

ADMINISTRATIVE SITE REVIEW PLANS FOR HOLY TRINITY GREEK ORTHODOX CHURCH

5000 & 5008 LEAD MINE ROAD
RALEIGH, NORTH CAROLINA 27612
WAKE COUNTY

OWNER/DEVELOPER:

CHRIS PAPPAS
GREEK ORTHODOX COMMUNITY, INC.
5000 LEAD MINE ROAD
RALEIGH, NC 27607
PH: (919) 369-9118
CHRIS@POLYCONCPM.COM

CIVIL ENGINEER/ LANDSCAPE ARCHITECT:

TIMMONS GROUP
5410 TRINITY ROAD, SUITE 102
RALEIGH, NC 27607
RICK BAKER
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RICK.BAKER@TIMMONS.COM

ARCHITECT:

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SURVEYOR:

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5410 TRINITY ROAD, SUITE 102
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Administrative Site Review Application
Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | (919) 996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8, to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

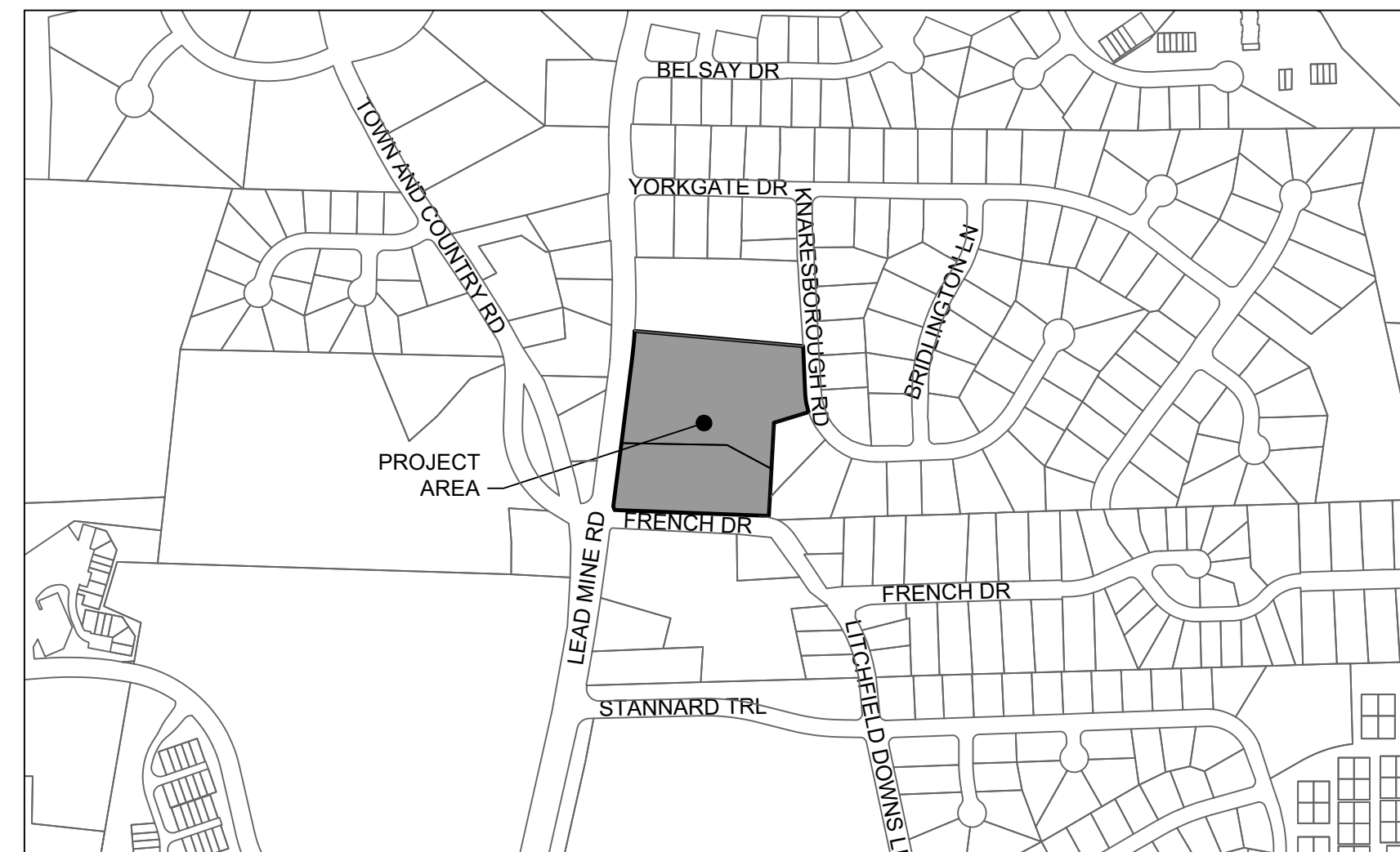
Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

Building and Development Type		Site Transaction History
Check all that apply:		
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #:
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #:
<input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> Civic	Certificate of Appropriateness #:
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	Board of Adjustment #:
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Frequent Transit Development Option	Zoning Case #:
<input type="checkbox"/> Open lot		Design Alternate #:

GENERAL INFORMATION

Development name: Holy Trinity Greek Orthodox Church
Inside City limits? Yes No
Property address(es): 5000 Lead Mine Road, 5008 Lead Mine Road
Site P.I.N.(s): 0796742148, 0796742468
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4):
Construction of a 18,130 SF Family Life Center, a 11,350 SF Sanctuary, a 2,073 SF Chapel, and a 3,06
Current Property Owner(s): Greek Orthodox Community, Inc., of Raleigh, N.C.
Company: _____ Title: _____
Address: 5000 Lead Mine Road, Raleigh, NC 27612
Phone #: (919) 369-9118 Email: chris@polyconcpm.com
Applicant Name (if different from owner. See "who can apply" in instructions):
Relationship to owner: Lessee or contract purchaser Owner's authorized agent Easement holder
Company: _____ Address: _____

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VICINITY MAP
1" = 500'

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	PRELIMINARY SITE PLAN
C2.1	FIRE APPARATUS ACCESS EXHIBIT
C3.0	PRELIMINARY GRADING & DRAINAGE PLAN
C5.0	PRELIMINARY UTILITY PLAN
C5.1	PRELIMINARY LIGHTING PLAN
C6.0	LANDSCAPE PLAN
C6.1	LANDSCAPE DETAILS
C6.2	TREE CONSERVATION AREA
C7.0	NOTES & DETAILS
C7.1	NOTES & DETAILS
C7.2	NOTES & DETAILS
A1-01	OVERALL - FLOOR PLANS
A2-01	CHURCH - EXTERIOR ELEVATIONS
A2-02	CHURCH - EXTERIOR ELEVATIONS
A2-03	FAMILY LIFE CENTER (FLC) - EXTERIOR ELEVATIONS
A2-04	FAMILY LIFE CENTER (FLC) - EXTERIOR ELEVATIONS
A4-01	BUILDING PERSPECTIVES

Phone #: _____ Email: _____
NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.
Developer Contact: SAME AS OWNER

Company: _____ Title: _____
Address: _____
Phone #: _____ Email: _____
Applicant Name: _____
Company: _____ Address: _____
Phone #: _____ Email: _____

DEVELOPMENT TYPE - SITE DATA TABLE
(Applicable to all developments)

SITE DATA		BUILDING DATA	
Zoning district(s) (please provide the acreage of each): R-4 (0.53 acres)	Existing gross floor area (not to be demolished): 16,905 SF	Existing gross floor area to be demolished: 0	New gross floor area: 34,613 SF
Gross site acreage: 6.63 acres			Total # of gross (to remain and new): 51,518 SF
# of parking spaces proposed: 136			Proposed # of buildings: 4
Max # parking permitted (7.1.2.C): N/A			Proposed # of stories for each: 1
Overlay District (if applicable): N/A			Proposed # of basement levels (UDO 1.5.7.A.6): 0
Existing use (UDO 6.1.4): Church			
Proposed use (UDO 6.1.4): Church			

STORMWATER INFORMATION

Impervious Area on Parcel(s):
Existing (sf) 70,360 Proposed total (sf) 107,388
Includes 4,356 SF future impervious allowance

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS

Total # of dwelling units: N/A Total # of hotel bedrooms:
of bedroom units: 1br 2br 3br 4br or more
of lots: _____
Is your project a cottage court? Yes No
A frequent transit development? Yes No

Continue to Applicant Signature Block on Page Three.

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KNOW WHAT'S BELOW.
CALL 811 BEFORE YOU DIG.

SITE DATA TABLE	
PROJECT:	HOLY TRINITY GREEK ORTHODOX CHURCH
OWNER:	GREEK ORTHODOX COMMUNITY, INC.
PROJECT ADDRESSES:	5000 LEAD MINE ROAD, RALEIGH, NC 27612 5008 LEAD MINE ROAD, RALEIGH, NC 27612
PIN #S:	0796742148; 0796742468
DEED:	DB 8509 PG 1056; DB 17571 PG 286
CURRENT ZONING:	R-4
OVERLAY DISTRICT(S):	NONE
EXISTING USE:	CHURCH; SINGLE FAMILY RESIDENTIAL
PROPOSED USE:	EXPANSION TO PLACE OF WORSHIP
EXISTING SITE AREA:	6.63 ACRES
PROPOSED R/W DEDICATION:	982 SF/0.02 AC
PROPOSED SITE AREA:	6.61 ACRES
BUILDING SETBACKS:	PRIMARY STREET: 20' SIDE STREET: 20' SIDE LOT LINE: 10' REAR LOT LINE: 30'
PARKING SETBACKS:	PRIMARY STREET: 20' SIDE STREET: 10' SIDE LOT LINE: 10' REAR LOT LINE: 10'
PROPOSED BUILDING AREA:	34,613 SF
PROPOSED BUILDING HEIGHT(S):	SANCTUARY: 68'8" FAMILY LIFE CENTER: 34' 8"
EXISTING VEHICULAR PARKING:	27 SPACES (INCLUDES 2 STANDARD ACCESSIBLE PARKING SPACES)
PROPOSED VEHICULAR PARKING:	136 SPACES (INCLUDES 11 STANDARD ACCESSIBLE PARKING SPACES AND 2 VAN ACCESSIBLE PARKING SPACE)
DISTURBED AREA:	4.6± AC

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PRELIMINARY
NOT FOR
CONSTRUCTION

REVISION DESCRIPTION	DATE
	12/01/2023

YOUR VISION ACHIEVED THROUGH OURS.

DATE	12/01/2023
DRAWN BY	332
DESIGNED BY	R. BAKER
CHECKED BY	R. BAKER
SCALE	AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

HOLY TRINITY GREEK ORTHODOX CHURCH
RALEIGH - WAKE COUNTY - NORTH CAROLINA

COVER SHEET

JOB NO.	54477
SHEET NO.	C0.0

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DEMOLITION NOTES

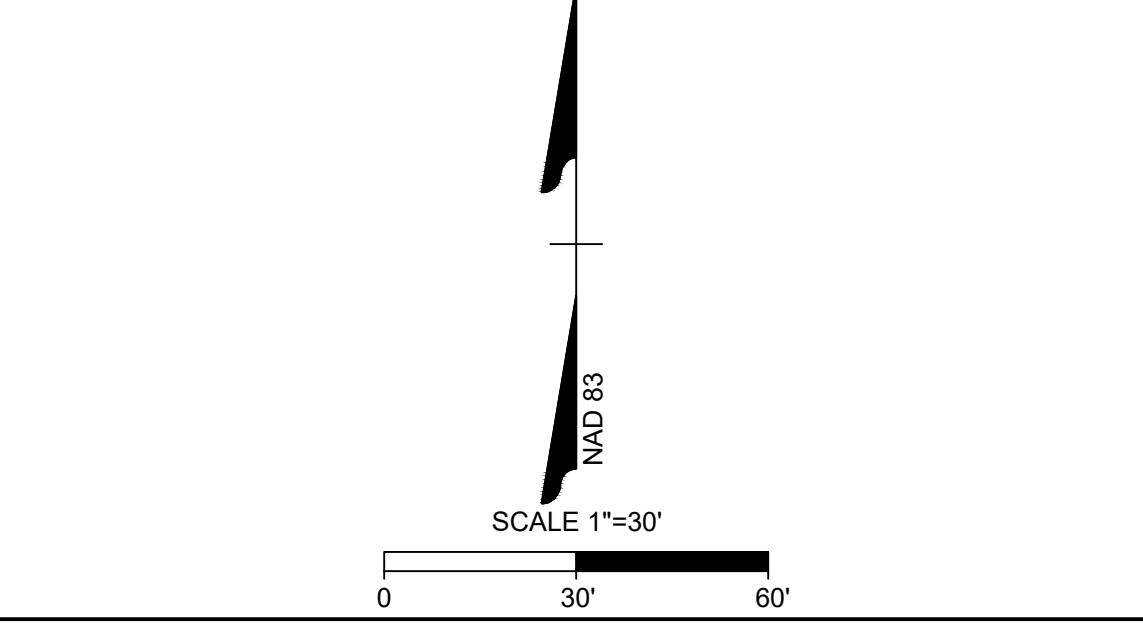
- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE. CONTRACTOR TO OBTAIN, REFERENCE, AND UTILIZE ALL AVAILABLE ENVIRONMENTAL REPORTS (PHASE 1 ESA, ASBESTOS, ETC.) FROM DEVELOPER.
- ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
- REMOVE/ DEMOLISH/ ABANDON AFTER EROSION CONTROL MEASURES ARE IN PLACE AN APPROVAL OF THE INSPECTOR. REFER TO EROSION CONTROL PLAN.
- REMOVE TOPSOIL AND STOCKPILE APPROPRIATELY ON-SITE. ON-SITE TEMPORARY STOCKPILES SHALL BE LOCATED WITHIN CONSTRUCTION LIMITS. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED BY THE OWNER OR OTHERS EXCEPT WHEN PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE ACCEPTABLE TEMPORARY UTILITY SERVICES. (1) NOTIFY OWNER NOT LESS THAN ONE WEEK IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS. (2) DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITHOUT RECEIVING OWNER WRITTEN PERMISSION. (3) COORDINATE ALL UTILITY RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
- ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE. TRENCH IN EXISTING ASPHALT SHALL BE PATCHED PER PAVEMENT REPAIR DETAIL.
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGE OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
- SUBSURFACE FEATURES ARE SHOWN IN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UTILITY LOCATIONS AND DEPTHS.
- THE CONTRACTOR SHALL USE NC ONE CALL (811) TO LOCATE ALL UNDERGROUND UTILITIES.
- CONTRACTOR TO VERIFY LOCATIONS AND SIZES OF ALL EXISTING FEATURES PRIOR TO COMMENCEMENT OF CONSTRUCTION. REPAIR AND REPLACE ANY DAMAGES TO EXISTING UTILITIES RESULTING FROM CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING OR ABANDONING ALL EXISTING UTILITIES AND STRUCTURES REQUIRED TO COMPLETE SITE CONSTRUCTION, EITHER ONSITE OR IN PUBLIC ROW, IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- WATER AND SEWER ABANDONMENT SHALL BE DONE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS INCLUDING DISCONNECT FROM THE MAIN AND REMOVAL OF SERVICES FROM THE RIGHT-OF-WAY.
- ANY EXISTING UNIDENTIFIED SEPTIC SYSTEMS AND WELLS FOUND ON SITE SHALL BE REMOVED OR ABANDONED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AT NO CHARGE TO THE OWNER.
- VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
- CONTRACTOR SHALL COORDINATE ALL CONNECTIONS, RELOCATION AND DEMOLITION WORK WITH THE APPROPRIATE COMPANY OR JURISDICTION HAVING AUTHORITY AND SHALL OBTAIN ANY PERMITS AS REQUIRED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
- EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISHED GRADES (WHETHER OR NOT INDICATED TO BE MODIFIED).
- GENERAL CONTRACTOR TO COORDINATE ALL PEDESTRIAN ACCESS PATHS, LOCATIONS, LIGHTING ETC. WITH THE DEVELOPER.
- CONTRACTOR SHALL NOTIFY APPROPRIATE DEPARTMENTS PRIOR TO BEGINNING ANY WORK WITHIN PUBLIC RIGHT-OF-WAY.

