARKING
- HOL... HANDICAP RAMP
- INTL... INTERSECTION
- LSA... LANDSCAPE AREA
- MTL... METERS
- N... NORTH
- NE... NORTH EAST
- NF... NOW OR FORMERLY
- NO... NO PARKING
- NS... NORTH WEST
- PA... PAGE
- PAR... PARCEL IDENTIFICATION
- PL... POLYNY. CHORIDE PIPE
- PL... RIGHT OF WAY
- PR... REMOVED CONCRETE
- RD... ROAD
- RD... ROOF DRAIN
- R... RADIUS
- S... SOUTH EAST
- S... SQUARE SET
- STAN... STORM MANHOLE
- T... TRAFFIC SIGNAL BOX
- TS... TRAFFIC SIGNAL POLE
- TY... TYPICAL
- UN... UNKNOWN SIZE AND
- W... WEST
- WT... WITH
- WT... WITHOUT
- ... BOUNDARY LINE (NOT SURVEYED)
- ... THE LINE

PROJECT AREA TABLE	
LOT 1 - SURVEYED AREA - PIN: 0787-73-9074	282,527 SF / 6.486 AC
LOT 2 - SURVEYED AREA - PIN: 0787-83-1840	186,661 SF / 4.285 AC
LOT 3 - SURVEYED AREA - PIN: 0787-83-3674	70,118 SF / 1.610 AC
TOTAL SURVEYED AREA	539,316 SF / 12.381 AC

NOTES:

- SEE SHEET C1.0 FOR GENERAL AND EXISTING CONDITIONS NOTED.
- CONTRACTOR TO VERIFY ALL UTILITY LOCATION AND SIZE.

PARCEL LINE TABLE		PARCEL LINE TABLE			
LINE #	DIRECTION	LENGTH	LINE #	DIRECTION	LENGTH
L1	S 156°54' W	38.03	L22	S 82°58'30" E	57.29
L2	S 42°07'38" W	61.71	L23	S 82°58'30" E	91.38
L3	N 77°27'50" W	234.09	L24	S 82°58'30" E	91.72
L4	N 9°06'30" W	68.76	L25	S 82°58'30" E	66.81
L5	N 79°06'30" W	100.00	L26	S 83°00'30" E	86.48
L6	S 12°18'34" W	7.54	L27	S 82°57'30" E	235.65
L7	N 77°42'38" W	30.60	L28	N 53°54' E	110.88
L8	N 77°29'49" W	150.73	L29	N 53°25' E	292.36
L9	N 77°22'41" W	25.00	L30	S 22°04'38" E	387.04
L10	N 12°54'19" E	4.66	L31	S 22°04'38" E	21.96
L11	N 76°47'12" W	24.44	L32	S 70°11'08" W	10.01
L12	N 83°07'30" W	68.19	L33	S 79°16'30" W	9.48
L13	N 77°27'43" W	265.23	L34	N 11°23'22" E	142.46
L14	S 84°58'00" E	39.56	L35	N 79°49'38" E	320.52
L15	S 80°57'30" E	129.97	L36	N 14°57'17" E	245.32
L16	N 04°57'30" E	90.48	L37	S 78°53'47" E	211.40
L17	N 54°74'02" W	23.43	L38	N 13°26'17" E	68.68
L18	N 87°03'03" W	50.42	L39	S 79°37'24" E	40.16
L19	N 57°17'40" W	100.00	L40	S 68°03'23" E	154.75
L20	N 94°52'02" W	114.99	L41	N 67°12'38" E	32.22
L21	N 19°22'31" W	119.87			

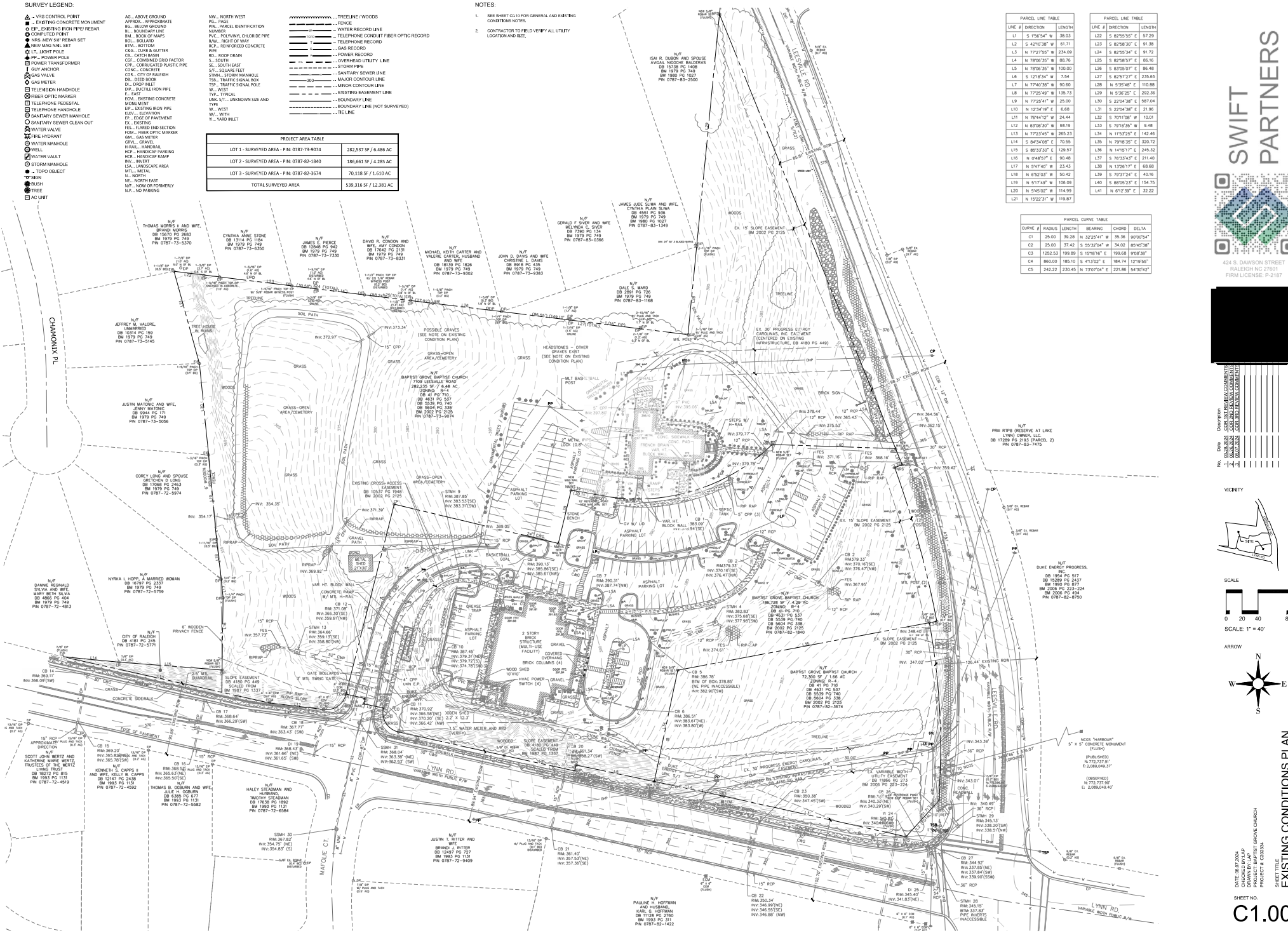
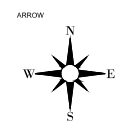
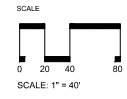
PARCEL CURVE TABLE					
CURVE #	RADIUS	LENGTH	BEARING	CHORD	DELTA
C1	25.00	39.38	N 22°24'17" W	35.36	90°00'54"
C2	25.00	37.42	S 55°20'04" W	34.02	80°49'58"
C3	125.51	199.89	N 10°16'17" E	199.89	102°02'38"
C4	860.00	185.10	S 47°10'02" E	184.74	129°59'54"
C5	242.22	230.45	N 73°07'04" E	221.86	54°30'42"

SWIFT PARTNERS



424 S. DAWSON STREET
RALEIGH NC 27601
FIRM LICENSE: P-2187

No.	Date	Description
1	08/12/2020	PRELIMINARY PLAN
2	08/12/2020	EXISTING CONDITIONS PLAN
3	08/12/2020	EXISTING CONDITIONS PLAN
4	08/12/2020	EXISTING CONDITIONS PLAN
5	08/12/2020	EXISTING CONDITIONS PLAN
6	08/12/2020	EXISTING CONDITIONS PLAN
7	08/12/2020	EXISTING CONDITIONS PLAN
8	08/12/2020	EXISTING CONDITIONS PLAN
9	08/12/2020	EXISTING CONDITIONS PLAN
10	08/12/2020	EXISTING CONDITIONS PLAN
11	08/12/2020	EXISTING CONDITIONS PLAN
12	08/12/2020	EXISTING CONDITIONS PLAN
13	08/12/2020	EXISTING CONDITIONS PLAN
14	08/12/2020	EXISTING CONDITIONS PLAN
15	08/12/2020	EXISTING CONDITIONS PLAN
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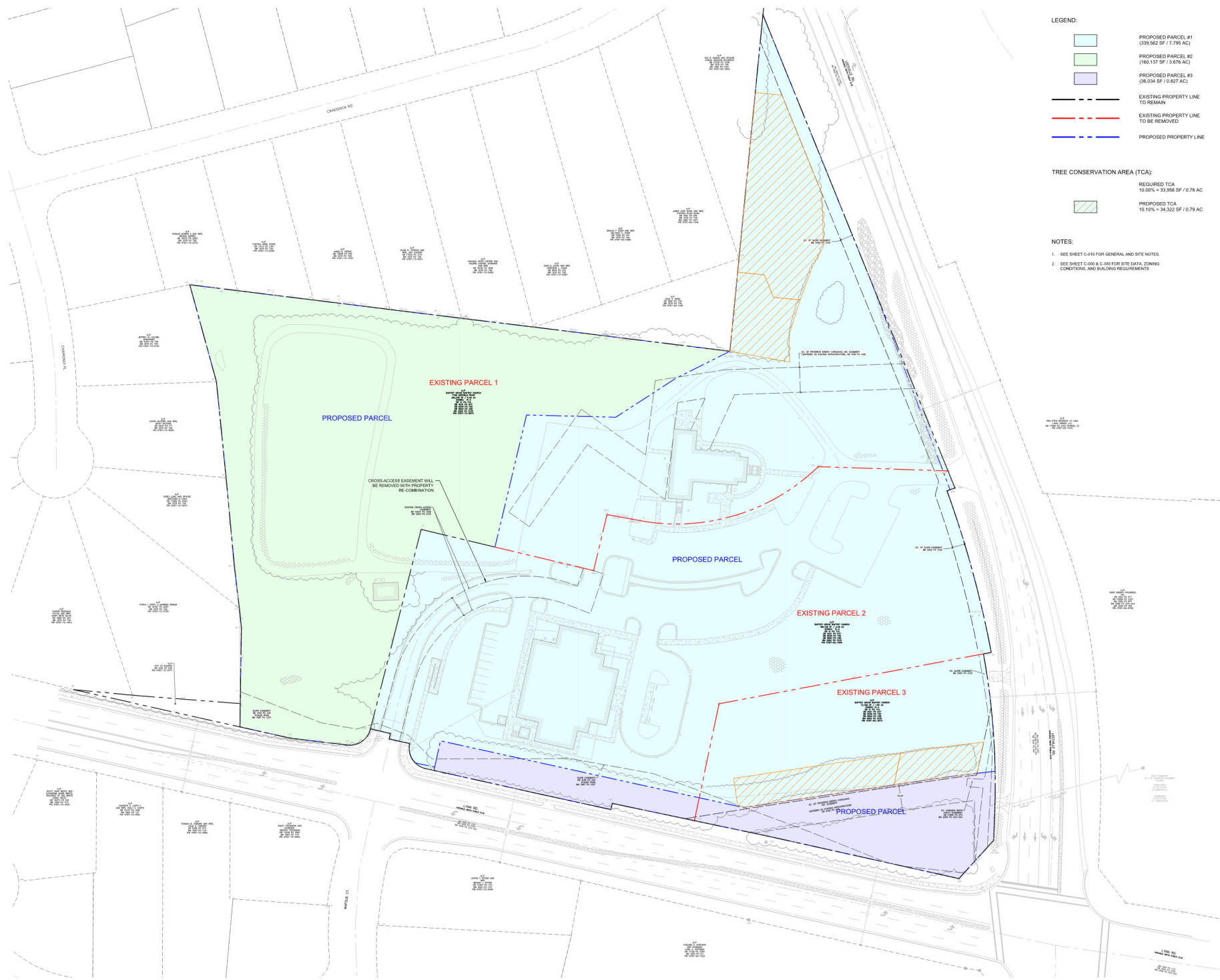


EXISTING CONDITIONS PLAN

DATE: 08/12/2020
DRAWN BY: LAFAYETTE
PROJECT: EXISTING CONDITIONS PLAN

SHEET TITLE: EXISTING CONDITIONS PLAN

SHEET NO.: C1.00



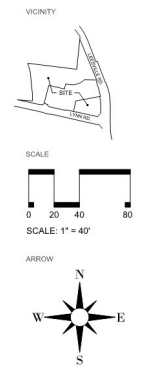
- LEGEND:**
- PROPOSED PARCEL #1 (339,662 SF / 7.795 AC)
 - PROPOSED PARCEL #2 (180,127 SF / 4.109 AC)
 - PROPOSED PARCEL #3 (36,034 SF / 0.827 AC)
 - EXISTING PROPERTY LINE TO REMAIN
 - EXISTING PROPERTY LINE TO BE REMOVED
 - PROPOSED PROPERTY LINE

- TREE CONSERVATION AREA (TCA):**
- REQUIRED TCA 15,000' = 33,966 SF / 0.78 AC
 - PROPOSED TCA 16,109' = 34,322 SF / 0.79 AC

- NOTES:**
1. SEE SHEET C-101 FOR GENERAL AND SITE NOTES.
 2. SEE SHEET C-100 & C-103 FOR SITE DATA, ZONING CONDITIONS, AND BUILDING REQUIREMENTS.



