



Administrative Approval Action

Case File / Name: ASR-0084-2022
DSLCL - OBERRY CONDOS PHASE 2

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Wade Avenue, east of Dixie Trail at 2900 & 2908 Oberry Street.

REQUEST: Development of a vacant 1.006 acre/43,836 sf site zoned R-10 SRPOD, with .0234 acres/1,023 sf of right-of-way dedication, leaving a net area of .9829 acres/42,812 sf. A proposed development of two, 3-story, condominium buildings utilizing the townhome building type, consisting of 10 residential units totaling 30,900 square feet of gross floor area (15,450 sf/building).

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated May 11, 2023 by LEGACY CUSTOM HOMES.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Label the amenity are sf for the designed area in the rear of building units 6-10, on sheet C3.01

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:



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Engineering

1. A fee-in-lieu for 1ft of sidewalk along the frontage of lot 2 is paid to the City of Raleigh (UDO 8.1.1)
2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

3. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
6. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
7. The flood prone areas, as approved by the City Stormwater Engineer and shown on the preliminary plan, shall be shown on the recorded map (UDO 9.3.3.G).
8. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
9. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General



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1. A recombination map shall be recorded, recombining the existing lots into a single tract.

Urban Forestry

2. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 10 street trees along Oberly St.
3. A public infrastructure surety for the 10 required street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. All street lights and street signs required as part of the development approval are installed.

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

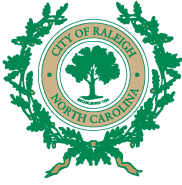
EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: June 14, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



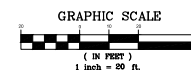
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I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 06/14/2023
Development Services Dir/Designee
Staff Coordinator: **Jermont Purifoy**



CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NC DOT STANDARDS.
2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
4. PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTRACT ENGINEERING INSPECTIONS AT (919) 996-4858 TO SET UP THE MEETING.
5. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET. TRAVEL LANE PARKING SPACE ON SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR. SEE RIGHT-OF-WAY CLOSURE ON WWW.RALEIGH.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAY@RALEIGH.GOV.
6. PRIOR TO CONSTRUCTION BEGINNING, ALL STORAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
7. THE CONTRACTOR SHALL REPAIR ANY DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
8. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
9. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

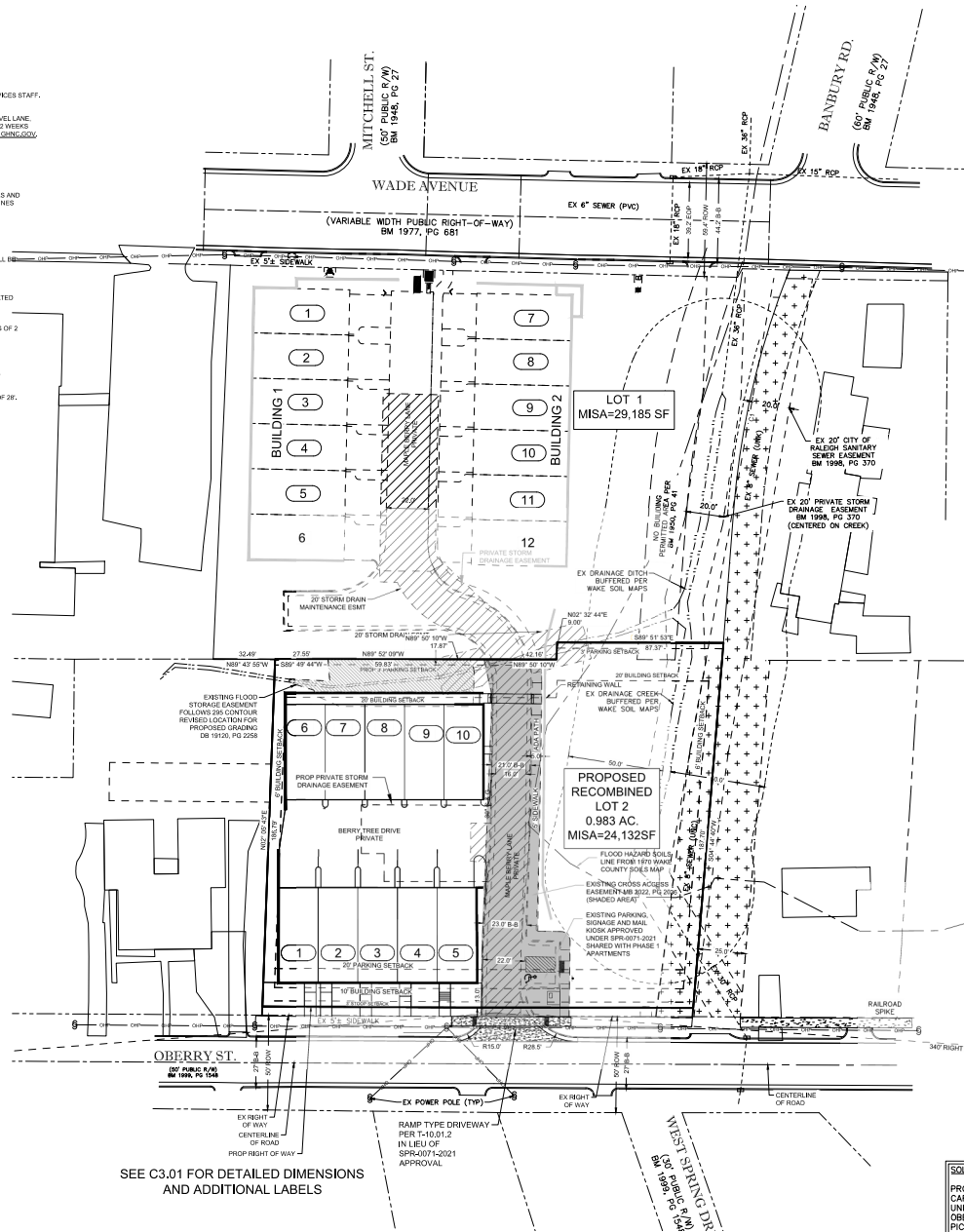
TRANSPORTATION NOTES:

1. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50 FEET OF ALL RESIDENTIAL OR RESIDENTIAL COLLECTOR INTERSECTIONS. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL OTHER STREET INTERSECTIONS.
2. HANDICAPPED RAMPS TO BE CONSTRUCTED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH ENGINEERING STANDARD DETAIL T-201.2.2.
3. SIGHT TRIANGLES TO BE LOCATED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. AREAS WHERE SIGHT TRIANGLE ARE LOCATED OUTSIDE THE RIGHT-OF-WAY SHALL BE RECORDED AS SIGHT EASEMENTS. FINAL LAYOUT OF SIGHT TRIANGLES TO BE APPROVED WITH CONSTRUCTION DRAWINGS.
4. NO RIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF 2 FEET AND 8 FEET ABOVE THE CURBLINE ELEVATION OR NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
5. ALL STREET SECTIONS SHALL MEET OR EXCEED SPECIFICATIONS DETAILED IN CITY OF RALEIGH ENGINEERING STANDARDS T-16.10, T-16.12, AND T-16.14 AS NOTED.
6. ALL STREETS AND RIGHT-OF-WAYS WITHIN AND ADJACENT TO THE PROJECT ARE CONSISTENT WITH THE RALEIGH COMPREHENSIVE PLAN WITH REGARD TO PROPOSED ROADWAY LOCATIONS AND RIGHT-OF-WAY REQUIREMENTS.
7. UNLESS OTHERWISE SHOWN, TURNOUT RAMP TO BE MINIMUM OF 35' AT ALL PUBLIC STREET INTERSECTIONS AND DRIVEWAY TURNOUTS TO BE A MINIMUM OF 20'.

