



Administrative Approval Action

Case File / Name: ASR-0084-2019
Atlantic Plaza Phase II

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is generally located on the west side of Atlantic Avenue north of Spring Forks Road, with a common street address of 5601 Atlantic Avenue.

REQUEST: Development of two commercial buildings with associated parking and site improvements; one building at 3,180 square feet and the second building at 3,600 square feet for a total of 6,780 square feet. The site is approximately 3.4 acres, a portion is zoned CX-3-PL-CU and the remainder is zoned CX-3-CU.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated September 14, 2020 by KIMLEY HORN.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. The SPR shall demonstrate compliance with UDO Section 7.4 (Lighting)

Engineering

2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
3. An encroachment submittal for the stairs within the public right-of-way shall be approved by City Council. The executed encroachment agreement shall be filed with the Development Services Department for the approval by City and returned to the Owner. The Owner is responsible to record the executed encroachment agreement with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.

Stormwater

4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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- A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B). Because this project changes the adjacent projects TN loading rate, an additional TN offset payment must be made for the adjacent property for this project to be permitted.

Urban Forestry

- Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	City Code Covenant Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required
<input checked="" type="checkbox"/>	Utility Placement Easement Required

<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Transit Easement Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

- A recombination map shall be recorded, recombining the existing lots as shown on the preliminary plan.

Engineering

- A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
- A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry, and a copy of the recorded easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
- A transit easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation.



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5. A cross access agreement shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

Stormwater

6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
7. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded, recombining the existing lots as shown on the preliminary plan.
2. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further recordings and building permits will be withheld if the recorded document is not provided to the City.

Engineering

3. A fee-in-lieu for 1-ft sidewalk width along both frontages shall be paid to the City of Raleigh (UDO 8.1.10).
4. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
5. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

Stormwater



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6. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
7. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
8. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

9. A public infrastructure surety for the street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
10. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 12 street trees along Atlantic Avenue and 11 street trees along Spring Forest Road for a total of 23 street trees.

The following are required prior to issuance of building occupancy permit:

Stormwater

1. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: October 7, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

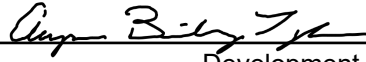


Administrative Approval Action

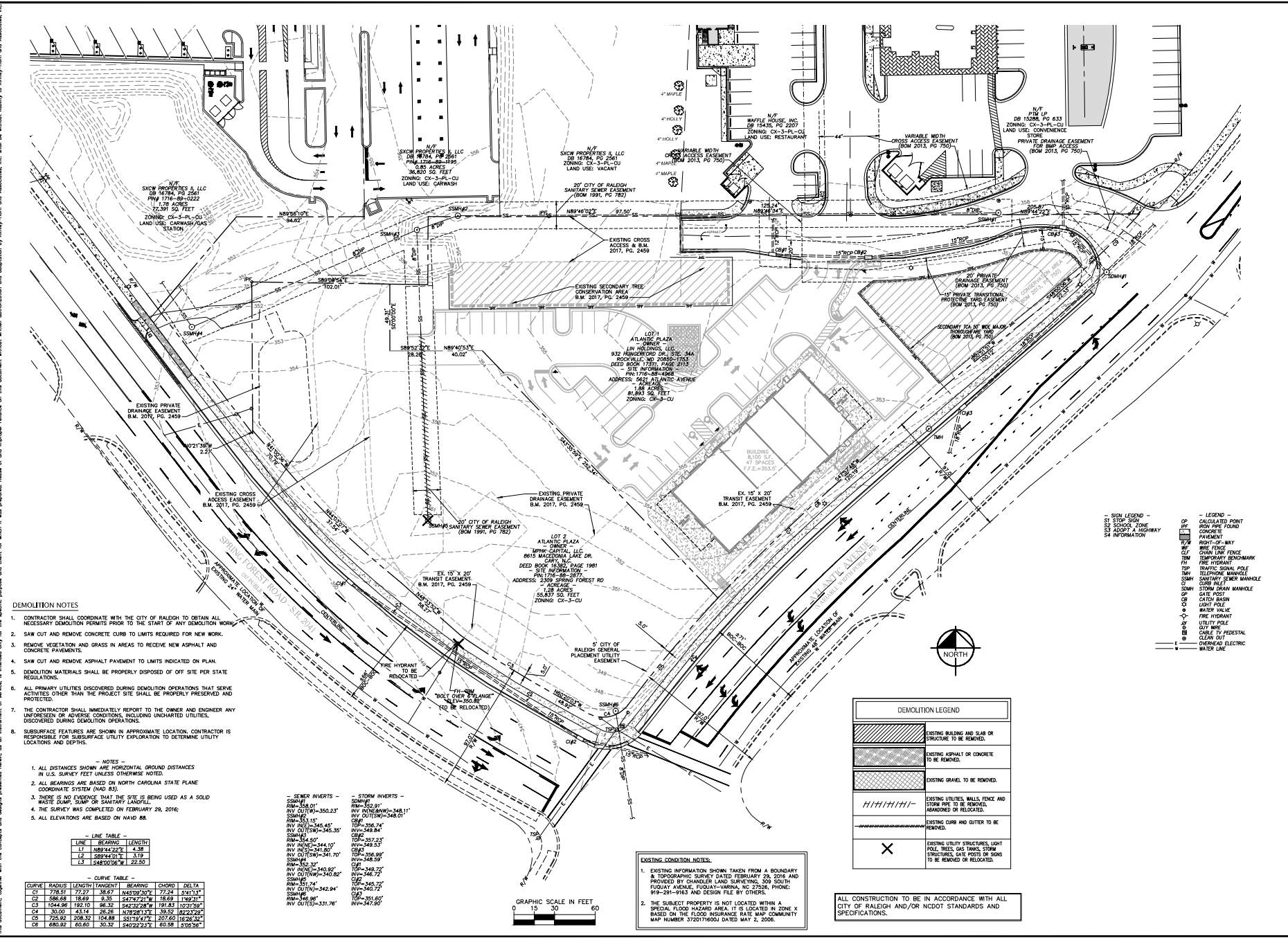
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I hereby certify this administrative decision.