No.	Date	Description
1	08/07/2024	ISSUED FOR PERMITTING
2	08/07/2024	FOR PRELIMINARY COMMENTS
3	08/07/2024	FOR PRELIMINARY COMMENTS
4	08/07/2024	FOR PRELIMINARY COMMENTS





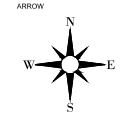
424 S. DAWSON STREET
RALEIGH NC 27601
FIRM LICENSE: P-2187

Date: _____
Description: _____
Scale: _____
North Arrow: _____

NO. _____
DATE: _____
DESCRIPTION: _____
SCALE: _____



SCALE: 1" = 40'



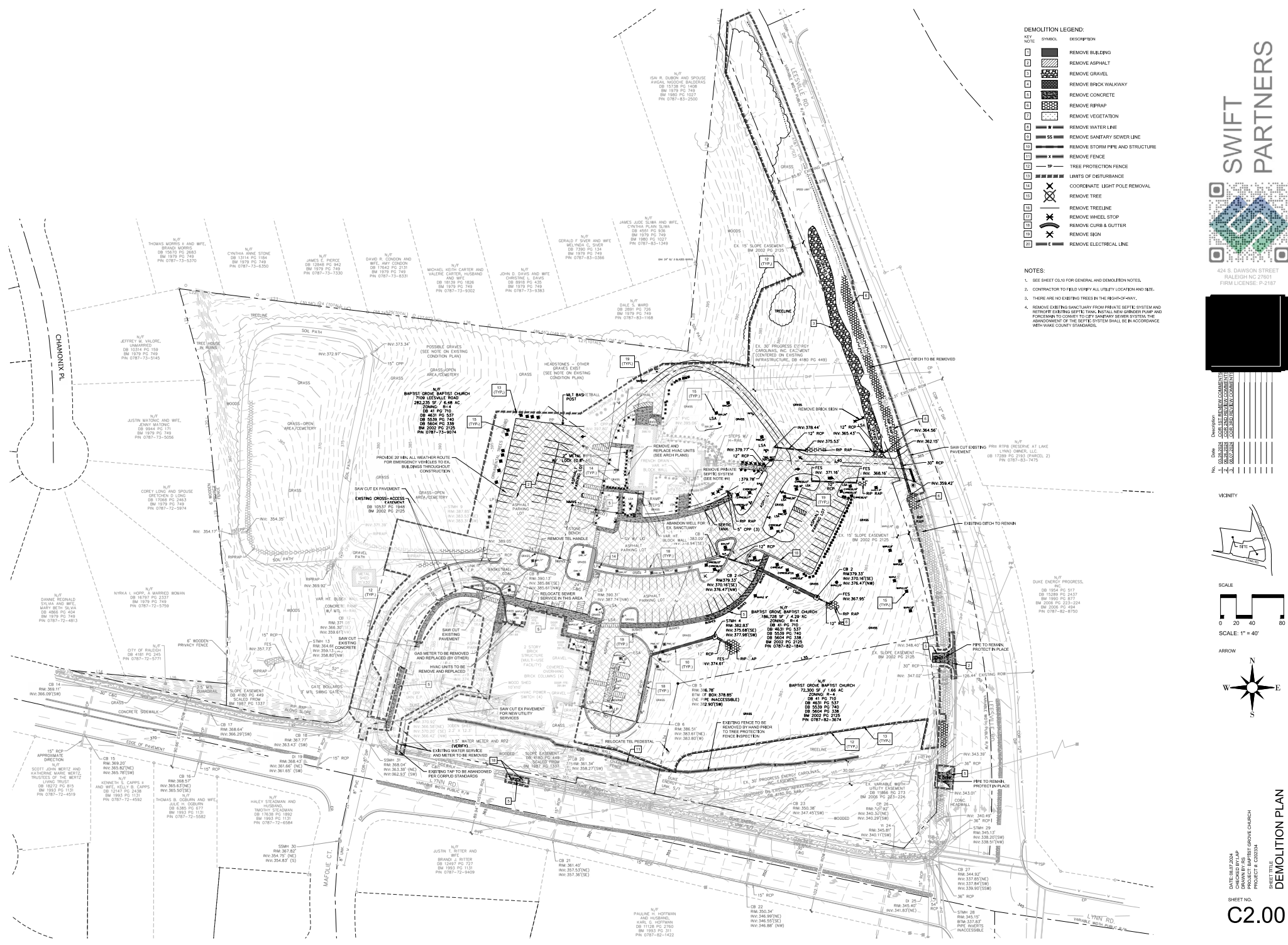
DATE: 08/20/2020
DRAWN BY: R. S. BRYANT
PROJECT: C2.00

SHEET TITLE: DEMOLITION PLAN
SHEET NO.: C2.00

DEMOLITION LEGEND:

KEY SYMBOL	DESCRIPTION
[Symbol]	REMOVE BUILDING
[Symbol]	REMOVE ASPHALT
[Symbol]	REMOVE BRICK WALKWAY
[Symbol]	REMOVE CONCRETE
[Symbol]	REMOVE R/RPAP
[Symbol]	REMOVE VEGETATION
[Symbol]	REMOVE WATER LINE
[Symbol]	REMOVE SANITARY SEWER LINE
[Symbol]	REMOVE STORM PIPE AND STRUCTURE
[Symbol]	REMOVE FENCE
[Symbol]	TREE PROTECTION FENCE
[Symbol]	LIMITS OF DISTURBANCE
[Symbol]	COORDINATE LIGHT POLE REMOVAL
[Symbol]	REMOVE TREE
[Symbol]	REMOVE TREE LINE
[Symbol]	REMOVE WHEEL STOP
[Symbol]	REMOVE CURB & GUTTER
[Symbol]	REMOVE SIGN
[Symbol]	REMOVE ELECTRICAL LINE

- NOTES:**
- SEE SHEET C2.01 FOR GENERAL AND DEMOLITION NOTES.
 - CONTRACTOR TO FIELD VERIFY ALL UTILITY LOCATIONS AND DEPT.
 - THERE ARE NO EXISTING TREES IN THE RIGHT-OF-WAY.
 - REMOVE EXISTING SANITARY FROM PRIVATE SEPTIC SYSTEM AND NETWORK EXISTING SEPTIC TANK. INSTALL NEW GREASE PUMP AND FORCEMAIN TO CONVERT TO CITY SANITARY SEWER SYSTEM. THE ABANDONMENT OF THE SEPTIC SYSTEM SHALL BE IN ACCORDANCE WITH WAKE COUNTY STANDARDS.



CHAMOUX PL.

IMHOFF CT.

LYNN RD.

ISAI R. DUBON AND SPOUSE
ARVONIA WOODIE BRIDGEMAN
DB 1578 PG 1408
DB 1578 PG 710
SM 1892 PG 1027
PN 0787-83-2000

JAMES J. JUDGE
DB 1284 PG 942
DB 1284 PG 748
PN 0787-73-7330

DAVID R. JOHNSON AND WIFE
DAVID R. JOHNSON
DB 1742 PG 231
DB 1742 PG 249
PN 0787-73-6331

JOHN D. DAVIS AND WIFE
CHRISTINE L. DAVIS
DB 1979 PG 749
DB 1979 PG 749
PN 0787-73-6332

DALE C. WARD
DB 2281 PG 224
DB 2281 PG 224
PN 0787-83-1168

JAMES JUDGE, SHERI AND WIFE
CYNTHIA PLUM SHERI
DB 4905 PG 828
DB 1578 PG 1408
SM 1892 PG 710
PN 0787-83-1549

GERALD F. WOOD AND WIFE
MELINDA C. WOOD
DB 1979 PG 749
DB 1979 PG 749
PN 0787-83-0366

PAULINE H. HOFFMAN AND HUSBAND
SARILE E. HOFFMAN
DB 1178 PG 811
DB 1178 PG 811
PN 0787-82-4232

JEFFREY W. VALORE, UNMARRIED
DB 1024 PG 159
DB 1024 PG 159
PN 0787-72-2143

JUSTIN WATSON AND WIFE
JENNY WATSON
DB 1994 PG 171
DB 1994 PG 171
PN 0787-73-5555

COREY LONG AND SPOUSE
CATHY D. LONG
DB 1598 PG 243
DB 1598 PG 243
PN 0787-72-2974

NYNIA A. HORN, BARRIED BOWMAN
DB 1679 PG 237
DB 1679 PG 169
PN 0787-72-5759

DANNE, RONALD STEVEN AND WIFE
MARY BETH SELVA
DB 4666 PG 424
DB 4666 PG 424
PN 0787-82-4813

SCOTT JOHN WERTZ AND KATHLEEN WARE WERTZ
TRUSTEES OF THE WERTZ LIVING TRUST
DB 1933 PG 1131
DB 1933 PG 1131
PN 0787-72-4319

KENNETH W. CAPPS 9 AND WIFE, KELLY S. CAPPS
DB 1893 PG 1131
DB 1893 PG 1131
PN 0787-72-4552

THOMAS B. COBURN AND WIFE
BLAKE B. COBURN
DB 6360 PG 877
DB 6360 PG 1131
PN 0787-72-5582

HALEY STRAMAND AND WIFE
TIMOTHY STRAMAND
DB 1768 PG 1920
DB 1768 PG 1920
PN 0787-72-0584

JUSTIN T. BITTER AND
BRANDEE J. BITTER
DB 1542 PG 727
DB 1542 PG 727
PN 0787-72-9009

PAULINE H. HOFFMAN AND HUSBAND
SARILE E. HOFFMAN
DB 1178 PG 811
DB 1178 PG 811
PN 0787-82-4232

DUKE ENERGY PROGRESS
DB 1924 PG 517
DB 1924 PG 247
SM 2000 PG 225-224
SM 2000 PG 494
PN 0787-82-898

BAPTIST GROVE BAPTIST CHURCH
72,300 SF / 1.66 AC
DB 41 PG 710
DB 41 PG 710
SM 2000 PG 225-224
SM 2000 PG 494
PN 0787-82-3874

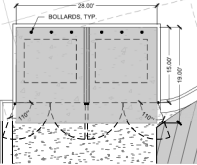
BAPTIST GROVE BAPTIST CHURCH
186,728 SF / 4.29 AC
DB 41 PG 537
DB 41 PG 537
SM 2000 PG 225-224
SM 2000 PG 494
PN 0787-82-1840

BAPTIST GROVE BAPTIST CHURCH
28,232 SF / 0.64 AC
DB 41 PG 537
DB 41 PG 537
SM 2000 PG 225-224
SM 2000 PG 494
PN 0787-82-1840

BAPTIST GROVE BAPTIST CHURCH
186,728 SF / 4.29 AC
DB 41 PG 537
DB 41 PG 537
SM 2000 PG 225-224
SM 2000 PG 494
PN 0787-82-1840



ILLUSTRATIVE - PARKING LOT SHUTTLE PICKUP SHELTER



DUMPSTER ENCLOSURE ENLARGEMENT
SCALE: 1" = 4'-0"



RAMP WITH HANDRAILS (TYP.)



WHEEL STOP & ADA SIGNAGE (TYP.)



CURB RAMP WITH HANDRAILS (TYP.)



CURB RAMP WITH HANDRAILS (TYP.)



CURB RAMP WITH HANDRAILS (TYP.)



CURB RAMP WITH HANDRAILS (TYP.)



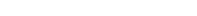
CURB RAMP WITH HANDRAILS (TYP.)



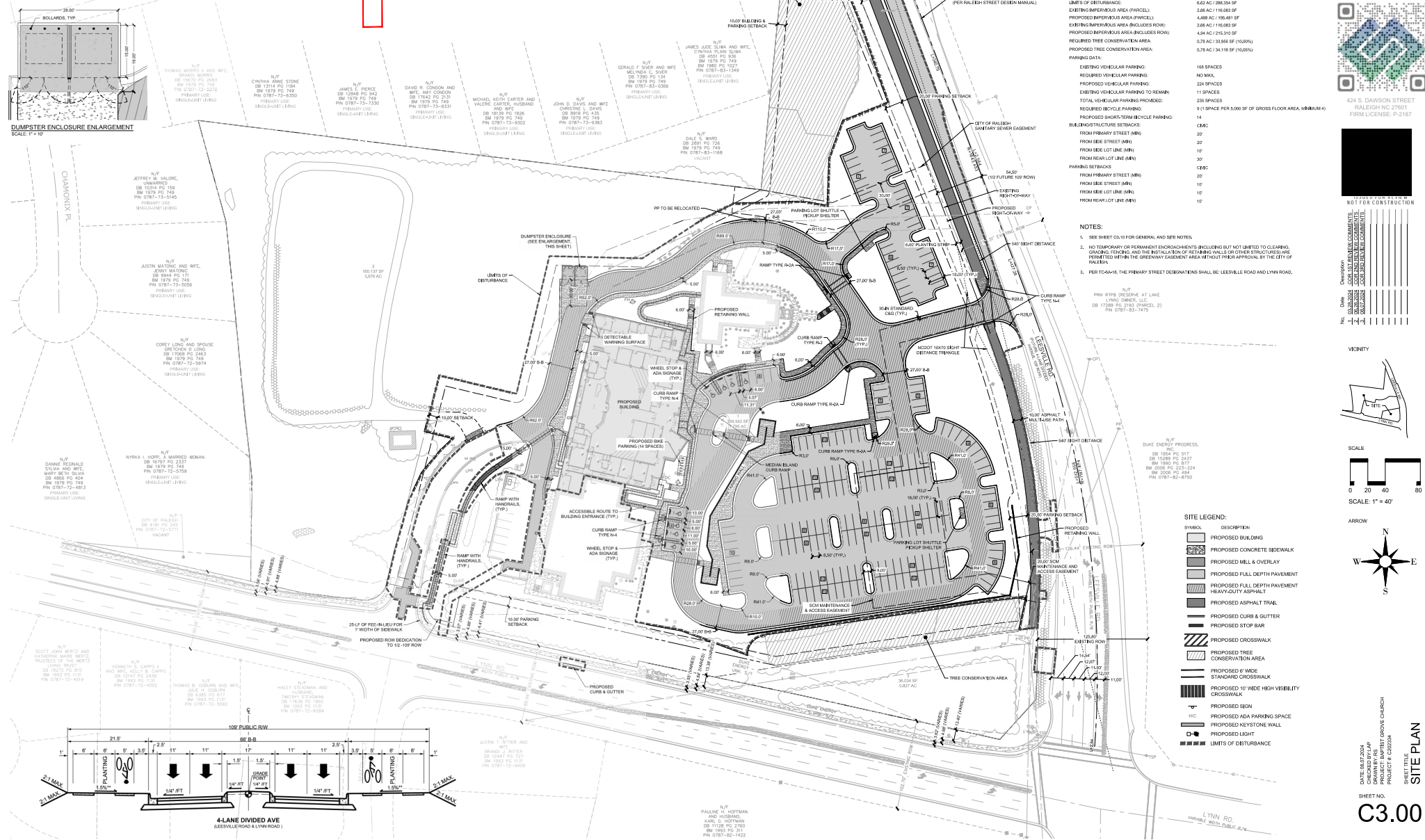
CURB RAMP WITH HANDRAILS (TYP.)



CURB RAMP WITH HANDRAILS (TYP.)



CURB RAMP WITH HANDRAILS (TYP.)



SITE DATA

PROJECT NAME:	BAPTIST GROVE CHURCH
SITE ADDRESS:	7100 LEEVILLE RD. RALEIGH NC 27615
COUNTY:	WAKE
PARCEL P/N#:	079042840
LOT NUMBER:	1
PARCEL OWNER:	BAPTIST GROVE BAPTIST CHURCH
GROSS SITE AREA:	7,815 AC ± (340,431 SF)
DEVELOPMENT TYPE:	CHURCH
NET AREA:	7,786 AC ± (338,562 SF)
CURRENT ZONING:	RM-4
PROPOSED ZONING:	CMC (CHURCH)
EXISTING LAND USE:	CMC (CHURCH)
PROPOSED LAND USE:	DETERM MAP #27027070A, EFFECTIVE DATE OF 07/19/2022
FLOOD PLAN DATA:	NEUSE
RIVER BASIN:	NEUSE
DEVELOPMENT TYPE:	CMC
MIN LOT SIZE:	10,000 SF
PROPOSED BUILDING SF:	7,786 AC ± (338,562 SF)
MAX BUILDING HEIGHT:	34' STORES (44')
PROPOSED BUILDING HEIGHT:	34' STORES (44') ± TO TOP OF THE CROSS
LIMITS OF DISTURBANCE:	6.62 AC ± (288,330 SF)
EXISTING IMPERVIOUS AREA (PARCELS):	2,682 AC ± (116,863 SF)
PROPOSED IMPERVIOUS AREA (PARCELS):	4,488 AC ± (195,481 SF)
EXISTING IMPERVIOUS AREA (INCLUDED ROWS):	2,560 AC ± (110,603 SF)
PROPOSED IMPERVIOUS AREA (INCLUDED ROWS):	4,304 AC ± (185,919 SF)
REQUIRED TREE CONSERVATION AREA:	0.78 AC ± (33,991 SF) (10.00%)
PROPOSED TREE CONSERVATION AREA:	0.78 AC ± (34,118 SF) (10.00%)
PARKING DATA:	
EXISTING VEHICULAR PARKING:	166 SPACES
REQUIRED VEHICULAR PARKING:	NO MAX.
PROPOSED VEHICULAR PARKING:	228 SPACES
EXISTING VEHICULAR PARKING TO REMAIN:	11 SPACES
TOTAL VEHICULAR PARKING PROVIDED:	239 SPACES
REQUIRED BICYCLE PARKING:	9 (1 SPACE PER 1,000 SF OF GROSS FLOOR AREA, MINIMUM 4)
PROPOSED SHORT-TERM BICYCLE PARKING:	14
CMC:	
BUILDING STRUCTURE SETBACKS:	
FROM PRIMARY STREET (MIN):	25'
FROM SIDE STREET (MIN):	10'
FROM REAR LOT LINE (MIN):	10'
FROM FRONT LOT LINE (MIN):	35'
PARKING SETBACKS:	
CMC:	
FROM PRIMARY STREET (MIN):	20'
FROM SIDE STREET (MIN):	10'
FROM REAR LOT LINE (MIN):	10'
FROM FRONT LOT LINE (MIN):	10'

- NOTES:**
- SEE SHEET C3.0 FOR GENERAL AND SITE NOTES.
 - NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING BUT NOT LIMITED TO CLEANING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENS easement AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.
 - PER TO-6648, THE PRIMARY STREET DEGRADATIONS SHALL BE LEEVILLE ROAD AND LYNN ROAD.