GREENWAY NOTE:

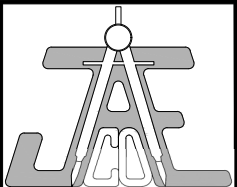
1. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEANING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY CITY OF RALEIGH.

THIS PLAN PROPOSES GRADING AND SEWER SERVICES IN THE LOCATION WHERE THE PUBLIC UTILITY EASEMENT OVERLAPS THE GREENWAY EASEMENT.



SEE C3.01 FOR DETAILED DIMENSIONS AND ADDITIONAL LABELS

SOLID WASTE INSPECTIONS STATEMENT
PROPOSED RECYCLING & SOLID WASTE CARTS TO BE COLLECTED BY INDIVIDUAL UNITS AND PLACED AT CURB ON OBERRY STREET FOR CITY PROVIDED PICKUP ON DESIGNATED DAYS.



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OBERRY CONDOS
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2900 & 2908 OBERRY ST
RALEIGH, NC 27612

OBERRY PROPERTIES, LLC
3304 Six Forks Road, Suite 100
Raleigh, N.C., 27609
919-781-3880
ward@legacycustomhomes.com

ABBREVIATIONS

EX	EXISTING	NFV	NOT FIELD VERIFIED
PROPP	PROPOSED	TYP	TYPICAL
APPROX	APPROXIMATE	FP	FLOOD PLAIN
LOC	LOCATION	FF	FEDERAL
BM	BOOK OF MAPS	EM	EMERGENCY
DB	DEED BOOK	AG	AGENCY
PG	PAGE	ESMT	EASEMENT
NOW	NOW OR FORMERLY	UNK	UNKNOWN
ROW	RIGHT OF WAY	TYP	TYPICAL
ROW	EX BROW PIRE	SWM	STORMWATER
ENAG	EX MAG NAIL	MAN	MANAGEMENT
CON	EX CONCRETE	AC	ACRE
MON	EX MONUMENT	SF	SQUARE FEET
SPS	EX BROW PIRE	AC	ACRE
SPS	EX BROW PIRE	UP	LINEAR FEET
SPS	EX BROW PIRE	UD	UNDEVELOPED
SS	PAVEMENT	DEV	DEVELOPMENT
SM	SANITARY SEWER	GIS	GEOSPATIAL
FM	FORCE MAIN	INFO	INFORMATION
PH	FIRE HYDRANT	SY	SYSTEM
ELEC	ELECTRIC	NC	NORTH CAROLINA
WV	WATER	DOT	DEPARTMENT OF TRANSPORTATION
TBD	TO BE DETERMINED		
TR	TO BE REMOVED		
TBL	TO BE RELOCATED		

LEGEND

PROPP PROPERTY LINE	---
PROPP EMT	---
PROPP SETBACK	---
PROPP CURB	---
AREA	MAINTAIN IMPERVIOUS SURFACE AREA

PLANS NOT APPROVED FOR CONSTRUCTION
UNLESS SIGNED BY CITY OF RALEIGH

OVERALL SITE PLAN

Revision	Number	Description	Date

JAECO # 389-24
DRAWING SCALE: 1" = 30'
DRAWN BY: JD
CHECKED BY: JRC
DATE ISSUED: 03/10/2022

C3.00

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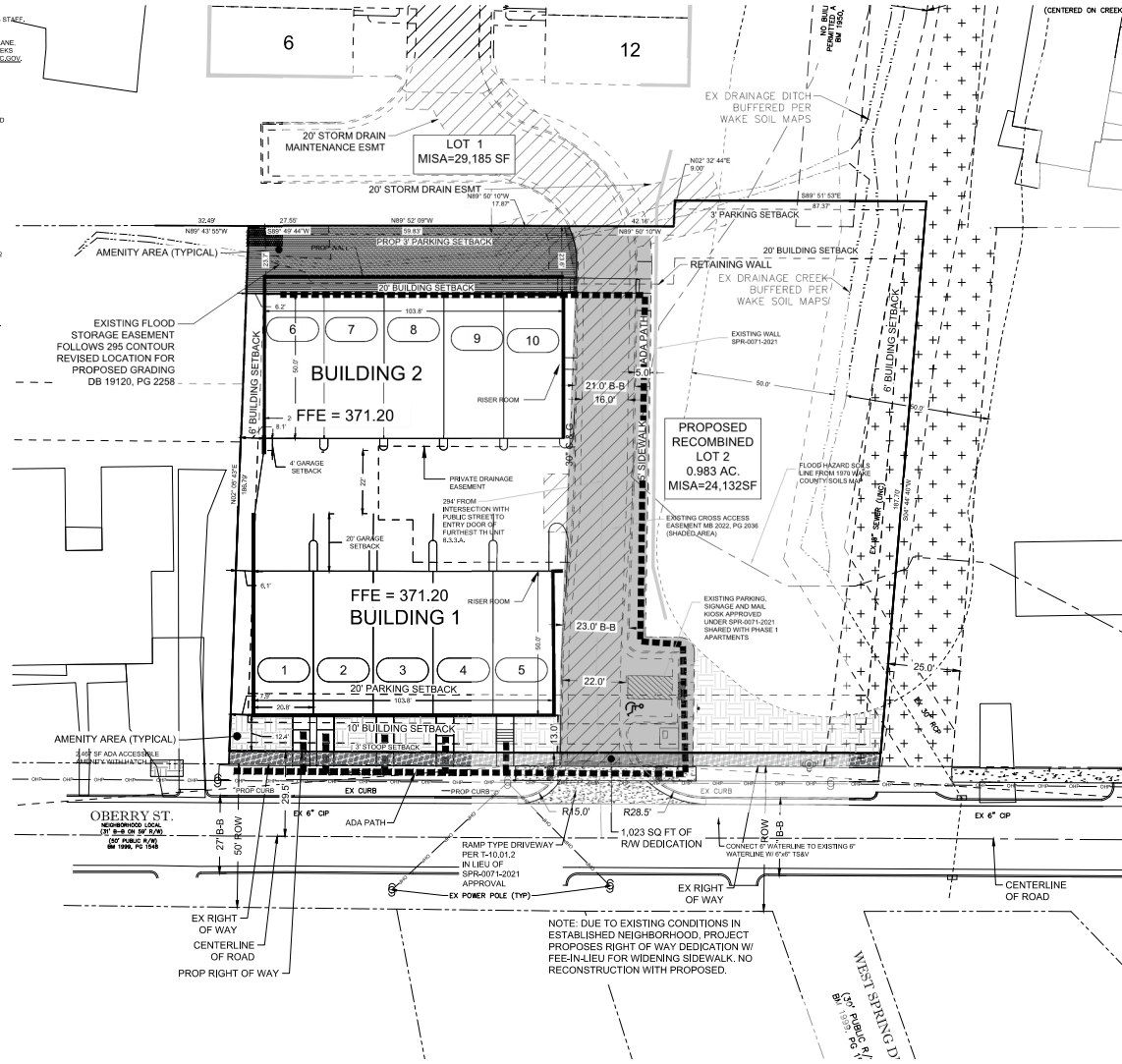
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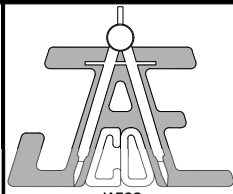
AMENITY AREAS

