

Administrative Approval Action

Case File / Name: ASR-0084-2021 DSLC - MONTAGUE PLAZA

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at the southwest corner of the intersection of Rock Quarry Rd

and Olde Birch Drive. The site is located within the corporate city limits of the City of Paleigh. The current address listed as 2718 Pock Quarry Rd. PIN # 171286301

of Raleigh. The current address listed as 2718 Rock Quarry Rd, PIN # 171286391 Development of a 15,015 square foot retail/restaurant building and associated

infrastructure and parking. The existing property is 1.69 acres, zoned NX-3-PL-CL

DESIGN

REQUEST:

ADJUSTMENT(S)/

ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of

approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated January 14, 2022 by The

Site Group, PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Label building height measurements from the average grade to top of roof on elevation sheets at SPR review. (UDO Section 1.5.7.)

Stormwater

- 2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
- 3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
- 4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

☑ <u>LEGAL DOCUMENTS</u> - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

☑ Utility Placement Easement Required
 ☑ Transit Easement Required



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☑ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

- 1. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
- 2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

Public Utilities

3. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

 All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Transportation

5. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A demolition permit shall be obtained.



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Engineering

- A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.
- 3. A public infrastructure surety shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

- 4. Initiation of the easement abandonment process is required (begin with City of Raleigh Real Estate Office, and ending with abandonment of old easement on subsequent deed).
- Utility re-alignment construction shall be substantially complete (to eliminate conflict with new building).

Stormwater

- All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
- 7. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
- 8. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

- A tree impact permit must be obtained for the approved streetscape tree installations in the rights of way. This development proposes 7 street trees along Rock Quarry Road and 5 street trees along Olde Birch Drive for a total of 12 street trees.
- 10. A public infrastructure surety for 12 street trees shall be provided to City of Raleigh Transportation Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all rights of way street trees by Urban Forestry Staff.



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City of Raleigh **Development Services Department** One Exchange Plaza Raleigh, NC 27602 (919) 996-2492 currentplanning@raleighnc.gov www.raleighnc.gov

Stormwater

- As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
- 3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: June 15, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:	Alysia Baile	y Taylor	Date:	02/16/2022
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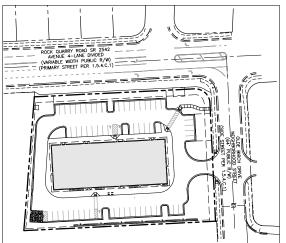
Development Services Dir/Designee

Staff Coordinator: Cara Russell

nning and Development Gustomer Service Cente	r • One Exchange Pt	Application No. Burle 400 Rainigh, NC 27801 919-990-2000 Rainigh			
	plans as referen ing types and in	oed in Unified Development Ordinance (UDO) Section clude the plan checkflat document when submitting.			
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istance determining a Site Plan Tier is mit and Development Portal. (Note: Th	needed a Site P ere is a fee for t	nange case TC-14-10 to determine the site plan fier. If lan Tier Verification request can be submitted online via the nis verification service.)			
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ent Property Owner/Developer Conta E: please attach purchase agreem peny: F7 DEVELOPMENT	ent when subn	titing this form. Title: Manager			
ress: 918 Rock Quarry Road Ralei	gh NC 27601 Email: mon	les/7@gmail.com			
lcant Name: Samuel R. Nye, PE spany: The Site Group	Address: 11	test7 (gymail.com 111 Oberlin Road Raleigh NC 27605 (ghealtegroup.net			
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MONTAGUE PLAZA 2718 ROCK QUARRY ROAD Raleigh, North Carolina