DESCRIPTION

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SITE LEGEND:

SYMBOL	DESCRIPTION
[Symbol]	PROPOSED BUILDING
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED MILL & OVERLAY
[Symbol]	PROPOSED FALL DEPTH PAVEMENT
[Symbol]	PROPOSED FALL DEPTH PAVEMENT HEAVY-DUTY ASPHALT
[Symbol]	PROPOSED ASPHALT TRAIL
[Symbol]	PROPOSED CURB & GUTTER
[Symbol]	PROPOSED STOP BAR
[Symbol]	PROPOSED CROSSWALK
[Symbol]	PROPOSED TREE CONSERVATION AREA
[Symbol]	PROPOSED 6" WIDE STANDING CROSSWALK
[Symbol]	PROPOSED 10" WIDE HIGH VISIBILITY CROSSWALK
[Symbol]	PROPOSED SIGN
[Symbol]	PROPOSED ADA PARKING SPACE
[Symbol]	PROPOSED MESHSTONE WALL
[Symbol]	PROPOSED LIGHT
[Symbol]	LIMITS OF DISTURBANCE

SWIFT PARTNERS



424 S. DAWSON STREET
RALEIGH NC 27601
FIRM LICENSE: P-2187

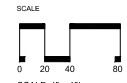


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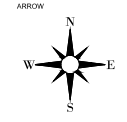
REVISIONS

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VICINITY



SCALE: 1" = 40'



DATE: 08/08/2023
DRAWN BY: P. FISHER
CHECKED BY: M. FISHER
PROJECT: C3.000

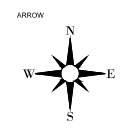
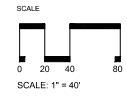
SHEET TITLE: SITE PLAN
SHEET NO.: C3.00



424 S. DAWSON STREET
RALEIGH NC 27601
FIRM LICENSE: P-2187



Description:
DATE: 08/26/2020
DRAWN BY: J. L. WATSON
CHECKED BY: J. L. WATSON
DATE: 08/26/2020
DRAWN BY: J. L. WATSON
CHECKED BY: J. L. WATSON



DATE: 08/26/2020
DRAWN BY: J. L. WATSON
CHECKED BY: J. L. WATSON
PROJECT: CHURCH

SHEET NO.
TCA PLAN

C3.12

Tree Conservation Plan Data Sheet
UDC Areas & Tree Conservation
(Include applicable information on the plan sheet)

Project Name: **Swift Grove Church**

Gross Site Area:	7,815	=
Right-of-way to be dedicated with this project:	3,302	=
Net Site Area:	7,795	=

	Number of Acres	Percent of Total
UDC 8.1.4.A. Primary Tree Conservation Areas		
1. Primary Tree Conservation Area - SH400-1	0	0%
1. Primary Tree Conservation Area - SH400-2	0	0%
2. Primary Tree Conservation Area - Parkway Overpass	0	0%
3. Primary Tree Conservation Area - CM	0	0%
4. Primary Tree Conservation Area - LP400	0	0%
5. Primary Tree Conservation Area - Christian Tree 30' dbh species	0	0%
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0	0%
7. Primary Tree Conservation Area - WPS, Slopes	0	0%
8. Primary Tree Conservation Area - Thoroughfare	0.486	0.23%
Subtotal of Primary Tree Conservation Areas:	0.486	0.23%

UDC 8.1.4.B.2 Tree Conservation Area - Greenway	0	0%
UDC 8.1.4.B.1.a & b Secondary Tree Conservation Areas (include particular buffers and their alternate compliance areas)	0.302	3.87%

UDC 8.1.4.B.1.a & b Individual Tree Conservation Areas (include individual trees and their alternate compliance areas)	0	0%
Subtotal of Secondary Tree Conservation Areas:	0.302	3.87%
TOTAL ALL TREE CONSERVATION AREA PROVIDED:	0.788	10.10%

UDC 8.1.8 Watershed Protection Overlay Districts	
WVPOD - Wooded Area (preserved)	0
WVPOD - Wooded Area (disturbed)	0
WVPOD - Wooded Area (disturbed)	0
WVPOD - Wooded Area (disturbed)	0
WVPOD - Wooded Area (disturbed)	0
WVPOD - Wooded Area (disturbed)	0

UDC 8.1.8.1.a & b Individual Tree Conservation Areas (include individual trees and their alternate compliance areas)	0	0%
Subtotal of Individual Tree Conservation Areas:	0	0%

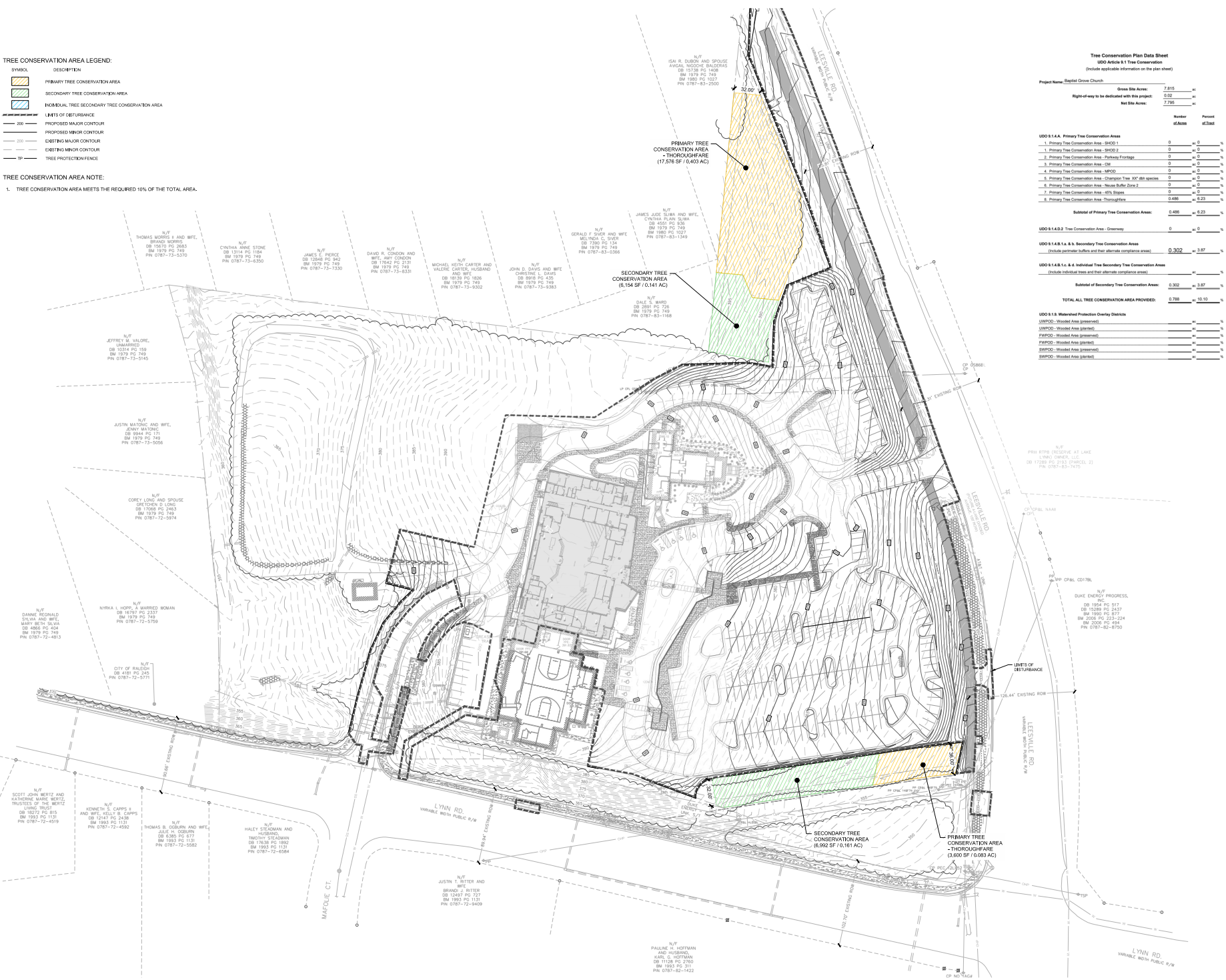
UDC 8.1.8.2 Tree Conservation Area - Greenway	0	0%
UDC 8.1.8.2.1.a & b Individual Tree Conservation Areas (include individual trees and their alternate compliance areas)	0	0%
Subtotal of Individual Tree Conservation Areas:	0	0%

TREE CONSERVATION AREA LEGEND:

- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA
- INDIVIDUAL TREE SECONDARY TREE CONSERVATION AREA
- LIMITS OF DISTURBANCE**
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- TREE PROTECTION FENCE

TREE CONSERVATION AREA NOTE:

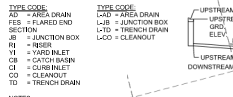
- TREE CONSERVATION AREA MEETS THE REQUIRED 10% OF THE TOTAL AREA.



IMPERVIOUS CALCULATION

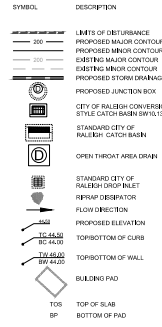
EXISTING IMPERVIOUS AREA: 2.88 AC / 119,893 SF
 PROPOSED IMPERVIOUS AREA: 4.24 AC / 183,918 SF

POST DEVELOPMENT GRADE			
	PROP. LOW	PROP. HIGH	PROP. AVERAGE
LEESVILLE RD	391.07	392.47	391.77
LYNN RD	391.38	391.95	391.67



- NOTES:**
 1. STRUCTURES WITHIN 100 FT FRONT-OF-WAY SHALL BE TO NODOT STANDARDS.
 2. STRUCTURES NOT WITHIN 100 FT FRONT-OF-WAY SHALL EITHER ALL BE TO NODOT STANDARDS OR SHALL ALL BE TO LOCAL JURISDICTIONAL STANDARDS.
 3. ALL STORM PIPES TO BE CLASSIFIED UNLESS OTHERWISE NOTED.

GRADING LEGEND:



SWIFT PARTNERS

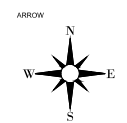
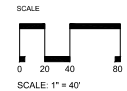
424 S. DAWSON STREET
 RALEIGH NC 27601
 FIRM LICENSE: P-2187



DESCRIPTION: [REDACTED]

DATE: [REDACTED]

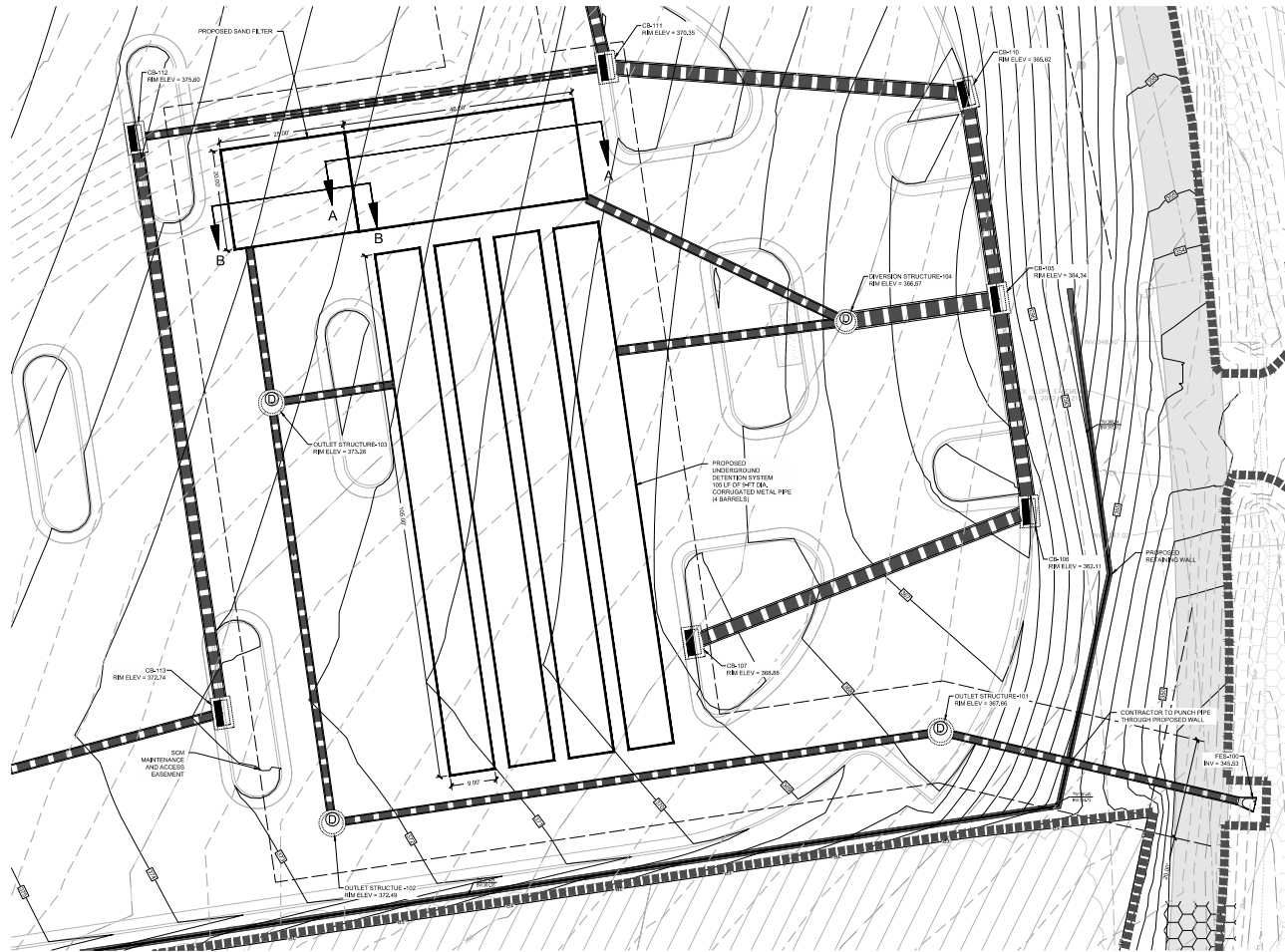
NO. [REDACTED]



GRADING & STORM DRAINAGE PLAN

DATE: 08/20/2020
 DRAWN BY: LAFAYETTE
 PROJECT: C5.00

SHEET NO. **C5.00**



GENERAL NOTES:

1. PRECAST STRUCTURES SHALL CONFORM TO LATEST ASTM C493 SPEC FOR "PRECAST CONCRETE WATER AND WASTE WATER STRUCTURES".
2. CONCRETE PIPE FROM OUTLET TO FESAP SHALL HAVE CAPS IDEAS WITH EXTERNAL BUTT JOINT W/RAIP AT ALL JOINTS.
3. 30" BARREL CONNECTION TO BE INSTALLED USING 240K STM CONNECTION KEEPING ASTM C-493 ON PRODUCTS, TALLYFORM PAL.
4. SHOP DRAWINGS MUST BE SUBMITTED AND APPROVED BY THE ENGINEER BEFORE CONSTRUCTION.
5. GEOTECHNICAL ENGINEER SHALL MONITOR DAM AND OUTLET STRUCTURE INSTALLATION. ALL TILL FILL SHALL BE COMPACTED TO 95% OF THE MATERIAL MAXIMUM DRY DENSITY UNLESS OTHERWISE DETECTED BY GEOTECHNICAL ENGINEER.
6. DRAINAGE AREA MUST BE STABILIZED PRIOR TO INSTALLATION PERMANENT EROSION CONTROL MEASURES.
7. PAVING TO FINAL ELEVATION OF CURB/EDGE. SURFACE OR BEAD SMOOTH FINISH OF WATER QUALITY DRAIN AND OUTLET STRUCTURE SHALL BE SUBMITTED TO ENGINEER FOR APPROVAL AND WET POND TO PASS INSPECTION.
8. UNNEEDED MANUAL EXTERIOR SLOPES MAY BE NO STEEPER THAN 5%.