TOTAL LOT AREA	42,813 SF
REQUIRED AMENITY AREA(10%)	4,281 SF
REQUIRED ADA COMPLIANCE AMENITY AREA(50%)	2,140 SF
PROVIDED ADA COMPLIANCE AMENITY AREA(58%)	2,467 SF
TOTAL PROVIDED AMENITY AREA(13%)	5,117 SF



- EXISTING CROSS ACCESS EASEMENT MB 2002, PG 2006
- EXISTING PRIVATE DRAINAGE EASEMENT MB 2002, PG 2006
- EXISTING CITY OF RALEIGH GREENWAY EASEMENT BM 2021, PG 1682

SOLID WASTE INSPECTIONS STATEMENT
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LOC	LOCATION	FED	FEDERAL
BM	BOOK OF MAPS	EMG	EMERGENCY MANAGEMENT
DEED	DEED BOOK	AG	AGENCY
PG	PAGE	ESMT	EASEMENT
NOW	NOW OR FORMERLY	TYP	TYPICAL
ROW	RIGHT OF WAY	UNK	UNKNOWN
EB	EX BORN FIRE	SWM	STORMWATER MANAGEMENT
EMAG	EX MAG NAL	AC	ACRE
CON	EX CONCRETE	SF	SQUARE FEET
MON	EX MONUMENT	AC	ACRE
SP	EX SP	LF	LINEAR FEET
PI	EX PIPE	UP	UP
ED	EX EDGE OF PAVEMENT	DEV	DEVELOPMENT
SS	EX SANITARY SEWER	GIS	GEOSPATIAL INFORMATION SYSTEM
FM	EX FORCE MAIN	GIS	GEOSPATIAL INFORMATION SYSTEM
FE	EX FIRE	NC	NORTH CAROLINA
ELC	EX ELECTRIC	NC	NORTH CAROLINA
TO	EX TO BE DETERMINED	NC	NORTH CAROLINA
TR	EX TO BE REMOVED	NC	NORTH CAROLINA
TR	EX TO BE RELOCATED	NC	NORTH CAROLINA

LEGEND

PROP PROPERTY LINE	
PROP EMT	
PROP SETBACK	
PROP CURB	
PROP AMENITY AREA	
PROP AMENITY AREA ADA ACCESSIBLE	
MISA	MAXIMUM IMPERVIOUS SURFACE AREA

PLANS NOT APPROVED FOR CONSTRUCTION UNLESS SIGNED BY CITY OF RALEIGH

SITE PLAN

Revision	Number	Description	Date

JAECO F-389-24
DRAWING SCALE: 1" = 30'
DRAWN BY: JD
CHECKED BY: JRC
DATE ISSUED: 03/10/2022

C3.01

STANDARD UTILITY NOTES (as applicable):

1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications reference: CORPUD Handbook, current edition.
2. Utility separation requirements:
 - a. A distance of 10' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, remove sanitary sewer pipe shall be specified & installed to wastewater specifications. However, the minimum separation shall not be less than 2' from a private well or 5' from a public well.
 - b. When installing water for sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter.
 - c. Where it is impossible to obtain proper separations, or anytime a sanitary sewer passes over a watermain, CIP material or steel encasement extended 10' on each side of crossing must be specified & installed to wastewater specifications.
 - d. 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless CIP material is specified for sanitary sewer.
 - e. Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings. Maintain 10" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify CIP materials & a concrete grade having 6" min. distance per CORPUD details (W-1 & S-4).
 - f. All other underground utilities shall cross water & sewer facilities with 15" min. vertical separation required.
3. Any necessary field revisions are subject to review & approval of an amended plan for profile by the City of Raleigh Public Utilities Department prior to construction.
4. Developer shall provide 15 days advance notice to owner for any work required within an existing City of Raleigh Utility Easement (overlapping private property).
5. Contractor shall maintain continuous water & sewer service to existing watermain & watermain throughout construction of project. Any necessary service interruptions shall be preceded by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
6. 3/2" minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all force mains.
7. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in replacement of a new installation directed by the City of Raleigh Public Utilities Department. This includes abandoning, top or men & removal of service from ROW on easement per CORPUD Handbook procedures.
8. Install 1/2" copper water services with meters located at RCP or within a 2' Greenway Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.
9. Install 4" PVC service @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 feet for minimum.
10. Pressure reducing valves are required on all water services exceeding 80 psi; backflow valves are required on all sanitary sewer services having building drains lower than 10' above the next upstream manhole.
11. All environmental permits applicable to the project must be obtained from NCDDO, USACE, &/or FEMA for any water buffer, wetland & flood hazard impacts respectively prior to construction.
12. NCDDO / Reduced Easement Agreements are required for any utility work (including main extensions & service lines) within or adjacent to flood hazard areas.
13. Greenwater / O&M Water Separator using calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to construction of a Building Permit. Contact Stephen Canaleby at (919) 996-2334 or Stephen.canaleby@raleighnc.gov for more information.
14. Cross-connection control program devices are required based on degree of health hazard marked as listed in Appendix of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or the on the University of Southern California approval. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanne Herley at (919) 996-5923 or joanne.herley@raleighnc.gov for more information.