SURVEY NOTES

- ON SITE BOUNDARY, TOPOGRAPHY AND PLANIMETRIC INFORMATION IS TAKEN FROM A SURVEY BY TIMMONS GROUP, RALEIGH DATED 10/04/2023. OFFSITE TOPOGRAPHY AND PLANIMETRIC INFORMATION FROM OTHER SOURCES AND HAS NOT BEEN FIELD VERIFIED BY TIMMONS GROUP.
- ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY THIS FIRM.
- BASIS OF BEARING SHOWN HEREON IS NC GRID NAD 83 (NSRS 2007).
- VERTICAL DATUM SHOWN HEREON IS NAVD88.
- THIS PROPERTY SHOWN HEREON IS PARTIALLY LOCATED IN SPECIAL FLOOD HAZARD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE OF FLOOD, PER FEMA MAP FIRM 3720079600K, PANEL NUMBER 0796, WITH AN EFFECTIVE DATE OF JULY 19, 2022.
- RECORDED PROPERTY DATA:
 - 7.1. DB 8509 PG 1056
 - 7.2. DB 17571 PG 286
- EXISTING IMPERVIOUS AREA = 70,360 ACRES
- THE UTILITIES ON THESE PLANS ARE APPROXIMATE ONLY, AND ARE NOT ACCURATE FOR CONSTRUCTION PURPOSES. FOR FIELD MARKS CALL 1-800-632-4949.

DEMOLITION KEYNOTES

NUMBER	DESCRIPTION
D01	EXISTING FEATURE TO REMAIN.
D02	REMOVE EXISTING FEATURE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
D03	RELOCATE AND/OR MODIFY EXISTING FEATURE TO REMAIN IN SERVICE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
D04	SAWCUT, REMOVE AND REPLACE EXISTING PAVEMENT. REFER TO CITY OF RALEIGH DETAIL S-3.
D05	TREE DEMOLITION AREA
D06	EXISTING FEATURE TO BE ABANDONED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS. CONTRACTOR TO COORDINATE AS NEEDED WITH LOCAL MUNICIPALITY, INSPECTORS, AND/OR UTILITY COMPANIES.
D06	TREE PROTECTION FENCING; TO BE INSTALLED



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THIS DRAWING PREPARED AT THE
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5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9511 FAX 919.833.8124 www.timmons.com

REVISION DESCRIPTION	DATE
YOUR VISION ACHIEVED THROUGH OURS.	12/01/2023

DRAWN BY
332
DESIGNED BY
R. BAKER
CHECKED BY
R. BAKER
SCALE
AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

HOLY TRINITY GREEK ORTHODOX CHURCH
RALEIGH - WAKE COUNTY - NORTH CAROLINA

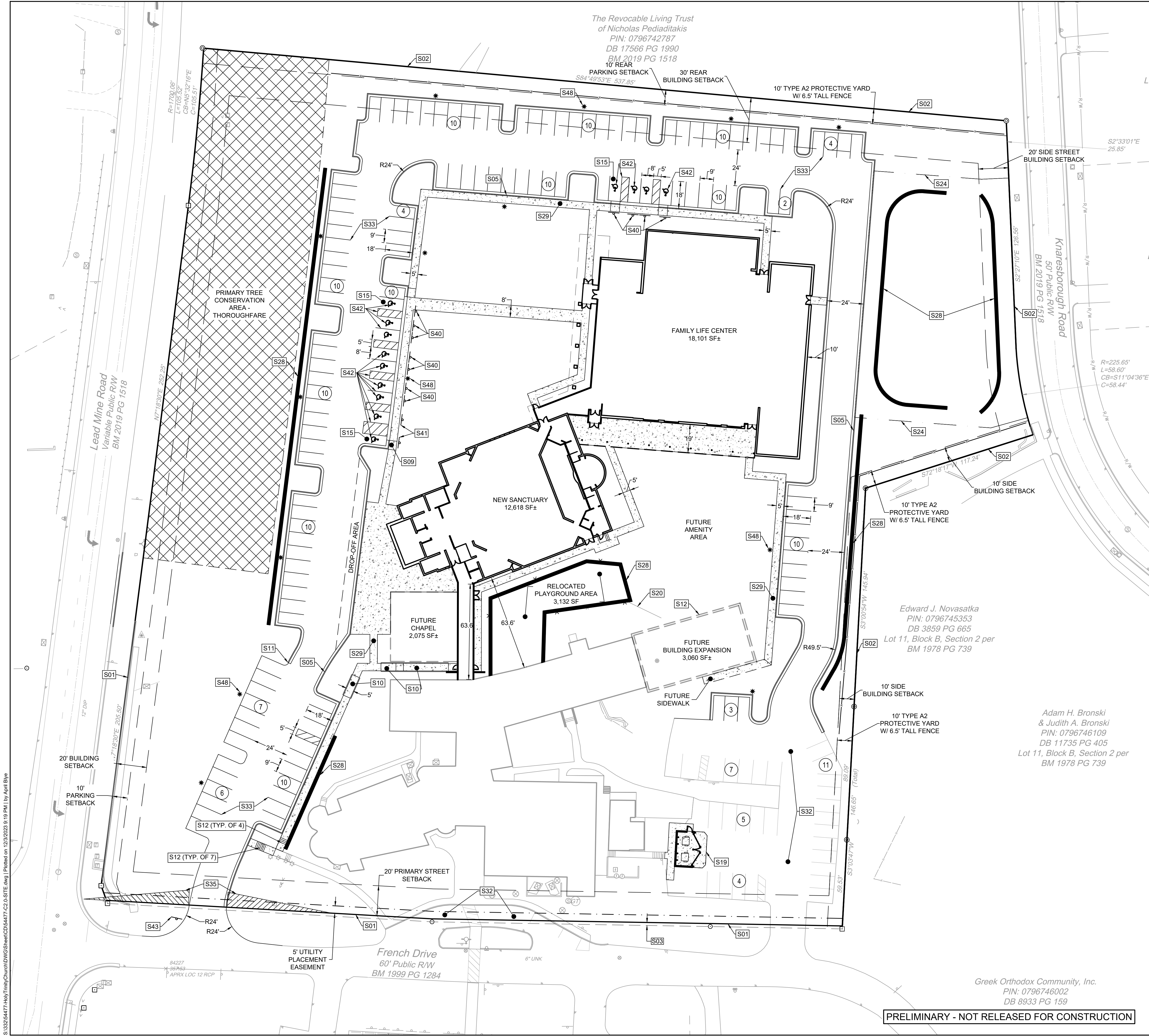
EXISTING CONDITIONS & DEMOLITION PLAN

JOB NO.
54477

SHEET NO.
C1.0

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The Revocable Living Trust
of Nicholas Padiaditakis
PIN: 0796742787
DB 17566 PG 1990
BM 2019 PG 1518



- SITE LAYOUT NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
 - ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
 - AT LEAST 3-12 BUSINESS DAYS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-632-4949) TO HAVE EXISTING UTILITIES LOCATED.
 - PARKING SPACES ARE 9' WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8'0" WIDE MINIMUM WITH 8'0" VAN ACCESS AND 5'0" STANDARD ACCESS AISLES.
 - REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
 - CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
 - ALL CURB AND GUTTER ON SITE SHALL BE 24" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
 - TRANSITION FROM 30" TO 24" CURB AND GUTTER IS TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY OR AS DIRECTED IN THE PLAN.
 - ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER CITY OF RALEIGH OR NCDOT STANDARDS AND SPECIFICATIONS.
 - ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH CITY OF RALEIGH. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
 - NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.

SITE LAYOUT KEYNOTES

NUMBER	DESCRIPTION
S01	RIGHT-OF-WAY (TYP.)
S02	PROPERTY BOUNDARY (TYP.)
S03	2" RIGHT-OF-WAY DEDICATION
S05	24" CONCRETE CURB & GUTTER; REFER TO DETAIL
S08	FLUSH CURB
S09	SIDEWALK RAMP @ 8.33% MAXIMUM (TYPICAL - PER ADA AND LOCAL CODES)
S10	SIDEWALK RAMP @ 8.33% MAXIMUM WITH HANDRAIL; 30' MAXIMUM LENGTH WITH 5'X5' LEVEL LANDINGS
S11	END 24" CURB & GUTTER
S12	STEPS: 6" RISE X 12" RUN
S15	CONCRETE ADA STALL (TYP.)
S19	DUMPSTER PAD & ENCLOSURE; REFER TO DETAIL AND ARCHITECTURAL PLANS
S20	EXISTING FENCE TO REMAIN
S24	VARIABLE WIDTH SCM ACCESS & MAINTENANCE EASEMENT
S28	RETAINING WALL WITH 42" MINIMUM SAFETY RAILING AT ALL AREAS TALLER THAN 30" (DESIGN BY OTHERS)
S29	4" THICK CONCRETE SIDEWALK; REFER TO PLANS FOR WIDTH DIMENSIONS
S32	EXISTING PAVEMENT TO REMAIN
S33	PARKING STALL STRIPING PER LOCAL CODES (TYP.)
S35	10' X 70' SIGHT DISTANCE TRIANGLE (TYP.) PER RALEIGH STREET DESIGN MANUAL
S40	ACCESSIBLE PARKING SIGN (TYPICAL - PER ADA AND LOCAL CODES); R7-8A (MUTCD)
S41	VAN ACCESSIBLE PARKING SIGN (TYPICAL - PER ADA AND LOCAL REQUIREMENTS); R7-8A (MUTCD)
S42	ADA ACCESSIBLE PARKING SPACE STRIPING AND SYMBOL OF ACCESSIBILITY (TYPICAL - PER ADA AND LOCAL CODES)
S43	"STOP" SIGN; R1-1 (MUTCD)
S48	LIGHT POLE AND BASE (TYPICAL - REFER TO LIGHTING AND ARCHITECTURAL PLANS)

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YOUR VISION ACHIEVED THROUGH OURS.

DATE
12/01/2023

DRAWN BY
332

DESIGNED BY
R. BAKER

CHECKED BY
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SCALE
AS SHOWN

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

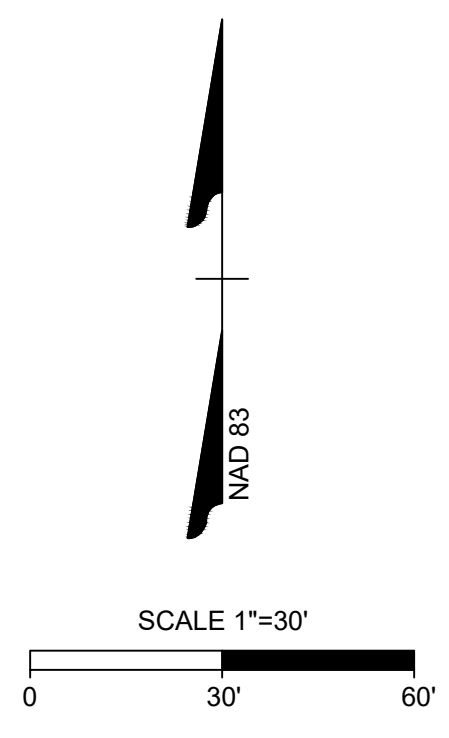
HOLY TRINITY GREEK ORTHODOX CHURCH
RALEIGH - WAKE COUNTY - NORTH CAROLINA

PRELIMINARY SITE PLAN

JOB NO.
54477

SHEET NO.
C2.0

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- GRADING AND STORM DRAINAGE NOTES**
- CONTRACTOR SHALL CALL "NORTH CAROLINA ONE CALL" (811) AT LEAST 3 DAYS PRIOR TO DIGGING TO HAVE EXISTING UTILITIES LOCATED. REPORT ANY DISCREPANCIES TO THE ENGINEER.
 - CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES INVOLVED IN ANY RELATED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC).
 - EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
 - THE CATCH BASINS AND YARD INLETS SHALL BE CONSTRUCTED IN THE LOCATIONS SHOWN UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES IN THE CATCH BASIN ELEVATIONS OR THE PROPOSED PIPE SLOPES TO THE ENGINEER. THE CONTRACTOR IS ALSO RESPONSIBLE TO REPORT ANY CONFLICTS BETWEEN ANY UTILITY, STORM DRAIN LINE, WATER LINE, SEWER LINE OR ANY OTHER PROPOSED OR EXISTING STRUCTURE TO THE ENGINEER.
 - A LAND DISTURBING PERMIT WILL BE REQUIRED PRIOR TO THE COMMENCEMENT OF ANY LAND-DISTURBING ACTIVITIES. ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, VALVE BOXES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISHED GRADE.
 - ALL BACKFILL, COMPACTION, SOILS TESTING, ETC. SHALL BE PERFORMED BY THE OWNER'S INDEPENDENT TESTING LABORATORY.
 - ALL SPOT ELEVATIONS INDICATED ARE AT TOP OF CURB UNLESS NOTED OTHERWISE. ALL ELEVATIONS ARE BASED ON VERTICAL DATUM NAVD88. A PRE-CONSTRUCTION MEETING MUST BE SCHEDULED PRIOR TO ANY WORK, GRADING OR INSTALLATION OF EROSION CONTROL MEASURES. ALL HANDICAP PARKING SPACES AND STRIPED ACCESSIBILITY AISLES ARE TO HAVE NO MORE THAN A 1:50 (2.0%) SLOPE IN ALL DIRECTIONS. ALL SIDEWALKS ARE TO HAVE NO MORE THAN A 1:20 (5.0%) SLOPE FOR THE LENGTH OF THE SIDEWALK AND NO MORE THAN A 1:50 (2.0%) SLOPE FOR THE WIDTH OF THE SIDEWALK.
 - CONTRACTOR TO IDENTIFY ALL NECESSARY SPILL CURB SECTION LOCATIONS AND INSTALL TO ENSURE POSITIVE DRAINAGE TO STORM STRUCTURES.
 - IF CONTRACTOR NOTICES ANY DISCREPANCIES IN ANY OF THESE SLOPE REQUIREMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER PRIOR TO POURING ANY CONCRETE SO THAT A SOLUTION CAN BE FOUND.
 - SPOT ELEVATIONS ARE GIVEN AT THE MAJORITY OF THE MAJOR BREAK POINTS BUT IT SHOULD NOT BE ASSUMED THAT ALL NECESSARY SPOT ELEVATIONS ARE SHOWN. DUE TO SPACE LIMITATIONS, THERE MAY BE OTHER CRITICAL SPOTS NOT LABELED THAT SHOULD BE TAKEN INTO CONSIDERATION. THE CONTRACTOR SHALL REVIEW THE GRADING PLAN IN DETAIL AND SHALL ENSURE THAT ALL CRITICAL GRADE POINTS ARE STAKED AND FOLLOWED TO PROVIDE POSITIVE DRAINAGE.
 - EXISTING VEGETATION WITHIN TREE PROTECTIVE AREAS SHALL REMAIN UNDISTURBED UNLESS NOTED OTHERWISE. ANY AND ALL LANDSCAPING AND EXISTING TREES AND SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR USING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - THE GRADING CONTRACTOR SHALL COMPLY WITH ALL STATE CODES IN OBSERVING EROSION CONTROL MEASURES BOTH ON AND OFF-SITE. THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES AFTER EACH RAINFALL EVENT OR AS DIRECTED BY THE EROSION CONTROL INSPECTOR OR THE ENGINEER.
 - THE GRADING CONTRACTOR SHALL BE RESPONSIBLE FOR OFF-SITE DISPOSAL OF ALL CLEARING AND GRADING WASTE MATERIALS GENERATED DURING CONSTRUCTION AND FOR OBTAINING ALL APPLICABLE PERMITS FOR OFF-SITE STOCKPILES AND/OR WASTE AREAS. ALL CATCH BASINS MUST BE MARKED "DUMP NO WASTE DRAINS TO STREAM" OR EQUIVALENT.