GRADING LEGEND:

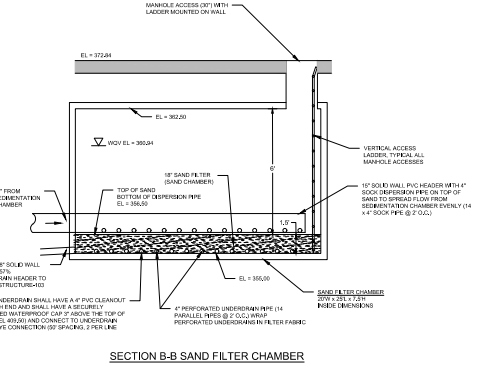
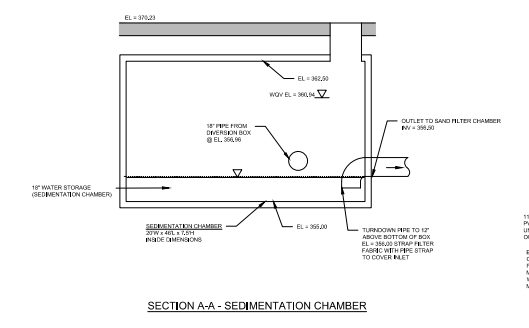
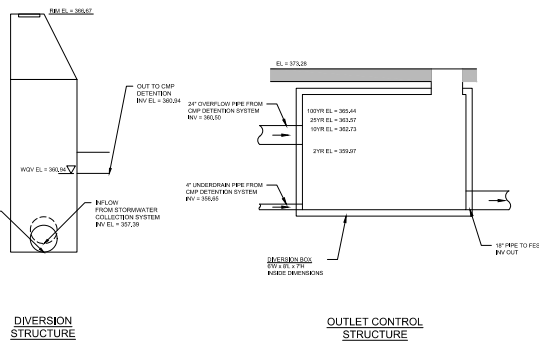
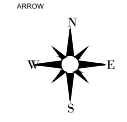
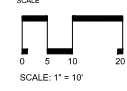
SYMBOL	DESCRIPTION	
	LIMIT OF DISTURBANCE	N/A
	PROPOSED MAJOR CONTOUR	N/A
	PROPOSED MINOR CONTOUR	N/A
	EXISTING MAJOR CONTOUR	N/A
	EXISTING MINOR CONTOUR	N/A
	PROPOSED STORM DRAINAGE	N/A
	PROPOSED CATCH BASIN	
	PROPOSED AREA DRAIN	
	INFLOW DISINTEGRATOR	
	FLOW DIRECTION	
	PROPOSED ELEVATION	
	TOP OF BOTTOM OF CULB	N/A
	TOP OF BOTTOM OF WALL	N/A

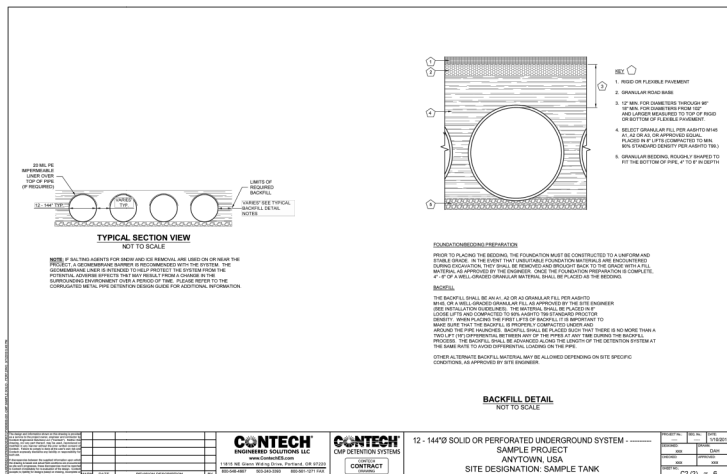
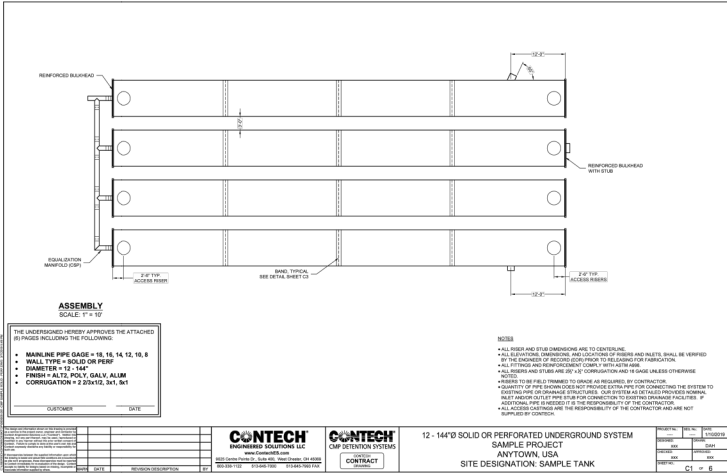
NOTES:

1. SEE SHEET C5.10 FOR GENERAL AND GRADING NOTES.

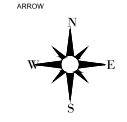
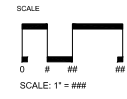
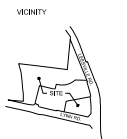


No.	Date	Description
1	08/15/2024	ISSUED FOR PERMIT
2	08/15/2024	FOR REVIEW
3	08/15/2024	FOR REVIEW
4	08/15/2024	FOR REVIEW
5	08/15/2024	FOR REVIEW
6	08/15/2024	FOR REVIEW
7	08/15/2024	FOR REVIEW
8	08/15/2024	FOR REVIEW
9	08/15/2024	FOR REVIEW
10	08/15/2024	FOR REVIEW





No.	Date	Description



CITY OF RALEIGH STANDARD UTILITY NOTES:

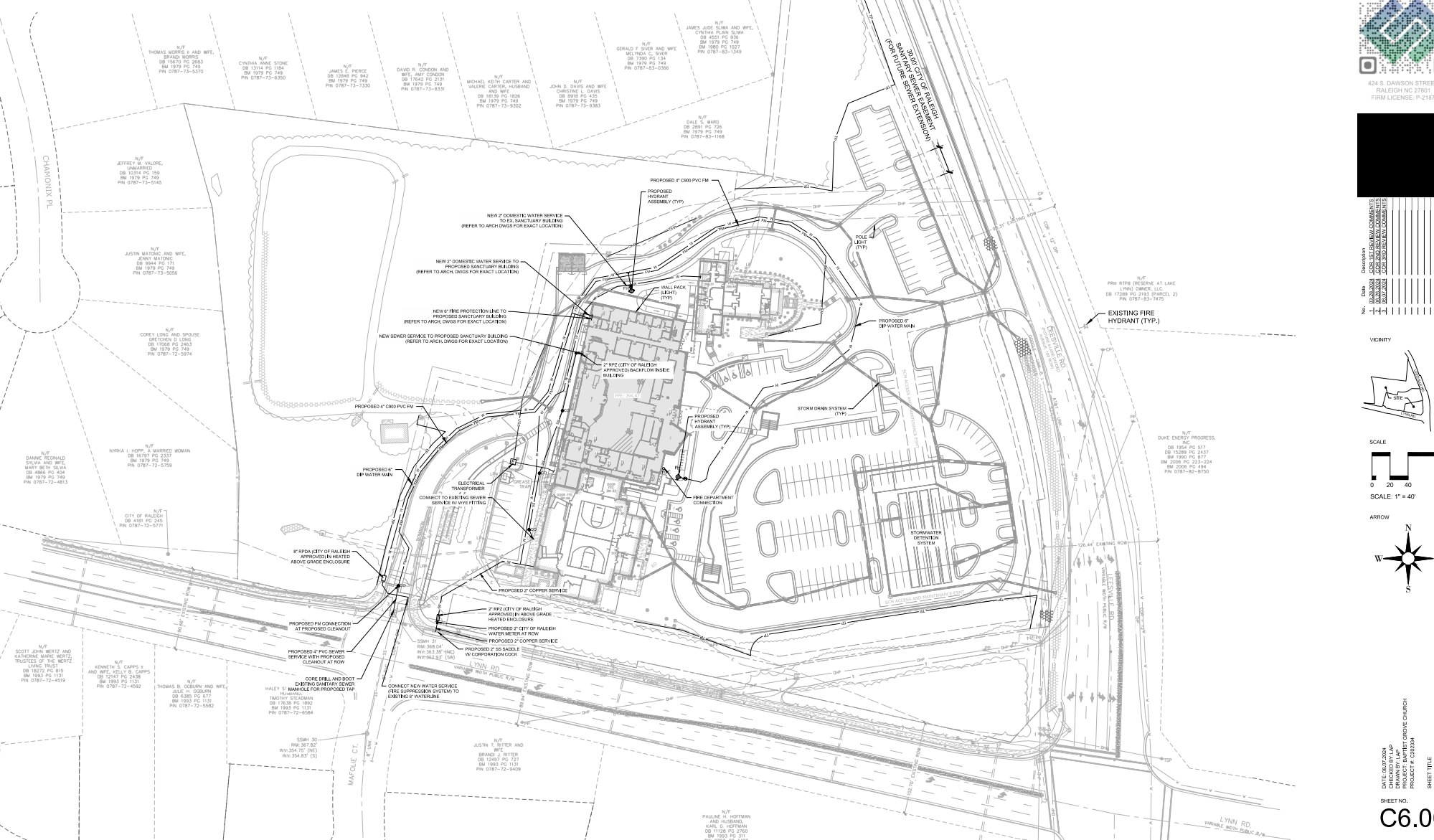
1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CONDUIT HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
 - A. ACHIEVEMENT OF 18" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN UNPUMPED RESERVOIR USED AS A SOURCE OF DRINKING WATER IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED. PERIODS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 6" FROM A PRIVATE WELL OR 8" FROM A PUBLIC WELL.
 - B. WHEN INSTALLING WATER & SANITARY MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10" IF THE SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS. THE VARIATION ALLOWED IN THE WATER MAIN IS A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 1" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - C. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANY TIME A SANITARY SEWER PASSES OVER A WATERMAIN, COP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE PROVIDED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - D. 18" MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES UNLESS COP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - E. WHEREVER 18" VERTICAL SEPARATION AT ALL INTERSECTIONS & TOP STORM DRAIN CROSSINGS, MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & TOP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY COP MATERIALS & A CONCRETE CRAGG HANDED 18" MIN. CLEARANCE PER CONDUIT DETAILS W-41 & S-49.
3. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED. ANY NECESSARY FIELD NOTICES ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN BOOK PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVELING PRIVATE PROPERTY.
5. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
6. SEWER BYPASS PUMPING - A BYPASS PLAN DRAINED BY AN ENGINEER/PROFESSIONAL ENGINEER SHALL BE PROVIDED TO RALEIGH WATER PRIOR TO PUMPING OPERATIONS FOR APPROVAL. THE OPERATIONS AND EQUIPMENT SHALL COMPLY WITH THE PUBLIC UTILITIES HANDBOOK.

7. 3/2" MINIMUM COVERS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 42" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
8. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CONDUIT HANDBOOK PROCEDURE. INSTALL 1/2" COPING WATER SERVICES WITH METERS LOCATED AT ROW OR 18" MIN. WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
9. 10. INSTALL 1/2" PVC SEWER SERVICES @ 1/2" MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
11. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 12" ABOVE THE NEXT UPSTREAM MANHOLE.
12. ALL ENVIRONMENTAL PERMITS ARE REQUIRED TO THE PROJECT MUST BE OBTAINED FROM RALEIGH LOCAL AGENCIES FOR ANY RPAHAR/RF/FR, WETLAND & BOD/LOU/CR IMPACTS (RESPECT FULLY) PRIOR TO CONSTRUCTION.
13. 1200' BUFFER ZONES AND ADJACENT AREAS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RALEIGH ROW PRIOR TO CONSTRUCTION.
14. GRADE INTERCEPTOR FOR OIL REMOVAL SHALL BE INSTALLED. INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE RIV FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A I.C. AND/OR BUILDING PERMIT. CONTACT (919) 996-4515 OR FOG@RALPHGOC.VIC FOR MORE INFORMATION.
15. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON THE DEGREE OF HEALTH HAZARD INVOLVED AS SET FORTH IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
16. THE DEVICES SHALL MEET THE AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS AND BE IN THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST.
17. THE DEVICE AND INSTALLATION SHALL MEET THE GUIDELINES OF APPENDIX A - GUIDELINES AND REQUIREMENTS FOR THE CROSS CONNECTION PROGRAM IN RALEIGH'S SERVICE AREA.
18. THE DEVICES SHALL BE INSTALLED AND TESTED BOTH IN FINAL AND PREPARE TESTING THEREAFTER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT CROSS-CONNECTION RALEIGH FOG FOR MORE INFORMATION.
19. NOTICE FOR PROJECTS THAT INVOLVE AN OVERHEAD MAIN OR UNDER MAIN REPLACEMENT, ANY CITY REIMBURSEMENT GREATER THAN \$250,000.00 MUST UNDERGO THE PUBLIC BIDDING PROCESS.

UTILITY LEGEND:

SYMBOL	DESCRIPTION
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	EXISTING SANITARY SEWER MANHOLE
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED CLEANOUT
	PROPOSED FGD
	PROPOSED BACKFLOW METER
	PROPOSED POST INDICATOR VALVE (PIV)
	GRADE INTERCEPTOR
	40% HYDRANT COVERAGE CIRCLE
	10% OF SETBACK/EDGE

NOTES:
1. SEE SHEET C6.10 FOR GENERAL AND UTILITY NOTES.



SWIFT PARTNERS

424 S. DAWSON STREET
RALEIGH NC 27601
FIRM LICENSE: P-2187

No.	Date	Description
1	08/10/2020	ISSUED FOR PERMITS
2	08/10/2020	ISSUED FOR PERMITS
3	08/10/2020	ISSUED FOR PERMITS
4	08/10/2020	ISSUED FOR PERMITS
5	08/10/2020	ISSUED FOR PERMITS
6	08/10/2020	ISSUED FOR PERMITS
7	08/10/2020	ISSUED FOR PERMITS
8	08/10/2020	ISSUED FOR PERMITS
9	08/10/2020	ISSUED FOR PERMITS
10	08/10/2020	ISSUED FOR PERMITS
11	08/10/2020	ISSUED FOR PERMITS
12	08/10/2020	ISSUED FOR PERMITS
13	08/10/2020	ISSUED FOR PERMITS
14	08/10/2020	ISSUED FOR PERMITS
15	08/10/2020	ISSUED FOR PERMITS
16	08/10/2020	ISSUED FOR PERMITS
17	08/10/2020	ISSUED FOR PERMITS
18	08/10/2020	ISSUED FOR PERMITS
19	08/10/2020	ISSUED FOR PERMITS
20	08/10/2020	ISSUED FOR PERMITS

VELOCITY

SCALE

SCALE: 1" = 40'

ARROW

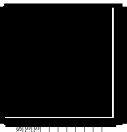
DATE: 08/10/2020
DRAWN BY: LAF
PROJECT: C6.00

SHEET TITLE:
UTILITIES PLAN

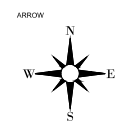
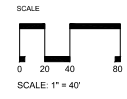
SHEET NO.
C6.00