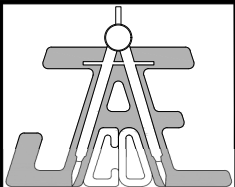
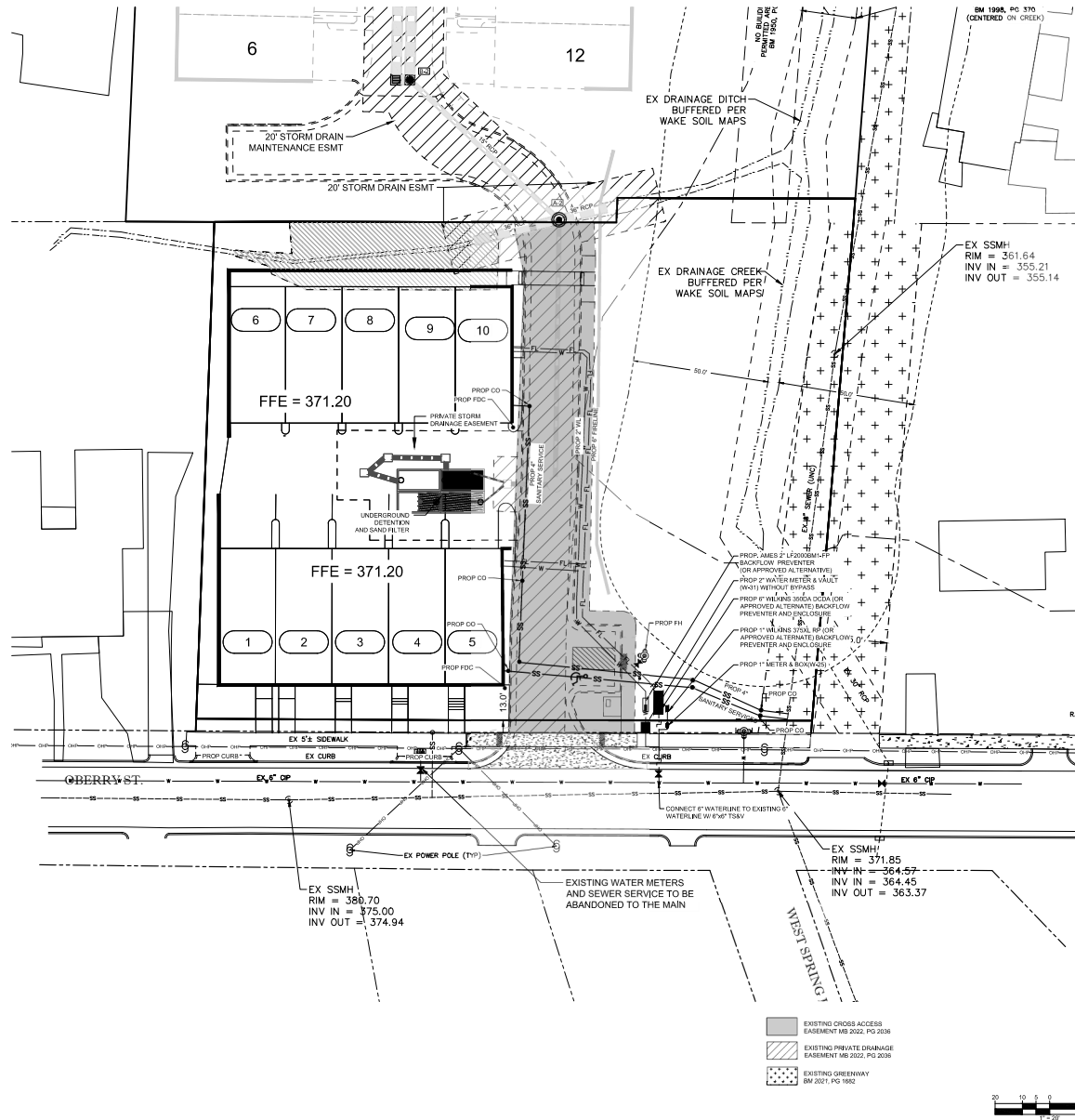
GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREIN WERE OBTAINED VIA GUT (WAS UTILITY) WITHOUT. EXISTING UTILITIES SHOULD BE ASSUMED TO BE APPROXIMATE AND POTENTIALLY INCOMPLETE.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDDO STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. FIRE HYDRANTS SHALL BE EQUIPPED WITH INST THREADED AND WITH A 3 INCH STORGE CONNECTION.
4. UNLESS OTHERWISE NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 25' MINIMUM.

GREENWAY NOTE:

1. NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING, BUT NOT LIMITED TO, CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY CITY OF RALEIGH.

THIS PLAN PROPOSES GRADING AND SEWER SERVICES IN THE LOCATION WHERE THE PUBLIC UTILITY EASEMENT OVERLAPS THE GREENWAY EASEMENT.



JAECO
Consulting Engineers and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
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E-mail: info@jaeco.com

www.jaeco.com

OBERRY CONDOS
PHASE II
ASR-0084-2022
2900 & 2908 OBERRY ST
RALEIGH, NC 27612

OBERRY PROPERTIES, LLC
3304 Six Forks Road, Suite 100
Raleigh, N.C. 27609
919-781-3800
ward@legacycustomhomes.com

ABBREVIATIONS

EX	EXISTING	NFV	NOT FIELD VERIFIED
PROP	PROPOSED	TYP	TYPICAL
APPROX	APPROXIMATE	FP	FLOOD PLAN
LOC	LOCATION	FEMA	FEDERAL
BOOK	BOOK OF MAPS	EMERGENCY	EMERGENCY
DEED	DEED BOOK	MANAGEMENT	MANAGEMENT
PAGE	PAGE	ESMT	ESSENTIAL
NOW	NOW OR FORMERLY	UNK	UNKNOWN
ROW	RIGHT OF WAY	TYP	TYPICAL
EX	EX BRON FIRE	SWM	STORMWATER
ENAG	EX MAG NAL	AC	CONCRETE
CON	CONCRETE	AC	CONCRETE
MONUMENT	MONUMENT	SF	SQUARE FEET
BRON	BRON FIRE	AC	CONCRETE
SPS	SPON FIRE SET	LF	LINEAR FEET
EDGE	EDGE OF PAVEMENT	UDS	UNDERGROUND
PAVEMENT	PAVEMENT	DEV	DEVELOPMENT
SS	SANITARY SEWER	GIS	GEOSPATIAL
FM	FORCE MAIN	PERFORMANCE	PERFORMANCE
FI	FIRE INSULANT	SYSTEM	SYSTEM
ELEC	ELECTRIC	NCDDO	NORTH CAROLINA
TO BE DETERMINED	TO BE DETERMINED	TO BE DETERMINED	TO BE DETERMINED
TO BE REMOVED	TO BE REMOVED	TO BE REMOVED	TO BE REMOVED
TO BE RELOCATED	TO BE RELOCATED	TO BE RELOCATED	TO BE RELOCATED

LEGEND

PROP WATER LINE	— W —
PROP SEWER LINE	— S —
EX WATER LINE	— W —
EX SEWER LINE	— S —

PLANS NOT APPROVED FOR CONSTRUCTION
UNLESS SIGNED BY CITY OF RALEIGH

UTILITY PLAN

Revision	Number	Description	Date

JAECO # 309-24
DRAWING SCALE: 1" = 30'
DRAWN BY: JD
CHECKED BY: JRC
DATE ISSUED: 03/10/2022

C4.00

GREENWAY NOTE:

- NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY CITY OF RALEIGH.

THIS PLAN PROPOSES GRADING AND SEWER SERVICES IN THE LOCATION WHERE THE PUBLIC UTILITY EASEMENT OVERLAPS THE GREENWAY EASEMENT.

GENERAL NOTES:

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NC DOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.

ATTENTION CONTRACTORS:

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as indicated in these plans, is responsible for contacting the PUBLIC WORKS DEPARTMENT at (919) 996-3436 and the PUBLIC UTILITIES DEPARTMENT at (919) 996-3434 at least 10 business days prior to beginning any of their construction.