GRADING & STORMWATER KEYNOTES

NUMBER	DESCRIPTION
G01	EXISTING CURB INLET
G02	EXISTING 15" RCP PIPE
G03	EXISTING STORM STRUCTURE
G06	STORM PIPE (TYP.)
G07	CATCH BASIN (TYP.)
G08	FLARED END SECTION (TYP.)
G09	SIDEWALK RAMP @ 8.33% MAXIMUM (TYPICAL - PER ADA AND LOCAL CODES)
G10	SIDEWALK RAMP @ 8.33% MAXIMUM WITH HANDRAIL; 30' MAXIMUM LENGTH WITH 5X5' LEVEL LANDINGS
G11	FLUSH CURB
G12	24" CURB & GUTTER (TYP.)
G13	STEPS; 6" RISE / 12" RUN; PROVIDE HANDRAILS AS REQUIRED BY BUILDING CODE
G15	10' WIDE MAINTENANCE BERM; REFER TO STORMWATER CONTROL MEASURE DESIGN.
G16	WET DETENTION STORMWATER CONTROL MEASURE
G20	OUTLET CONTROL STRUCTURE
G21	RIPRAP OUTLET PROTECTION
G22	VARIABLE WIDTH SCM ACCESS & MAINTENANCE EASEMENT
G23	ADA STALLS (MAX SLOPE 1:50)
G24	ADA ACCESS ROUTE MAX CROSS SLOPE 1:50; MAX LONG. SLOPE 1:20
G25	INLINE ADA RAMP (TYP.)
G26	EXISTING CONCRETE DITCH
G28	MATCH EXISTING PAVEMENT ELEVATION
G30	RISER STRUCTURE
G31	LIMITS OF SAWCUT AND PAVEMENT REMOVAL

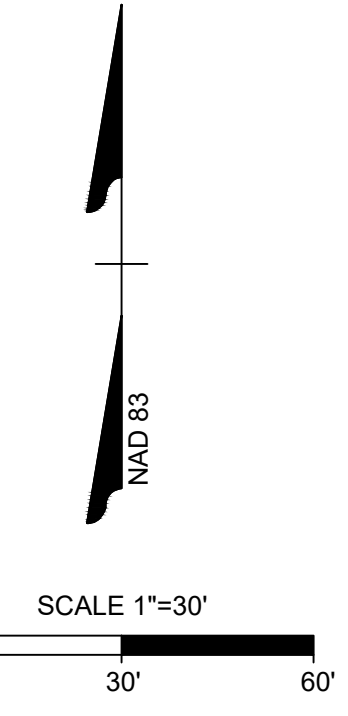
SPOT ELEVATION LEGEND
 TC = TOP OF CURB
 ME = MATCH EXISTING
 GND = GROUND
 SWK = SIDEWALK
 TW = TOP OF WALL
 BW = BOTTOM OF WALL
 HP = HIGH POINT
 FC = FLUSH CURB
 EP = EDGE OF PAVEMENT
 PVMT = PAVEMENT

- NOTES:**
- TOP REFERS TO:
 - CATCH BASIN, TOP OF CURB
 - YARD INLET, SILL
 - SD* - SEE RISER DETAIL

DRAWING LEGEND:

STORM DRAINAGE

- EXISTING STORM DRAINAGE PIPE
- STORM DRAINAGE PIPE
- OUTLET CONTROL STRUCTURE
- CATCH BASIN
- FLARED END SECTION
- DROP INLET
- SCM ACCESS & MAINTENANCE EASEMENT
- ADA ACCESS ROUTE



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332

DESIGNED BY
R. BAKER

CHECKED BY
R. BAKER

SCALE
AS SHOWN

TIMMONS GROUP
 NORTH CAROLINA LICENSE NO. C-1652

HOLY TRINITY GREEK ORTHODOX CHURCH
 RALEIGH - WAKE COUNTY - NORTH CAROLINA

PRELIMINARY GRADING & DRAINAGE PLAN

JOB NO.
54477

SHEET NO.
C3.0

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S:\33254477-HolyTrinityChurch\DWG\Sheet\C3.0-GRAD.dwg | Plotted on 12/29/2023 9:22 PM | by April Blye



Outdoor Lighting

SHOEBOX LED
(Meets Dark Sky Criteria)

LED (Light-emitting diode)	150 220 420 530 watts
Mounting height	25', 30', 35'
Color	Black Bronze Gray White
Pole	Fiberglass (1 or 2 fixtures per pole) Decorative tapered metal Decorative square metal
Applications	Neighborhoods Roadways Shopping centers

Light source: LED (white)
Wattage: 150 | 220 | 420 | 530 watts
Light pattern: IES Type V | Type IV (forward throw) | Type III
IESNA cutoff classification: Full-cutoff
BUG rating: 150W Type III = B2U0G3 / Type IV = B3U0G4 / Type V = B5U0G3
 220W Type III = B2U0G4 / Type IV = B3U0G4 / Type V = B4U0G3
 420W Type IV = B3U0G5 / Type V = B5U0G5
 530W Type IV = B3U0G5 / Type V = B5U0G5
Color temperature: 4,000K

POLE AVAILABLE	MOUNTING HEIGHT	COLOR
Round tapered decorative metal*	35'	Black, Bronze
Decorative square metal*	25' and 30'	Black, Bronze, Gray, White
Fiberglass	25' and 30'	Black (1 or 2 fixtures per pole) Gray (1 or 2 fixtures per pole)

FEATURES

- Turnkey operation
- Little or no installation cost
- Design services by lighting professionals included
- Maintenance, electricity & warranty included
- One low monthly cost on your electric bill

BENEFITS

- Provides hassle-free installation and service
- Frees up capital for other projects
- Meets industry standards and lighting ordinances
- Eliminates high and unexpected repair bills
- Convenience and savings for you

For additional information, email us at ODL.Carolinas@duke-energy.com. ©2022 Duke Energy Corporation. 222296 DEP - 9/22

150 WATTS
MOUNTING HEIGHT: 25'
COLOR: BLACK
POLE: FIBERGLASS

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	332
	DESIGNED BY
	R. BAKER
	CHECKED BY
	R. BAKER
	SCALE
	AS SHOWN

HOLY TRINITY GREEK ORTHODOX CHURCH
 NORTH CAROLINA LICENSE NO. C-1652
 RALEIGH - WAKE COUNTY - NORTH CAROLINA
PRELIMINARY LIGHTING PLAN

JOB NO.	54477
SHEET NO.	C5.1

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PLANT SCHEDULE				
SHADE TREE	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE
AFA	24	ACER X FREEMANII 'JEFFSRED' TM	AUTUMN BLAZE FREEMAN MAPLE	3" CAL., 10 FT. MIN
QUA	26	QUERCUS ALBA	WHITE OAK	3" CAL., 10 FT. MIN
QUN	10	QUERCUS NUTTALLII	NUTTALL OAK	3" CAL., 10 FT. MIN
UNDERSTORY TREES	QTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALLED SIZE
AGA	26	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	1.5" CAL., 6' HT. MIN.

LANDSCAPE NOTES:

PRE-CONSTRUCTION

- PRIOR TO CONSTRUCTION LOCATE ALL UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE WORK AREA. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. PROTECT ALL UTILITIES. REPAIR ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF CONSTRUCTION.
- CONTRACTOR ENGAGED IN LANDSCAPE IMPLEMENTATION SHALL BE A LANDSCAPE CONTRACTOR REGISTERED IN THE STATE OF NORTH CAROLINA.
- VERIFY ALL PLANT MATERIAL QUANTITIES ON PLANS PRIOR TO BIDDING. PLANT LIST TOTALS ARE FOR CONVENIENCE ONLY AND MUST BE VERIFIED.
- PLANT MATERIAL SUBSTITUTIONS CAN ONLY OCCUR WITH PRIOR WRITTEN APPROVAL BY LANDSCAPE ARCHITECT.
- PRIOR TO THE COMMENCEMENT OF ANY ACTIVITIES REQUIRING A BUILDING OR ZONING PERMIT AN ON-SITE PRE-CONSTRUCTION CONFERENCE SHALL TAKE PLACE WITH THE DEVELOPER AND THE ADMINISTRATOR TO REVIEW PROCEDURES FOR THE PROTECTION AND MANAGEMENT OF ALL LANDSCAPE ELEMENTS TO REMAIN.
- ALL PLANT MATERIALS ARE SUBJECT TO LANDSCAPE ARCHITECT APPROVAL BEFORE, DURING, AND AFTER INSTALLATION.
 - ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE.
- ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK"
 - ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
 - ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
 - ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD.

CONSTRUCTION/INSTALLATION

- CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING. THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF SWPPP PLAN.
- CONTRACTOR SHALL TAKE 3 REPRESENTATIVE SOIL SAMPLES OF EACH PROPOSED PLANT BED AND SUBMIT COPIES OF THE RESULTS TO THE LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK.
- STUMPS LABELED FOR REMOVAL SHALL BE EXCAVATED, NOT GROUND. REMOVE ALL DEBRIS FROM THE HOLE. FILL WITH TOP SOIL, COMPACT, AND RAKE SMOOTH PRIOR TO INSTALLING NEW PLANT MATERIAL.
- CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE. IT MAY BE NECESSARY TO TRUCK IN NON-CITY WATER TO MEET PLANT NEEDS.
- ALL LANDSCAPED AND LAWN AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
- ALL LANDSCAPE ISLANDS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED.
- INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/EXIT AND PARKING AREAS ACCORDING TO PLANS SO MATERIAL WILL NOT INTERFERE WITH SIGHT DISTANCES.
- THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUMPER OVERHANG FROM THE BACK OF CURB.
- ALL TREES MUST BE GUYED OR STAKED AS DETAILED.
- AREAS DAMAGED FROM PLANT RELOCATION OR OTHER ACTIVITIES OF LANDSCAPE CONTRACTOR TO BE RESEEDED AND ESTABLISHED AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE. IT MAY BE NECESSARY TO TRUCK IN NON-CITY WATER TO MEET PLANT NEEDS.
- USE HERBICIDES, PESTICIDES, AND FERTILIZER IN A MANNER CONSISTENT WITH THE FEDERAL INSECTICIDE, FUNGICIDE, AND RODENTICIDE ACT AND IN ACCORDANCE WITH LABEL RESTRICTIONS.
- ALL LAWN AREAS TO BE SEEDDED SHALL USE A LOCALLY GROWN COMMERCIAL MIX MEETING LATEST STATE OF NORTH CAROLINA AGRICULTURE STANDARDS FOR SEED AND PLANT CERTIFICATION.
- SEEDING AND STRAW NOTES FOR LAWN AREAS:
 - RIP THE ENTIRE AREA TO DEPTH OF NOT LESS THAN 6".
 - REMOVE ALL LOOSE ROCKS, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE SMOOTH AND UNIFORM. DISPOSE OF WASTE MATERIAL OFF-SITE.
 - CHISEL COMPACTED AREAS AND SPREAD TOPSOIL TO SPECIFIED DEPTH.
 - APPLY AGRICULTURAL LIME, FERTILIZER, AND SUPER PHOSPHATE UNIFORMLY AND MIX WITH SOIL. APPLY SOIL AMENDMENTS PER REQUIRED SOIL ANALYSIS RECOMMENDATIONS.
 - CONTINUE TILAGE UNTIL A WELL PULVERIZED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED.
 - SEED ON A FRESHLY PREPARED SEEDBED AND COVER SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK AFTER SEEDING.
 - MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
 - INSPECT ALL SEEDDED AREAS AND IF POSSIBLE, MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE PLANTING SEASON. IF GRANDSTAND SHOULD BE OVER 60% DAMAGED, REESTABLISH FOLLOWING ORIGINAL LIME, FERTILIZER, AND SEEDING RATES.
 - ANCHOR TACK WITH LIQUID ASPHALT AT 400 GAL/ACRE OR EMULSIFIED ASPHALT AT 300 GAL/ACRE.
- BIODEGRADABLE WEED MATTING (ALL-PRO WEED MAT OR APPROVED EQUAL) SHALL BE REQUIRED IN SHRUB BEDS ADJACENT TO BUILDING FACADE.
- PLANTING BEDS TO BE COMPLETELY COVERED WITH A MINIMUM 4" DEPTH OF MATERIAL FROM A LOCAL SOURCE HARVESTED IN A SUSTAINABLE MANNER. REFER TO LANDSCAPE SCHEME FOR MATERIAL SPECIFICATIONS.
- MULCH ALL PLANT BEDS AND TREE RINGS WITH FRESH, CLEAN MATERIAL PER SPECIFICATIONS. ALL MULCH EDGES SHALL BE NEATLY TUCKED. ALL STRING AND/OR BAILING WIRE SHALL BE REMOVED. DUST SHRUBS AND GROUND COVER AFTER MULCHING TO REMOVE LOOSE MATERIAL FROM PLANTS. DO NOT PLACE MULCH IN CONTACT WITH THE TREE TRUNK: KEEP A MINIMUM OF 4" AWAY FROM TREE TRUNK OR BASE OF PLANT.
- MULCH AND NO-MOW MIXES SHALL BE REPLISHED AS NEEDED, ESPECIALLY AFTER HEAVY RAIN EVENTS. IF NO-MOW MIX GERMINATES AT A RATE OF LESS THAN 90%, THEN REMOVE OTHER SPECIES AND RESEED.

TEMPORARY IRRIGATION

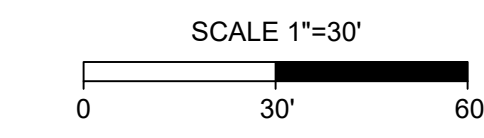
- CONTRACTOR TO PROVIDE AND MAINTAIN TEMPORARY IRRIGATION FOR SOD WITHIN THE STORMWATER CONTROL MEASURE UNTIL SOD BECOMES ESTABLISHED.

INSPECTIONS/GUARANTEE

- LANDSCAPE CONTRACTOR SHALL NOTIFY GENERAL CONTRACTOR UPON COMPLETION OF LANDSCAPE INSTALLATION. CONTRACTOR WILL VERIFY COMPLETENESS INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY LANDSCAPE ARCHITECT.
- PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- CONTRACTOR TO GUARANTEE ALL PLANT MATERIALS FOR ONE FULL YEAR AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. WARRANTY PERIOD SHALL BEGIN UPON CERTIFICATE OF OCCUPANCY OR WHEN THE OWNER TAKES OVER MAINTENANCE, WHICHEVER COMES FIRST.

CITY OF RALEIGH LANDSCAPE REQUIREMENTS

REQUIREMENT	CALCULATION	REQUIRED	SIZE (AT TIME OF PLANTING)
VEHICULAR SURFACE AREA:			
UDO 7.1.7.F. 1 SHADE TREE PER 2,000 S.F. OF V.S.A.	TOTAL V.S.A. = 22,580 S.F. 22,580 / 2,000 = 11.3 TREES	12 TREES	2" CALIPER TREES 18" MIN. HEIGHT SHRUBS
STREET TREES:			
U.D.O. 8.4.4.C & R.S.D.M. 4.3.1: 40' O.C. AVG.	KNARESBOROUGH RD 211 LF FRONTAGE 211/40 = 5.3 TREES	10 TREES	3" CALIPER OR 10 FT. MIN. HEIGHT TREES
	FRENCH DR 110 LF WITHOUT EXISTING TREES 110 / 40 = 2.75 TREES		
	LEAD MINE RD 40 LF WITHOUT EXISTING TREES 40 / 40 = 1 TREE		
TYPE A2 PROTECTIVE YARD:			
U.D.O. SEC. 7.2.4 4 SHADE TREES, 4 UNDERSTORY TREES PER 100 FT.	454 LF ALONG THE NORTHERN PROPERTY LINE (454 / 100) x 4 = 18.2 SHADE TREES (454 / 100) x 4 = 18.2 UNDERSTORY TREES	18 SHADE TREES 19 UNDERSTORY	SHADE TREES: 10 FT. MIN HEIGHT OR 3" CALIPER UNDERSTORY TREES: 6" MIN HEIGHT OR 1.5" CALIPER
U.D.O. SEC. 7.2.4 4 SHADE TREES, 4 UNDERSTORY TREES PER 100 FT.	174 LF ALONG THE NORTHERN PROPERTY LINE (174 / 100) x 4 = 11.3 SHADE TREES (174 / 100) x 4 = 11.3 UNDERSTORY TREES	12 SHADE TREES 12 UNDERSTORY	SHADE TREES: 10 FT. MIN HEIGHT OR 3" CALIPER UNDERSTORY TREES: 6" MIN HEIGHT OR 1.5" CALIPER



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R. BAKER
CHECKED BY
R. BAKER
SCALE
AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

HOLY TRINITY GREEK ORTHODOX CHURCH
RALEIGH - WAKE COUNTY - NORTH CAROLINA

LANDSCAPE PLAN

JOB NO.
54477

SHEET NO.
C6.0

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The Revocable Living Trust
of Nicholas Pedaditakis
PIN: 0796742787
DB 17566 PG 1990
BM 2019 PG 1518

TREE CONSERVATION AREA CALCULATIONS:
EXISTING LOT AREA: 6.63 AC
PROPOSED R/W DEDICATION AREA: 0.02 AC
PROPOSED LOT AREA: 6.61 AC
PRIMARY TREE CONSERVATION AREA - THOROUGHFARE: 0.66 AC (10%)



EXISTING UTILITIES AND DRIVEWAY
INSIDE TCA BOUNDARY SHALL
BE ABANDONED IN PLACE

CRITICAL ROOT ZONE (TYP.)