424 S. DAWSON STREET
RALEIGH NC 27601
FIRM LICENSE: P-2187



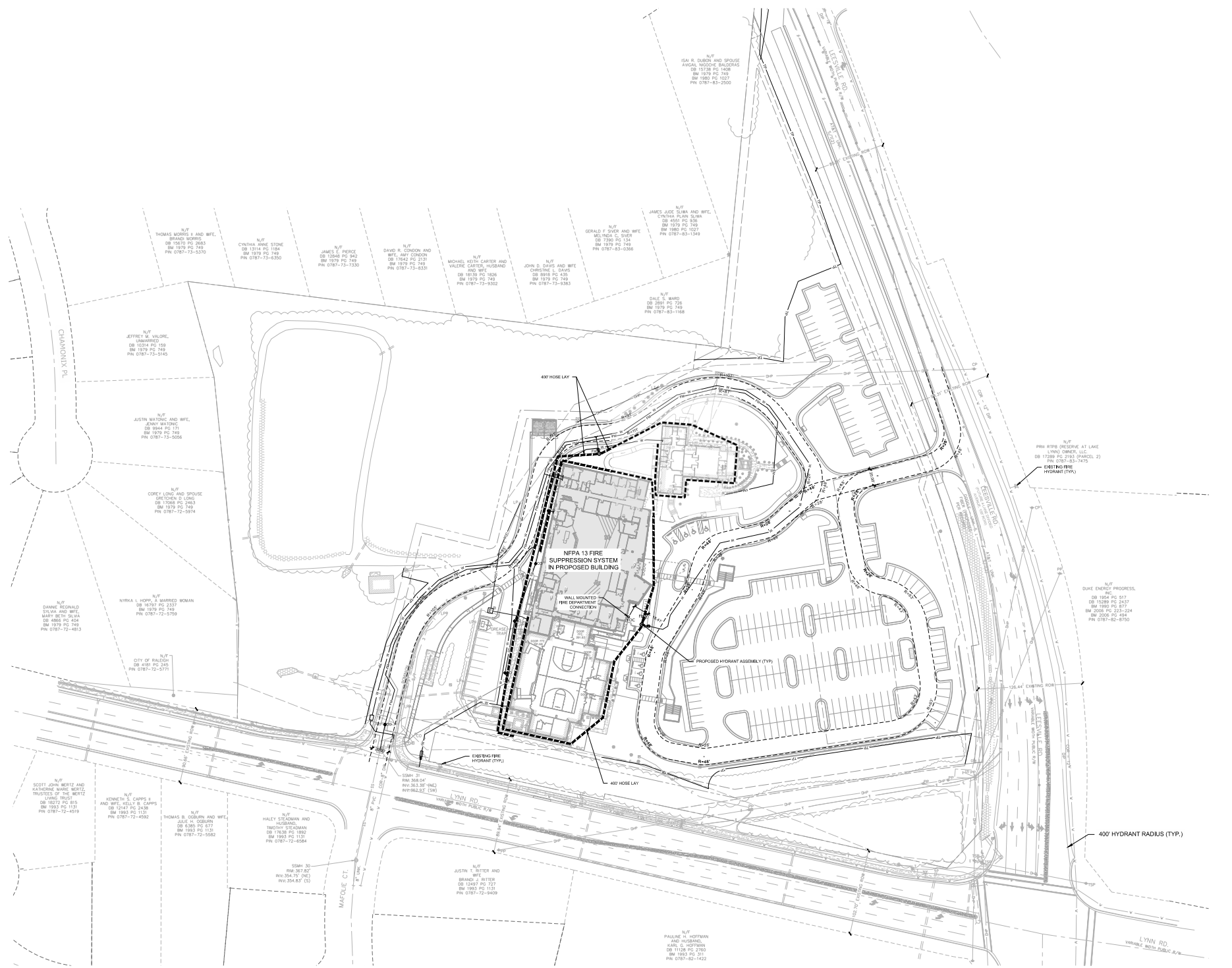
No.	Date	Description
1	08/15/2020	DATE SUBMITTED FOR PERMITTING
2	08/15/2020	DATE PERMITTING AGENCY REVIEW
3	08/15/2020	DATE PERMITTING AGENCY REVIEW
4	08/15/2020	DATE PERMITTING AGENCY REVIEW
5	08/15/2020	DATE PERMITTING AGENCY REVIEW
6	08/15/2020	DATE PERMITTING AGENCY REVIEW
7	08/15/2020	DATE PERMITTING AGENCY REVIEW
8	08/15/2020	DATE PERMITTING AGENCY REVIEW
9	08/15/2020	DATE PERMITTING AGENCY REVIEW
10	08/15/2020	DATE PERMITTING AGENCY REVIEW

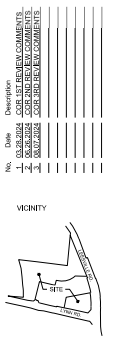
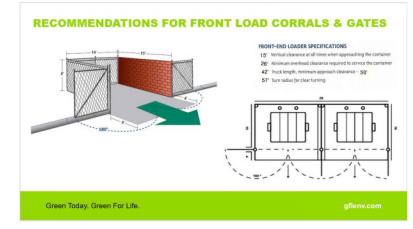
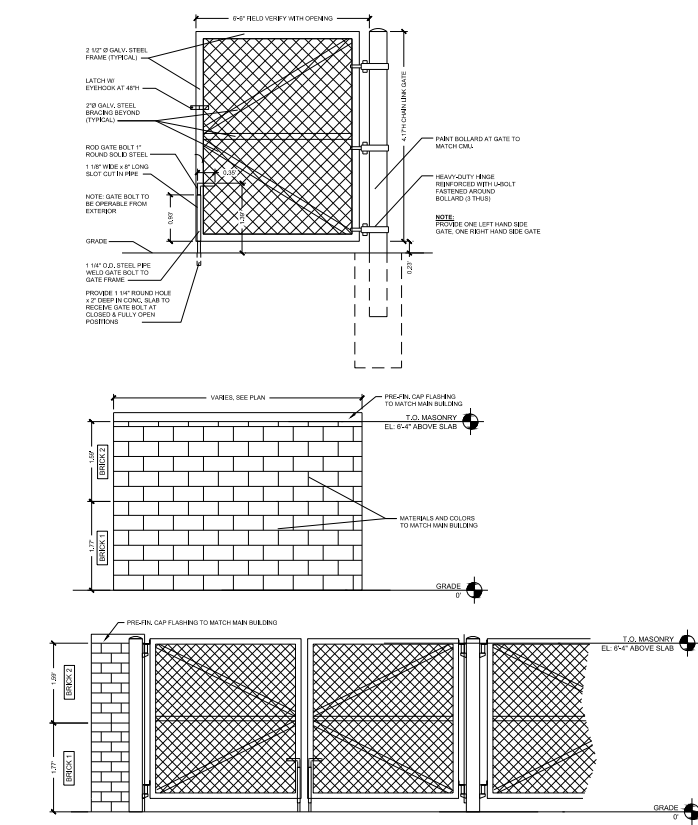
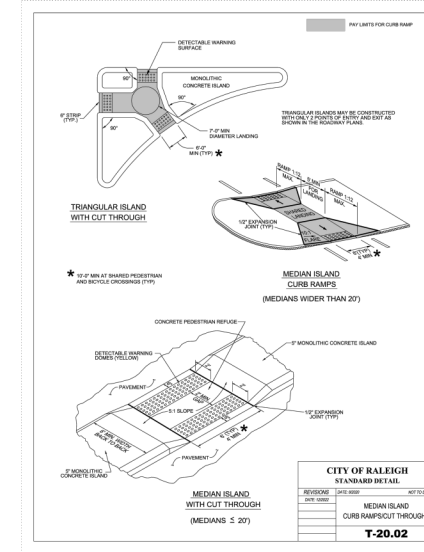
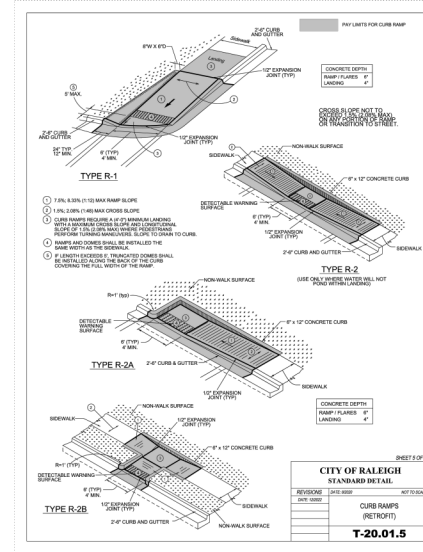
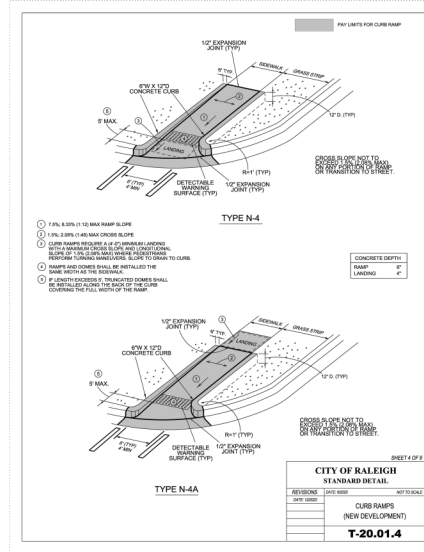
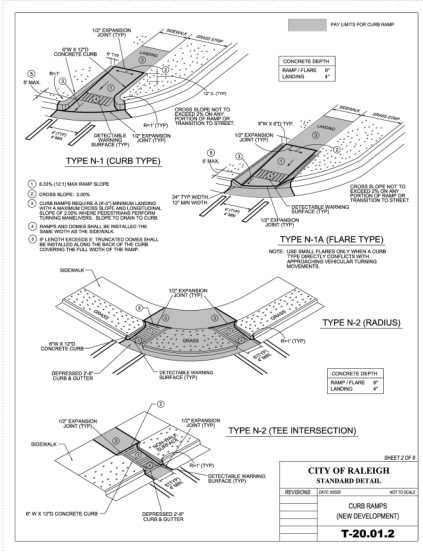


DATE: 08/15/2020
DRAWN BY: J. LAY
PROJECT: CHURCH

SHEET TITLE:
FIRE PROTECTION PLAN

SHEET NO.
C6.20





DATE: 08/10/2020
DRAWN BY: LAF
CHECKED BY: JAC
PROJECT: C9.01A

SHEET TITLE
SITE DETAILS

SHEET NO.
C9.01



STATE OF NORTH CAROLINA
DEPARTMENT OF TRANSPORTATION

ROY COOPER
Governor

J.R. "JOEY" HOPKINS
Secretary

May 31, 2024

Jennifer Wagner
Prospect Landscape Architecture, PLLC
227 Glascock Street
Raleigh, North Carolina 27604

Subject: Planting Permit for Baptist Grove Church

To whom it may concern:

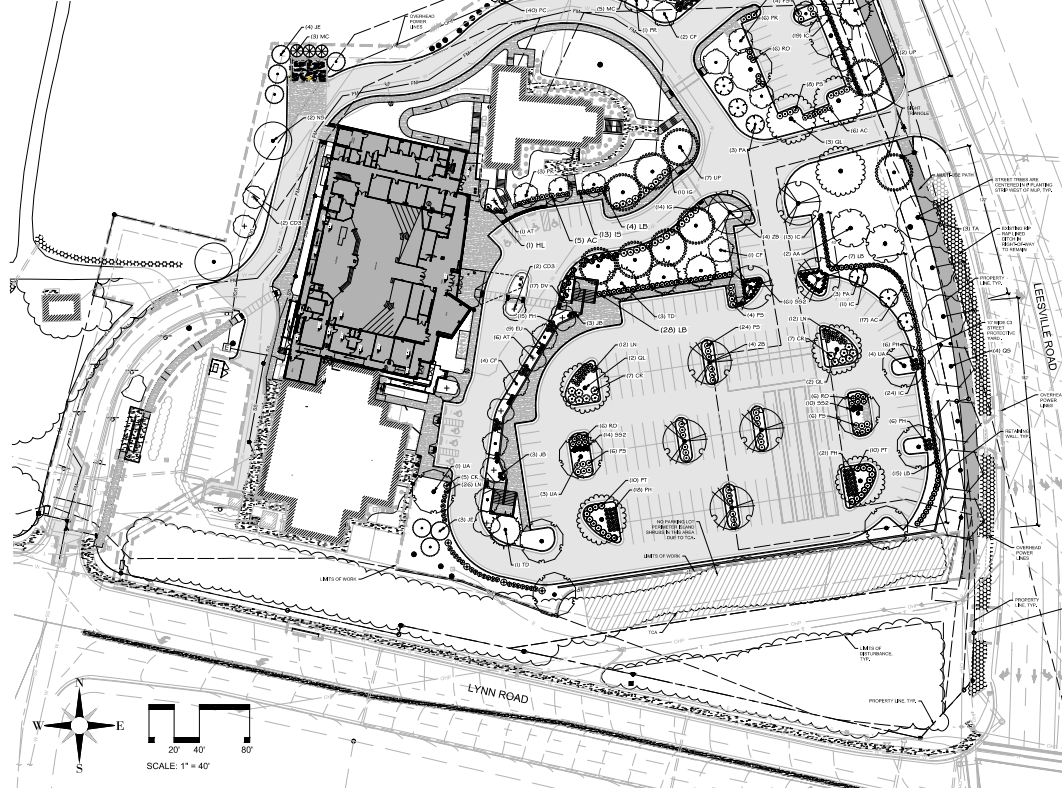
Please be advised that the planting plans have been conditionally approved for the Baptist Grove Church located at 7109 Leesville Road in Wake County, North Carolina.

This letter is issuing the Planting Permit per North Carolina Department of Transportation policy.

The following standard provisions are made part of this agreement:

- The permittee shall maintain a clear sight distance for vehicles utilizing driveway connections.
- The Division of Highways will not be responsible for any damage to the plants, which may be done by third parties.
- Maintenance of the plantings will be the responsibility of the permittee. Should the plants not be maintained in a sufficient manner the plants could be subject to removal.
- Plants to be first class quality of their species.
- A copy of this permit must be on the worksite at all times while the work is being performed.
- All trees and plants shall be pruned and maintained in such a manner as to not encroach upon the travel way.

Mailing Address: NC DEPARTMENT OF TRANSPORTATION, DIVISION OF HIGHWAYS, 261 NORTH HAZEL STREET, DURHAM, NC 27704, (919) 737-1310
Telephone: (919) 737-4700, Fax: (919) 737-4710, Customer Service: 1-877-368-6868, Website: www.nhdot.gov
Location: 2612 NORTH HAZEL STREET, DURHAM, NC 27704



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	INSTALL HEIGHT	MATURE HEIGHT	QTY	REMARKS
SHADE TREES									
(Symbol)	AA	Acer rubrum 'Autumn Blaze'	Autumn Blaze Red Maple	3' Cal.	B&B			2	
(Symbol)	NS	Nyssa sylvatica 'Niteflor'	Black Gum	3' Cal.	B&B	10' min.	60'	12	
(Symbol)	OL	Quercus laevis	Cheroke Oak	3' Cal.	B&B	10' min.	60-80'	7	matching
(Symbol)	OS	Quercus shumardii	Shumard Oak	3' Cal.	B&B	10' min.	50-60'	4	
(Symbol)	TD	Taxodium distichum	Bald Cypress	3' Cal.	B&B	10' min.	60-80'	8	
(Symbol)	TA	Tilia americana	American Linden	3' Cal.	B&B	10' min.	60-80'	3	matching
(Symbol)	UP	Ulmus americana 'Princeton'	Princeton American Elm	3' Cal.	B&B	10' min.	60-80'	9	
(Symbol)	UA	Ulmus parviflora 'Jesse'	Alleé Lombard Elm	3' Cal.	B&B	10' min.	50-60'	13	matching
(Symbol)	ZB	Zakove serrata 'Burgundy Vase'	Burgundy Vase Zakove	3' Cal.	B&B	10' min.	40-60'	8	matching
UNDERSTORY TREES									
(Symbol)	AT	Acer truncatum	Shantung Maple	1.5' Cal.	B&B			7	
(Symbol)	CF	Cercis canadensis 'Forest Fantasy'	Forest Fantasy Eastern Redbud	1.5' Cal.	Pot			7	
(Symbol)	COO	Cornus virginica 'Dor'	Dor White Dogwood	1.5' Cal.	Pot			4	
(Symbol)	JE	Juniperus virginiana	Eastern Red Cedar	1.5' Cal.	Pot	6' minimum	30-40'	7	Evergreen
(Symbol)	PR	Pistacia chinensis 'Red Path'	Red Path Chinese Pistache	1.5' Cal.	B&B			10	single stem
(Symbol)	PA	Prunus x yedoensis 'Akabono'	Akabono Yoshino Cherry	1.5' Cal.	Pot			6	single stem
SHRUBS									
(Symbol)	AC	Azalea x 'Cinderella'	Autumn Amethyst Encore Azalea	3 gal.	Pot	18" HEIGHT MIN	40"	40	
(Symbol)	OK	Chamaecyparis platens 'Kings Gate'	Kings Gate Sawara Cypress	5 gal.	Pot	18" HEIGHT MIN		5	
(Symbol)	CR	Ornithoglossum 'Ruby Spice'	Ruby Spice Summerweet	3 gal.	Pot			25	
(Symbol)	DR	Distylium x 'Vintage Jade'	Vintage Jade Daylily	3 gal.	Pot			17	
(Symbol)	EV	Eucymia japonica 'Green Spar'	Green Spar Japanese Euonymus	5 gal.	Pot			9	
(Symbol)	HL	Hydrangea paniculata 'Limelight'	Limelight Panicle-Hydrangea	5 gal.	Pot			1	
(Symbol)	IC	Ilex cornuta 'Carissol'	Carissol Chinese Holly	3 gal.	Pot	18" HEIGHT MIN	40"	75	
(Symbol)	IG	Ilex cornuta 'Green Luster'	Green Luster Japanese Holly	3 gal.	Pot			25	
(Symbol)	IB	Ilex glabra 'Shamrock'	Shamrock Inkberry Holly	3 gal.	Pot	18" HEIGHT MIN	40"	13	
(Symbol)	JS	Juniperus virginiana 'Blue Arrow'	Blue Arrow Eastern Redcedar	7 gal.	Pot			6	
(Symbol)	LB	Loxostemum chinense 'Blush'	Blush Flower	3 gal.	Pot	18" HEIGHT MIN	40"	75	
(Symbol)	LN	Loxostemum chinense subsp. 'Fringe Flower'	Fringe Flower	3 gal.	Pot			61	
(Symbol)	MW	Muhlenbergia capillaris 'White Cloud'	White Cloud Muffin Grass	1 gal.	Pot			68	
(Symbol)	MC	Nyssa carolinensis	Wax Myrtle	5 gal.	Pot	30"	10' x 10'	8	Evergreen
(Symbol)	PC	Panicum virgatum 'Cloud Nine'	Cloud Nine Switch Grass	4"	FLAT			46	
(Symbol)	PH	Panicum virgatum 'Honey Mead'	Honey Mead Switch Grass	4"	FLAT			78	
(Symbol)	PT	Pittosporum tobira	Japanese Pittosporum	3 gal.	Pot			20	
(Symbol)	PS	Prunus burseriana 'Schiffbauers'	Schiffbauers English Laurel	5 gal.	Pot	30"	5' X 5'	18	
(Symbol)	RO	Rosa rugosa officinalis	Rosemary	3 gal.	Pot			63	
(Symbol)	SSS	Schizanthus scopolarium 'Standing Ovation'	Standing Ovation Life Eucalyptus	4"	FLAT			85	

ALL DELIVERED AREAS NOT SHOWN WITH PLANTS TO BE PLANTED WITH A DRILL/SHOULDER TRIGGER. NO. ALL PLANTER BEDS TO CONTAIN 3/4" DUCKSHEDDED MULCH AROUND PLANT MATERIAL.