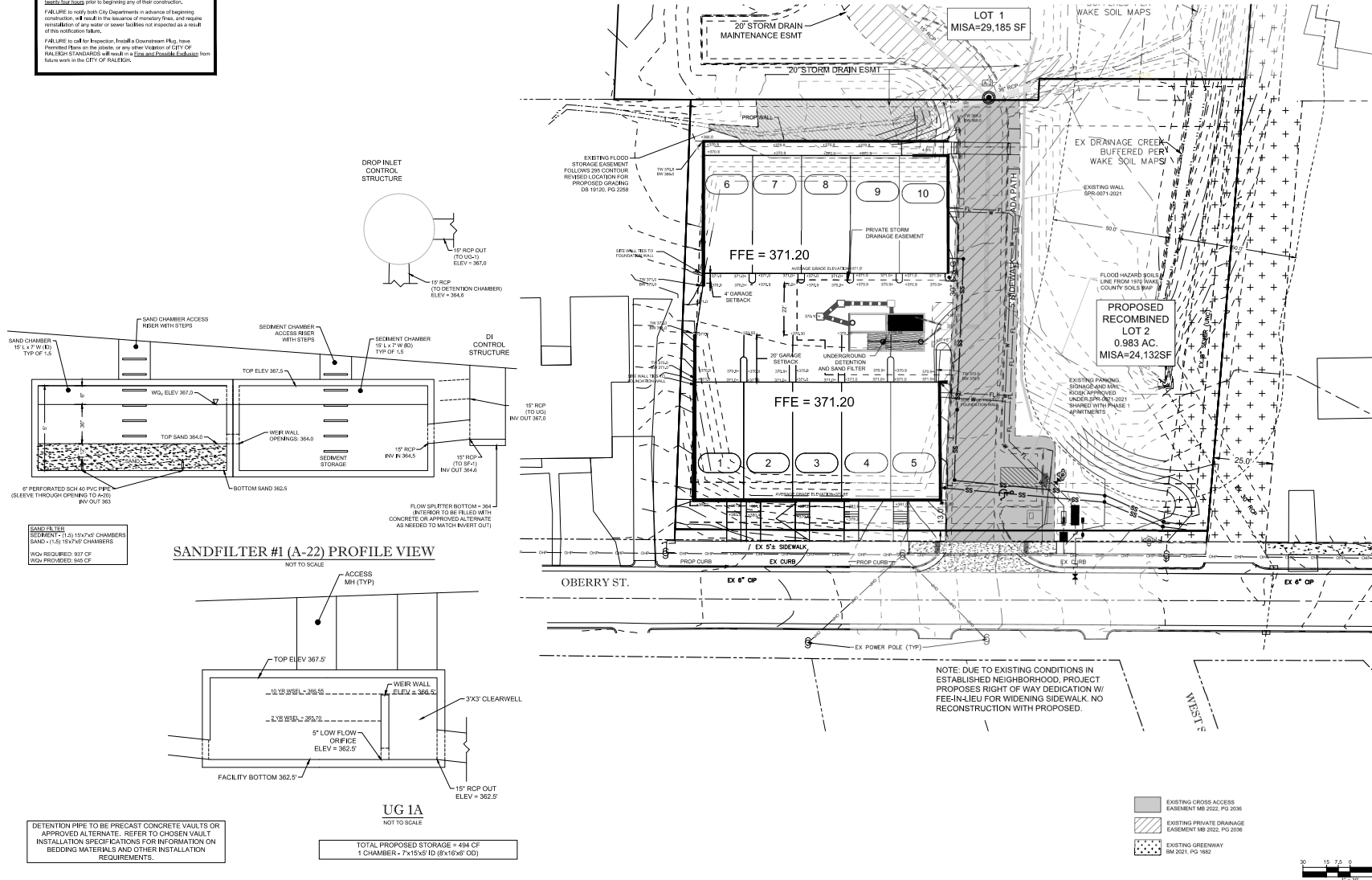
FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require restoration of any water or sewer facilities not inspected as a result of this notification failure.

FAILURE to call for inspection, install a Downstream Plug, have Permitted Plans on the project, or any other violation of CITY OF RALEIGH STANDARDS will result in a Cost and Possible Extension from future work in the CITY OF RALEIGH.

STORMWATER MANAGEMENT NOTE:

- THE PROJECT PROPOSES A SHARED STORMWATER SOLUTION WITH SP6207-2021. THE MAXIMUM IMPERVIOUS SURFACE AREA (MISA) SPECIFIED ON THIS PLAN MAY BE REVISED AT SP6 REVIEW. HOWEVER, THE FINAL PLAN MUST SHOW THE MISA FOR BOTH LOT 1 AND LOT 2 PRIOR TO BUILDING PERMIT ISSUANCE.

AVERAGE GRADE CALCULATION				
BUILDING	PRIMARY STREET FRONT	IMPROVED GRADE		
		HIGH	LOW	AVG
BLDG 1	CHERRY ST	380.20	375.50	377.85
BLDG 2	CHERRY ST	373.00	371.00	371.00



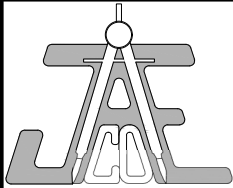
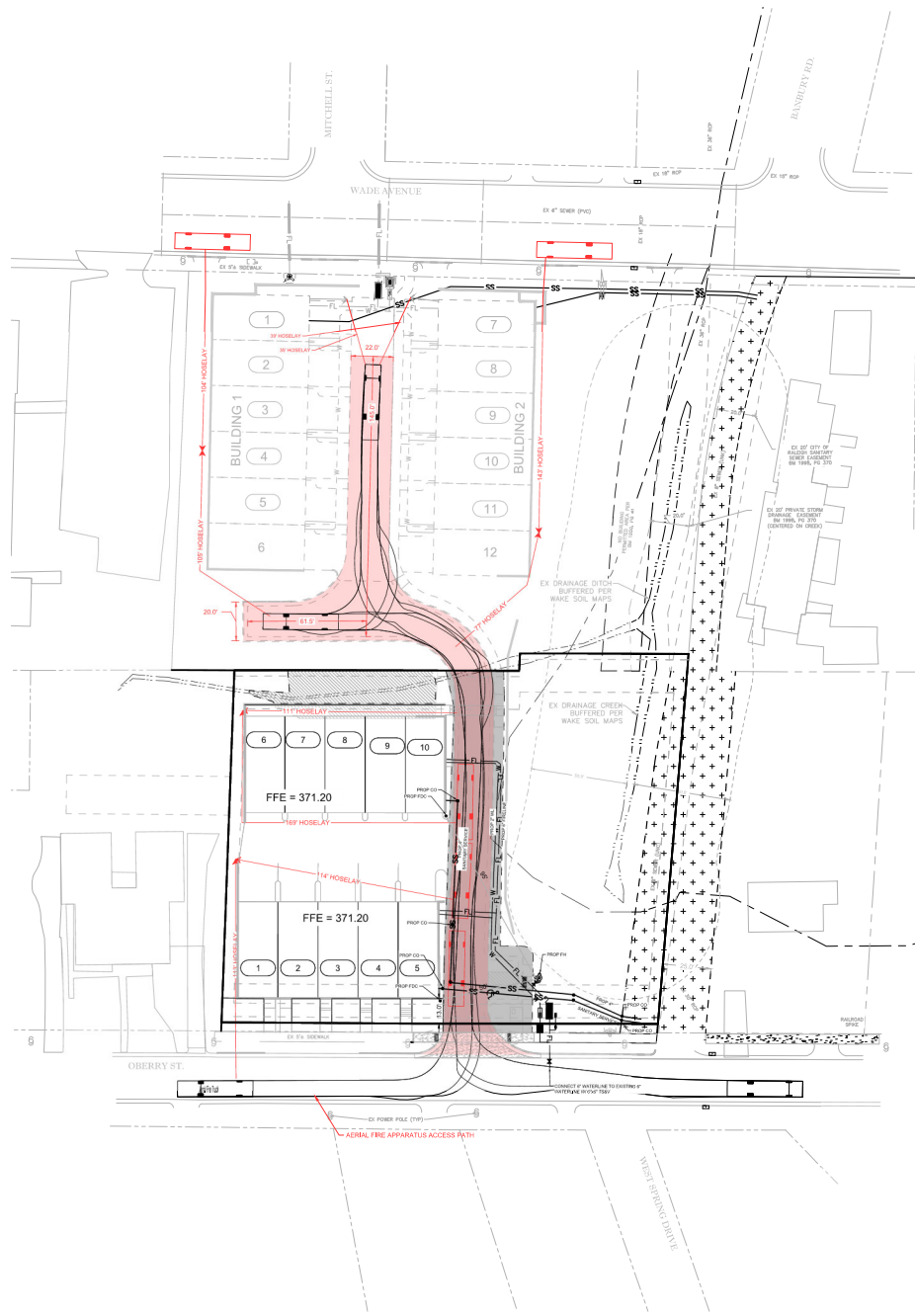
GENERAL NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN HEREON WERE OBTAINED VIA CITY ("CITY") UTILITY MARKOUT. EXISTING UTILITIES SHOULD BE ASSUMED TO BE APPROXIMATE AND POTENTIALLY INCOMPLETE.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. FIRE HYDRANTS SHALL BE EQUIPPED WITH NST THREADS AND WITH A 6 INCH STORZ CONNECTION.
4. UNLESS OTHERWISE NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 20' MINIMUM.

