



Administrative Approval Action

Case File / Name: ASR-0084-2021
DSLC - MONTAGUE PLAZA

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at the southwest corner of the intersection of Rock Quarry Rd and Olde Birch Drive. The site is located within the corporate city limits of the City of Raleigh. The current address listed as 2718 Rock Quarry Rd, PIN # 171286391

REQUEST: Development of a 15,015 square foot retail/restaurant building and associated infrastructure and parking. The existing property is 1.69 acres, zoned NX-3-PL-CL

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 14, 2022 by The Site Group, PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Label building height measurements from the average grade to top of roof on elevation sheets at SPR review. (UDO Section 1.5.7.)

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☒ Utility Placement Easement Required

☒ Transit Easement Required



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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

Public Utilities

3. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Transportation

5. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A demolition permit shall be obtained.



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Engineering

2. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.
3. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

4. Initiation of the easement abandonment process is required (begin with City of Raleigh Real Estate Office, and ending with abandonment of old easement on subsequent deed).
5. Utility re-alignment construction shall be substantially complete (to eliminate conflict with new building).

Stormwater

6. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
7. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
8. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

9. A tree impact permit must be obtained for the approved streetscape tree installations in the rights of way. This development proposes 7 street trees along Rock Quarry Road and 5 street trees along Olde Birch Drive for a total of 12 street trees.
10. A public infrastructure surety for 12 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all rights of way street trees by Urban Forestry Staff.



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Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: June 15, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alysis Bailey Taylor Date: 02/16/2022
Development Services Dir/Designee
Staff Coordinator: Cara Russell

Administrative Site Review Application

Planning and Development Services Bureau • 1711 Oberlin Road, Suite 400 • Raleigh, NC 27601 • (919) 496-0000

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building type and include the plan checklist document when submitting.

Office Use Only: Case # _____ Planner (print) _____

Please review UDO Section 10.2.8, as amended by local ordinance, to determine the site plan for the proposed development. The plan for the building type for which the application is submitted must be the same as the plan for the building type for which the application is submitted.

Site Plan Title: The Site Plan _____ The Three Site Plan _____

Building Type	General Information	Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	<input type="checkbox"/> Subdivision case #
<input type="checkbox"/> Attached	<input type="checkbox"/> Reconfig/alter plan case #	<input type="checkbox"/> Certificate of Appropriateness #
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	<input type="checkbox"/> Record of Adjustment #
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Other	<input type="checkbox"/> Administrative Records #

GENERAL INFORMATION

Development name: MONTAGUE PLAZA

Project address: 2718 Rock Quarry Road

Site P.I.N. (s): 1712-86-3917

Please describe the scope of work, include any additions, expansions, and change of use.

The construction of a 10,000 sq ft restaurant building and the associated infrastructure.

Current Property Owner/Developer Contact Name: James Montague

NOTE: please attach purchase agreement when submitting this form.

Company P.I. DEVELOPMENT

Address 318 Rock Quarry Road Raleigh NC 27601

Phone # 919-786-2540

Applian Name: Samuel R. Nye, PE

Company: The Site Group

Address 1111 Oberlin Road Raleigh NC 27605

Phone # 919-835-4787

Email: am@theaigroup.net

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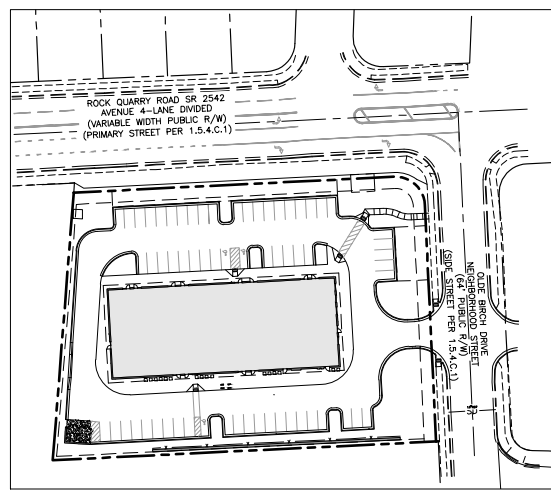
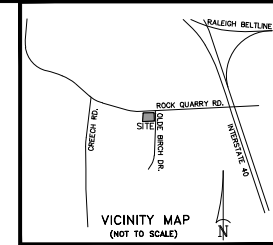
MONTAGUE PLAZA

2718 ROCK QUARRY ROAD

Raleigh, North Carolina

ADMINISTRATIVE SITE REVIEW

ASR-0084-2021



GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A DIGITAL SURVEY BY NEWCOMB LAND SURVEYOR PROVIDED BY BOBBITT GROUP, INC.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.