CODE REQUIRED PLANTING NOTES
ZONING - R4
USE: CIVIC/CHURCH

C3 STREET PROTECTIVE YARD PARKING SCREENING REQUIRED ALONG LEESVILLE STREET FRONTAGE, DUE TO PARCEL LAYOUT, THERE IS NO STREET FRONTAGE ALONG LYNN ROAD.
30 SHRUBS/100 LF; MIN. 3.5' HEIGHT, 480 LF OF PARKING LOT FRONTAGE ALONG LEESVILLE ROAD = 144 SHRUBS REQUIRED, 147 PROVIDED

INTERIOR PARKING LOT LANDSCAPING, PER 7.1.7
1. SHADE TREES PROVIDED EVERY TEN SPACES IN AN ISLAND, WHERE SHADE TREES CANNOT BE PLANTED DUE TO OVERHEAD POWER LINES OR SEWER EASEMENT. SHADE TREES ARE PROVIDED IN CLOSE PROXIMITY AND UNDERSTORY TREES ARE PROVIDED. PERIMETER ISLANDS MUST INCLUDE 20 SHRUBS/100 LF, MIN. 3' HEIGHT WITHIN THREE YEARS.

STREET TREES - LEESVILLE ROAD, EVERY 40'
STREET TREES ARE SHOWN ON BACKWEST SIDE OF MULTI-USE PATH PER NCDOT APPROVAL AND CITY OF RALEIGH REQUIREMENTS, 840' STREET FRONTAGE/40' = 21 TREES REQUIRED, 21 PROVIDED, (2 OUTSIDE OF SIGHT TRIANGLES)

SCREENING
EVERGREEN SHRUBS PROVIDED AS NEEDED FOR DUMPSTER AND UTILITY SCREENING.

NO TRANSITIONAL PROTECTIVE YARDS REQUIRED BECAUSE OF ADJACENT CEMETERY LOT AND TCA ADJACENCY TO SINGLE FAMILY RESIDENTIAL.

AMENITY AREA - NOT REQUIRED FOR CIVIC BUILDING IN R4 ZONING

TCA PROVIDED, AS SHOWN - SEE TCA SHEET

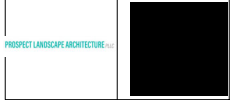
CITY OF RALEIGH PLANTING NOTES:

- All street trees are to be planted in accordance with City of Raleigh Standard Detail, TYP-03, shown on Sheet L200.
- Street trees shall be installed and maintained in accordance with the requirements of Chapter 2 of the City Tree Manual.

General Notes

3	ASR SUBMITTAL 4	2024/08/07
2	ASR SUBMITTAL 3	2024/06/26
1	ASR SUBMITTAL 2	2024/03/21
No.	Revision/Issue	Date

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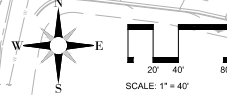


Project Client:
BAPTIST GROVE CHURCH
RENOVATION

7109 LEESVILLE RD
RALEIGH, NC 27610

Project	Sheet
BAPTIST GROVE CHURCH	PLANTING PLAN
Date	
2024/08/07	
Scale	
1:40	

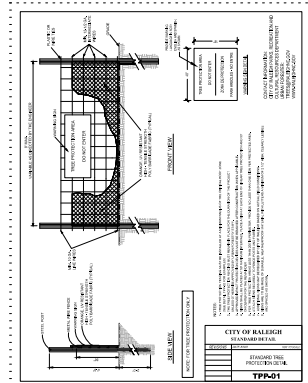
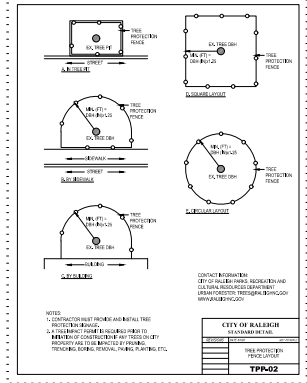
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General Notes

PLANTING NOTES

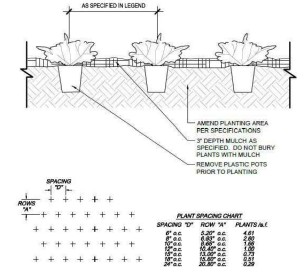
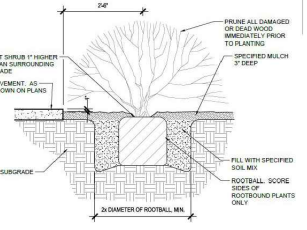
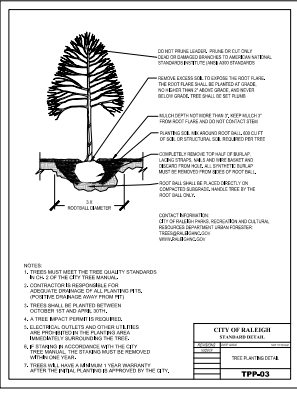
1. ALL DISTURBED AREAS NOT SHOWN WITH PLANTS SHALL BE PLANTED WITH TURTLE BERGAMOTA GRASS.
2. ROUGH GRADING SHALL BE COMPLETED PRIOR TO THE START OF PLANT INSTALLATION CALL BY BEFORE LOGGING.
3. CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES AND ALL OTHER UNDERGROUND STRUCTURES PRIOR TO PLANTING.
4. PLANTING SHOULD OCCUR IMMEDIATELY AFTER CONSTRUCTION TO STABILIZE AREAS OF BARE SOIL.
5. ALL DEBRIS, ROCKS, ETC. LARGER THAN 5 INCH ARE TO BE REMOVED PRIOR TO SEEDING/SODDING OR PLANTING.
6. MULCH SHALL BE TRIPLED SHREDDED HARDWOOD MULCH, FREE OF WEEDS.
7. DO NOT STAKE TREES EXCEPT WHERE SPECIFIED OR ON SURFACES.
8. FOR PLANTER BEDS RECEIVE A MINIMUM OF 4" OF APPROVED TOPSOIL. TILL IN SOIL AMENDMENTS TO A DEPTH OF 8" AND WHERE PLANTS SHARE ROOT SPACE - TILL THE ENTIRE AREA, NOT JUST THE PLANT HOLES.
9. FOR SEEDING/SOD: ALL AREAS TO RECEIVE A MINIMUM OF 2" OF APPROVED TOPSOIL, TILLED TO A DEPTH OF 4" TO ENSURE INTEGRATION WITH EXISTING SOIL.
10. FOR CONTAINER GROWN PLANTS, USE FRINGS OR SMALL HAND TOOLS TO GENTLY PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL AND CUT OR PULL AWAY ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
11. BEFORE PLANTING, ADD 3/4" OF WELL-COMPOSTED LEAVES, RECYCLED YARD WASTE OR OTHER COMPOST AND FILL INTO TOP 4" OF PREPARED SOIL. ADD COMPOST AT 20-30% BY VOLUME TO BACKFILL.
12. DO NOT PLACE MULCH IN CONTACT WITH TRUNK.
13. PROVIDE GATOR BAGS FOR TREES WHERE BREAKDOWN IS NOT PROVIDED. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
14. PLANTS SHALL BE REPRESENTATIVE OF THEIR SPECIES AND MEET AND STANDARD 260.
15. LANDSCAPE ARCHITECT OR OWNER MAINTAINS THE RIGHT TO RECTIFY ANY PLANT DEFICIENCY AT ANY TIME.
16. QUANTITIES SHOWN ON THE PLANT LEGEND ARE FOR THE CONTRACTORS CONVENIENCE, IF DISCREPANCIES OCCUR, THE PLANS SHALL OVERRULE THE PLANT LEGEND.
17. IF ANY PLANT SUBSTITUTIONS ARE REQUESTED BY THE CONTRACTOR, SUGGESTED ACCEPTABLE REPLACEMENTS SHALL BE PRESENTED AND A MINIMUM OF 72 HOURS SHALL BE GIVEN TO THE LANDSCAPE ARCHITECT PRIOR TO ORDERING DATE FOR FINAL DECISION.
18. BALLED AND BURKAPED TREES SHALL BE PLANTED PRIOR TO CONTAINER OR BEDDING PLANTS.
19. MEDIUM TO LARGE STREET TREES SHALL BE SPACED NO CLOSER THAN 20 FEET EACH OTHER AND SHOULD BE 10 FEET AWAY FROM STORMWATER PIPES, WITH A MINIMUM OF 10 FEET FROM STORMWATER STRUCTURES, INCLUDING ANY ROOTS OF ANY PLANT AND SMALL MATURING STREET TREES SHOULD BE SPACED AN AVERAGE OF 30 FEET APART, AS INDICATED ON THE PLANS.



DETAIL 1 - PLANTING NOTES

DETAIL 2 - TREE PROTECTION FENCE LAYOUT

DETAIL 3 - TREE PROTECTION FENCE

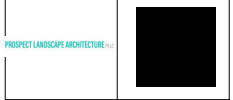


DETAIL 4 - TREE PLANTING

DETAIL 5 - SHRUB PLANTING

DETAIL 6 - GROUNDCOVER & SPACING

Designed By:
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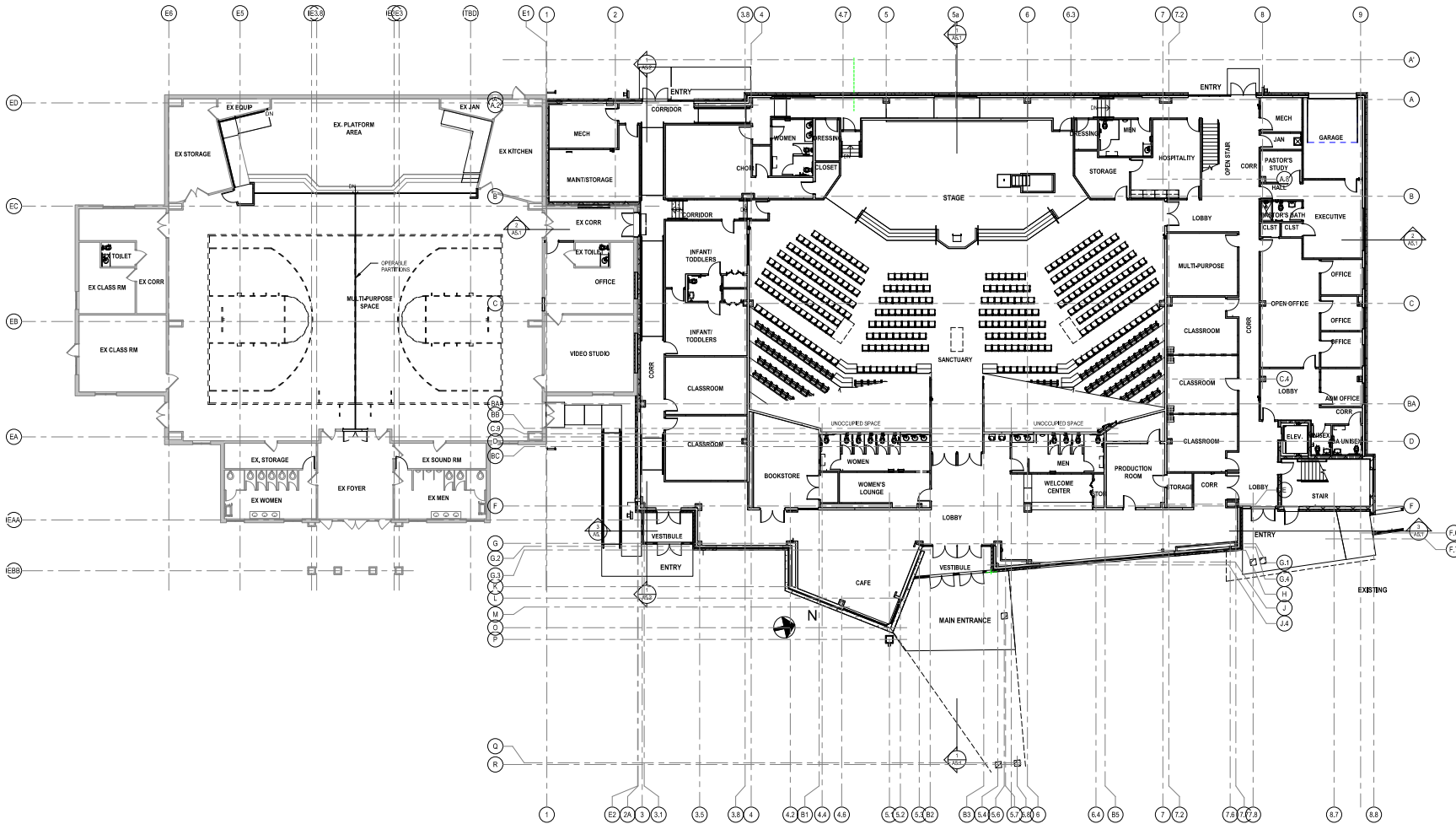
Project/Client:
BAPTIST GROVE CHURCH RENOVATION

7109 LEEVILLE RD
RALEIGH, NC 27610

Project	BAPTIST GROVE CHURCH	Sheet	PLANTING DETAILS
Date	2024/08/07	Scale	NTS
		L200	



CONSTRUCTION DOCUMENTS
**BAPTIST GROVE CHURCH
BAPTIST GROVE CHURCH NEW WORSHIP SPACE
ADDITION**
7109 Leesville Road Raleigh, NC
OVERALL GROUND LEVEL FLOOR PLAN