ADMINISTRATIVE SITE REVIEW ASR-0084-2021



		ZONING CONDITIONS
		ORDINANCE NO. (2013) 1552C884 ADOPTED: 2/19/13 EFFECTIVE: 2/19/13
EXSING BLOOK PERMITER (7,127 U)		Z-10-13 - ROCK QUARRY ROAD LOCATED ON THE SOUTHWEST QUADRANT OF ITS INTERSECTION WITH ROCK QUARRY ROAD AND QUE BIRCH ROAD, APPROMMATELY 1.69 ACRES ARE TO BE REZOND FROM RESIDENTIAL—6 TO NEIGHBORHOOD BUSINESS CONDITIONAL USE DISTRICT.
		CONDITIONS DATED: 02/13/13
	TH // / \\	NARRATIVE OF CONDITIONS BEING REQUESTED:
	SITE AREA IS 1.69 AC. THE REQUIRED MINIMUM ACREAGE FOR AN NX-3-PL-CU PARCEL IS 5 ACRES. THEREFORE BLOCK	1. THE FOLLOWING DIES ARE DICLIFED HUSTIMALY ORIGINAS, MOTES AND STREAMENING SERVICES, MOTES,
THE SOUTHEAST PALEIGH HIGH SCHOOL	PERIMETER STANDARDS ARE NOT REQUIRED PER TC-09-19.	COMPLIANCE RESPONSE: NONE OF THE PROHIBITED USES ARE PROPOSED FOR THIS PROPERTY.
OBSTRUCTS THE CONTINUATION OF THE PARKING LOT PREVENTING CASS—STREET ACCESS—BLOCK PERMETER STANDARDS ARE NOT REQUIRED PER TC-06-19, SECTION 8.3.2.A.	SECTION 8.3.2.A	RESIDENTIAL DENSITY SHALL NOT EXCEED 6 DWELLING PER ACRE.
6.3.2.4.	<i>]</i>	COMPLIANCE RESPONSE: NO RESIDENTIAL DEVELOPMENT PROPOSED FOR THIS PROPERTY.
	/// I	
	W /\>	 PRIOR TO SUBDIVISION OF THE PROPERTY OR THE ISSUANCE OF A BUILDING PERMIT FOR THE PROPERTY, WHICHEVER SHALL OCCUR
		FIRST, A TRANSIT EASEMENT MEASURING TWENTY (20) FEET ALONG ROCK QUARRY ROAD BY FIFTEEN (15) FEET SHALL BE GRANTED TO
		THE CITY PURSUANT TO A TRANSIT EASEMENT DEED APPROVED BY THE CITY ATTORNEY AND RECORDED IN THE WAKE COUNTY REGISTRY.
BLOCK PERIMETER EXHIBIT	NORTH	COMPLIANCE RESPONSE: A 20"X15" TRANSIT EASEMENT LOCATION HAS BEEN SHOWN ON PA 3.0.
SCALE: 1" = 500'	1000 1500 200	
JOB CODE: BDBMP DATE: 24 SEP 2021	1000 1900 200	T

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS

- 5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.

FLOODPLAIN NOTE:

TREE CONSERVATION EXEMPTION:

TREE CONSERVATION IS NOT REQUIRED FOR SITE PLANS OF PARCELS LESS THAN 2 ACRES IN SIZE. (REFERENCE: RALEIGH UDO SECTION 9.1.2)

SOLID WASTE SERVICES NOTE:

THIS SITE WILL BE SERVED BY A PRIVATE REFLISE HALLER

DRAWINGS INDEX:

COVER SHEET

SITE LAYOUT PLAN GRADING & DRAINAGE PLAN

UTILITY PLAN LANDSCAPE PLAN LANDSCAPE PLAN
DUKE ENERGY LIGHTING PLAN
SITE DETAILS
SITE DETAILS
SITE DETAILS SITE DETAILS SITE DETAILS SITE DETAILS SAND FILTER DETAILS BUILDING ELEVATIONS

EXISTING CONDITIONS & DEMO PLAN (BOUNDARY SURVEY)

DEMOLITION PERMIT NOTE:

SITE DATA SUMMARY

NEW BUILDING AREA:

PROJECT NAME: F7 DEVELOPMENT OPP NC LLC PIN(S): 1712-86-3917 SITE ADDRESS: 2718 ROCK QUARRY RD ZONING: NX-3-PL-CU OVERLAY DISTRICT DIVED DACING 73,650 SF. / 1.691 AC. GROSS SITE AREA: R/W DEDICATION AREA 2,833 SF. / 0.065 AC. NET SITE AREA: 70,767 SF. / 1.625 AC. CURRENT USE: RESIDENTIAL 2,500 SF RESTAURANT 12,515 SF RETAIL PROPOSED LISE: EXISTING BUILDING AREA:

VICINITY MAP

BUILDING 2: 1,029 SF. TOTAL: 2.575 SE. 15,015 SF.