FLOODPLAIN NOTE:

THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PLAN, 32201712004 DATED MAY 2, 2006.

TREE CONSERVATION EXEMPTION:

TREE CONSERVATION IS NOT REQUIRED FOR SITE PLANS OF PARCELS LESS THAN 12 ACRES IN SIZE. (REFERENCE: RALEIGH UDO SECTION 9.2.2)

SOLID WASTE SERVICES NOTE:

THIS SITE WILL BE SERVED BY A PRIVATE REFUSE HAULER.

DEMOLITION PERMIT NOTE:

PRIOR TO BUILDING PERMIT, A DEMOLITION PERMIT FROM THE CITY OF RALEIGH DEMOLITION PERMIT NUMBERS MUST BE PLACED ON EXISTING CONDITIONS SHEET.

SITE DATA SUMMARY

PROJECT NAME:	MONTAGUE PLAZA
PROPERTY OWNER:	F7 DEVELOPMENT OPP NO LLC
PARCEL:	1712-86-3917
SITE ADDRESS:	2718 ROCK QUARRY RD
JURISDICTION:	CITY OF RALEIGH
ZONING:	NO-3-PL-CU
OVERLAY DISTRICT:	N/A
WATERSHED:	WALNUT CREEK
RIVER BASIN:	NEUSE
GROSS SITE AREA:	73,650 SF. / 1.691 AC.
R/W DEDICATION AREA:	2,833 SF. / 0.065 AC.
NET SITE AREA:	70,767 SF. / 1.625 AC.
CURRENT USE:	RESIDENTIAL
PROPOSED USE:	2,500 SF RESTAURANT 12,515 SF RETAIL
EXISTING BUILDING AREA:	BUILDING 1: 1,546 SF. BUILDING 2: 1,029 SF. TOTAL: 2,575 SF. 15,015 SF.
NEW BUILDING AREA:	28.5'
REQUIRED OUTDOOR AMENITY AREA:	7,077 SF. (10.0%)
PROVIDED OUTDOOR AMENITY AREA:	7,329 SF. (10.4%)
ADA OUTDOOR AMENITY AREA:	7,329 SF. / 7,329 SF. (100%)
EXISTING IMPERVIOUS AREA:	9,271 SF. / 0.213 AC.
PROPOSED IMPERVIOUS AREA:	57,808 SF. / 1.329 AC.
PARKING REQUIREMENTS:	RESTAURANT (2,500 SF) OR WHICHEVER IS > 1 SPACE PER 150 SF. = 17 SPACES REQ'D RESTAURANT (85 SEATS): 1 SPACE PER 300 SF. = 17 SPACES REQ'D RETAIL (12,515 SF.): 1 SPACE PER 300 SF. = 42 SPACES REQ'D TOTAL REQUIRED PARKING: 59 REQUIRED PROPOSED PARKING: 63 PROVIDED (3 VAN ACCESS ADA SPACES)
BICYCLE PARKING REQUIREMENTS:	RESTAURANT: 4 MIN (SHORT TERM) / 4 MIN (LONG TERM) RETAIL: 4 MIN (SHORT TERM)
REQUIRED BICYCLE PARKING SPACES:	8 (SHORT TERM) / 4 (LONG TERM)
PROVIDED BICYCLE PARKING SPACES:	8 (SHORT TERM) / 4 (LONG TERM)
BUILDING SETBACKS:	FROM PRIMARY STREET (MIN) 5' FROM SIDE STREET (MIN) 5' FROM SIDE LOT LINE (MIN) 0' OR 5' FROM REAR LOT LINE (MIN) 0' OR 6'
PARKING SETBACKS:	FROM PRIMARY STREET (MIN) 10' FROM SIDE STREET (MIN) 10' FROM SIDE LOT LINE (MIN) 0' OR 3' FROM REAR LOT LINE (MIN) 0' OR 3'
WE HAVE INCLUDED IMPERVIOUS SURFACES ALONG THE PROPERTY ROAD FRONTAGE FROM THE EXISTING BACK OF CURB INTO THE PROPERTY IN THIS CALCULATION.	