GREENWAY NOTE:

1. NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO, CLEANSING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY CITY OF RALEIGH.

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ABBREVIATIONS

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APPROX	APPROXIMATE	FP	FLOOD PLAN
LOC	LOCATION	FEMA	FEDERAL
BM	BOOK OF MAPS	EM	EMERGENCY
DB	DEED BOOK	MAN	MANAGEMENT
PG	PAGE	AGENCY	AGENCY
NUP	NOW OR FORMERLY	EASEM	EASEMENT
ROW	RIGHT OF WAY	UNK	UNKNOWN
EXP	EX BRON PIPE	TYP	TYPICAL
EMAG	EX MAG NAIL	SWM	STORMWATER
ECM	EX CONCRETE	MAN	MANAGEMENT
MR	MONUMENT	SW	SQUARE FEET
IR	EX BRON ROD	AC	ACRE
PS	IRON PIPE SET	LF	LINEAR FEET
ROP	ROD OF PIPE	UNID	UNIDIRECTIONAL
PRV	PRIVATE	DEV	DEVELOPMENT
SS	SANITARY SEWER	OR	ORANGE
FM	FORCE MAIN	GIS	GEOGRAPHIC INFORMATION
FI	FIRE HYDRANT	IN	INFORMATION
INV	INVERT	NCDOT	NORTH CAROLINA
TO	TO BE DETERMINED	DEPT	DEPARTMENT OF
TBR	TO BE REMOVED	TRANS	TRANSPORTATION
TBL	TO BE RELOCATED		

LEGEND

PLANS NOT APPROVED FOR CONSTRUCTION
UNLESS SIGNED BY CITY OF RALEIGH

FIRE COVERAGE PLAN

Revision	Number	Description	Date

JAECO #: 365-24
DRAWING SCALE: 1" = 30'
DRAWN BY: ID
CHECKED BY: JRC
DATE REVISION: 03/10/2022

C6.00

Landscape Requirements

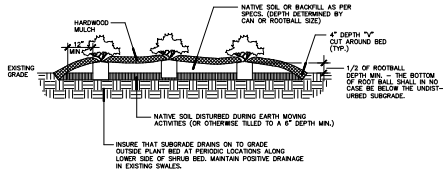
Street Protective Yards:
None required

Transitional Protective Yards:
None required

Streetscape:
Oberly Street: - 226' Frontage, 40' avg. spacing
Required: 5.6 Shade Trees
Provided: 10 Understory Trees @ 20' avg. spacing
(15' min) due to overhead utilities

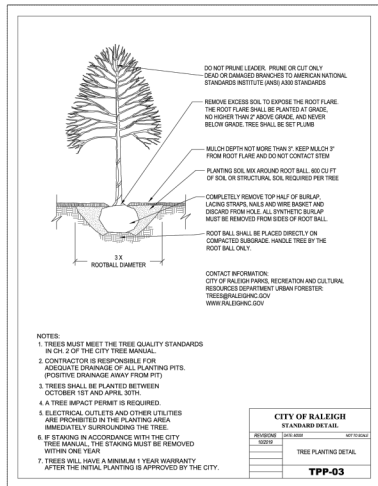
PLANT LIST

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	CAL.	HT.	MATURE HT.	MATURE SP.	ROOT	REMARKS
TREES									
Aa	10	Amelanchier arborea "Snowdoud"	Snowdoud Serviceberry	1.5"	0'	20-25'	12-15'	BB	SINGLE-STEM
As	1	Acer saccharum "Legacy"	Legacy Sugar Maple	3"	10'	40-50'	30-40'	BB	
SHRUBS									
POL	12	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Cherry Laurel	18"				CONT	Space as shown



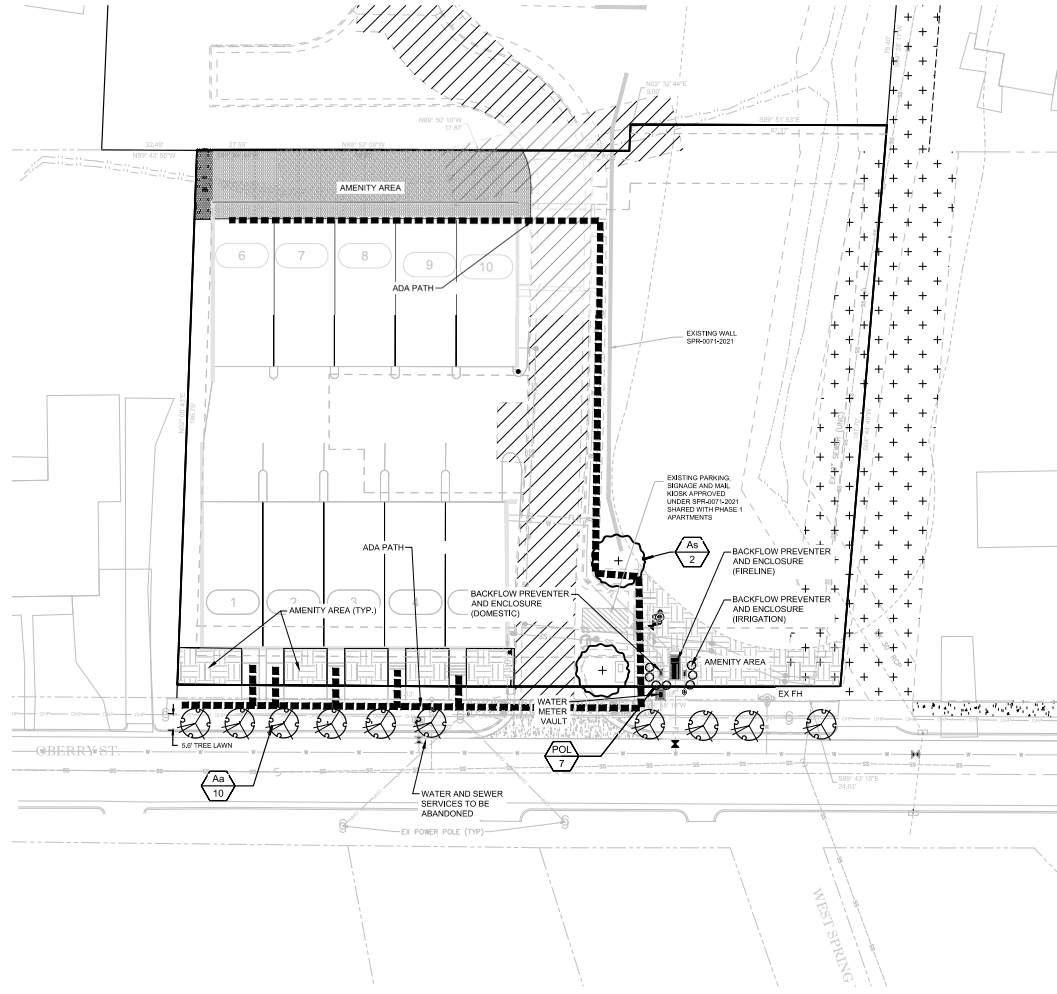
SHRUB PLANTING DETAIL

NOT TO SCALE

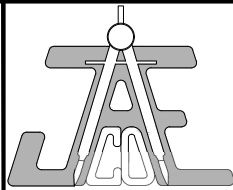
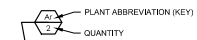