NEW BUILDING HEIGHT: REQUIRED OUTDOOR AMENITY AREA 7,077 SF. (10.0%) PROVIDED OUTDOOR AMENITY AREA: 7,329 SF. (10,4%) 7,329 SF./ 7,329 SF. (100%) EXISTING IMPERMIOUS AREA*: 9,271 SF./ 0.213 AC. PROPOSED IMPERVIOUS AREAS 57,908 SF./ 1,329 AC. ARKING REQUIREMENTS: BASIS OF DETERMINATION RESTAURANT (2,500 SF): OR WHICH 1 SPACE PER 150 SF. = 17 SPACES REQ'D RESTAURANT (85 SEATS); 1 SPACE PER 5 SEATS = 17 SPACES REO'D RETAIL (12,515 SF.): 1 SPACE PER 300 SF. = 42 SPACES REQ'D TOTAL REQUIRED PARKIN PROPOSED PARKING SPACES: BICYCLE PARKING REQUIREMENTS:

RESTAURANT: DETAIL -4 MIN (SHORT TERM) 8 (SHORT TERM)/ 4 (LONG TERM) REQUIRED BICYCLE PARKING SPACES: PROVIDED BICYCLE PARKING SPACES: 8 (SHORT TERM)/ 4 (LONG TERM) BIH DING SETBACKS

FROM PRIMARY STREET (MIN) FROM SIDE STREET (MIN) FROM SIDE LOT LINE (MIN FROM REAR LOT LINE (MIN) 0" OR 6" PARKING SETBACKS:

FROM SIDE STREET (MIN) FROM SIDE LOT LINE (MIN) 0' OR 3' * WE HAVE INCLUDED IMPERVIOUS SURFACES ALONG THE PROPERTY ROAD FRONTAGE FROM THE EXISTING BACK OF CURB INTO THE PROPERTY IN THIS CALCULATION

SCALE: 1" = 50'

COVER SHEET

NOT FOR CONSTRUCTION

CIVIL ENGINE
CIVIL ENGINE
THE SITE GR
1111 Obserlin
Raleigh, NC
Raleigh, NC
Raleigh, NC
Price: 919
Fox: 919
E Mail: SRN