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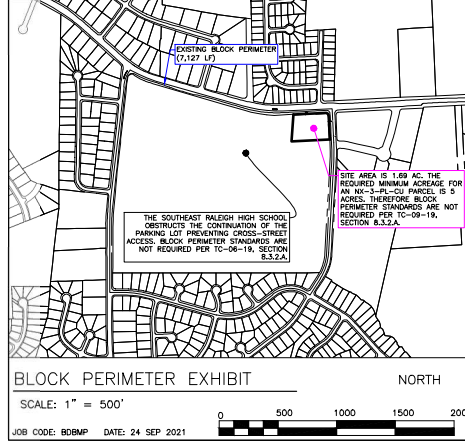
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ZONING CONDITIONS

ORDINANCE NO. (2013) 15520884

ADOPTED: 2/19/13 EFFECTIVE: 2/19/13

2-10-13 - ROCK QUARRY ROAD LOCATED ON THE SOUTHWEST QUADRANT OF ITS INTERSECTION WITH ROCK QUARRY ROAD AND OLIVE BRICK ROAD, APPROXIMATELY 1.69 ACRES ARE TO BE REZONED FROM RESIDENTIAL-6 TO NEIGHBORHOOD BUSINESS CONDITIONAL USE DISTRICT.

CONDITIONS DATED: 02/13/13

NARRATIVE OF CONDITIONS BEING REQUESTED:

- THE FOLLOWING USES ARE EXCLUDED: MULTIFAMILY DWELLINGS, HOTELS, MOTELS, ADULT ESTABLISHMENTS, EMERGENCY SHELTERS, BARS, NIGHTCLUBS, TOWNHOMES, LOUNGES, STADIUMS, AMPHITHEATERS, RACE TRACKS, RIFLE RANGES, PENAL FACILITIES, TOWNHOMES, ARCADES, POOL HALLS, AND AN ABC STORE UNLESS MANDATED BY LOCAL, STATE OR FEDERAL LAW.

COMPLIANCE RESPONSE: NONE OF THE PROHIBITED USES ARE PROPOSED FOR THIS PROPERTY.

- RESIDENTIAL DENSITY SHALL NOT EXCEED 6 DWELLING PER ACRE.

COMPLIANCE RESPONSE: NO RESIDENTIAL DEVELOPMENT PROPOSED FOR THIS PROPERTY.

- PRIOR TO SUBDIVISION OF THE PROPERTY OR THE ISSUANCE OF A BUILDING PERMIT FOR THE PROPERTY, WHICHEVER SHALL OCCUR FIRST, A TRANSIT EASEMENT MEASURING TWENTY (20) FEET ALONG ROCK QUARRY ROAD BY FIFTY (15) FEET SHALL BE GRANTED TO THE CITY PURSUANT TO A TRANSIT EASEMENT DEED APPROVED BY THE CITY ATTORNEY AND RECORDED IN THE WAKE COUNTY REGISTRY.

COMPLIANCE RESPONSE: A 20'X15' TRANSIT EASEMENT LOCATION HAS BEEN SHOWN ON PA 3.0.