Signed:  Date: 10/07/2020
Development Services Dir/Designee
Staff Coordinator: Ryan Boivin

THIS DOCUMENT IS THE PROPERTY OF KIMLEY-HORN AND ASSOCIATES, INC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KIMLEY-HORN AND ASSOCIATES, INC.



DEMOLITION NOTES

1. CONTRACTOR SHALL COORDINATE WITH THE CITY OF RALEIGH TO OBTAIN ALL NECESSARY DEMOLITION PERMITS PRIOR TO THE START OF ANY DEMOLITION WORK.
2. SAW CUT AND REMOVE CONCRETE CURB TO LIMITS REQUIRED FOR NEW WORK.
3. REMOVE VEGETATION AND GRASS IN AREAS TO RECEIVE NEW ASPHALT AND CONCRETE PAVEMENTS.
4. SAW CUT AND REMOVE ASPHALT PAVEMENT TO LIMITS INDICATED ON PLAN.
5. DEMOLITION MATERIALS SHALL BE PROPERLY DISPOSED OF OFF SITE PER STATE REGULATIONS.
6. ALL PRIMARY UTILITIES DISCOVERED DURING DEMOLITION OPERATIONS THAT SERVE ACTIVITIES OTHER THAN THE PROJECT SITE SHALL BE PROPERLY PRESERVED AND PROTECTED.
7. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER AND ENGINEER ANY UNFORESEEN OR ADVERSE CONDITIONS, INCLUDING UNCHARTED UTILITIES, DISCOVERED DURING DEMOLITION OPERATIONS.
8. SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATION AND DEPTHS.

NOTES

1. ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
2. ALL BEARINGS ARE BASED ON NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 83).
3. THERE IS NO EVIDENCE THAT THE SITE IS BEING USED AS A SOIL WASTE DUMP, SLUMP OR SANITARY LANDFILL.
4. THE SURVEY WAS COMPLETED ON FEBRUARY 29, 2016.
5. ALL ELEVATIONS ARE BASED ON NAVD 88.

LINE TABLE

CURVE	RADIUS	LENGTH	TANGENT	BEARING	CHORD	DELTA
C1	778.91	77.27	38.67	S45°59'30"E	72.24	1°41'11"
C2	586.68	156.69	5.35	S47°12'22"W	158.69	1°40'31"
C3	1044.96	182.10	96.32	S42°32'28"W	181.83	1°52'58"
C4	30.00	43.14	26.35	N78°08'13"E	39.52	82°22'29"
C5	725.92	208.32	104.88	S51°19'47"E	207.60	16°26'42"
C6	685.92	80.60	30.32	S40°22'23"E	60.58	1°50'58"

CURVE TABLE

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SEWER INVERTS
SMA#1 RM=558.01' INV OUT(W)=350.23' SMA#2 RM=558.01' INV OUT(W)=348.01' SMA#3 RM=558.01' INV OUT(W)=348.01' SMA#4 RM=558.01' INV OUT(W)=348.01' SMA#5 RM=558.01' INV OUT(W)=348.01' SMA#6 RM=558.01' INV OUT(W)=348.01' SMA#7 RM=558.01' INV OUT(W)=348.01' SMA#8 RM=558.01' INV OUT(W)=348.01' SMA#9 RM=558.01' INV OUT(W)=348.01' SMA#10 RM=558.01' INV OUT(W)=348.01'

STORM INVERTS
SMA#1 RM=558.01' INV OUT(W)=350.23' SMA#2 RM=558.01' INV OUT(W)=348.01' SMA#3 RM=558.01' INV OUT(W)=348.01' SMA#4 RM=558.01' INV OUT(W)=348.01' SMA#5 RM=558.01' INV OUT(W)=348.01' SMA#6 RM=558.01' INV OUT(W)=348.01' SMA#7 RM=558.01' INV OUT(W)=348.01' SMA#8 RM=558.01' INV OUT(W)=348.01' SMA#9 RM=558.01' INV OUT(W)=348.01' SMA#10 RM=558.01' INV OUT(W)=348.01'

EXISTING CONDITION NOTES

1. EXISTING INFORMATION SHOWN TAKEN FROM A BOUNDARY & TOPOGRAPHIC SURVEY DATED FEBRUARY 29, 2016 AND PROVIDED BY CHANDLER LAND SURVEYING, 309 SOUTH FLOUAY AVENUE, FLOUAY-ARMA, NC 27506. PHONE: 919-291-5163 AND DESIGN FILE BY OTHERS.
2. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. IT IS LOCATED IN ZONE X BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 172017000A DATED MAY 4, 2006.