Ϋ́ P.S.R.-MONTAGUE
2718 ROCK QUARRY ROAI
RALEIGH, NORTH CAROLIN

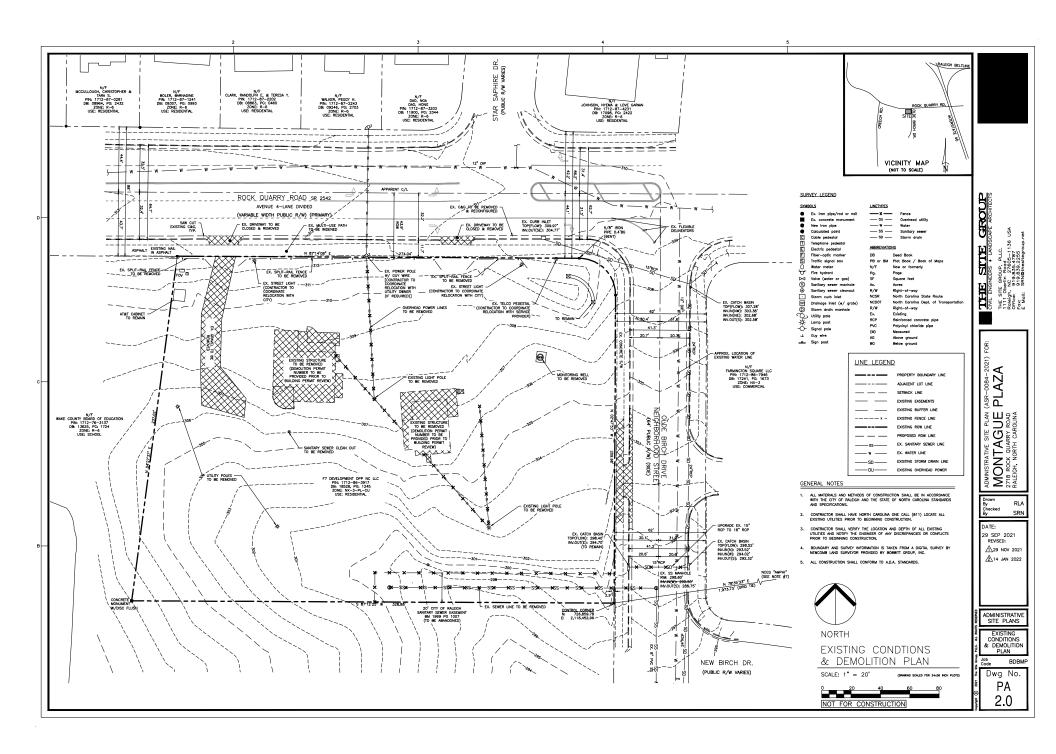
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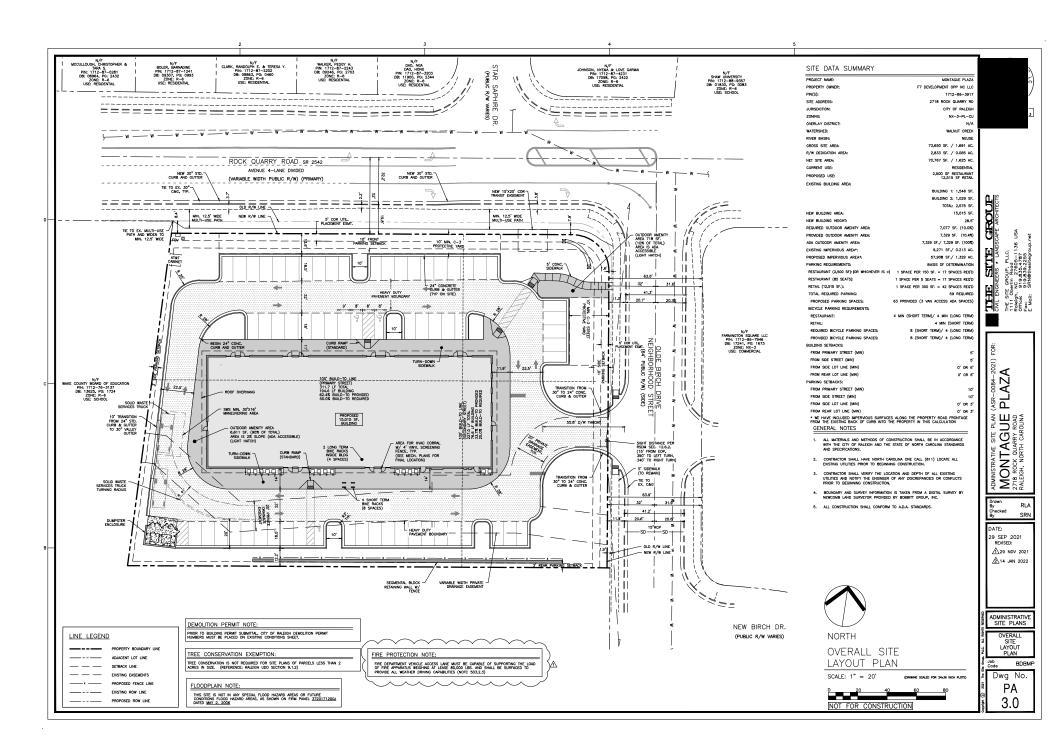
29 SEP 2021 A 29 NOV 2021 **△**14 JAN 2022