DRAWINGS INDEX:

PA 1.0	COVER SHEET
PA 2.0	EXISTING CONDITIONS & DEMO PLAN (BOUNDARY SURVEY)
PA 3.0	SITE LAYOUT PLAN
PA 4.0	GRADING & DRAINAGE PLAN
PA 5.0	UTILITY PLAN
PA 6.0	LANDSCAPE PLAN
21-0424A	DUKE ENERGY LIGHTING PLAN
PA 7.0	SITE DETAILS
PA 7.1	SITE DETAILS
PA 7.2	SITE DETAILS
PA 7.3	SITE DETAILS
PA 7.4	SITE DETAILS
SA 1.0	BUILDING ELEVATIONS (BY OTHERS)

CONTACT: SAMUEL R. NYE, PE
THE SITE GROUP, PLLC
1111 OBERLIN ROAD
RALEIGH, NC 27605
PHONE: (919) 835-4787
FAX: (919) 835-2255
EMAIL: sm@theaigroup.net

CLIENT: BLAIR PITTMAN
BOBBITT GROUP, INC.
600 GERMAN TOWN RD.
RALEIGH, NC 27602
PHONE: (919) 800-4596
E-MAIL: bpitman@bobbitt.com



COVER SHEET

SCALE: 1" = 50'

(DRAWING SCALED FOR 24X36 INCH PLOTS)

0 50 100 150 200

[NOT FOR CONSTRUCTION]

THE SITE GROUP
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

1111 Oberlin Road

Raleigh, NC 27605

Phone: 919.835.4787

Fax: 919.835.2255

E-Mail: sm@theaigroup.net

ADMINISTRATIVE SITE PLAN (ASR-0084-2021) FOR:

MONTAGUE PLAZA

2718 ROCK QUARRY ROAD

RALEIGH, NORTH CAROLINA

Drawn by RLA

Checked by SRN

DATE: 29 SEP 2021

REVISED: 29 NOV 2021

14 JAN 2022

ADMINISTRATIVE SITE PLANS

COVER SHEET

Job Code BDBMP

Dwg No. PA 1.0

Scale 1" = 50'

0 50 100 150 200

[NOT FOR CONSTRUCTION]

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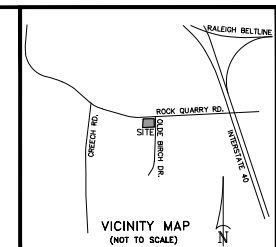
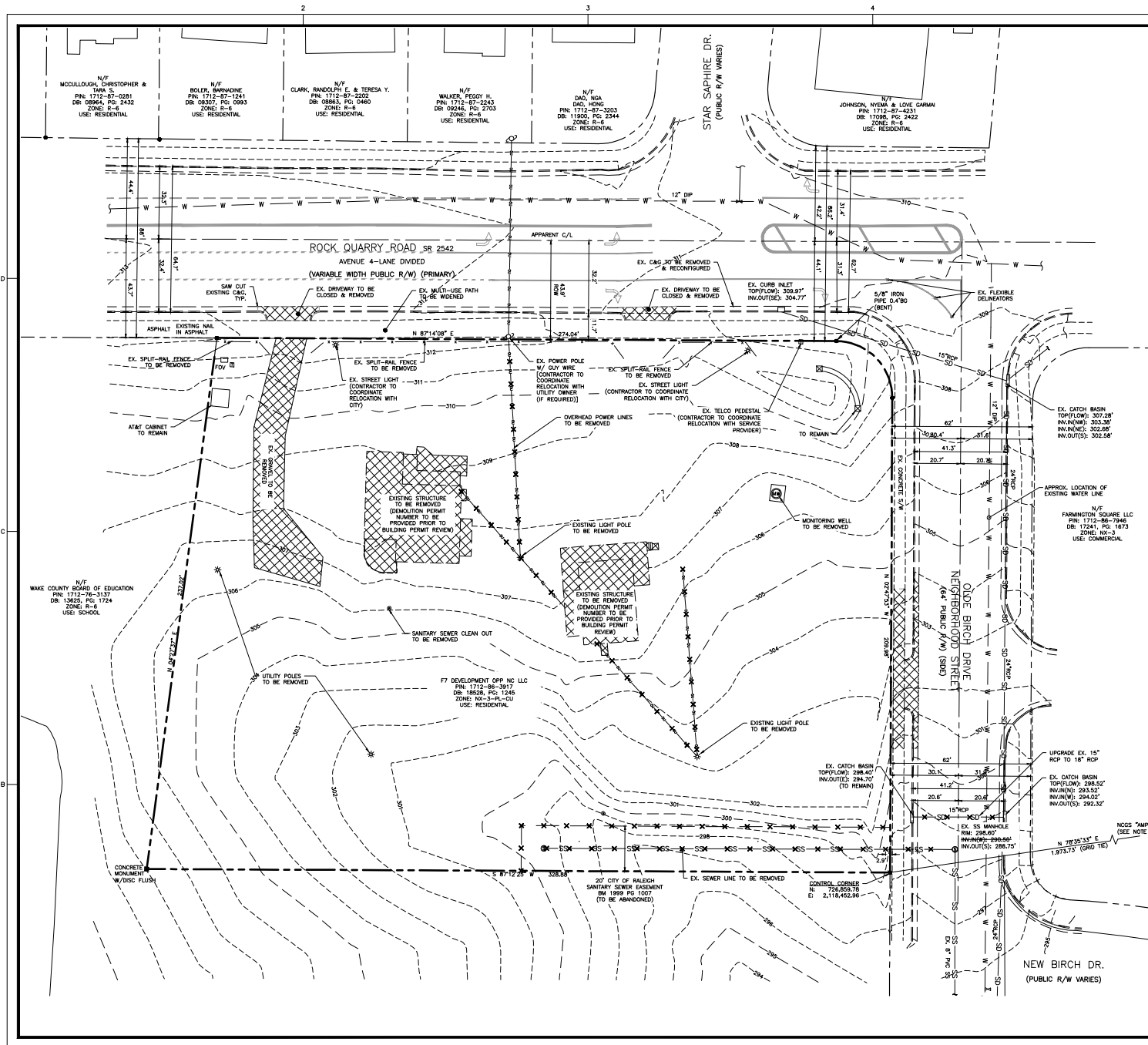
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SURVEY LEGEND