DEMOLITION LEGEND

[Hatched Box]	EXISTING BUILDING AND SLAB OR STRUCTURE TO BE REMOVED.
[Dotted Box]	EXISTING ASPHALT OR CONCRETE TO BE REMOVED.
[Cross-hatched Box]	EXISTING GRAVEL TO BE REMOVED.
[Line with Ticks]	EXISTING UTILITIES, WALLS, FENCE AND STORM PIPE TO BE REMOVED, ABANDONED OR RELOCATED.
[Dashed Line]	EXISTING CURB AND GUTTER TO BE REMOVED.
[X]	EXISTING UTILITY STRUCTURES, LIGHT POLE, WELLS, GAS TANKS, STORM STRUCTURES, GATE POSTS OR SIGNS TO BE REMOVED OR RELOCATED.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

Kimley»Horn
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421 FAYETTEVILLE STREET, SUITE 400, RALEIGH, NC 27601
PHONE: 919-291-5163
WWW.KIMLEY-HORN.COM

KHA PROJECT
07/28/2018
DATE

10/28/2018
DATE

SCALE AS SHOWN
DESIGNED BY JCB
DRAWN BY JCB
CHECKED BY JCB

NC

EXISTING CONDITIONS
& DEMOLITION PLAN

ATLANTIC PLAZA
PREPARED FOR
MPH CAPITAL, LLC

SHEET NUMBER
C1.0

REVISION PER CITY ASR COMMENTS 07/28/2018 JCB

REVISION PER CITY ASR COMMENTS 09/21/2018 JCB

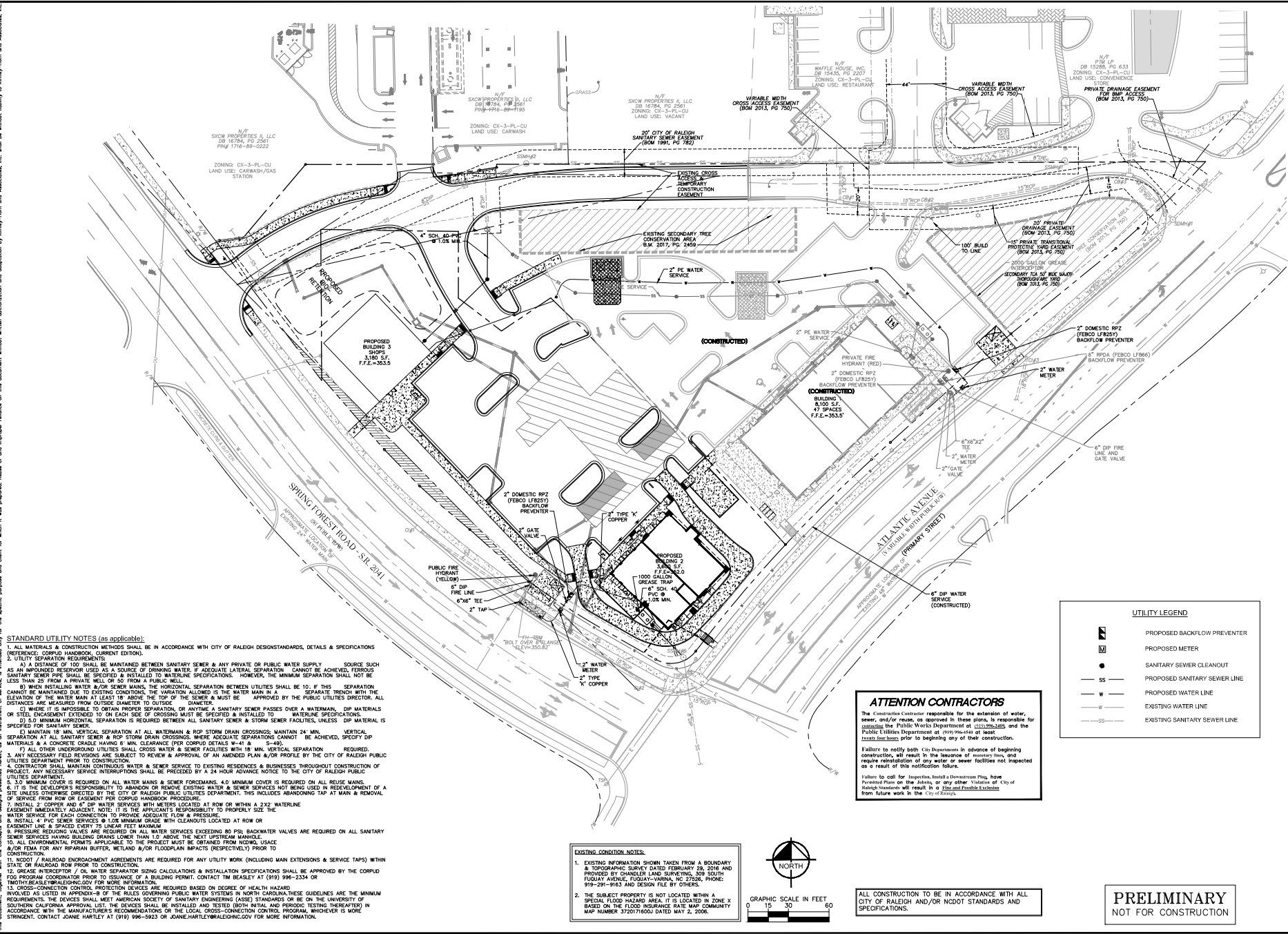
REVISION PER CITY ASR COMMENTS 03/23/2018 JCB

REVISIONS

DATE

BY

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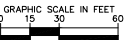


STANDARD UTILITY NOTES (as applicable):