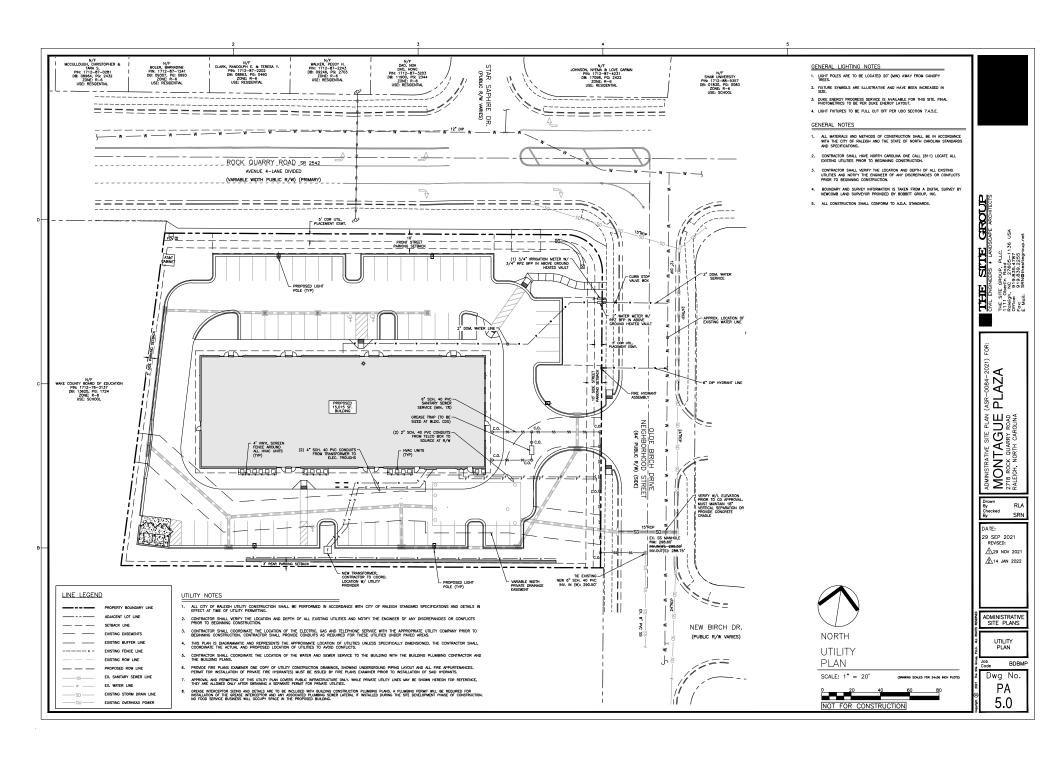
ADMINISTRATIVE SITE PLANS

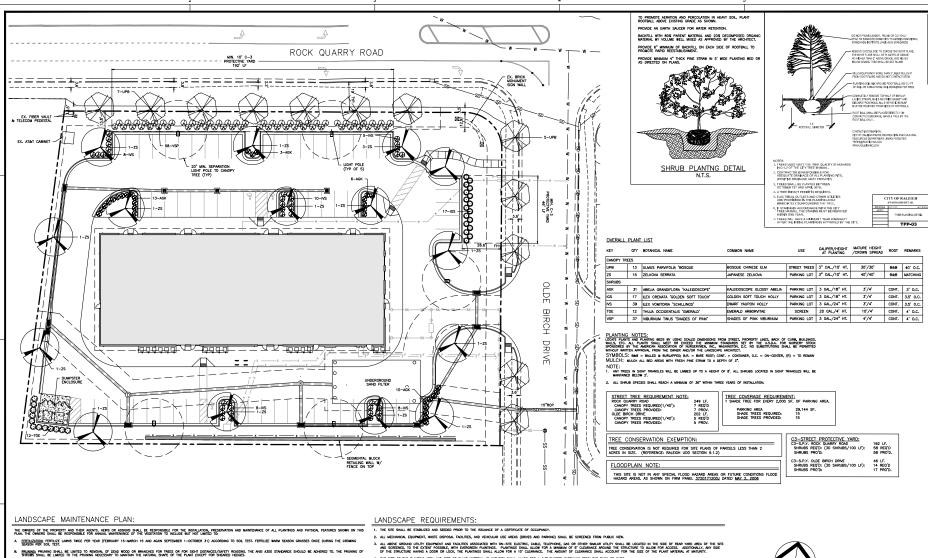
COVER SHEET BDBME

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- D. MULCHING MULCHING SHALL BE MAINTAINED AT A DEPTH OF 2-3" IN SHRUB BEDS. MULCH SHALL BE REAPPLIED EVERY TWO YEARS, AS NECESSARY TO MAINTAIN THE AVERAGE DEPTH OF THE PLANT BED.
- NOWING, PRIMARY FESCUE LAWNS SHALL BE MANTAINED AT A HEIGHT OF 3" AND SHALL BE MONED APPROXIMATELY 30 TIMES PER YEAR, SECONDARY TURF AREAS MAY BE MANTAINED HIGHER AND LESS FREQUENTLY, WARM SEASON GRASSES SHALL BE MONED AS NEEDED DURING THE GROWING SEASON TO MAINTAIN THE RECOMMENDED HEIGHT OF THE SPECIES OF TURF GRASS.