SYMBOLS	LINE TYPES
● Ex. iron pipe/red soil	—X— Fence
■ Ex. concrete monument	—OU— Overhead utility
— New iron pipe	—W— Water
● Calculated point	—SS— Sanitary sewer
— Cable pedestal	—SD— Storm drain
— Telephone pedestal	
— Electric pedestal	
— Traffic signal box	
— Water meter	
— Fire hydrant	
— Valve (water or gas)	
— Sanitary sewer manhole	
— Sanitary sewer cleanout	
— Storm curb inlet	
— Drainage inlet (w/ grate)	
— Storm drain manhole	
— Utility pole	
— Lamp post	
— Signal pole	
— Guy wire	
— Sign post	

ABBREVIATIONS

DB	Deed Book
PB or BM	Plot Book / Book of Maps
N/F	Now or formerly
Pp.	Page
SF	Square feet
Ac.	Acres
R/W	Right-of-way
NCSP	North Carolina State Route
NCDOT	North Carolina Dept. of Transportation
R/W	Right-of-way
EX	Existing
RCP	Reinforced concrete pipe
PVC	Polyvinyl chloride pipe
SP	Signal pole
(M)	Measured
AG	Above ground
BQ	Below ground

LINE LEGEND

---	PROPERTY BOUNDARY LINE
---	ADJACENT LOT LINE
---	SETBACK LINE
---	EXISTING EASEMENTS
---	EXISTING BUFFER LINE
---	EXISTING FENCE LINE
---	EXISTING ROW LINE
---	PROPOSED ROW LINE
---	EX. SANITARY SEWER LINE
---	EX. WATER LINE
---	EXISTING STORM DRAIN LINE
---	EXISTING OVERHEAD POWER

- GENERAL NOTES**
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 - ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
- North Arrow**
- SCALE: 1" = 20'**
- NOT FOR CONSTRUCTION**

THE SITE GROUP
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

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ADMINISTRATIVE SITE PLAN (ASR-0084-2021) FOR:
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2718 ROCK QUARRY ROAD
RALEIGH, NORTH CAROLINA