NO DISTURBANCE WITHIN THE
TCA BOUNDARY IS ALLOWED (TYP.)

PROPOSED SEGMENTAL RETAINING WALL

PRIMARY TREE CONSERVATION AREA - THOROUGHFARE
AREA = 0.66 AC ±

SILT FENCE W/ TREE PROTECTION SIGNAGE
IS LIMITS OF DISTURBANCE ALONG TCA BOUNDARY.
REFER TO DETAIL TPP-08. (TYP.)

TREES WITH 10" DBH AND GREATER WITH
CRITICAL ROOT ZONES THAT EXTEND BEYOND
THE TCA BOUNDARY HAVE BEEN EXCLUDED
FROM THE BASAL AREA CALCULATIONS

FAMILY LIFE CENTER
18,101 SF±

NEW SANCTUARY
12,618 SF±

FUTURE
CHAPEL
2,075 SF±

FUTURE
BUILDING EXPANSION
3,060 SF±

EXISTING BUILDING

Edward J. Novasatka
PIN: 0796745353
DB 3859 PG 665
Lot 11, Block B, Section 2 per
BM 1978 PG 739

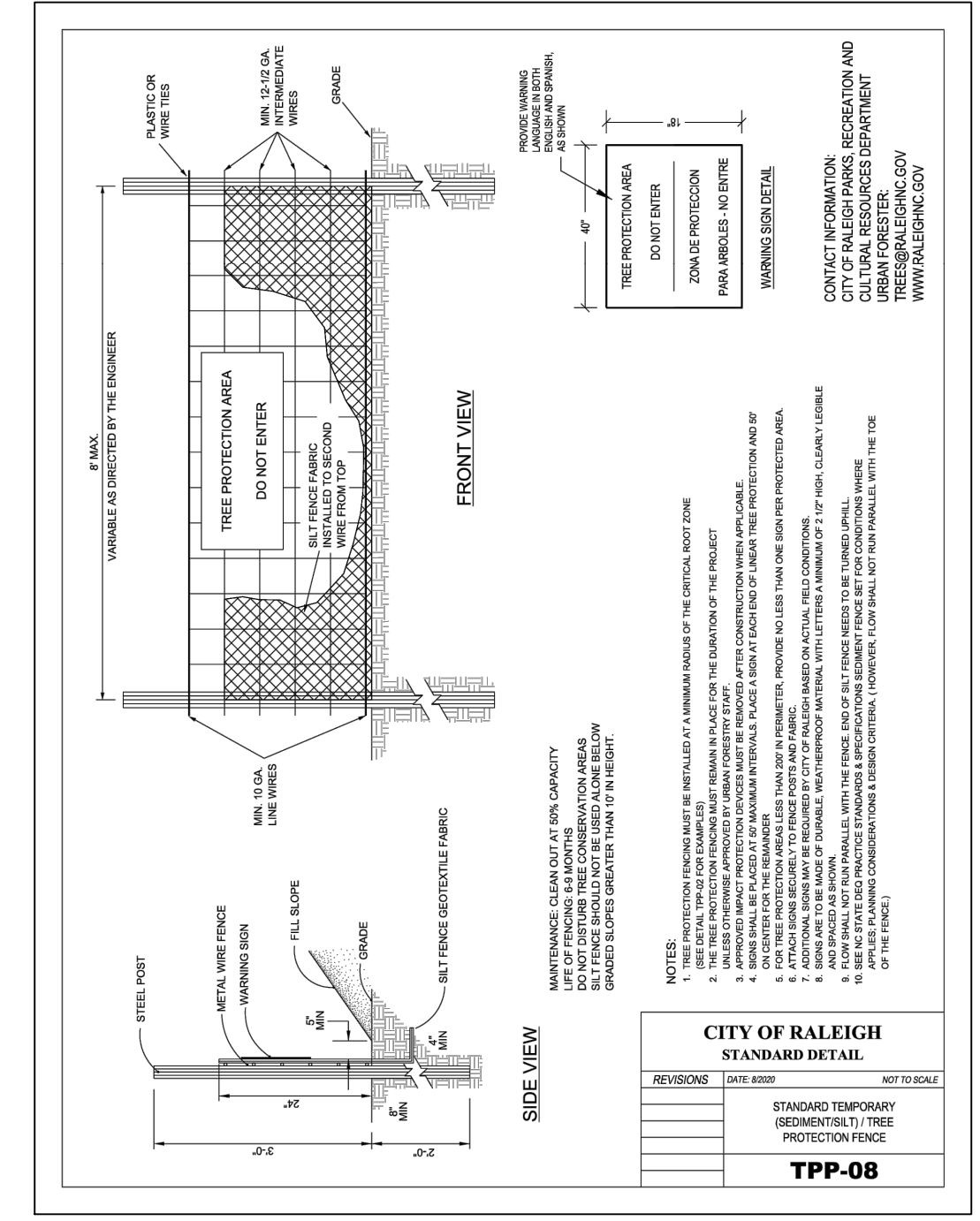
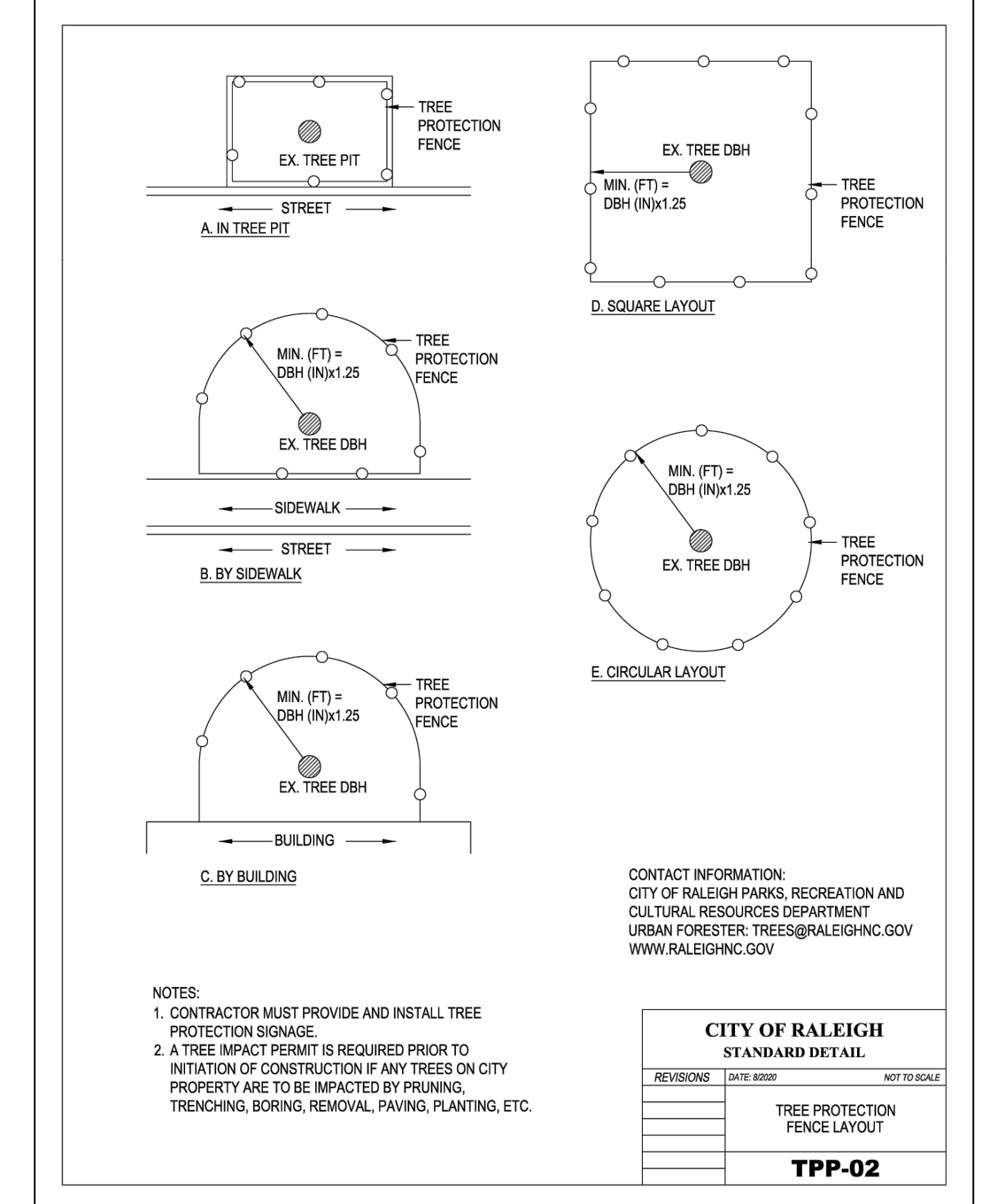
Adam H. Bronski
& Judith A. Bronski
PIN: 0796746109
DB 11735 PG 405
Lot 11, Block B, Section 2 per
BM 1978 PG 739

Greek Orthodox Community, Inc.
PIN: 0796746002
DB 8933 PG 159

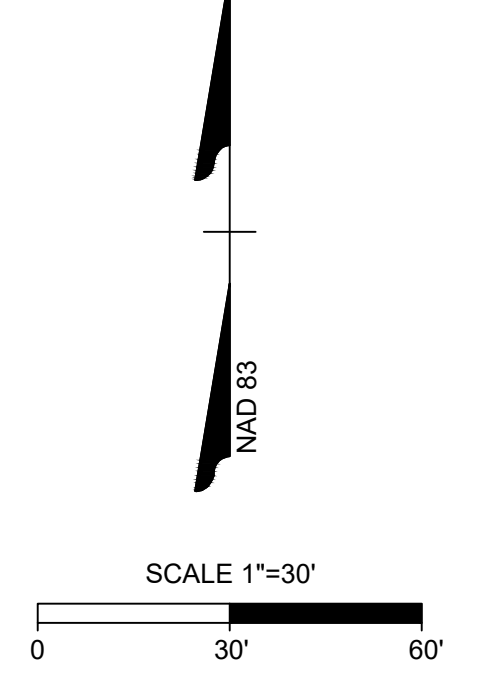
French Drive
60' Public RW
BM 1999 PG 1284

Lead Mine Road
Variable Public RW
BM 2019 PG 1518

Krashesborough Road
50' Public RW
BM 2019 PG 1518



- ACBA - *Acer barbatum*
- ACRU - *Acer rubrum*
- AIAL - *Ailanthus altissima*
- BEPA - *Betula papyrifera*
- CABI - *Catalpa bignonioides*
- CAGL - *Carya glabra*
- CAIL - *Carya illinoensis*
- CAMO - *Castanea mollissima*
- COFL - *Cornus florida*
- DIVI - *Diospyros virginiana*
- FAGR - *Fagus grandifolia*
- ILCA - *Ilex cassine*
- ILDE - *Ilex decidua*
- ILOP - *Ilex opaca*
- JUNI - *Juglans nigra*
- JUVI - *Juniperus virginiana*
- LAIN - *Lagerstroemia indica*
- LILU - *Ligustrum lucidum*
- LISI - *Ligustrum sinense*
- LITL - *Liquidambar styraciflua*
- LITU - *Liriodendron tulipifera*
- MATR - *Magnolia tripetala*
- MAVI - *Magnolia virginiana*
- NYSY - *Nyssa sylvatica*
- OXAR - *Oxydendrum arboreum*
- PIEC - *Pinus echinata*
- PITA - *Pinus taeda*
- PHSE - *Phytolacca serratifolia*
- PRSE - *Prunus serotina*
- PYCA - *Pyrus calleryana*
- QUAL - *Quercus alba*
- QUCO - *Quercus coccinea*
- QUFA - *Quercus falcata*
- QUMA - *Quercus marilandica*
- QUINI - *Quercus nigra*
- QUPH - *Quercus phellos*
- QRUR - *Quercus rubra*
- QUST - *Quercus stellata*
- QUVE - *Quercus velutina*
- ROPS - *Robinia pseudoacacia*
- ULAL - *Ulmus alata*
- ULRU - *Ulmus rubra*



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	CHECKED BY R. BAKER
	SCALE AS SHOWN

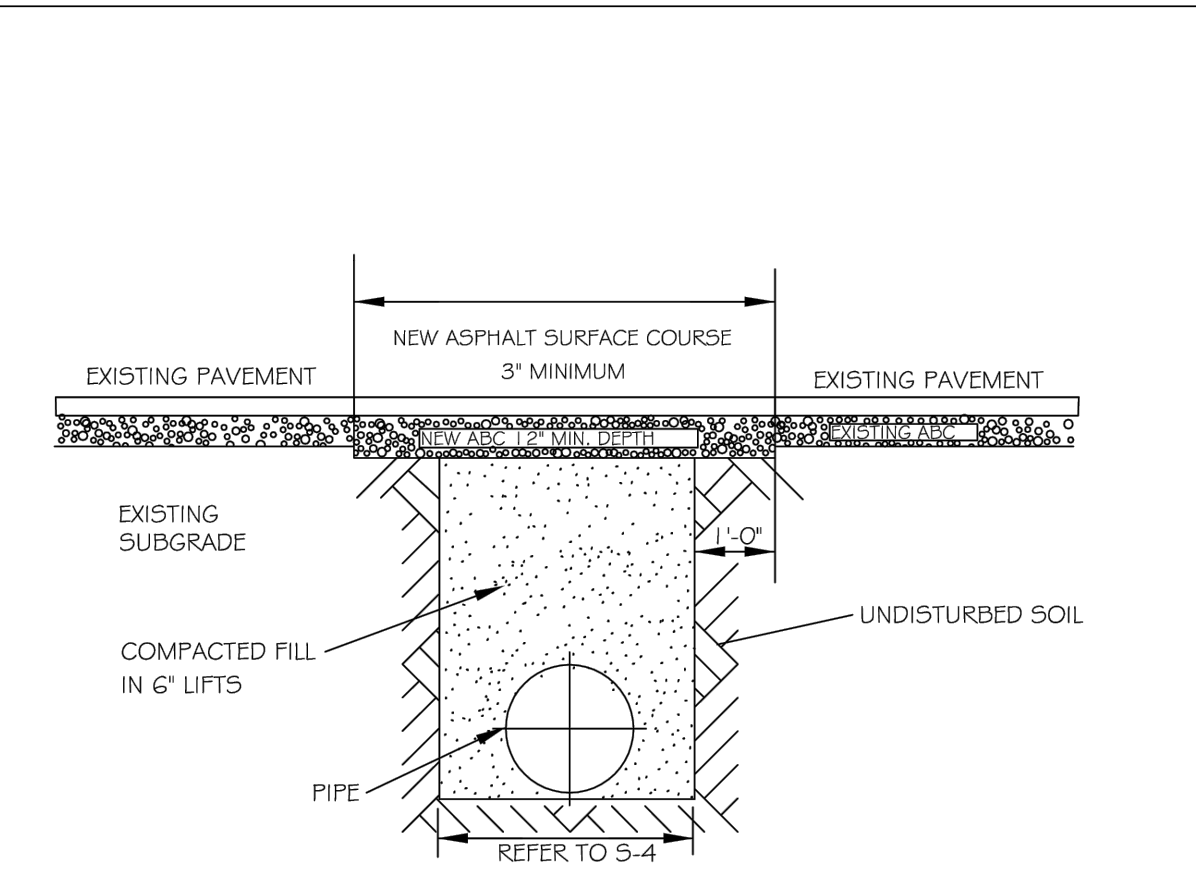
TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