LANDSCAPE NOTES:

- "BB" AS LISTED UNDER ROOT IN THE PLANT LIST INDICATES BALLED AND BURLAPPED. "CONT" INDICATES CONTAINER.
- ALL PLANTS SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO GRADE IN NURSERY.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- VERIFICATION OF LOCATIONS OF UNDERGROUND UTILITIES IS RECOMMENDED PRIOR TO PLANTING.
- MULCH TO BE 4" HARDWOOD BARK MULCH.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.



PLANT TAG (SEE PLANT LIST)



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SB	CREED BOOK	MAN	MANAGEMENT
PG	PAGE	ESMT	ESSENTIAL
ROW	RIGHT OF WAY	UNK	UNKNOWN
EXP	EX-BROW PINE	TYP	TYPICAL
EMAG	EX MAG NAL	SWM	STORMWATER
SCM	EX CONCRETE	MAN	MANAGEMENT
MON	MONUMENT	AC	SQUARE FEET
BRP	BRON PIPE SET	LF	LINEAR FEET
ROP	EDGE OF	UNB	UNBUILT
PREV	PREVIOUS	DEV	DEVELOPMENT
SS	SANITARY SEWER	ORD	ORDINANCE
FOR	FORCE MAIN	GIS	GEOGRAPHIC INFORMATION
FW	FIRE HYDRANT	NC	NORTH
INV	INVERT	NCOT	CAROLINA
TO	TO BE DETERMINED	DEPT	DEPARTMENT OF
TBR	TO BE REMOVED	TRANS	TRANSPORTATION
TBL	TO BE RELOCATED		

LEGEND

PROP WATER LINE	---
PROP SEWER LINE	---
EX WATER LINE	---
EX SEWER LINE	---

PLANS NOT APPROVED FOR CONSTRUCTION
UNLESS SIGNED BY CITY OF RALEIGH

STREET TREE PLAN

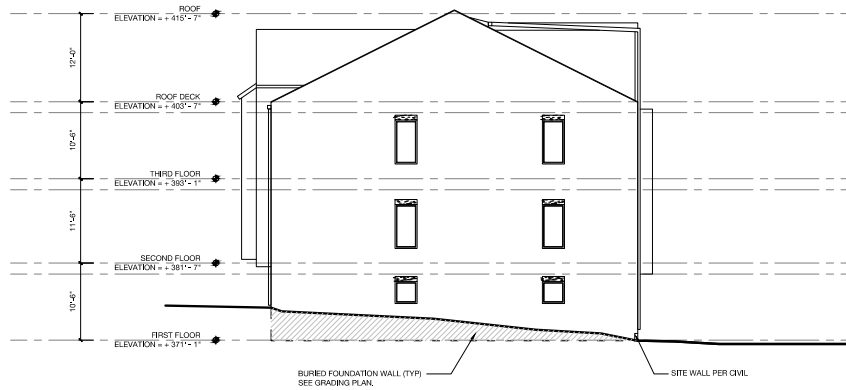
Revision	Number	Description	Date

JAECO # 305-24
DRAWING SCALE: 1" = 20'
DRAWN BY: RT
CHECKED BY: JRC
DATE ISSUED: 08/18/2022

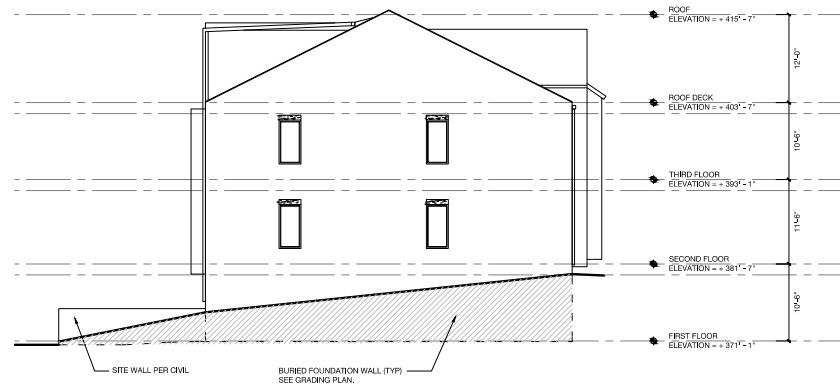
C8.00



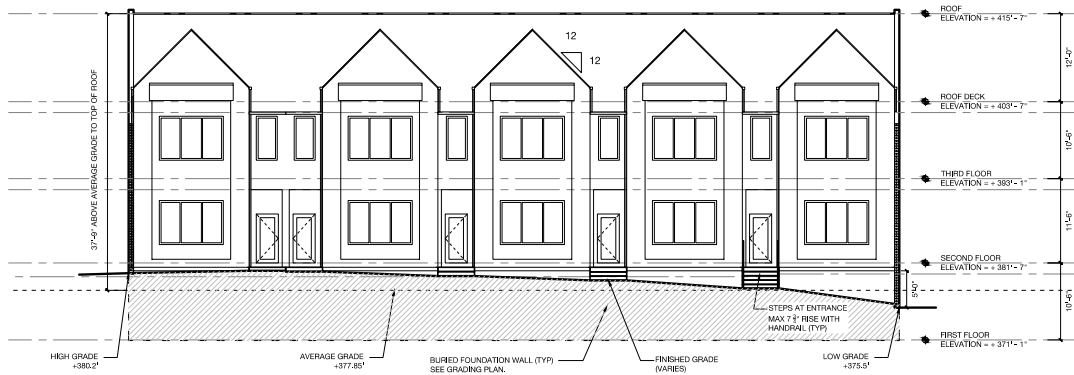
04 BUILDING 1 NORTH ELEVATION
SCALE = 1/8" = 1'-0"



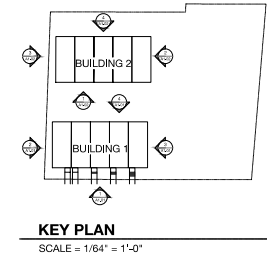
03 BUILDING 1 EAST ELEVATION
SCALE = 1/8" = 1'-0"