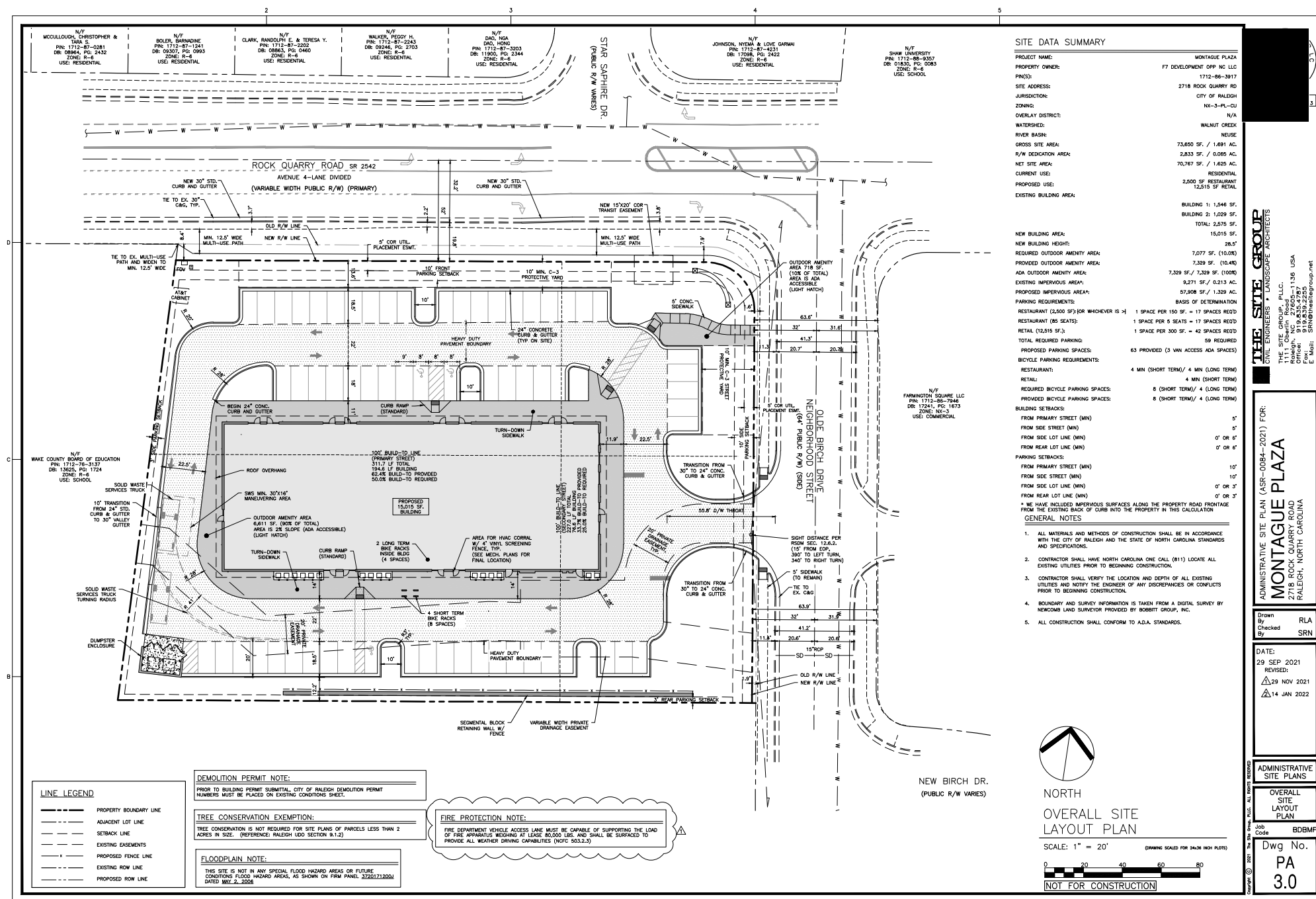
Drawn By: RLA
Checked By: SRN

DATE: 29 SEP 2021
REVISED: 14 JAN 2022

ADMINISTRATIVE SITE PLANS

EXISTING CONDITIONS & DEMOLITION PLAN

Job: BDBMP
Dwg No.: PA 2.0



THE SITE GROUP
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

ADMINISTRATIVE SITE PLAN (ASR-0084-2021) FOR:
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RALEIGH, NORTH CAROLINA