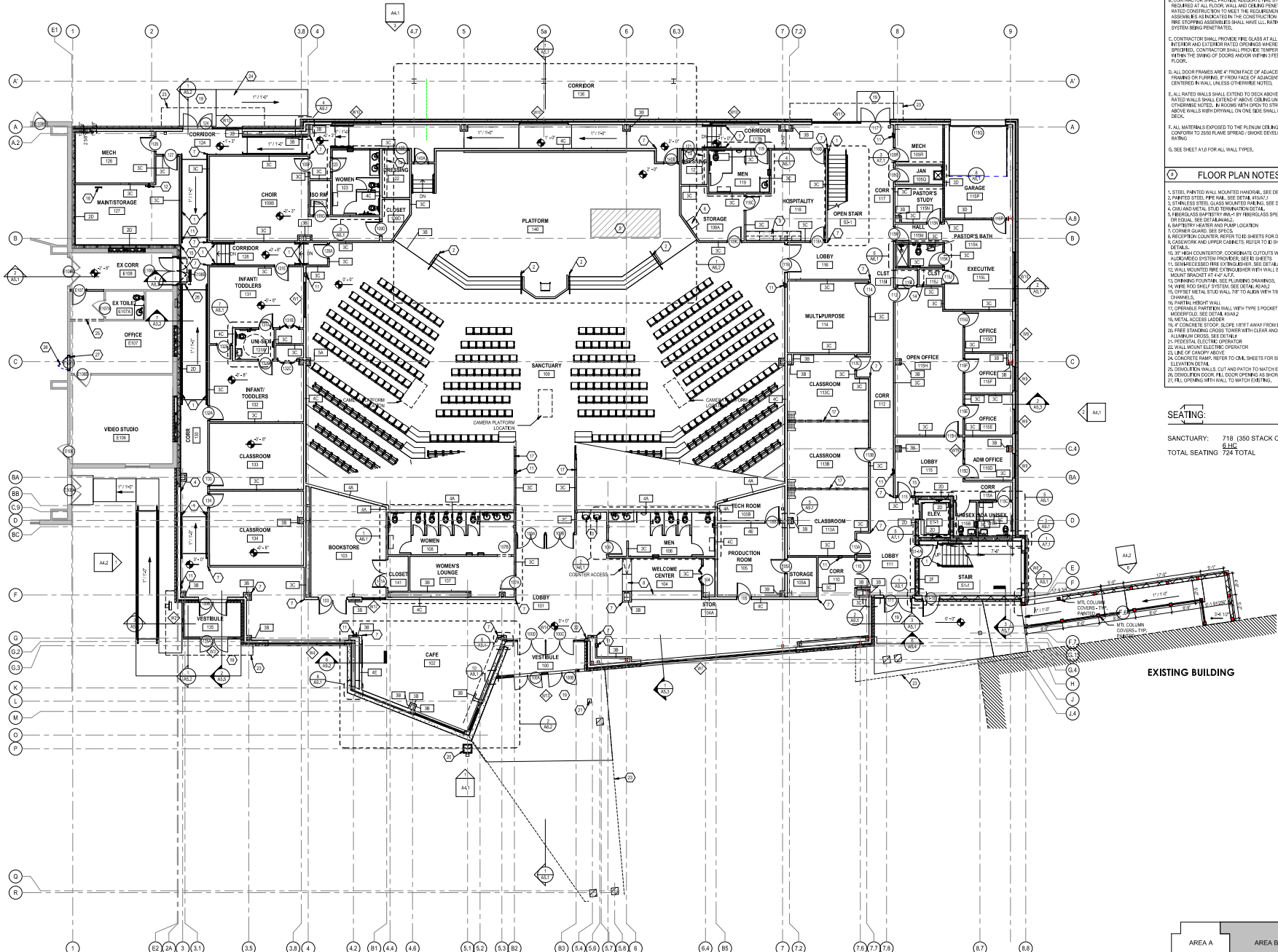
1 OVERALL GROUND LEVEL FLOOR PLAN
A1.0 SCALE: 3/32" = 1'-0"

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Date	Description	#

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CHECKED BY: Checker	
PROJECT NO. 0890121	
DATE: 02/25/21	
CERTIFIED BY:	

SHEET NO.
A1.0



PLAN GENERAL NOTES

- A. SLOPE FLOOR TO DRAINS IN ALL ROOMS WHERE FLOOR DRAINAGE IS TO BE INSTALLED. SLOPE A MINIMUM OF 1/8" PER FOOT. SLOPE SHALL EXTEND 5' FROM DRAIN. REFER TO PLUMBING DRAWINGS.
- B. CONTRACTOR SHALL PROVIDE ADEQUATE FIRE STOPPING, AS REQUIRED, AT ALL FLOOR, WALL AND CEILING PENETRATIONS OF OTHER CONSTRUCTION TO MEET THE REQUIREMENTS OF THE ASSEMBLIES AS INDICATED IN THE CONSTRUCTION DOCUMENTS. FIRE STOPPING ASSEMBLIES SHALL HAVE UL-RATING FOR SYSTEM BEING PENETRATED.
- C. CONTRACTOR SHALL PROVIDE FIRE GLASS AT ALL PROTECTED INTERIOR AND EXTERIOR PARTED OPENINGS AND GLAZES SPECIFIED. CONTRACTOR SHALL PROVIDE TEMPERED GLASS WITHIN THE SWINGS OF DOORS AND/OR OTHER PARTS OF THE FLOOR.
- D. ALL DOOR FRAMES ARE 4" FROM FACE OF ADJACENT WALL. FRAMING OR FINISH IS FROM FACE OF ADJACENT DOOR OR CENTERED IN WALL UNLESS OTHERWISE NOTED.
- E. ALL PARTED WALLS SHALL EXTEND TO ROCK ABOVE. ALL NON-PARTED WALLS SHALL EXTEND UP ABOVE CEILING UNLESS OTHERWISE NOTED. IN ROOMS WITH OPEN TO STRUCTURE ABOVE WALLS WITH OVERHANG ON ONE SIDE SHALL EXTEND TO ROCK.
- F. ALL MATERIALS EXPOSED TO THE PLUMBING OR GAS SHALL CONFORM TO 3500 FLAME SPREAD / SMOKE DEVELOPMENT INDEX.
- G. SEE SHEET A1.0 FOR ALL WALL TYPES.

FLOOR PLAN NOTES

1. STEEL PARTED WALL MOUNTED HANDRAIL. SEE DETAIL #1402.1
2. PARTED STEEL PIPE WALL. SEE DETAIL #1402.1
3. STAINLESS STEEL GLASS MOUNTED HANDRAIL. SEE DETAIL #1402.1
4. SMOOTH METAL STEEL TERMINATION DETAIL.
5. FIBERGLASS BATTERY WALL. BY FIBERGLASS SPECIALTIES, INC. SEE DETAIL #1402.1
6. BATTERY HEATER AND PUMP LOCATION
7. CORNER GLAZING. SEE DETAIL #1402.1
8. RECEPTION COUNTER. REFER TO ID SHEETS FOR DETAILS
9. CASEWORK AND UPPER CABSINETS. REFER TO ID SHEETS FOR DETAILS.
10. 3/4" HIGH COUNTERTOP. COORDINATE COUNTERTOP WITH AUDIOVISUAL SYSTEM PROVIDER. SEE ID SHEETS
11. SOUND-ABSORBING FINE EXTINGUISHER. SEE DETAIL #1402.1
12. WALL MOUNTED FIRE EXTINGUISHER WITH WALL BRACKET. MOUNT BRACKET 48" TO 60" A.F.F.
13. DRAWING FOUNTAIN. SEE PLUMBING DRAWINGS.
14. WIRE MESH SHEET SYSTEM. SEE DETAIL #1402.1
15. OFFSET METAL STUD WALL 7/8" TO ALIGN WITH TRF FLOORING
16. PARTIAL PARTED WALL
17. OPERABLE PARTED WALL WITH TYPE 3 POCKET DOOR BY INTERSPEC. SEE DETAIL #1402.1
18. METAL ACCESS LADDER
19. 4" CONCRETE ROOF SLOPE 1/8" PER FOOT AWAY FROM BUILDING
20. FREE STANDING CROSS TOWER WITH CLEAR ANCHORED ALUMINUM CROSS. SEE DETAIL #1402.1
21. PRECAST ELECTRIC OPERATOR
22. WALL MOUNT ELECTRIC OPERATOR
23. LINE OF CANOPY ABOVE
24. CONCRETE FLOOR. REFER TO DETAIL SHEETS FOR SURFACE ELEVATION DETAIL
25. DRILL HOLE WALL. CUT AND PATCH TO MATCH EXISTING.
26. DRILL HOLE FLOOR. FILL DOOR OPENING AS SHOWN.
27. FILL OPENING WITH WALL TO MATCH EXISTING.

SEATING:

SANCTUARY: 718 (350 STACK CHAIRS)
 81HC
 TOTAL SEATING 724 TOTAL

EXISTING BUILDING

1 GROUND LEVEL ARCHITECTURAL FLOOR PLAN
 A1.1 SCALE: 1/8" = 1'-0"

HCO INCORPORATED

ARCHITECTURE
 PLANNING
 INTERIOR DESIGN
 ENGINEERING

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 INDIANAPOLIS, INDIANA 46208
 (317)923-3737 FAX: (317)923-3730

CONSTRUCTION DOCUMENTS

**BAPTIST GROVE CHURCH
 BAPTIST GROVE CHURCH NEW WORSHIP SPACE
 ADDITION**

7109 Leesville Road Raleigh, NC

GROUND LEVEL ARCHITECTURAL PLAN

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REVISIONS		
Date	Description	#

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AGB

CHECKED BY:
OWNER

PROJECT NO.
0890121

DATE:
04/25/21

CERTIFIED BY:

SHEET NO.

A1.1

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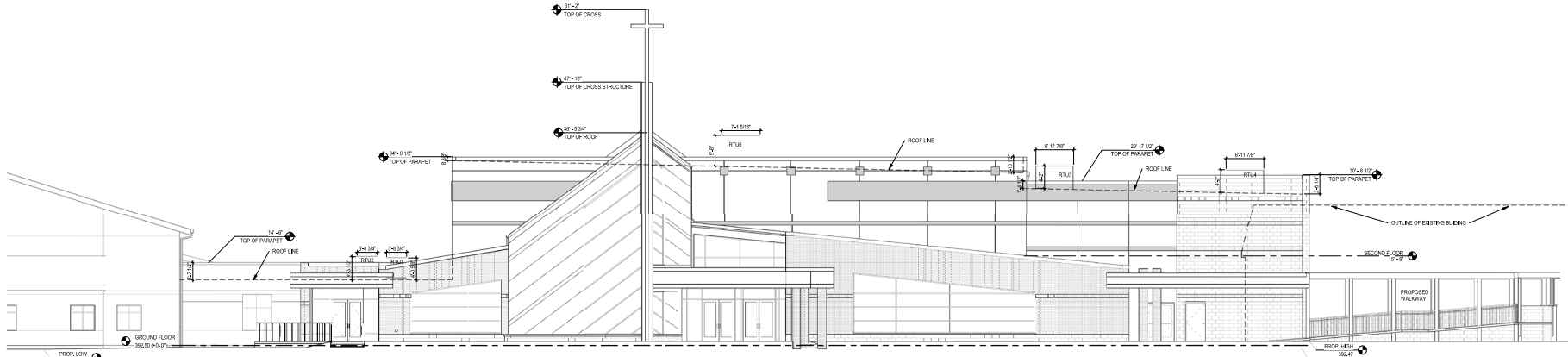


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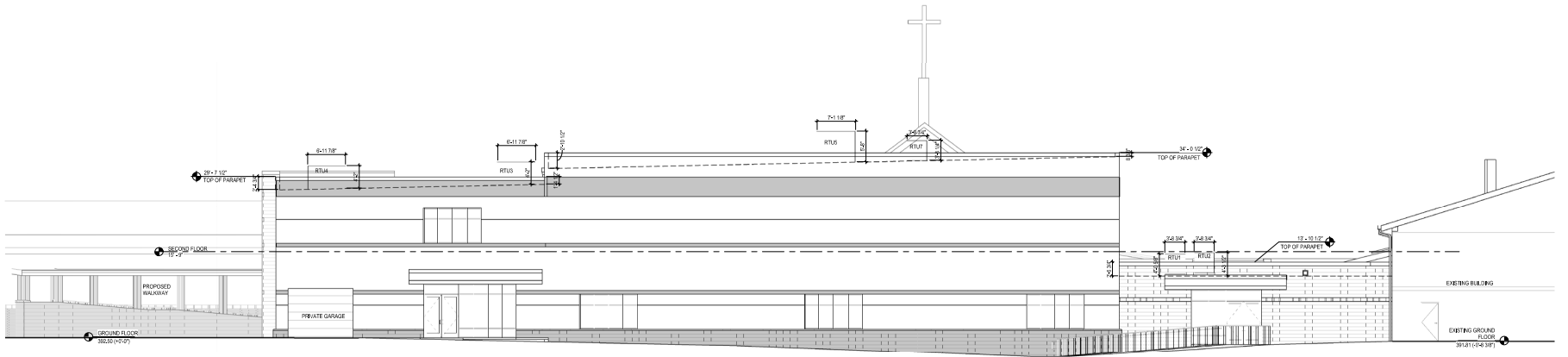
**BAPTIST GROVE CHURCH
NEW WORSHIP SPACE ADDITION**

7109 Leesville Road Raleigh, NC

EXTERIOR ELEVATIONS

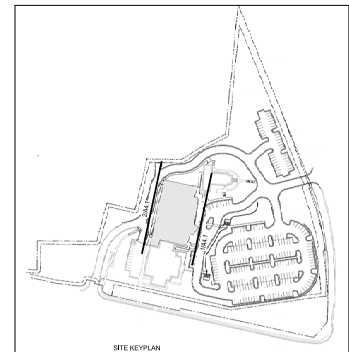


1 EAST ELEVATION (LEESVILLE ROAD)
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

POST DEVELOPMENT GRADE			
	PROP. LOW	PROP. HIGH	PROP. AVERAGE
LEESVILLE ROAD	391.07	392.47	391.77
LYNN ROAD	391.28	391.56	391.42



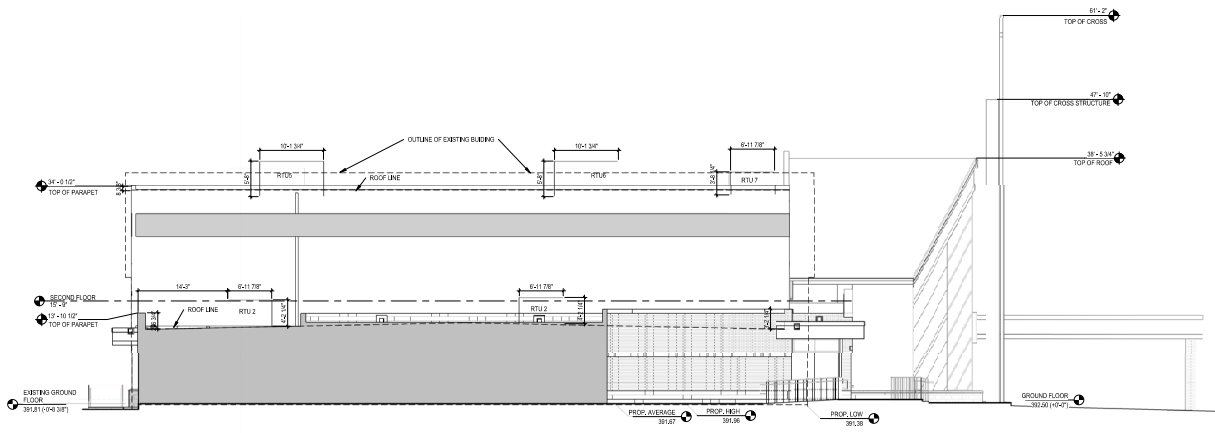
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Date	Description	#
07/20/20	ADD COMMENTS	1

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PROJECT NO. 0890121	DATE: 04/08/22
CERTIFIED BY:	SHEET NO.