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
 - a) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FEROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DEPARTMENT. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCLOSURE EXTENDED TO 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - d) 6.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS; WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W-41 & S-40).
 - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 5. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS; 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
 7. INSTALL 2" COPPER AND 6" DIP WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT TO THE PROPERTY. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 8. INSTALL A P.V.C. SEWER SERVICE @ 1.0' MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
 9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINAGE LOWER THAN 1'0" ABOVE THE NEXT UPSTREAM MANHOLE.
 10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCOWS, USEA &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 11. NCOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 12. GREASE INTERCEPTOR / OIL WATER SEPARATION SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS F20 PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TM BEASLEY AT (919) 996-2334 OR TM@KIMLEY-HORN.COM FOR MORE INFORMATION.
 13. CROSS-CONNECTIONS ARE PROHIBITED BASED ON DROPPED HEALTH HAZARD. THE MINIMUM REQUIREMENTS FOR THE DESIGN OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA. APPROVAL USE, THE DEVICES SHALL BE INSTALLED AND TESTED BOTH INITIAL AND PERIODIC TESTING THEREAFTER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JANE HARTLEY AT (919) 996-5922 OR JANE.HARTLEY@KIMLEY-HORN.COM FOR MORE INFORMATION.

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2. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA. IT IS LOCATED IN ZONE X BASED ON THE FLOOD INSURANCE RATE MAP COMMUNITY MAP NUMBER 3720176000 DATED MAY 2, 2006.



ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as depicted in these plans, is responsible for obtaining the Public Works Department at (919) 996-2489 and the Public Utilities Department at (919) 996-2489 at least 14 days prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of a stop-work order, and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a downstream plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh standards will result in a Stop and Penalties Assessment from future work in the City of Raleigh.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCOT STANDARDS AND SPECIFICATIONS.

PRELIMINARY
NOT FOR CONSTRUCTION

Kimley»Horn

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421 FAYETTEVILLE STREET, SUITE 400, RALEIGH, NC 27601
PHONE: 919-996-5922
WWW.KIMLEY-HORN.COM

KHA PROJECT
07/28/2018
10/28/2018
SCALE AS SHOWN
DESIGNED BY JCB
DRAWN BY JCB
CHECKED BY CDB

PRELIMINARY
UTILITY PLAN

ATLANTIC PLAZA
PREPARED FOR
MPHC CAPITAL, LLC

CITY OF RALEIGH
SHEET NUMBER
C4.0

NO.	REVISIONS	DATE	BY
1	REUSE PER CITY ASR COMMENTS	07/28/2018	JCB
2	REUSE PER CITY ASR COMMENTS	09/21/2018	JCB
3	REUSE PER CITY ASR COMMENTS	03/23/2018	JCB

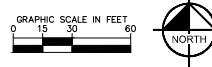
Atlantic Plaza, Atlantic Plaza, 1000 Atlantic Avenue, Suite 100, Raleigh, NC 27601. Project No. 1000-1000-1000. Date: 10/28/2018. Prepared by: Kimley-Horn and Associates, Inc. for MPH Capital, LLC. This drawing is the property of Kimley-Horn and Associates, Inc. and shall remain the property of Kimley-Horn and Associates, Inc. No part of this drawing may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without permission in writing from Kimley-Horn and Associates, Inc.

PLANT SCHEDULE							
TREES	CODE	CITY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	REMARKS
CAR FLUR	5		Carpinus betulus	European Hornbeam	840	3' Cal	14'-18" HT.
HNS SYL	30		Yucca subulata	Small Yucca	840	3' Cal	14'-18" HT.
QUE PRE	13		Quercus prinus	White Oak	840	3' Cal	14'-18" HT.
TAX DB	5		Taxodium distichum 'Saville' SP-8 15431	Autumn Gold Bald Cypress	840	3' Cal	14'-18" HT.
UM ALL	8		Ulmus parvifolius 'Atter'	Atter European Elm	840	3' Cal	14'-18" HT.
ZEL MYR	12		Zelkova serrata 'Wynona'	Wynona Zelkova	840	3' Cal	14'-18" HT. STRONG CENTRAL LEADER
SHRUBS							
CODE	CITY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING	
BLE GLA	61		Boehmeria 'Shenrock'	Shenrock Holly	3 gal	24"	48" o.c.
BET NAN	10		Betula nana 'Nana'	Dwarf Weeping Birch	3 gal	24"	36" o.c.
NAN DWA	11		Nandina domestica 'Nana'	Dwarf Sacred Bamboo	3 gal	18"	36" o.c.
PDD MAK	61		Podocarpus macrocarpa 'Nana'	Nana Podocarpus	3 gal	24"	60" o.c.
PRU CTT	108		Prunella buxifolia 'Otto Luyken'	Luyken's Laurel	3 gal	24"	48" o.c.
GROUND COVER							
CODE	CITY	BOTANICAL NAME	COMMON NAME	CONT.			
OTM DAC	31		Thymus 410 Hybrid Perennials Soil	Perennials Grass	400		

NOTES:
1. SEE SHEET L2.0 FOR PLANTING NOTES AND DETAILS.
2. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.