HOLY TRINITY GREEK ORTHODOX CHURCH
RALEIGH - WAKE COUNTY - NORTH CAROLINA
TREE CONSERVATION AREA

JOB NO.
54477

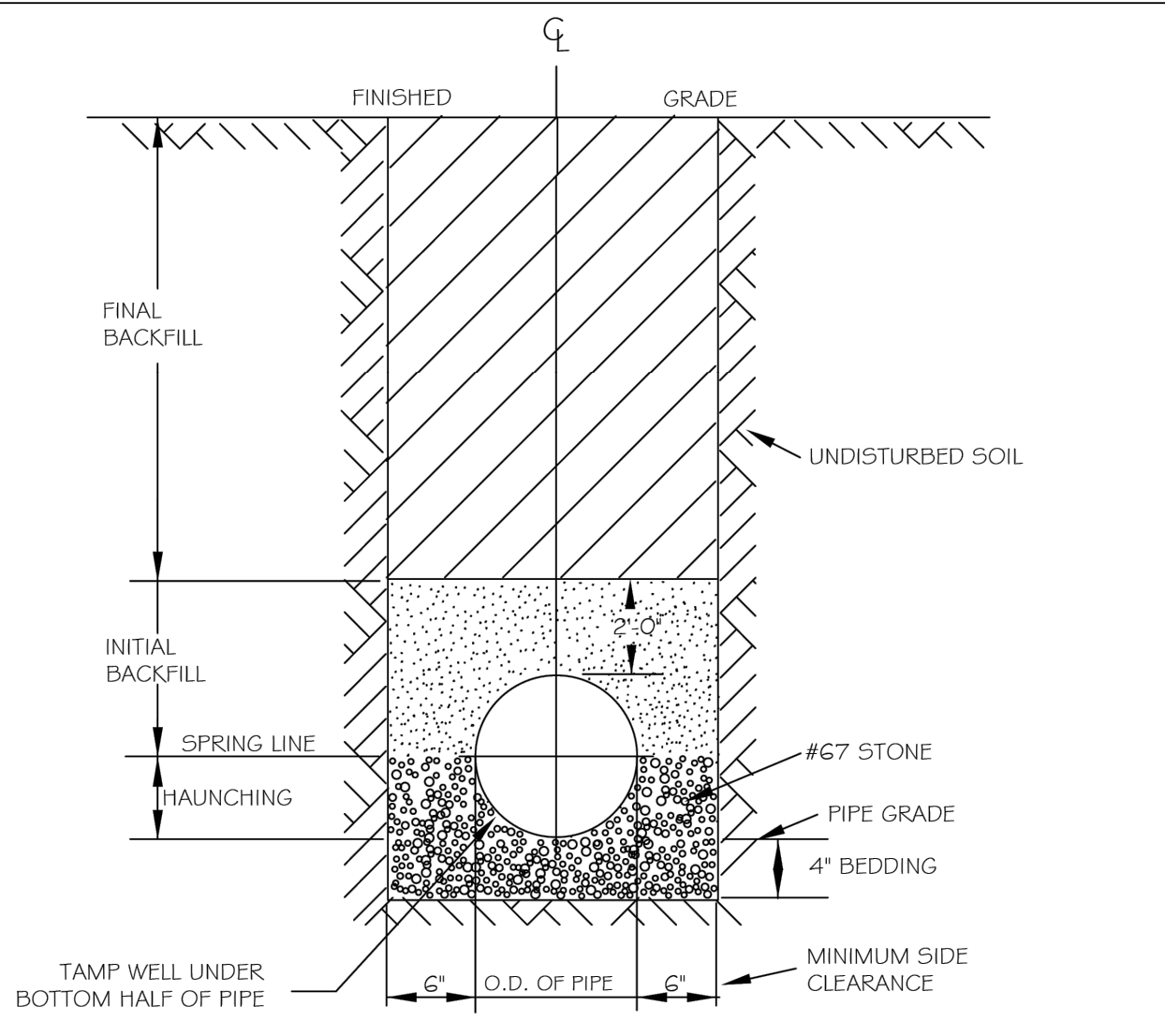
SHEET NO.
C6.2

S:\33254477-HolyTrinityChurch\DWGS\sheet\C6.1-TCA.dwg | Plotted on 12/20/2023 9:28 PM | by April Blye



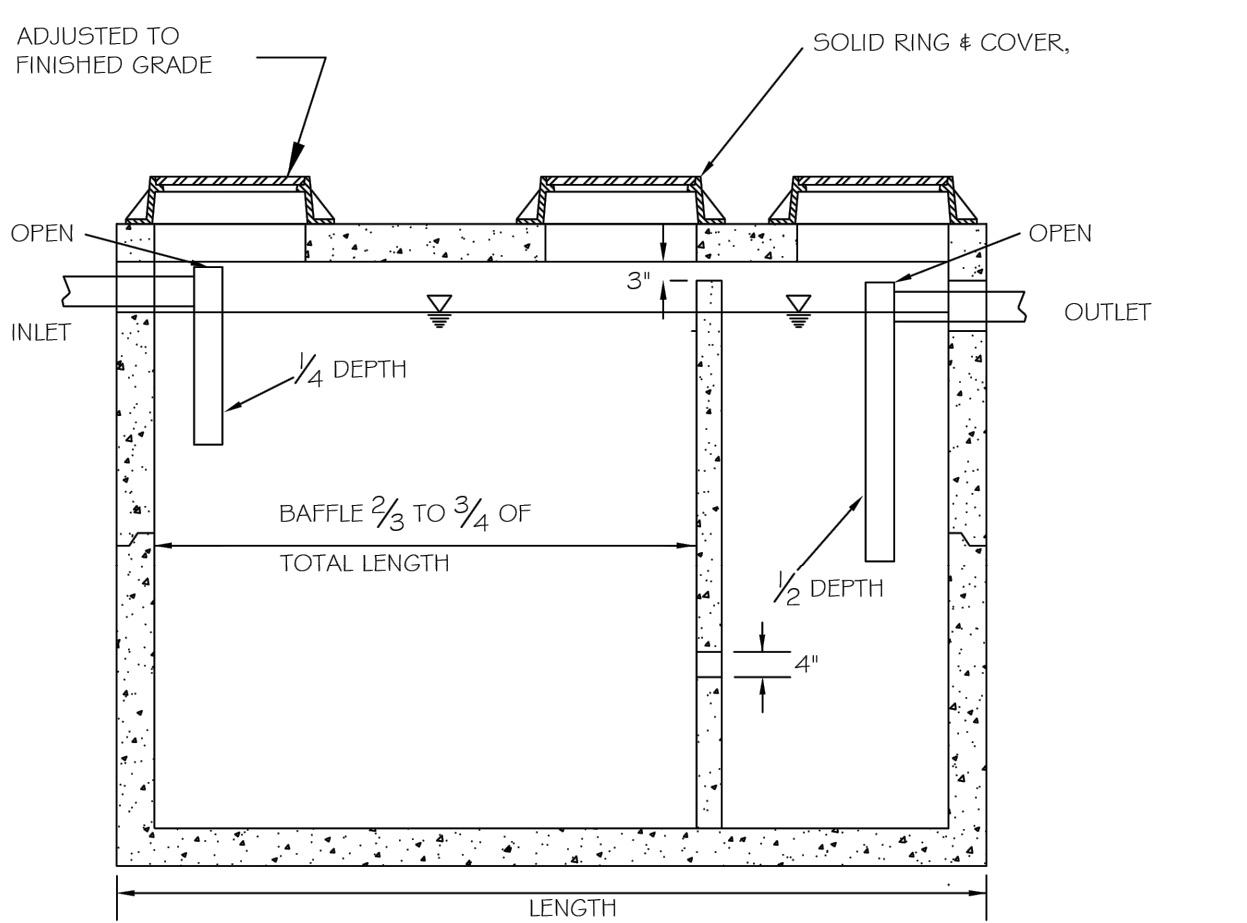
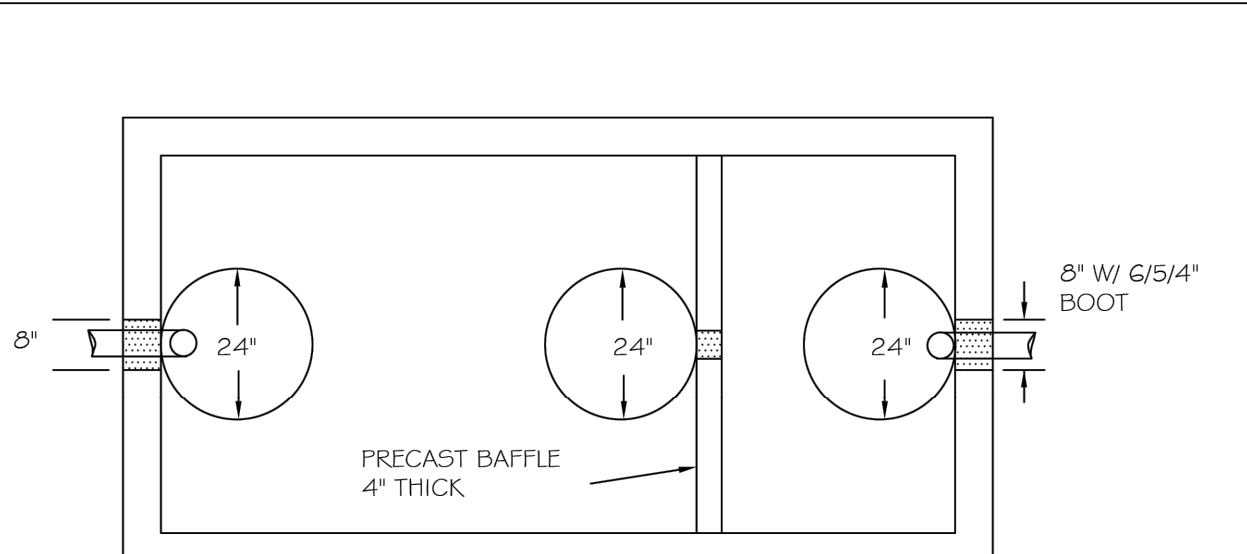
- NOTES:
1. IN NCDOT MAINTAINED ROADWAYS ENCROACHMENT PAVEMENT PATCH REQUIREMENTS SHALL TAKE PRECEDENCE.
 2. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAWCUT MACHINE.
 3. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
 4. THE FINAL 1\"/>

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
STANDARD ASPHALT PAVEMENT PATCH DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-3	RRH	3-30-00	J.P.S.	4-19-04



- TRENCH BOTTOM DIMENSIONS FOR SDR 35 PVC GRAVITY PIPE
- NOTES:
1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 2. NO ROCKS OR BOULDERS 4\"/>

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
TRENCH BOTTOM DIMENSIONS AND BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-5	RRH	7-2-02	RRH	8-30-00



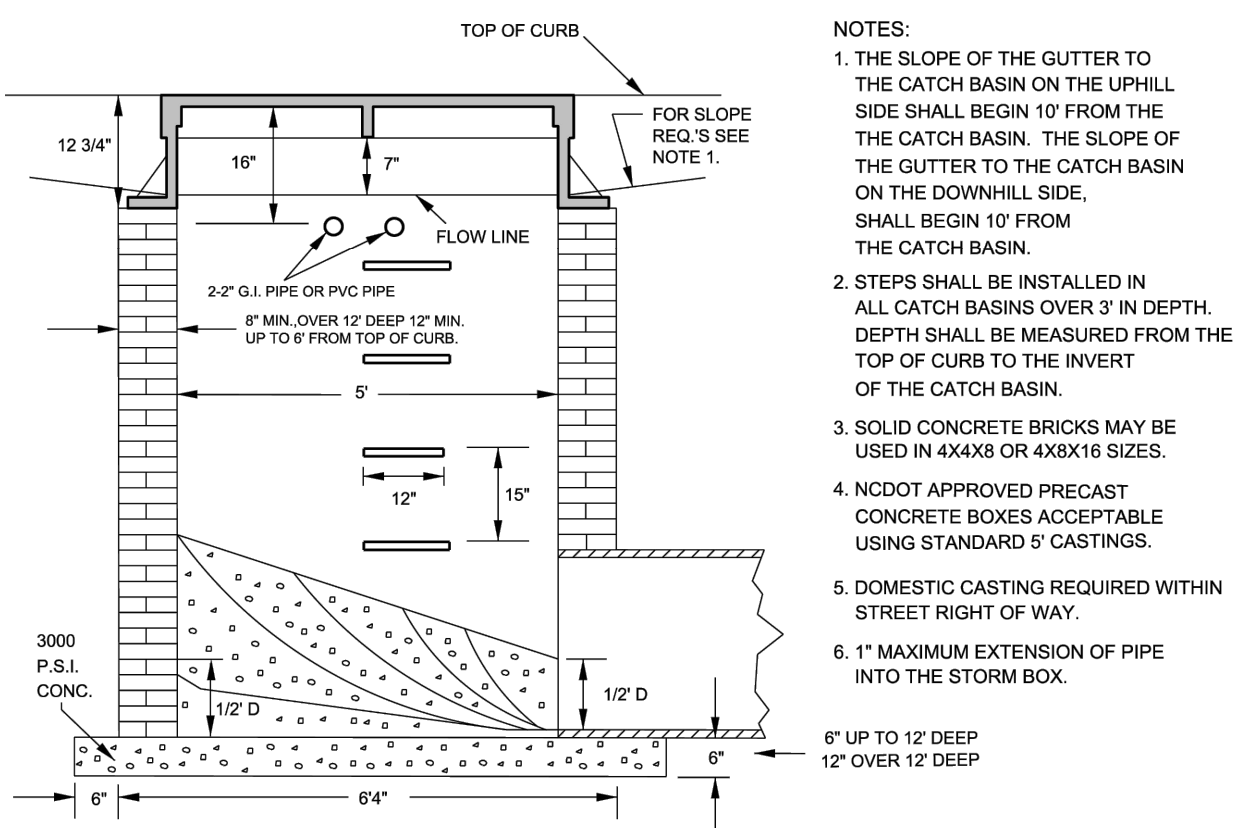
- NOTES:
1. REINFORCEMENT: H-20 BRIDGE LOADING (TRAFFIC RATED)
 2. CONCRETE: 4000 PSI @ 28 DAYS
 3. EARTH COVER: 0 TO 5' MAX.

CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
1000 GALLON GREASE INTERCEPTOR				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-40	RRH	3/9/00	D.H.L.	6/18/08

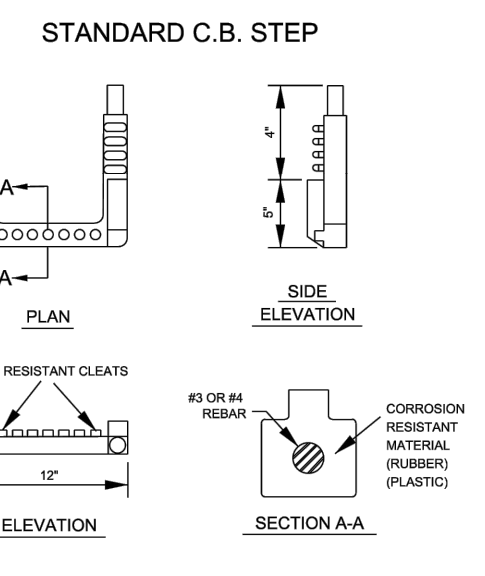
LOCALLY AVAILABLE SIZES	
INTERCEPTORS CAPACITY (GAL.)	SEPARATORS CAPACITY (GAL.)
300	1000
550	1200
750	1600
1000	
1200	
1500	
2000	
2500	
3000	
4000	
5000	
6000	
8000	

- NOTES:
1. BAFFLE WALL LOCATED AT A DISTANCE FROM INLET WALL $\frac{2}{3}$ TO $\frac{3}{4}$ OF THE TOTAL LENGTH OF THE INTERCEPTOR OR SEPARATOR AS SHOWN ON DETAIL 5-40.
 2. EACH INTERCEPTOR OR SEPARATOR SHALL HAVE INLET AND OUTLET TEES. THE OUTLET TEE SHALL EXTEND 50% INTO THE LIQUID DEPTH. THE INLET TEE SHALL EXTEND 25% INTO THE LIQUID DEPTH. INLET AND OUTLET TEES MUST BE OPEN TO ALLOW THE COLLECTION OF F.O.G. SAMPLE.
 3. ACCESS OPENINGS OVER EACH COMPARTMENT WITHIN THE INTERCEPTOR OR SEPARATOR SHALL BE 24 INCHES IN DIAMETER AND CONTAIN PICK HOLES. ALL COVERS SHALL BE CONSTRUCTED OF CAST IRON OR EQUIVALENT TRAFFIC BEARING MATERIAL. MANHOLE COVERS MUST EXTEND TO FINISH GRADE AND BE INSTALLED TO EXCLUDE THE ENTRANCE OF STORMWATER INTO THE INTERCEPTOR OR SEPARATOR.
 4. FULL SIZE DUAL SWEEP CLEANOUTS SHALL BE INSTALLED ON THE INLET AND OUTLET SIDES OF THE INTERCEPTOR OR SEPARATOR.
 5. INTERCEPTORS AND SEPARATORS MUST BE VENTED IN ACCORDANCE WITH THE NC STATE PLUMBING CODE.
 6. CONCRETE: 4000 PSI @ 28 DAYS.
 7. DESIGN: ACI 318 BUILDING CODE
ASTM C1613-06 FOR GREASE INTERCEPTORS
ASTM C913-02 FOR WATER AND WASTEWATER STRUCTURES
ASTM C896-06 FOR MINIMAL STRUCTURAL DESIGN LOADING
 8. INTERCEPTORS AND SEPARATORS SHALL BE DESIGNED TO WITHSTAND AN H-20 WHEEL LOAD.
 9. INTERCEPTORS OR SEPARATORS MADE OF POLYETHYLENE OR FIBERGLASS SHALL INCLUDE A MINIMUM 12,000 PSI TENSILE STRENGTH, 19,000 PSI FLEXURAL STRENGTH, AND 800,000 PSI FLEXURAL MODULUS.
 10. ALL INTERCEPTORS AND SEPARATORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.

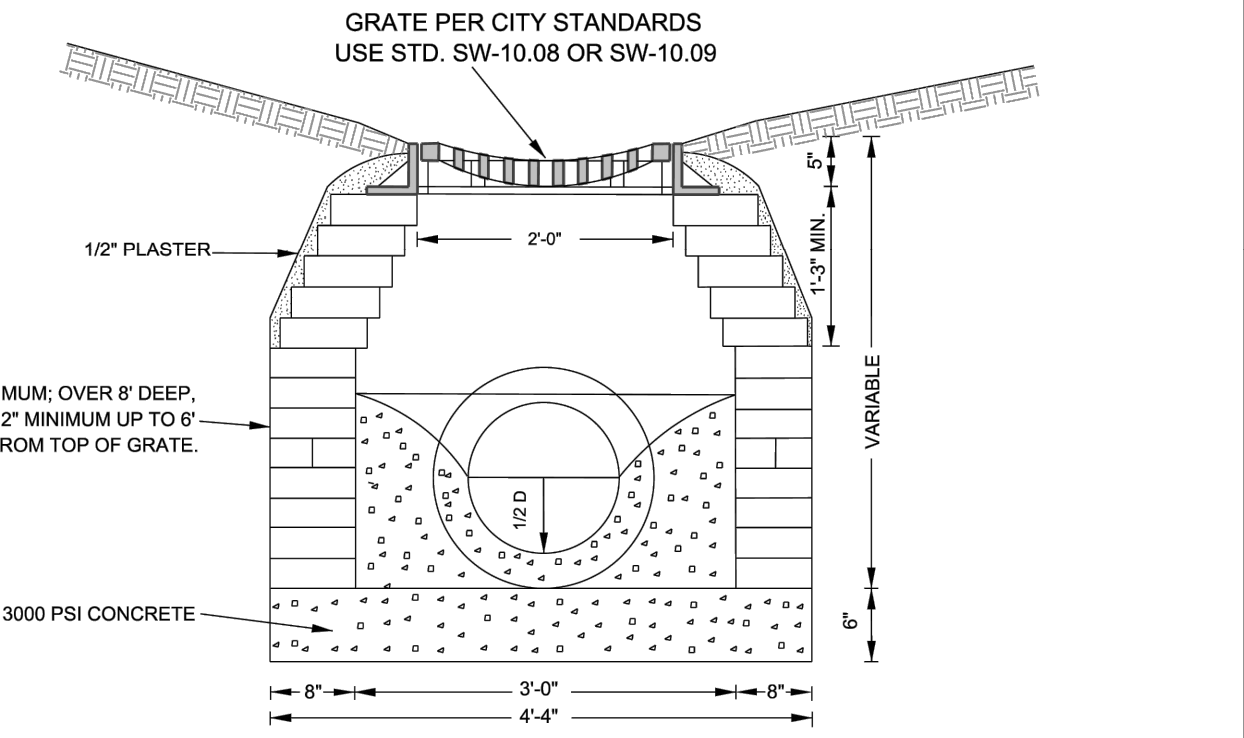
CITY OF RALEIGH				
DEPARTMENT OF PUBLIC UTILITIES				
DIMENSIONS: GREASE INTERCEPTORS OIL-WATER-SAND SEPARATORS				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
5-41	RRH	3/9/00	D.H.L.	6/18/08



- NOTES:
1. THE SLOPE OF THE GUTTER TO THE CATCH BASIN ON THE UPHILL SIDE SHALL BEGIN 10\"/>

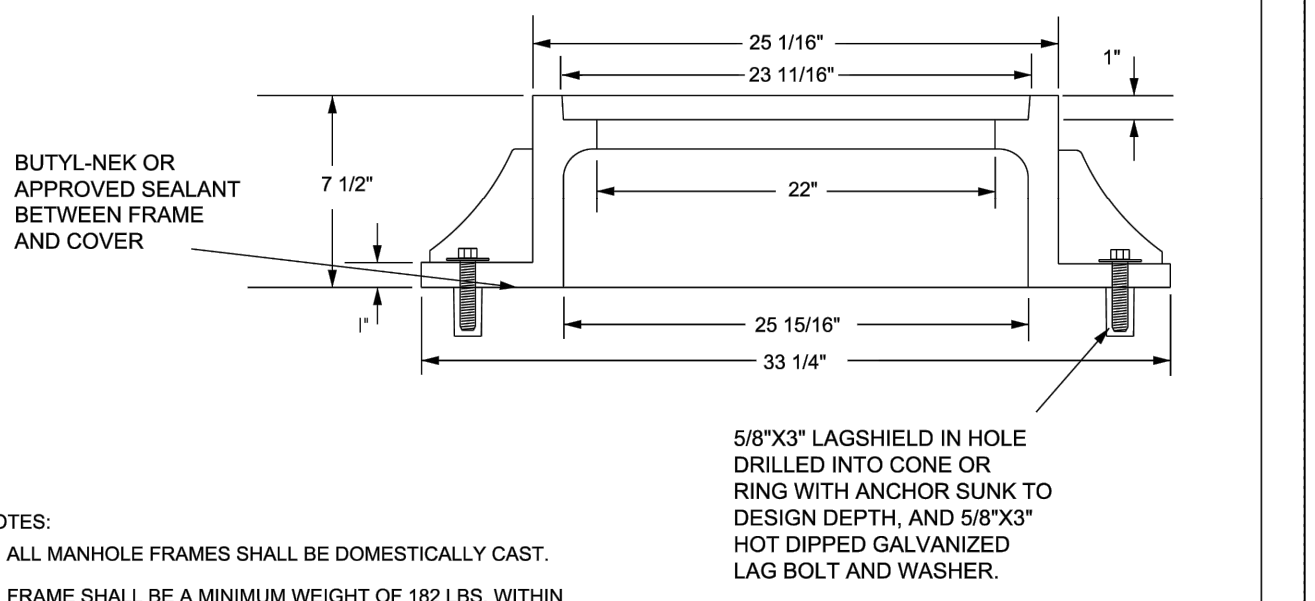
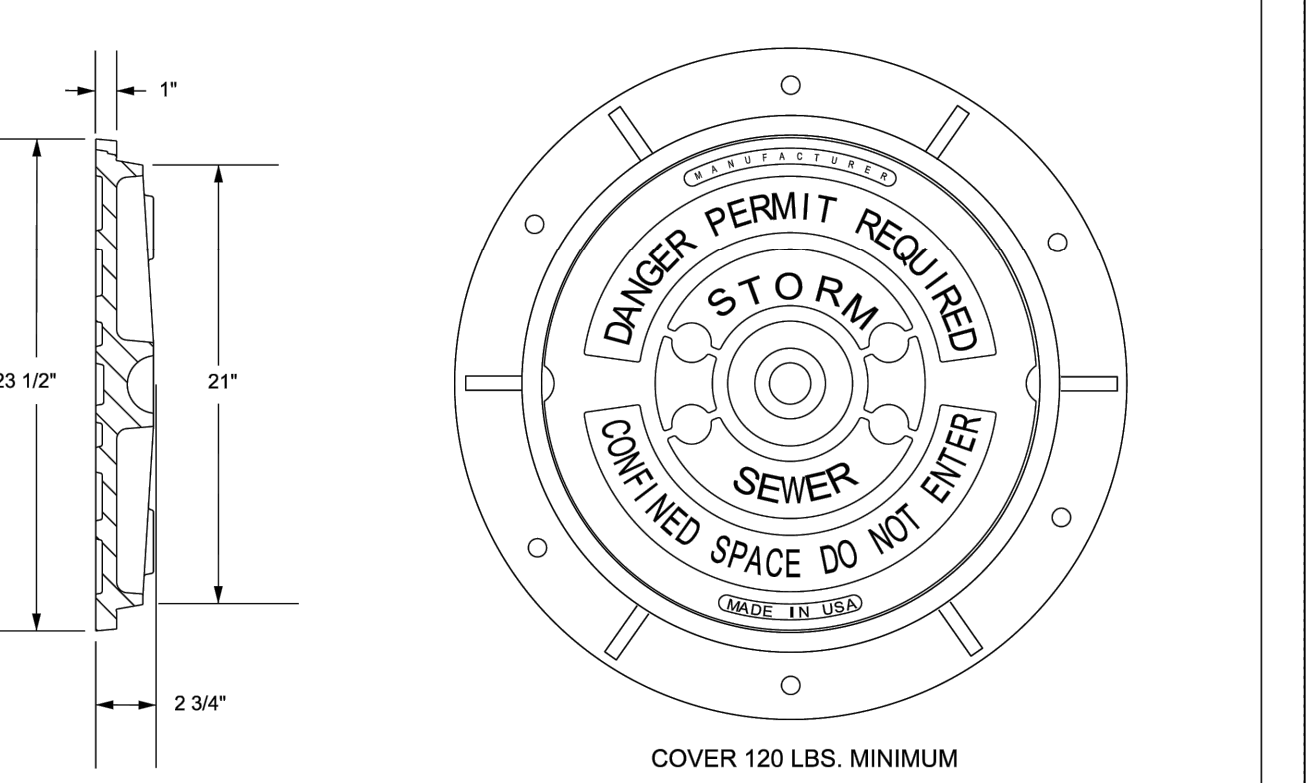


CITY OF RALEIGH		
STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
	8/20/07	



- NOTES:
1. FOR 24\"/>

CITY OF RALEIGH		
STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
	8/20/07	



CITY OF RALEIGH		
STANDARD DETAIL		
REVISIONS	DATE	NOT TO SCALE
	8/20/07	

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REVISION DESCRIPTION	DATE
	12/01/2023