Drawn	
By	RLA
Checked	
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DATE:
29 SEP 2021
REVISED:
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② 14 JAN 2022

ADMINISTRATIVE
SITE PLANS

OVERALL
SITE
LAYOUT
PLAN

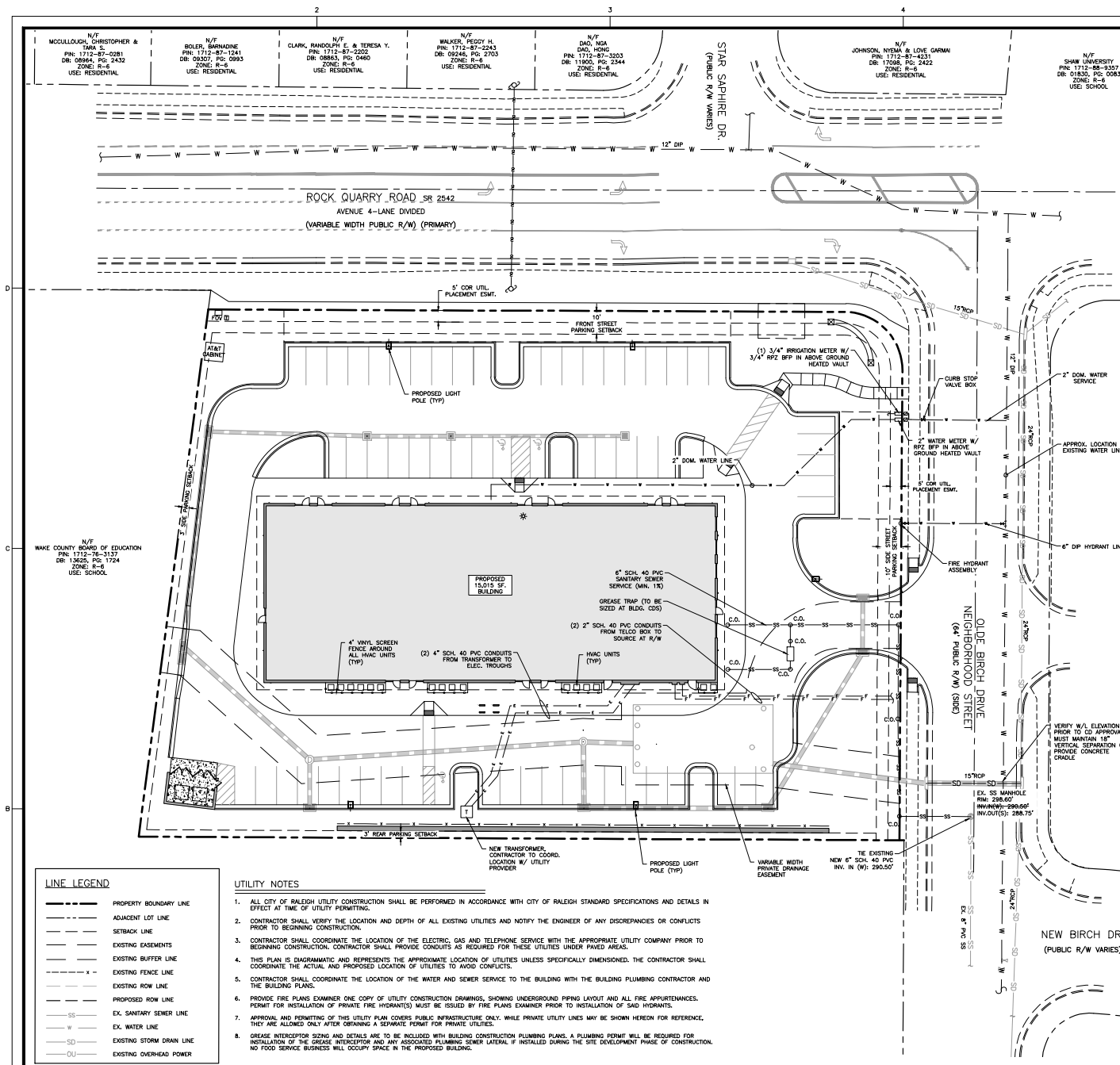
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3.0