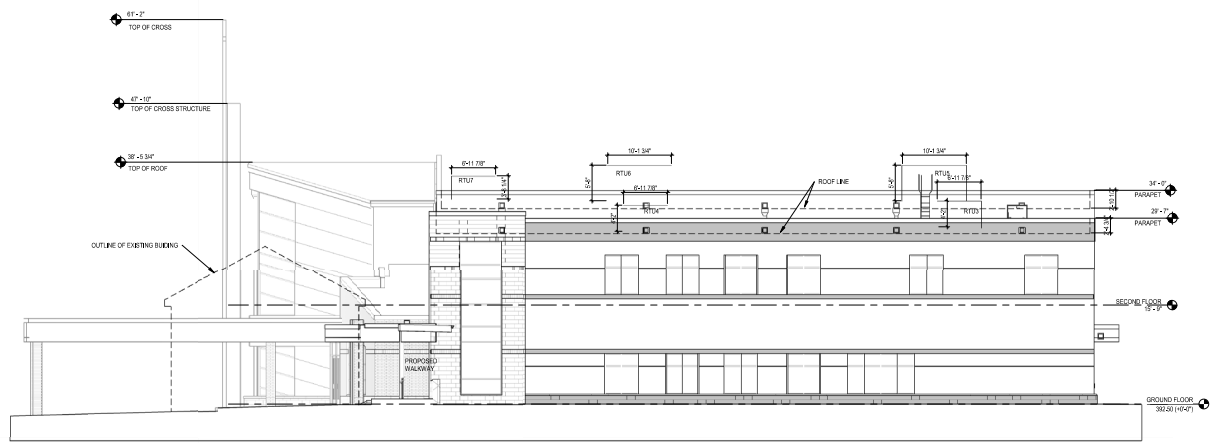
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CONSTRUCTION DOCUMENTS
**BAPTIST GROVE CHURCH
NEW WORSHIP SPACE ADDITION**
7109 Leesville Road Raleigh, NC
EXTERIOR ELEVATIONS

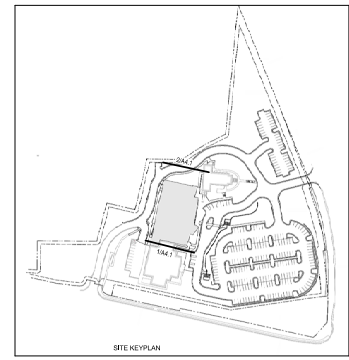


1 SOUTH ELEVATION (LYNN ROAD)
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

POST DEVELOPMENT GRADE			
	PROP. LOW	PROP. HIGH	PROP. AVERAGE
LEESVILLE ROAD	39.07	39.47	39.27
LYNN ROAD	39.18	39.26	39.67

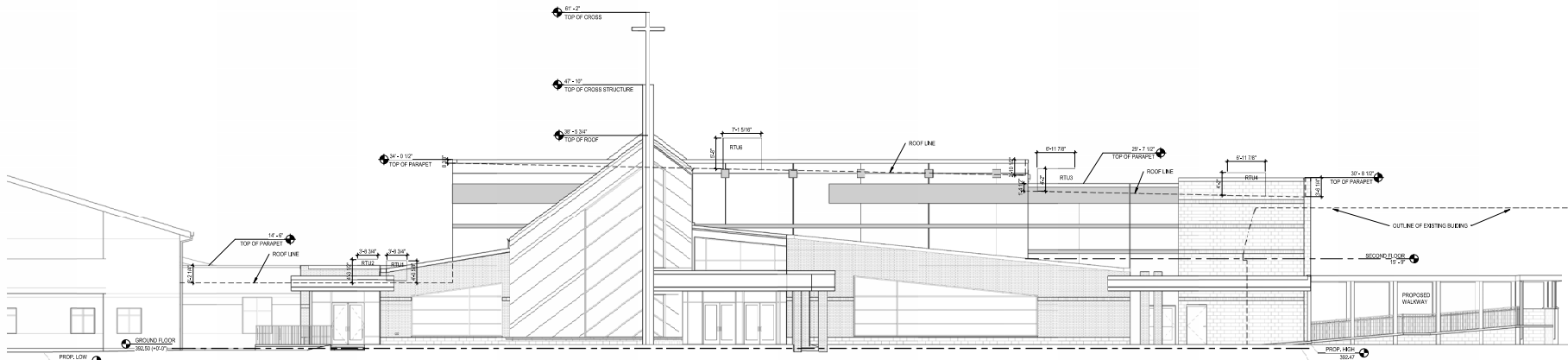


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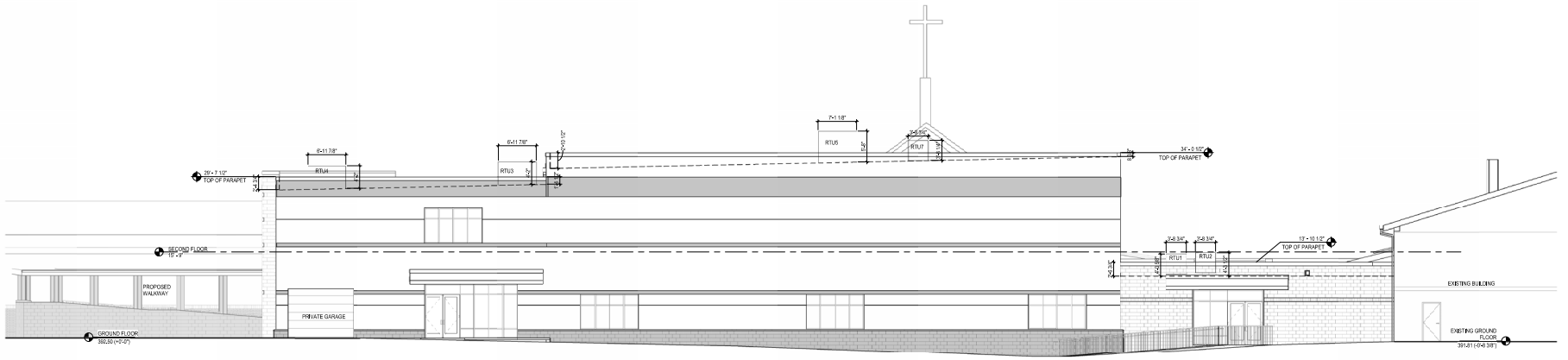
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A4.2



1 EAST ELEVATION (LEESVILLE ROAD)
Z4.1 SCALE: 1/8" = 1'-0"

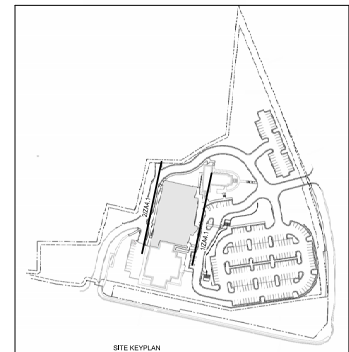


2 WEST ELEVATION
Z4.1 SCALE: 1/8" = 1'-0"

CONSTRUCTION DOCUMENTS
**BAPTIST GROVE CHURCH
NEW WORSHIP SPACE ADDITION**
7109 Leesville Road Raleigh, NC
ZONING EXTERIOR ELEVATIONS

POST DEVELOPMENT GRADE

	PROP. LOW	PROP. HIGH	PROP. AVERAGE
LEESVILLE ROAD	391.07	392.47	391.77
LYNN ROAD	391.28	391.56	391.47



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REVISIONS

Date	Description	#
07/22/2021	ASR COMMENTS	

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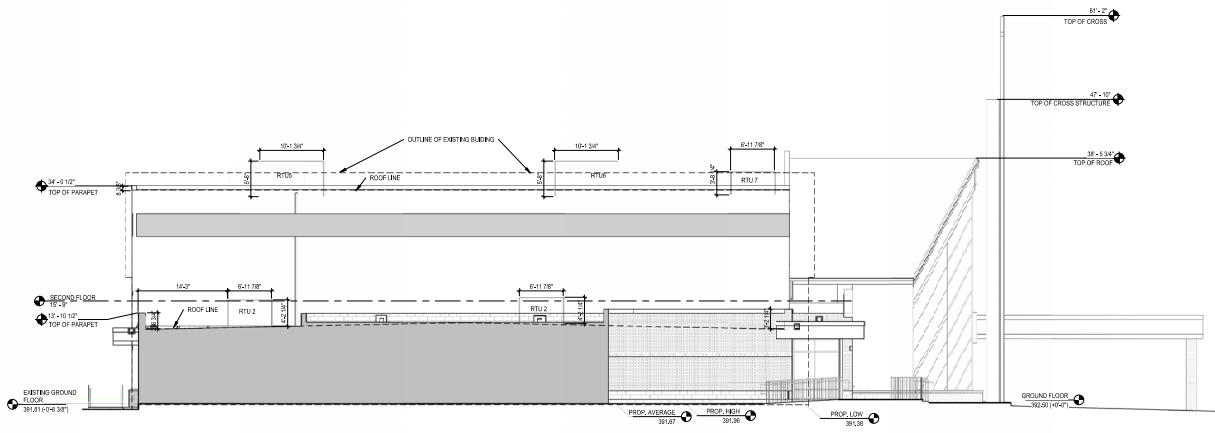


CONSTRUCTION DOCUMENTS

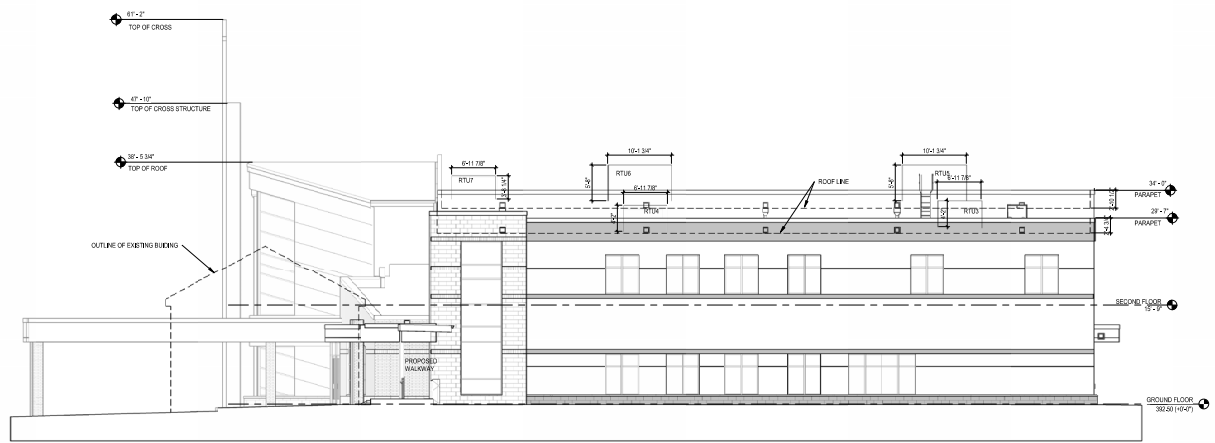
**BAPTIST GROVE CHURCH
NEW WORSHIP SPACE ADDITION**

7109 Leesville Road Raleigh, NC

ZONING EXTERIOR ELEVATIONS

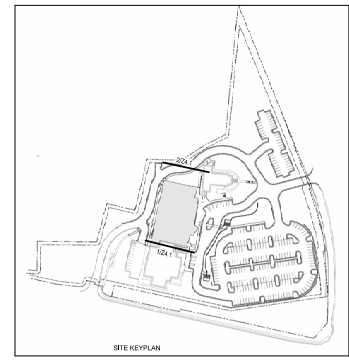


1 SOUTH ELEVATION (LYNN ROAD)
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

POST DEVELOPMENT GRADE			
	PROP. LOW	PROP. HIGH	PROP. AVERAGE
LEESVILLE ROAD	39.67	39.47	39.57
LYNN ROAD	39.36	39.26	39.67



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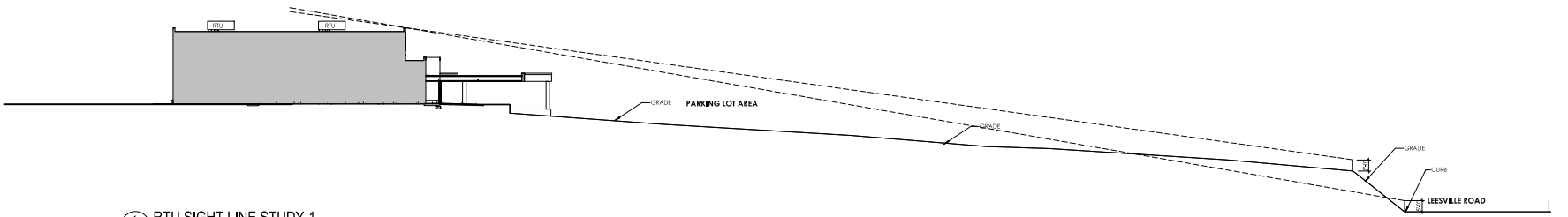
REVISIONS		
Date	Description	#
07/22/2011	ASR COMMENTS	

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PROJECT NO. 0890121	DATE: 04/08/12
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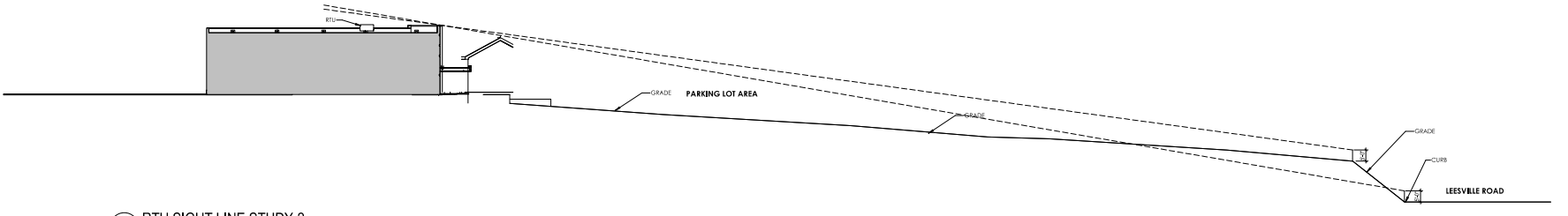
SHEET NO.
Z4.2



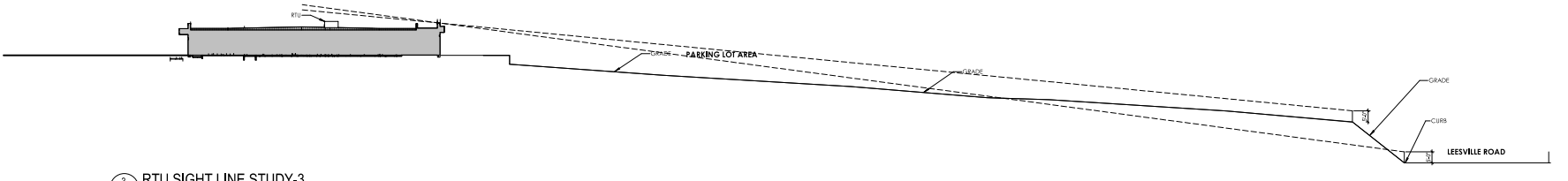
CONSTRUCTION DOCUMENTS
**BAPTIST GROVE CHURCH
NEW WORSHIP SPACE ADDITION**
7109 Leesville Road Raleigh, NC
RTU SIGHT LINE STUDIES



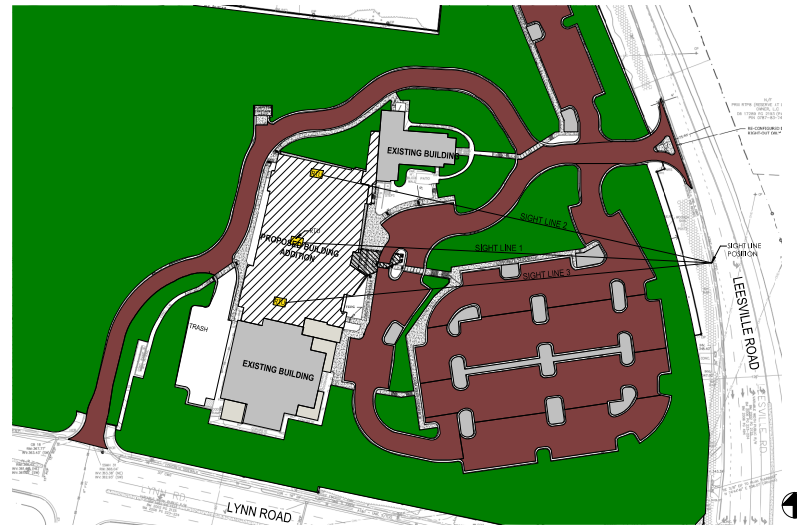
1 RTU SIGHT LINE STUDY-1
SL3 SCALE: 1" = 20'-0"



2 RTU SIGHT LINE STUDY-2
SL3 SCALE: 1" = 20'-0"



3 RTU SIGHT LINE STUDY-3
SL3 SCALE: 1" = 20'-0"



4 ARCHITECTURAL SITE PLAN
SL3 SCALE: 1" = 60'-0"

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Date	Description	#

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Author

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04/08/22

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SHEET NO.
SL3