LEGEND	
	TREE CONSERVATION AREA
	AMENITY AREA
	SOD/SEED

PRELIMINARY
NOT FOR CONSTRUCTION



LANDSCAPE REQUIREMENTS & CALCULATIONS				
City of Raleigh, NC				
AREA TO BE LANDSCAPED	CODE REQUIREMENT	SQUARE FEET LINEAR FEET	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED
OUTDOOR AMENITY AREA	10% OF NET SITE AREA	145,792 SF	145,792' x 10% = 14,579.2	14,579 SF
VEHICULAR SURFACE AREA	1 TREE PER 2,000 SF OF VEHICULAR SURFACE AREA (VSA)	90,145 SF	50,145 / 2,000 = 25.07	25 TREES
SPRING FOREST ROAD SURFACE PARKING AREA WITH FRONTAGE ON ANY PORTION OF STREET RIGHT-OF-WAY MUST BE SCREENED WITH 6' TALL, 3" DBH MINIMUM TREES.	30 SHRUBS PER 100 LF MINIMUM AVERAGE WIDTH OF 10' (SHRUB HEIGHT AT INSTALLATION 3.5' MINIMUM)	200' LF	(200 / 100) x 30 = 60 SHRUBS	60 SHRUBS PROVIDED
SPRING FOREST ROAD STREET SCAPING REQUIREMENT (AVERAGE 4-LANE DIVIDED)	STREET TREES REQUIRED AT 40 O.C. MINIMUM 15' FROM EDGE OF TRAVEL	410' LF	410' / 40' = 10 TREES	11 TREES PROVIDED
ATLANTIC AVENUE (STREETSCAPE REQUIREMENT AVERAGE 4-LANE DIVIDED)	STREET TREES REQUIRED AT 40 O.C. MINIMUM 15' FROM EDGE OF TRAVEL	400' LF	400' / 40' = 10 TREES	12 TREES PROVIDED
ATLANTIC AVENUE SURFACE PARKING AREA WITH FRONTAGE ON ANY PORTION OF STREET RIGHT-OF-WAY MUST BE SCREENED WITH 6' TALL, 3" DBH MINIMUM TREES.	30 SHRUBS PER 100 LF MINIMUM AVERAGE WIDTH OF 10' (SHRUB HEIGHT AT INSTALLATION 3.5' MINIMUM)	45' LF	(45 / 100) x 30 = 14 SHRUBS	14 SHRUBS PROVIDED
				71,784
				72,48
				84,68
				71,784
				5
				72,48















PROJECT NO. 1000-1000-1000
DATE: 10/28/2018
SCALE: AS SHOWN
DESIGNED BY: JCB
DRAWN BY: JCB
CHECKED BY: CDB

Kimley-Horn
© 2016 KIMLEY-HORN AND ASSOCIATES, INC.
421 FAYETTEVILLE STREET, SUITE 400, RALEIGH, NC 27601
PHONE: 919-999-8800
WWW.KIMLEY-HORN.COM

REVISIONS
1. REVISION PER CITY ASR COMMENTS 03/23/2018
2. REVISION PER CITY ASR COMMENTS 03/23/2018
3. REVISION PER CITY ASR COMMENTS 07/28/2018

DATE BY

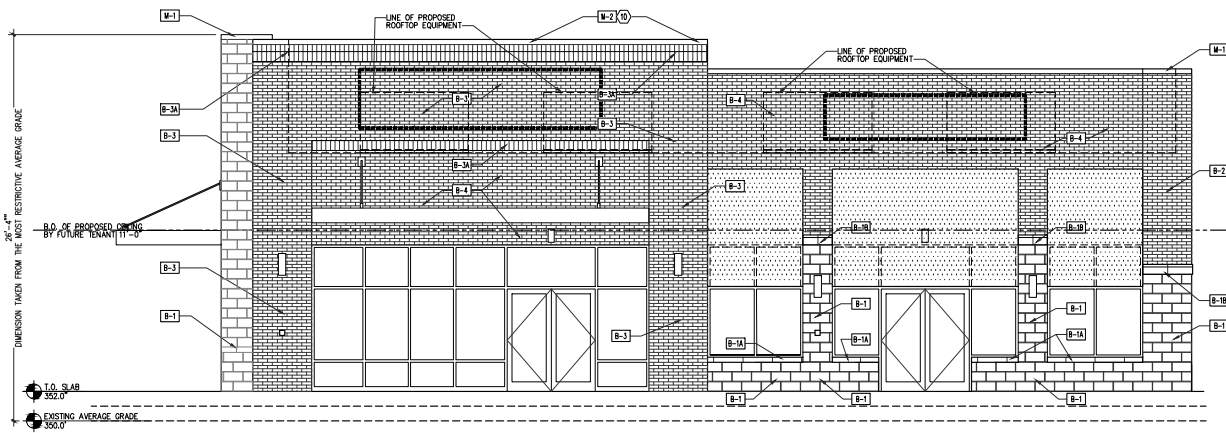
LANDSCAPE PLAN
ATLANTIC PLAZA
PREPARED FOR
MPH CAPITAL, LLC
CITY OF RALEIGH
SHEET NUMBER
L1.0