GENERAL LIGHTING NOTES

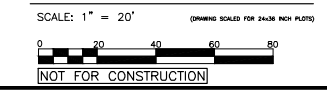
1. LIGHT POLES ARE TO BE LOCATED 20' (MIN) AWAY FROM CANOPY TREES.
2. FIXTURE SYMBOLS ARE ILLUSTRATIVE AND HAVE BEEN INCREASED IN SIZE.
3. DUNE ENERGY PROGRESS SERVICE IS AVAILABLE FOR THIS SITE. FINAL PHOTOMETRICS TO BE PER DUKE ENERGY LAYOUT.
4. LIGHT FIXTURES TO BE FULL CUT OFF PER IDO SECTION 7.4.5.E.

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1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. BOUNDARY AND SURVEY INFORMATION IS TAKEN FROM A DIGITAL SURVEY BY NEWCOMB LAND SURVEYOR PROVIDED BY BOBBITT GROUP, INC.
5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.



NORTH
UTILITY
PLAN



THE SITE GROUP
CIVIL ENGINEERS • LANDSCAPE ARCHITECTS

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ADMINISTRATIVE SITE PLAN (ASR-0084-2021) FOR:
MONTAGUE PLAZA
2718 ROCK QUARRY ROAD
RALEIGH, NORTH CAROLINA

Drawn By: RLA
Checked By: SRN

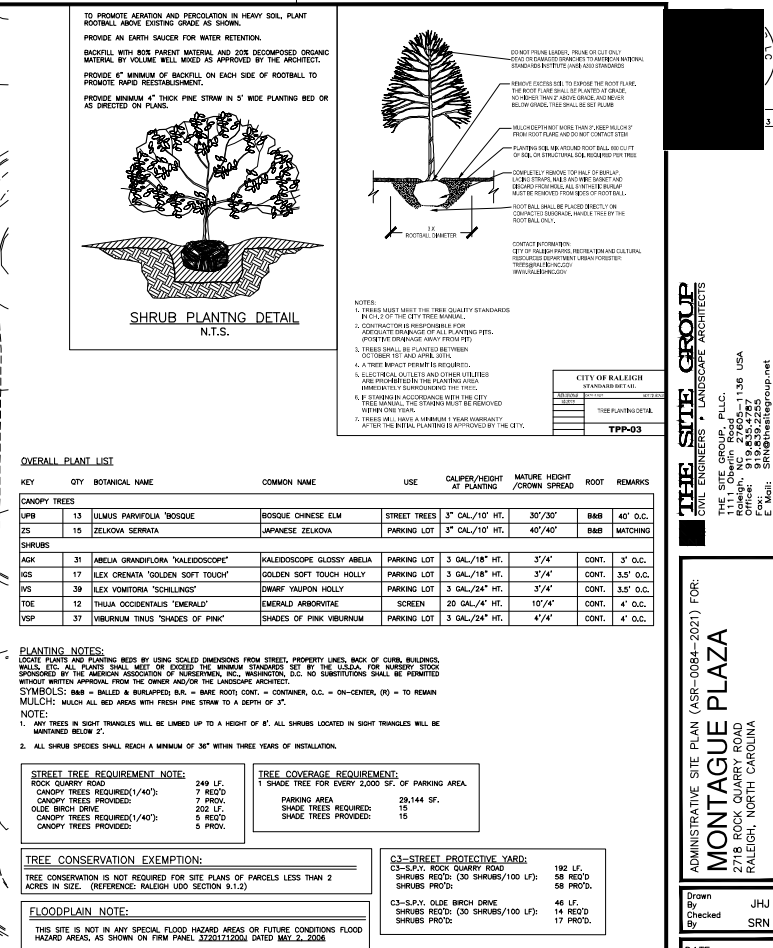
DATE:
29 SEP 2021
REVISED:
29 NOV 2021
14 JAN 2022

ADMINISTRATIVE
SITE PLANS

UTILITY
PLAN

Job Code: BDBPM

Dwg. No.
PA 5.0



6.0