DESIGNED BY
R. BAKER

CHECKED BY
R. BAKER

SCALE
AS SHOWN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

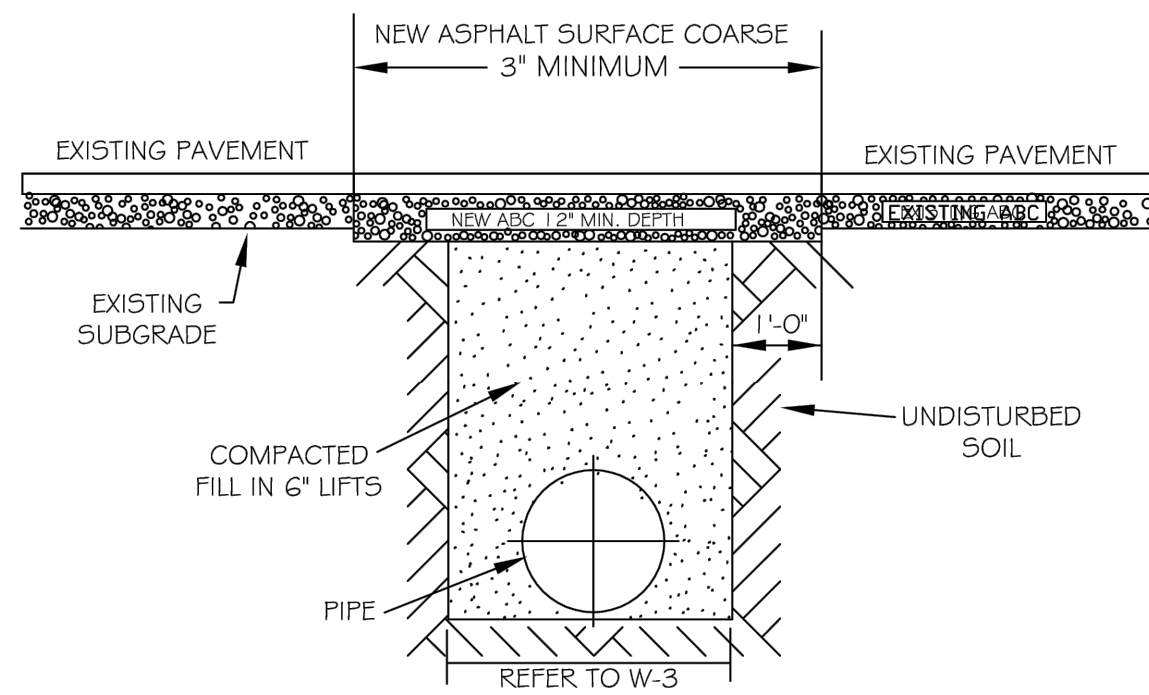
HOLY TRINITY GREEK ORTHODOX CHURCH
RALEIGH - WAKE COUNTY - NORTH CAROLINA

NOTES & DETAILS

JOB NO.
54477

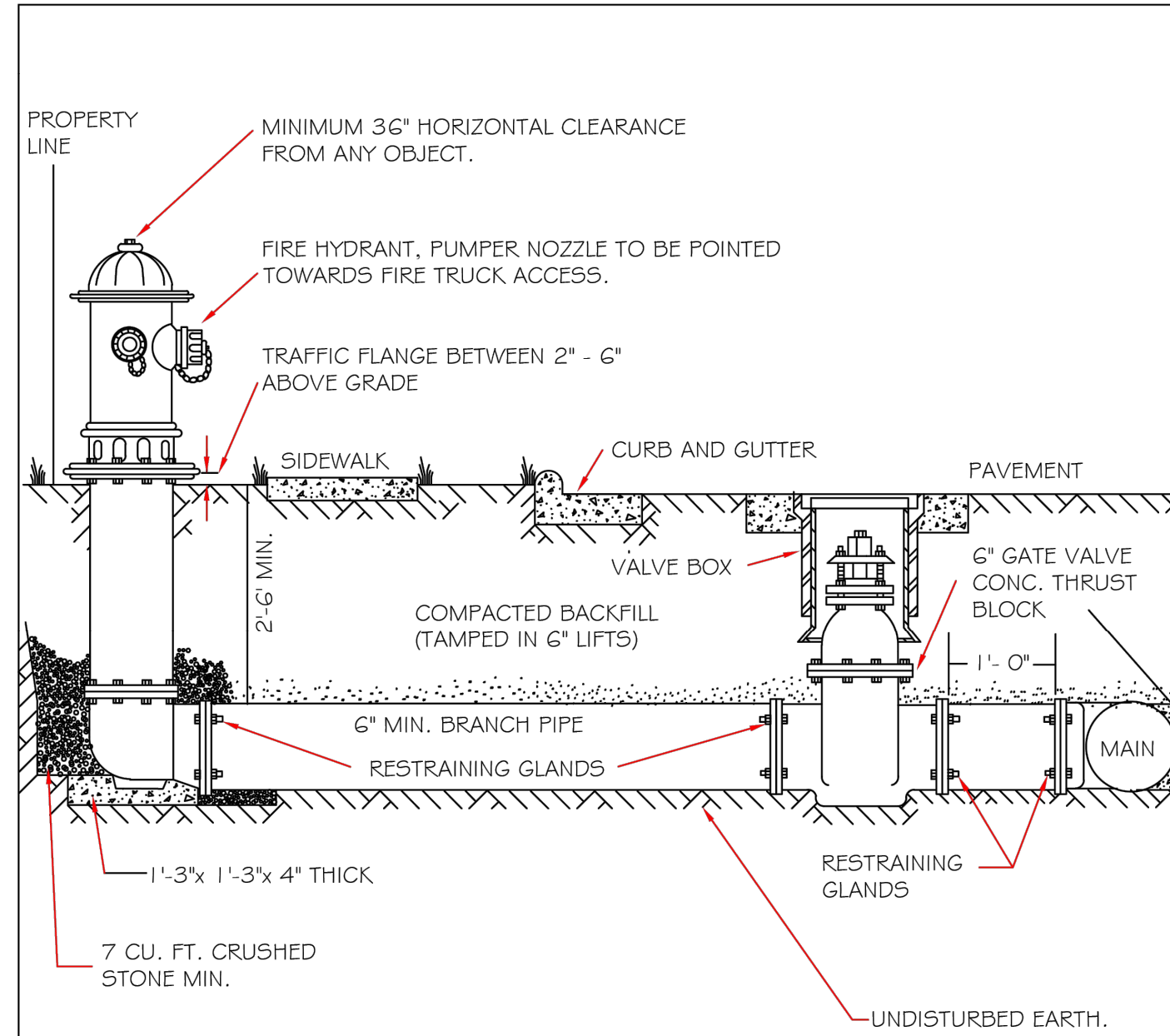
SHEET NO.
C7.1

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION



- NOTES:
1. THE PAVEMENT CUT SHALL BE DEFINED BY A STRAIGHT EDGE AND CUT WITH AN APPROPRIATE SAW CUT MACHINE.
 2. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 95% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY NCDOT.
 3. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-80 AS MODIFIED BY NCDOT.
 4. THE ENTIRE THICKNESS/ VERTICAL EDGE OF CUT SHALL BE TACKED.
 5. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 3" THICK.
 6. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.
 7. REFER TO CITY OF RALEIGH STANDARDS FOR TRENCHES AND PIPE BEDDING, W-3, FOR ADDITIONAL DETAILS.
 8. NO HAND PATCHING ALLOWED.
 9. PAVEMENT CUTS WITHIN NCDOT ROW SHALL CONFORM TO THE APPROVED ON SITE ENCROACHMENT PERMIT.

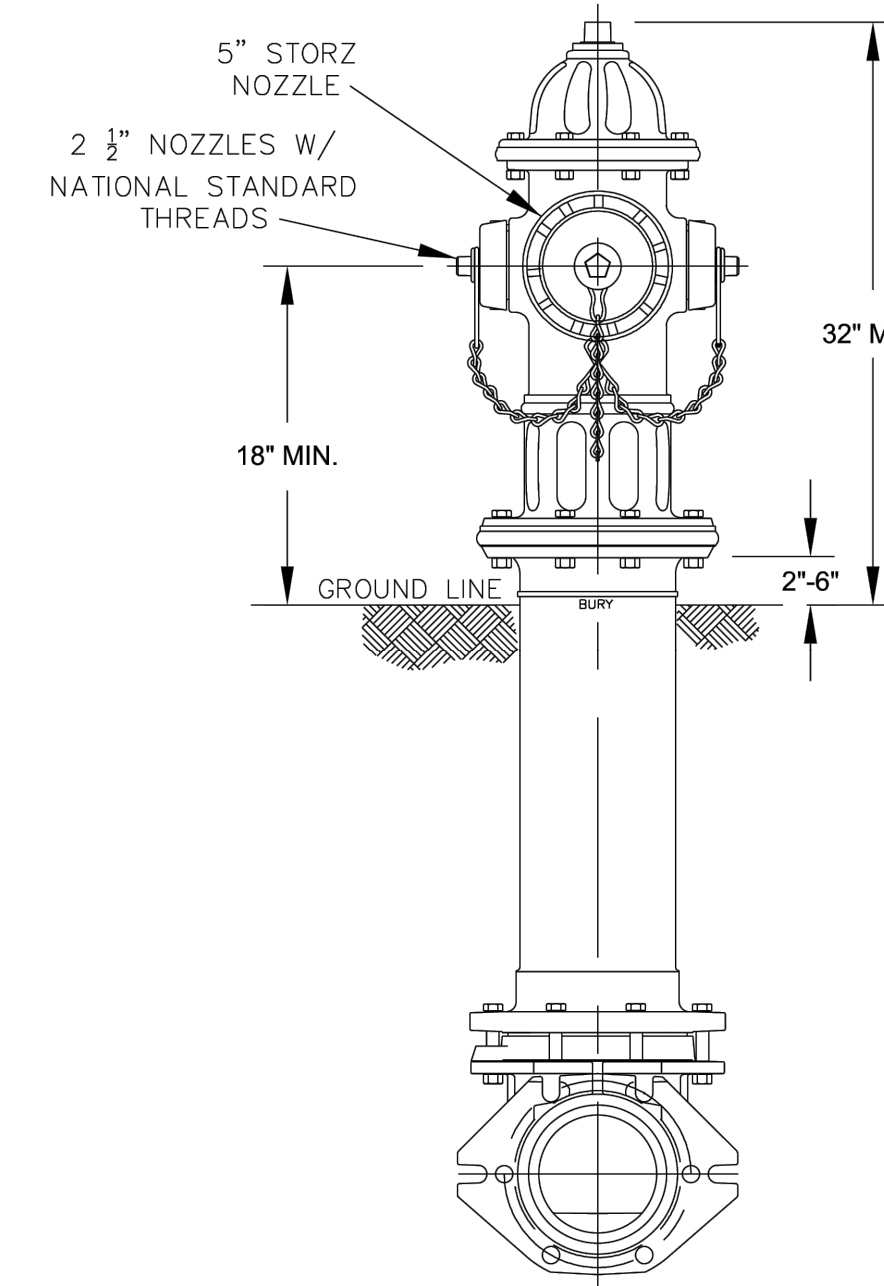
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
STANDARD ASPHALT PAVEMENT PATCH DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-2	RRH	3-31-00	A.B.B.	4-16-04
	D.W.C.	11-1-99	J.P.S.	0-29-10



- NOTES:
1. FIRE HYDRANT SHALL BE AS MANUFACTURED: MUELLER, AMERICAN DARLING, KENNEDY, M41, WATERLOUS, CLOW, EAST JORDAN IRON WORKS, OR US PIPE.
 2. BRANCH PIPE SHALL BE DUCTILE IRON AWWA C 150-96
 3. 6" GATE VALVE SHALL BE AWWA C500-96 OPEN LEFT
 4. STEEL RODS AND BOLTS SHALL BE 3/4" HOT DIPPED GALVANIZED
 5. FIRE HYDRANTS WILL BE INSTALLED IN TRUE VERTICAL POSITION
- RODS SHALL NOT BE COUPLED MORE THAN ONCE. IF THE LENGTH FROM THE VALVE TO THE HYDRANT EXCEEDS 20' THEN A MECHANICAL RESTRAINING GLAND WITH A REBAR CAGE SHALL BE INSTALLED NO MORE THAN 10' FROM HYDRANT AND POURED IN CONCRETE.
- FIRE HYDRANTS TO BE LOCATED IN ROW OR 2 FOOT EASEMENT ADJACENT TO ROW

ANYTIME SITE WORK, CONSTRUCTION, ROAD WORK, OR ANY OTHER WORK CHANGES THE GRADE OF THE FIRE HYDRANT, THE PERSON RESPONSIBLE FOR THE WORK IS RESPONSIBLE FOR ADJUSTING THE FIRE HYDRANT TO STAY WITHIN COMPLIANCE.

CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
STANDARD FIRE HYDRANT INSTALLATION DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-4	ABB	4-6-04	PAP	2/17/09
	DHL	2/14/08		

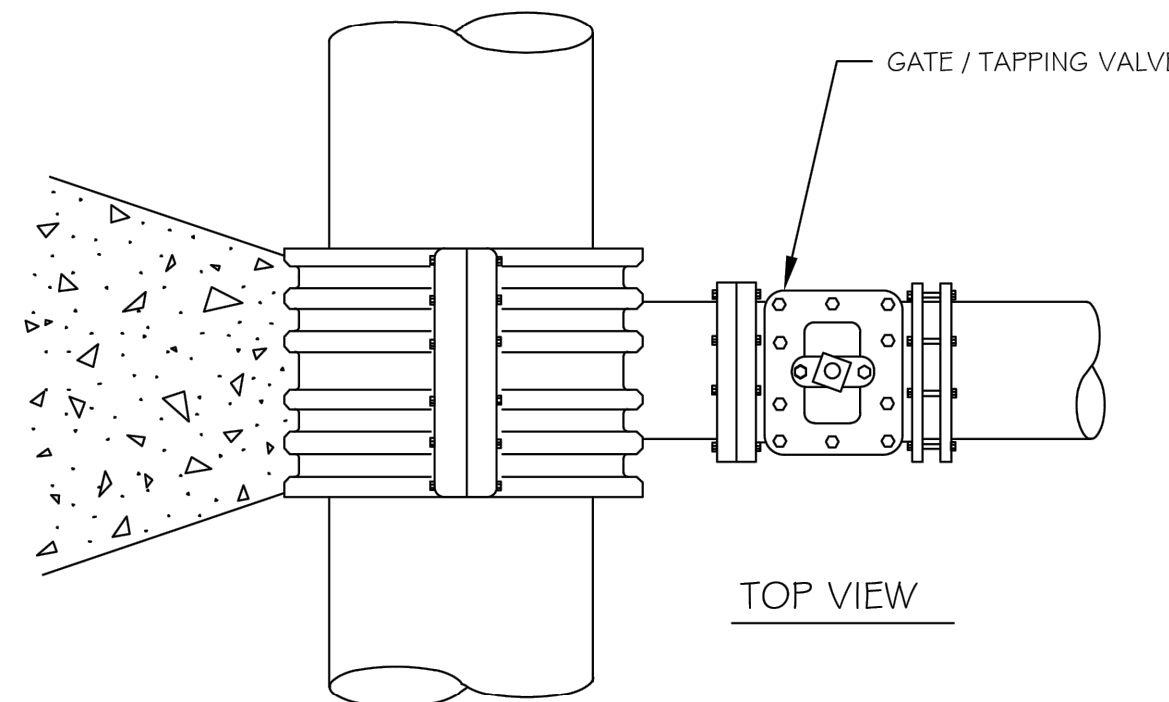


- NOTES:
1. ALL PUBLIC FIRE HYDRANTS IN THE CITY OF RALEIGH AND THE MERGER TOWNS OF GARNER, ROLESVILLE, WAKE FOREST, KNIGHTDALE, WENDELL AND ZEBULON SHALL BE PAINTED CHROME YELLOW WITH HIGH REFLECTIVE ALUMINUM SILVER CAPS, BONNETS AND OPERATING NUTS.
 2. ALL PRIVATE FIRE HYDRANTS SHALL BE RED.

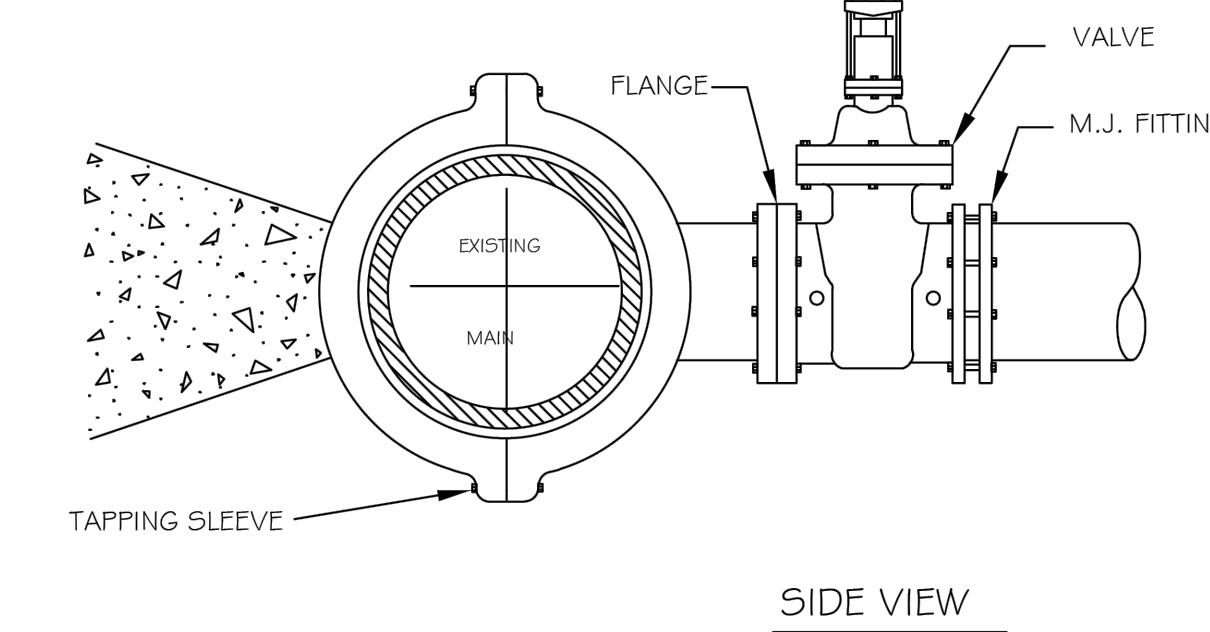
CITY OF RALEIGH
DEPARTMENT OF PUBLIC UTILITIES
RALEIGH, GARNER, KNIGHTDALE, ROLESVILLE,
WAKE FOREST, WENDELL & ZEBULON

STANDARD FIRE HYDRANT WITH
5" STORZ PUMPER NOZZLE

DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-5	MAB	6-30-16		
	KAT	9-15-17		