EXTERIOR MATERIAL:	
MASONRY	
 B-1	TYPE: ARCHITECTURAL MASONRY MANUFACTURER: ECHOLON MASONRY - TRENDSTONE COLOR: 4108-HP GROUT: HOLOM CHARCOAL GRAY SUPPLIER: ADAMS CONTACT: DAVID MCQUEEN TELEPHONE: 919-467-2218
 B-1A	TYPE: ARCHITECTURAL MASONRY MANUFACTURER: ECHOLON MASONRY - TRENDSTONE COLOR: CHSEL FACE - MIDNIGHT SIZE: 8x32x4 AT WINDOW SILLS GROUT: HOLOM CHARCOAL GRAY SUPPLIER: ADAMS CONTACT: DAVID MCQUEEN TELEPHONE: 919-467-2218
 B-1B	TYPE: ARCHITECTURAL MASONRY MANUFACTURER: ECHOLON MASONRY - TRENDSTONE COLOR: CHSEL FACE - MIDNIGHT SIZE: 8x32x4 AT WINDOW SILLS GROUT: HOLOM CHARCOAL GRAY SUPPLIER: ADAMS CONTACT: DAVID MCQUEEN TELEPHONE: 919-467-2218
 B-2	TYPE: TRAD. BRICK WITH 3/8" JOINT MANUFACTURER: GLEN-GERY COLOR: SLATE (S15-1557) EASTLINE BRICK GROUT: HOLOM CHARCOAL GRAY SUPPLIER: ADAMS CONTACT: DAVID MCQUEEN TELEPHONE: 919-467-2218
 B-2A	TYPE: TRAD. BRICK WITH 3/8" JOINT MANUFACTURER: GLEN-GERY COLOR: SLATE (S15-1557) EASTLINE BRICK GROUT: HOLOM OYSTER WHITE SUPPLIER: ADAMS CONTACT: DAVID MCQUEEN TELEPHONE: 919-467-2218
 B-3	TYPE: TRAD. BRICK WITH 3/8" JOINT MANUFACTURER: PALMETTO BRICK COLOR: WHITESTONE GROUT: HOLOM OYSTER WHITE SUPPLIER: ADAMS CONTACT: DAVID MCQUEEN TELEPHONE: 919-467-2218
 B-3A	TYPE: TRAD. BRICK WITH 3/8" JOINT MANUFACTURER: PALMETTO BRICK COLOR: WHITESTONE GROUT: HOLOM OYSTER WHITE SUPPLIER: ADAMS CONTACT: DAVID MCQUEEN TELEPHONE: 919-467-2218
 B-4	TYPE: TRAD. BRICK WITH 3/8" JOINT MANUFACTURER: GENERAL SHALE COLOR: GRAYSTONE SMOOTH GROUT: HOLOM OYSTER WHITE SUPPLIER: ADAMS CONTACT: DAVID MCQUEEN TELEPHONE: 919-467-2218
METAL	
 M-1	TYPE: 2-PIECE FLEX SNAP-ON COMPRESSION ENDING MANUFACTURER: EXCEPTIONAL METALS COLOR: SW7059 IRON ORE
 M-2	TYPE: 2-PIECE FLEX SNAP-ON COMPRESSION ENDING MANUFACTURER: EXCEPTIONAL METALS COLOR: SW7064 PASSIVE WHITE
LIGHTING	
 L-1	TYPE: EXTERIOR LIGHTING TYPE: HALF ROUND SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
 L-2	TYPE: EXTERIOR LIGHTING TYPE: EMERGENCY FUTURE SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
PAINT	
 P-1	TYPE: PAINT MANUFACTURER: SHERWIN WILLIAMS COLOR: SW7069 IRON ORE LOCATION: METAL
AWNING	
 A-1	TYPE: FABRIC AWNING

GENERAL NOTES:

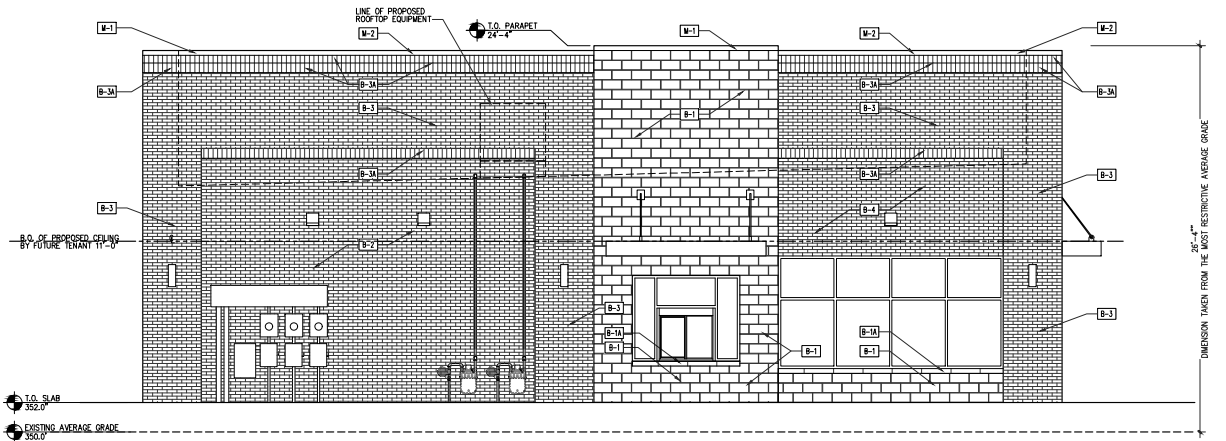
- SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
- COORD. WITH CIVIL DRAWINGS FOR GENERAL GRADING AND FINAL SURFACE ELEVATIONS.

305.7' IS MOST RESTRICTIVE GRADE
26'-4" IS AVERAGE RESTRICTIVE BUILDING HEIGHT



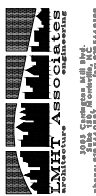
1 FRONT ELEVATION - NORTH
A201 SCALE: 1/4" = 1'-0"

NOTE: ALL GLASS ON THIS ELEVATION COMPLIES WITH ISO SECTION 1.5.3.8.4. GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 80% AND EXTERNAL REFLECTANCE OF LESS THAN 15%.