02 BUILDING 1 WEST ELEVATION
SCALE = 1/8" = 1'-0"



01 BUILDING 1 SOUTH ELEVATION
SCALE = 1/8" = 1'-0"



1363 KINGSTON RIDGE RD
CARY, NC 27513
GOODWORK DESIGN
(919) 307-8889



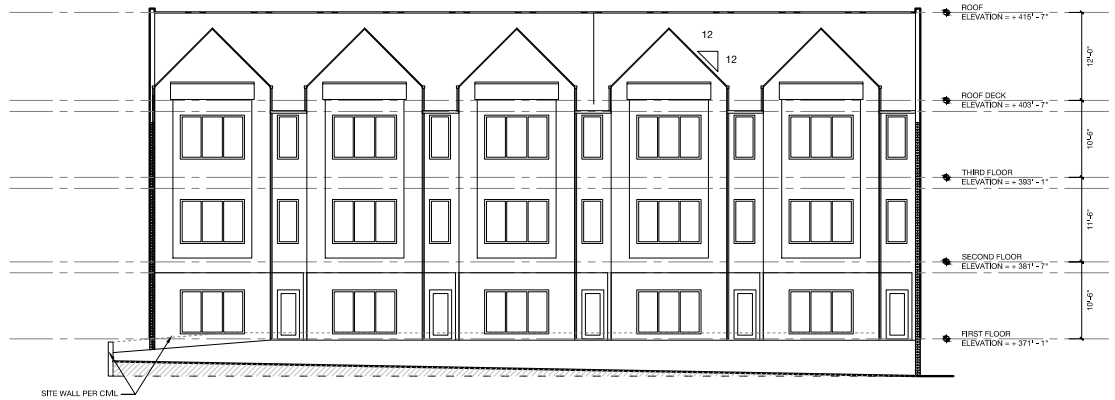
NEW CONSTRUCTION FOR
OBERRY CONDOMINIUMS
RALEIGH, NC 27607

DATE: 03.21.2023
DRAWN BY: MAM
CHECKED BY: DMK

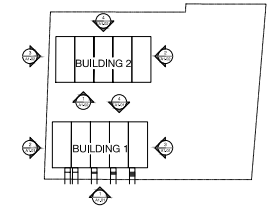
REVISIONS	
NO.	NAME
1	-
2	-
3	-

**BUILDING 1
ELEVATION
DIAGRAMS**

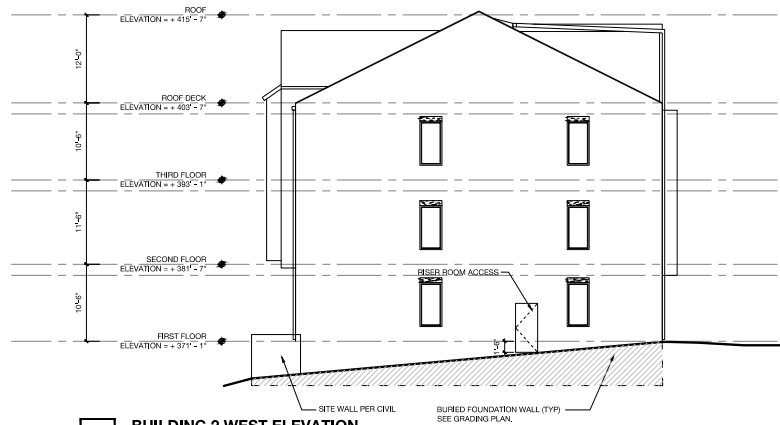
A1.01



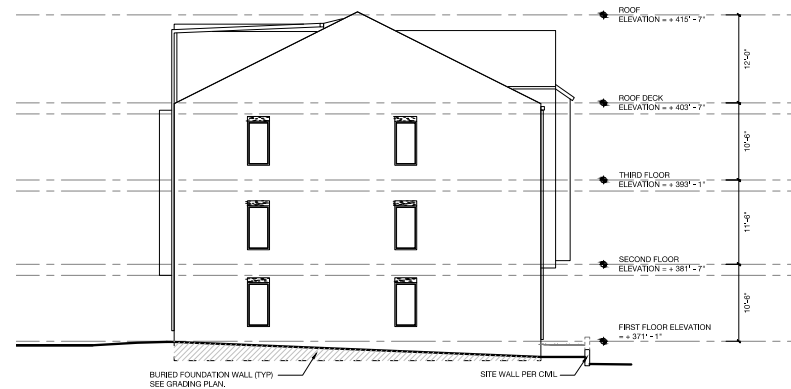
04 BUILDING 2 NORTH ELEVATION
SCALE = 1/8" = 1'-0"



KEY PLAN
SCALE = 1/64" = 1'-0"



03 BUILDING 2 WEST ELEVATION
SCALE = 1/8" = 1'-0"



02 BUILDING 2 EAST ELEVATION
SCALE = 1/8" = 1'-0"



01 BUILDING 2 SOUTH ELEVATION
SCALE = 1/8" = 1'-0"



1363 KINGSTON RIDGE RD
CARY, NC 27513
GOODWORK DESIGN
(919) 350-6855



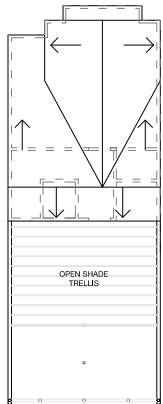
NEW CONSTRUCTION FOR
OBERRY CONDOMINIUMS
RALEIGH, NC 27607

DATE: 03.21.2023
DRAWN BY: MAM
CHECKED BY: DMK

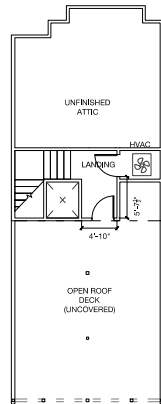
REVISIONS	
NO.	NAME
1	-
2	-
3	-

**BUILDING 2
ELEVATION
DIAGRAMS**

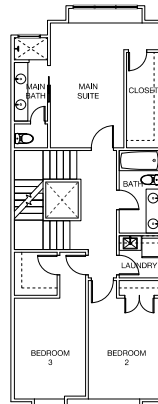
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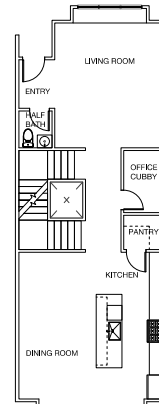
05 ROOF PLAN
SCALE = 1/8" = 1'-0"



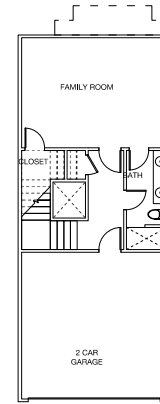
04 ROOF DECK/ATTIC PLAN
SCALE = 1/8" = 1'-0"



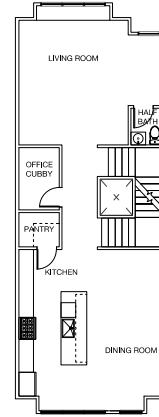
03 FLOOR 3 PLAN
SCALE = 1/8" = 1'-0"



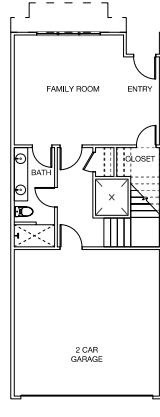
02 BUILDING 1 FLOOR 2 PLAN
SCALE = 1/8" = 1'-0"



01 BUILDING 1 FLOOR 1 PLAN
SCALE = 1/8" = 1'-0"



07 BUILDING 2 FLOOR 2 PLAN
SCALE = 1/8" = 1'-0"



06 BUILDING 2 FLOOR 1 PLAN
SCALE = 1/8" = 1'-0"



1305 KINGSTON RIDGE RD
CARY, NC 27511
GOODWORK DESIGN
(919) 357-0895



OBERRY CONDOMINIUMS

NEW CONSTRUCTION FOR

RALEIGH, NC 27607

DATE: 03.21.2023
DRAWN BY: MAM
CHECKED BY: DMK

REVISIONS	
NO.	NAME
1	
2	
3	

TYPICAL
FLOOR
PLANS

A1.03