FAILURE TO MAINTAIN REQUIRED LANDSCAPE AREAS SHALL CONSTITUTE A VIOLATION OF THIS UDD ENFORCEMENT

- F. PLANT PROTECTION: AVOID EXCESS INTRUSION INTO THE ROOT ZONE AREA OF ESTABLISHED PLANTINGS.
- 6. MALERING: IF MAY IRROATION SYSTEM IS UTILIZED, THE SYSTEM SHALL BE REGULATED TO PROVIDE APPROXIMATELY 1" OF RAINFALL PER WEEK DURING THE GROWING SEASON. (PENDING CITY OF RALEDH MALTE AFRIRAGINES SUPPLYED.)
- H. <u>ELAST BEPLACENDS</u> ANY REQUIRED PLANING, WHICH IS REMORD OR DIES AFTER DATE OF PLANTING SHALL BE REPLACE DURING THE NEXT PLANTING SEASON, ALSO, ANY TREE IN A THEE PRESERVATION AREA WHICH IS REMOVED OR DIES SHALL BE REPLACED DURING THE NEXT PLANTING SEASON.
- 5. NO TREE SHALL BE LOCATED WITHIN A ROADWAY RIGHT OF WAY OR WITHIN 5' OF A SIDEWALK AND WITHIN 20' OF A LIGHTING LOCATION
- 6. ALL SHRUBS INSTALLED AS VEHICULAR USE SCREENING WILL BE MAINTAINED AS A CONTINUOUS HEDGE AT A MINIMUM HEIGHT OF 36 INCHES.
- 7. WHERE DISTING OR PROPOSED VECETATION FALS TO FUNCTION ADEQUATELY AS REQUIRED, THE CITY OF RALEIGH SITE INSPECTIOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PUNITINGS IN ADDITION TO THOSE SHOWN ON THE LANGSOMME PLAN BASED ON ACTUAL FIELD CONCRITIONS.
- 8. UPON ESTABLISHMENT OF PRISHED GRIDES AND PRIOR TO BECINNING INSTALLATION OF ANY TREES, A SOL AMENDMENT SCHEDULE FOR ALL TREE PLANTINGS SHALL BE PREPARED BY A CERTIFIED LANDSCHIPE ARCHITECT AND BE PROVIDED TO THE CITY OF PALLISH PLANNING DEPARTMENT.
- 9. PRICE TO THE ISSUMCE OF A CERTIFICATE OF OCCUPANCY, A CERTIFICD STATEMENT SHALL BE PROVIDED TO TOWN STAFF SITE INSPECTION ATTESTING TO THE FACT THAT THE SOLL AMBIGNORY SCHEDULE WAS FOLLING AS SPICETION IN THE APPROVED SITE AMB/CRE SUBGISSION PLAN. THIS STATEMENT SHALL BE CERTIFIED BY A RECISITED LANGSCAPE ARCHITECT, CERTIFIED ARBORST, OR OTHER SPECIALIST AS CERTIFIED BY A RECISITED LANGSCAPE ARCHITECT, CERTIFIED ARBORST, OR OTHER SPECIALIST AS CERTIFIED BY A RECISITED LANGSCAPE ARCHITECT, CERTIFIED ARBORST, OR OTHER SPECIALIST AS CERTIFIED AND ASSETTING ASSETTING

11. ALL FOUNDATION PLANTINGS SHALL BE DESIGNED TO CITY OF RALEICH UDD SECTION REQUIREMENTS.
THE CITY OF RALEICH SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE ADDITIONAL PLANTINGS BASED ON ACTUAL FIELD CONDITIONS



NORTH

LANDSCAPE PLAN

SCALE: 1" = 20' (DRAWING SCALED FOR 24x36 INCH PLOTS)



CHROLIP SCAPE ARCHITECTS USA 36 STIE ERS : LAND

(ASR-0084-202 **PLAZA**

ADMINISTRATIVE SITE PLAN (4
MONTAGUE F
2718 ROCK QUARRY ROAD
RALEIGH, NORTH CAROLINA

Checked SRI

DATE: 29 SEP 2021 REVISED:

129 NOV 2021 **△**14 JAN 2022

ADMINISTRATIV SITE PLANS

LANDSCAPE PLAN

Dwg No. PA 6.0