2 LEFT ELEVATION - EAST
A201 SCALE: 1/4" = 1'-0"

NOTE: ALL GLASS ON THIS ELEVATION COMPLIES WITH ISO SECTION 1.5.3.8.4. GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 80% AND EXTERNAL REFLECTANCE OF LESS THAN 15%.



LMT Project No. 20123

1005 Clingman Ave. Suite 200
Raleigh, NC 27605
Phone: 919.467.2218
www.lmt-associates.com

**SITE PLAN REVIEW
NOT FOR
CONSTRUCTION**

**PROJECT: RETAIL SHOPS
BUILDING #2
ATLANTIC AVE AND SPRING FOREST RD.
RALEIGH, NC 27615**

DRAWING: EXTERIOR ELEVATIONS

Revisions

REVISION DATE

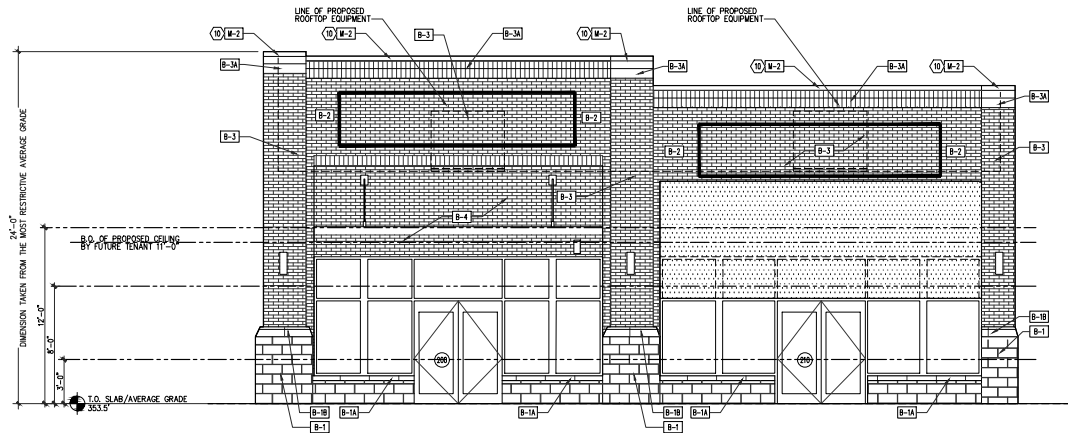
PROJECT DATE
07/13/2020

Drawn By
MTP

Checked By
TD

Sheet No.
A201

BUILDING 2

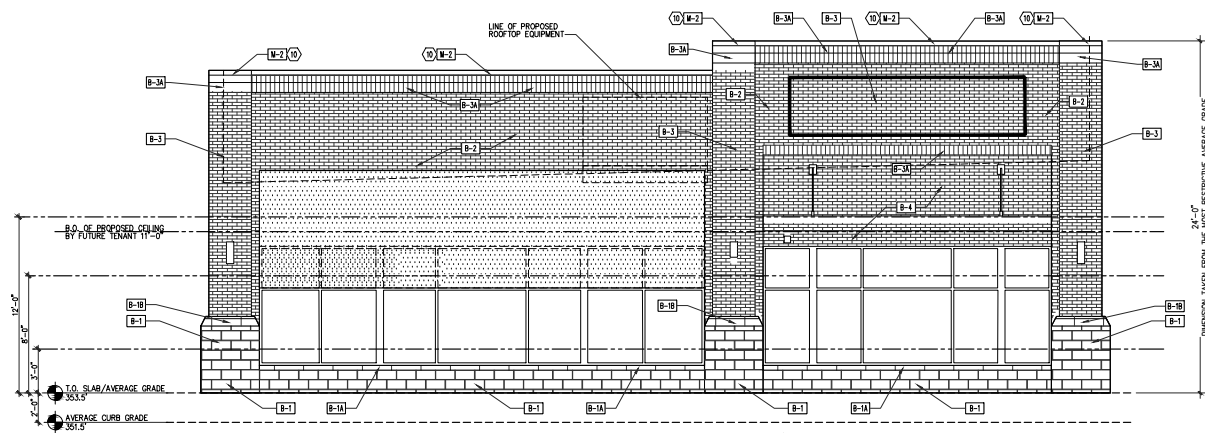


**PARKING LOT FACING
FRONT ELEVATION - SOUTH**
SCALE: 1/4" = 1'-0"

TRANSPARENCY CALCULATIONS

GROUND FLOOR FACADE MINIMUM TRANSPARENCY REQUIRED PER UDO BETWEEN 0'-0" AND 12'-0".

TOTAL FACADE AREA BETWEEN 0'-0" TO 12'-0"	596 SQ. FT.
33% TOTAL TRANSPARENCY REQUIRED ON ELEVATION	197 SQ. FT.
TOTAL TRANSPARENCY AREA BETWEEN 0'-0" TO 12'-0"	276 SQ. FT.
50% OF THE 33% TRANSPARENCY REQUIRED BETWEEN 3'-0" TO 8'-0"	98.5 SQ. FT.
TOTAL TRANSPARENCY AREA BETWEEN 3'-0" TO 8'-0"	172 SQ. FT.



**SPRING FOREST ROAD FACING
LEFT ELEVATION - WEST**
SCALE: 1/4" = 1'-0"

TRANSPARENCY CALCULATIONS

GROUND FLOOR FACADE MINIMUM TRANSPARENCY REQUIRED PER UDO BETWEEN 0'-0" AND 12'-0".

TOTAL FACADE AREA BETWEEN 0'-0" TO 12'-0"	737 SQ. FT.
33% TOTAL TRANSPARENCY REQUIRED ON ELEVATION	244 SQ. FT.
TOTAL TRANSPARENCY AREA BETWEEN 0'-0" TO 12'-0"	332 SQ. FT.
50% OF THE 33% TRANSPARENCY REQUIRED BETWEEN 3'-0" TO 8'-0"	122 SQ. FT.
TOTAL TRANSPARENCY AREA BETWEEN 3'-0" TO 8'-0"	266 SQ. FT.

EXTERIOR MATERIAL:	
MASONRY	
B-1	TYPE: ARCHITECTURAL MASONRY MANUFACTURER: ECHOLON MASONRY - TRENDSTONE COLOR: 4108-UP GROUT: HOLCM CHARCOAL GRAY SUPPLIER: ADAMS CONTACT: DAVID MCQUEEN TELEPHONE: 919-467-2218
B-1A	TYPE: ARCHITECTURAL MASONRY MANUFACTURER: ECHOLON MASONRY - TRENDSTONE COLOR: CHISEL FACE - MIDNIGHT SIZE: 8x24 AT WINDOW SILLS GROUT: HOLCM CHARCOAL GRAY SUPPLIER: ADAMS CONTACT: DAVID MCQUEEN TELEPHONE: 919-467-2218
B-1B	TYPE: ARCHITECTURAL MASONRY MANUFACTURER: ECHOLON MASONRY - TRENDSTONE COLOR: CHISEL FACE - MIDNIGHT SIZE: 8x24 AT WINDOW SILLS GROUT: HOLCM CHARCOAL GRAY SUPPLIER: ADAMS CONTACT: DAVID MCQUEEN TELEPHONE: 919-467-2218
B-2	TYPE: TRAD. BRICK WITH 3/8" JOINT MANUFACTURER: GLEN-GERY COLOR: SLATE (S15-1557) EASTLINE BRICK GROUT: HOLCM CHARCOAL GRAY SUPPLIER: ADAMS CONTACT: DAVID MCQUEEN TELEPHONE: 919-467-2218
B-2A	TYPE: MANUFACTURER: GLEN-GERY COLOR: SLATE (S15-1557) EASTLINE BRICK GROUT: HOLCM OYSTER WHITE SUPPLIER: ADAMS CONTACT: DAVID MCQUEEN TELEPHONE: 919-467-2218
B-3	TYPE: TRAD. BRICK WITH 3/8" JOINT MANUFACTURER: PALMETTO BRICK COLOR: WHITESTONE GROUT: HOLCM OYSTER WHITE SUPPLIER: ADAMS CONTACT: DAVID MCQUEEN TELEPHONE: 919-467-2218
B-3A	TYPE: SOLIDER BRICK MANUFACTURER: PALMETTO BRICK COLOR: WHITESTONE GROUT: HOLCM OYSTER WHITE SUPPLIER: ADAMS CONTACT: DAVID MCQUEEN TELEPHONE: 919-467-2218
B-4	TYPE: TRAD. BRICK WITH 3/8" JOINT MANUFACTURER: GENERAL SHALE COLOR: GRAYSTONE SMOOTH GROUT: HOLCM OYSTER WHITE SUPPLIER: ADAMS CONTACT: DAVID MCQUEEN TELEPHONE: 919-467-2218
METAL	
M-1	TYPE: 2-RIDGE FLEX SNIP-ON COMPRESSION EGGING MANUFACTURER: EXCEPTIONAL METALS COLOR: SW7059 IRON ORE
M-2	TYPE: 2-RIDGE FLEX SNIP-ON COMPRESSION EGGING MANUFACTURER: EXCEPTIONAL METALS COLOR: SW7064 PASSIVE WHITE
LIGHTING	
L-1	EXTERIOR LIGHTING TYPE: HALF ROUND SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
L-2	EXTERIOR LIGHTING TYPE: EMERGENCY FIXTURE SEE ELECTRICAL DRAWINGS FOR FURTHER INFORMATION
PAINT	
P-1	TYPE: PAINT MANUFACTURER: SHERWIN WILLIAMS COLOR: SW7069 IRON ORE LOCATION: METAL
AWNING	
A-1	TYPE: FABRIC AWNING

GENERAL NOTES:

- SUBMIT SHOP DRAWINGS TO ARCHITECT FOR APPROVAL.
- COORD. WITH CIVIL DRAWINGS FOR GENERAL GRADING AND FINAL SURFACE ELEVATIONS.

30.5' IS MOST RESTRICTIVE GRADE
24'-0" IS AVERAGE BUILDING HEIGHT

LMST Project No. 20146

3045 Clingman Ave. Ste. 200
Raleigh, NC 27605
919.467.4499

LMST ARCHITECTS
ARCHITECTS

**SITE PLAN REVIEW
NOT FOR
CONSTRUCTION**

PROJECT: **RETAIL SHOPS**
BUILDING #6
ATLANTIC AVE AND SPRING FOREST RD.
RALEIGH, NC 27615

DRAWING: **EXTERIOR ELEVATIONS**

Revisions

REVISION DATE

PROJECT DATE
07/13/2020

Drawn By
JBH

Checked By
TD

Sheet No.
A201.3