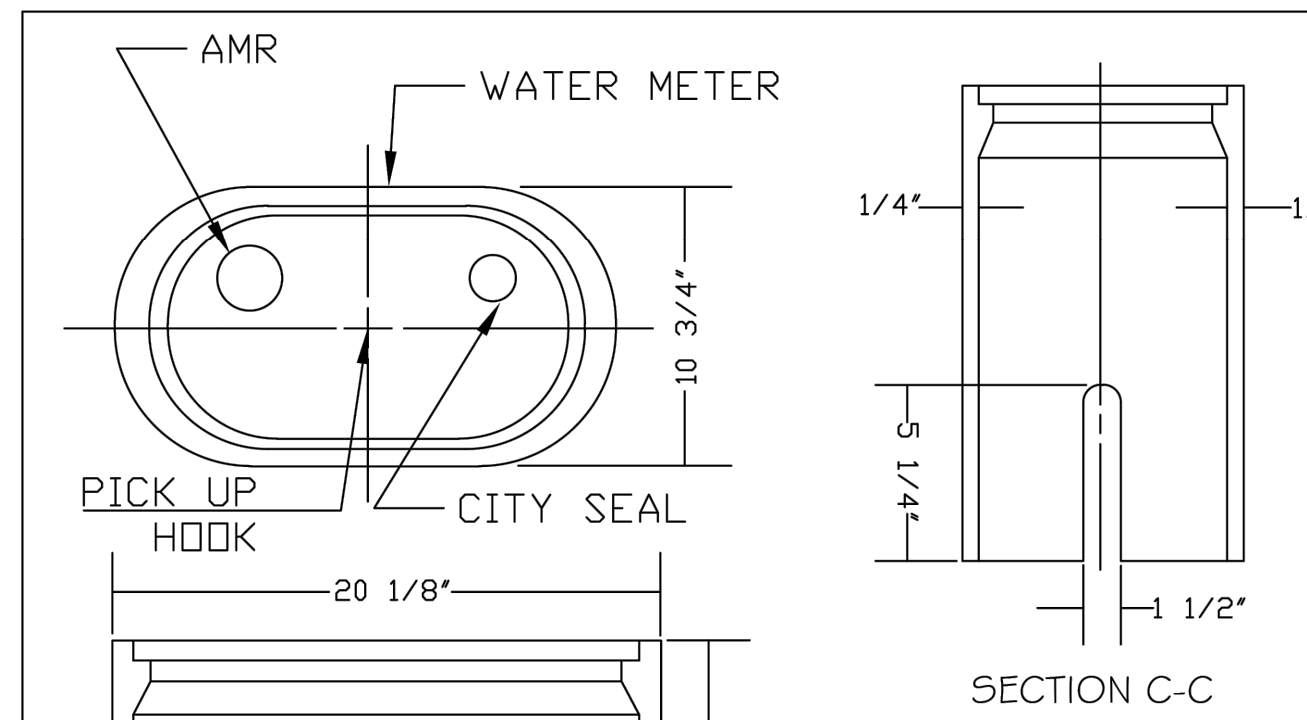


3000 PSI SOLID CONCRETE SHALL BE USED AS FOOTING FOR DUCTILE IRON PIPE.

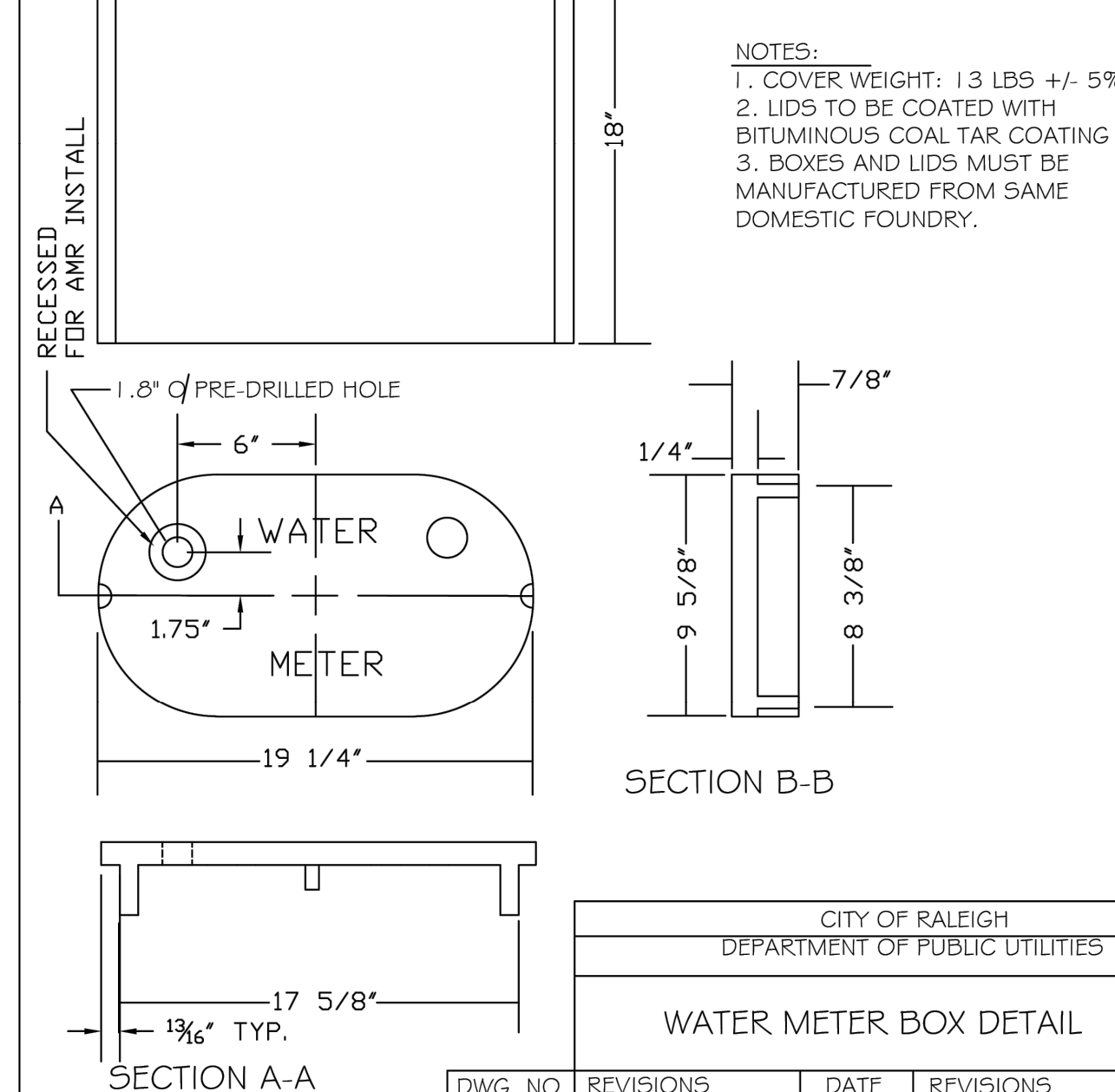


- NOTES:
1. CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS.
 2. SEE STANDARD REACTION BLOCK TABLES, W-10 AND W-11 FOR AREA OF CONCRETE REQUIRED.

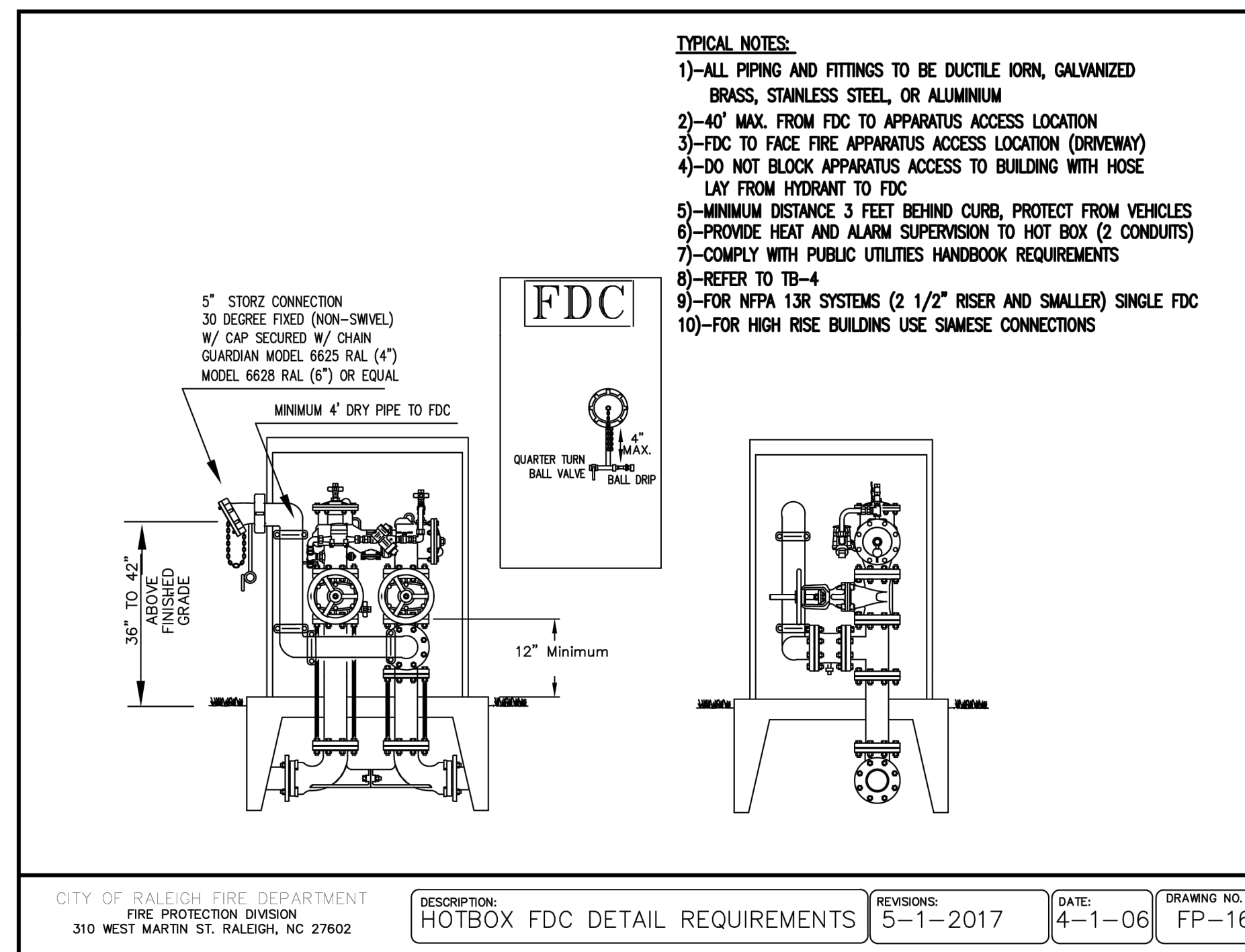
CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
4" - 24" STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-14	Y.C.A.	12-31-91	RRH	3-31-00
	D.W.C.	9-7-99	J.P.S.	11-1-10



- NOTES:
1. COVER WEIGHT: 13 LBS +/- 5%
 2. LIDS TO BE COATED WITH BITUMINOUS COAL TAR COATING
 3. BOXES AND LIDS MUST BE MANUFACTURED FROM SAME DOMESTIC FOUNDRY.



CITY OF RALEIGH DEPARTMENT OF PUBLIC UTILITIES				
WATER METER BOX DETAIL				
DWG. NO.	REVISIONS	DATE	REVISIONS	DATE
W-25	ABB	1-20-05		
	R.K.V.	8-20-13	J.P.S.	11-4-10



CITY OF RALEIGH FIRE DEPARTMENT FIRE PROTECTION DIVISION 310 WEST MARTIN ST. RALEIGH, NC 27602		DESCRIPTION: HOTBOX FDC DETAIL REQUIREMENTS		REVISIONS: 5-1-2017	DATE: 4-1-06	DRAWING NO. FP-16
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DESIGNED BY R. BAKER	
CHECKED BY R. BAKER	
SCALE AS SHOWN	

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

HOLY TRINITY GREEK ORTHODOX CHURCH
RALEIGH - WAKE COUNTY - NORTH CAROLINA

NOTES & DETAILS

JOB NO.
54477

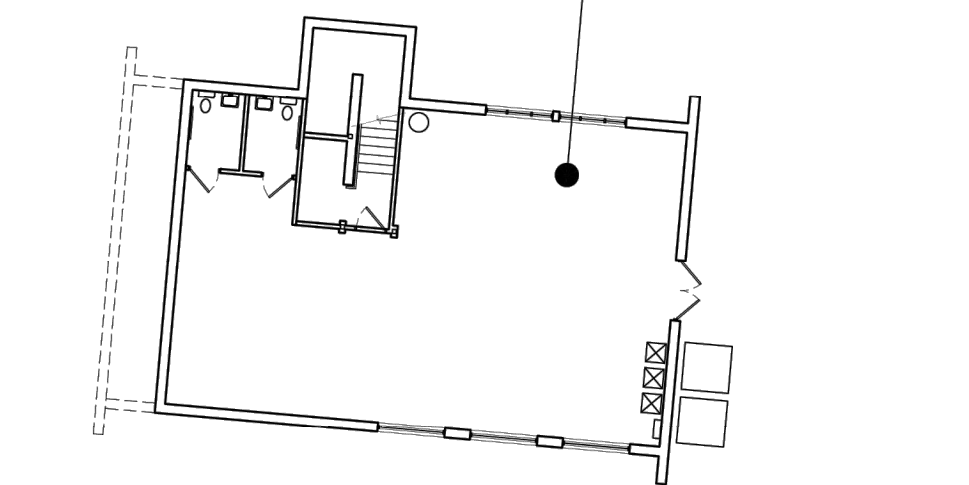
SHEET NO.
C7.2



OVERALL MAIN LEVEL FLOOR PLAN
 SCALE: 1"=20'-0"
 A-FP-01

OVERALL UPPER LEVEL FLOOR PLAN
 SCALE: 1"=20'-0"
 A-FP-01

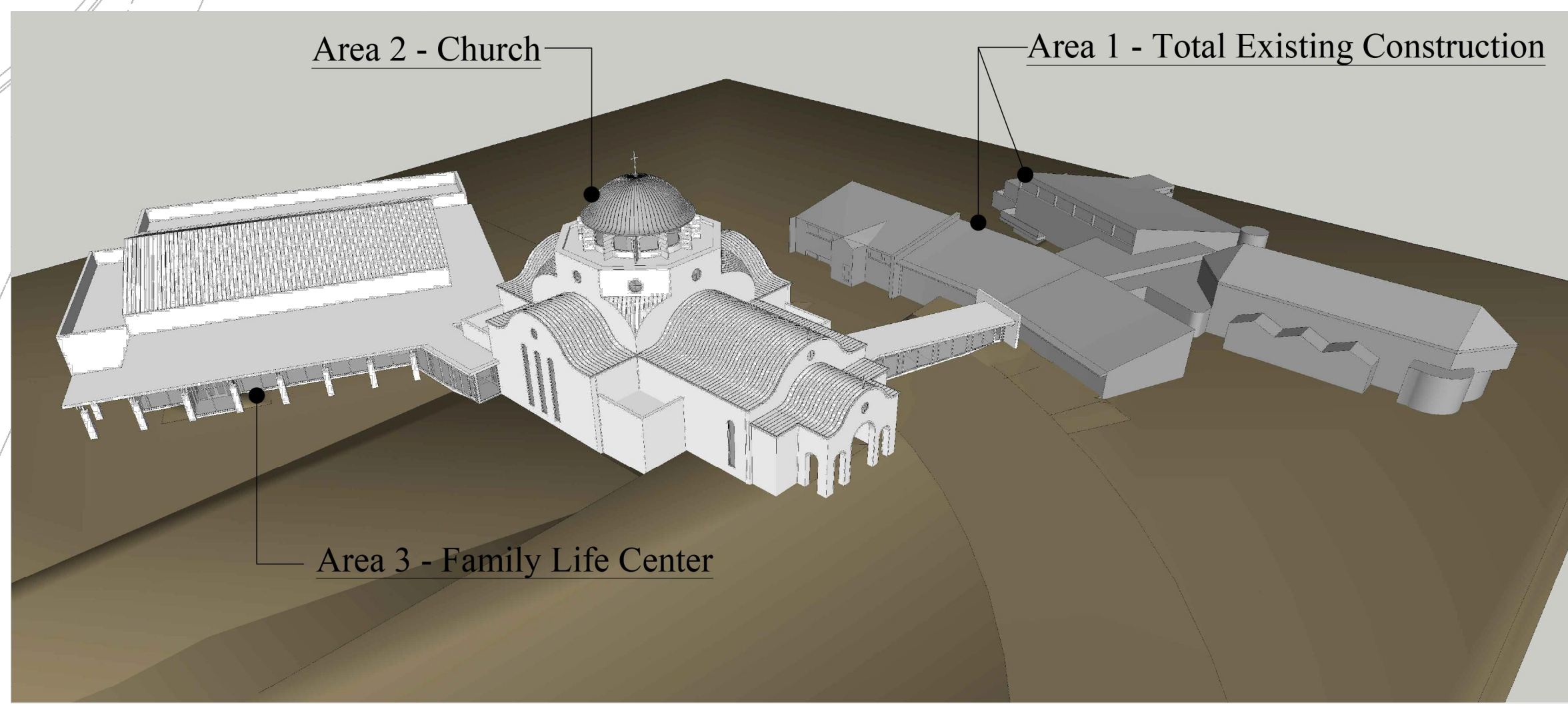
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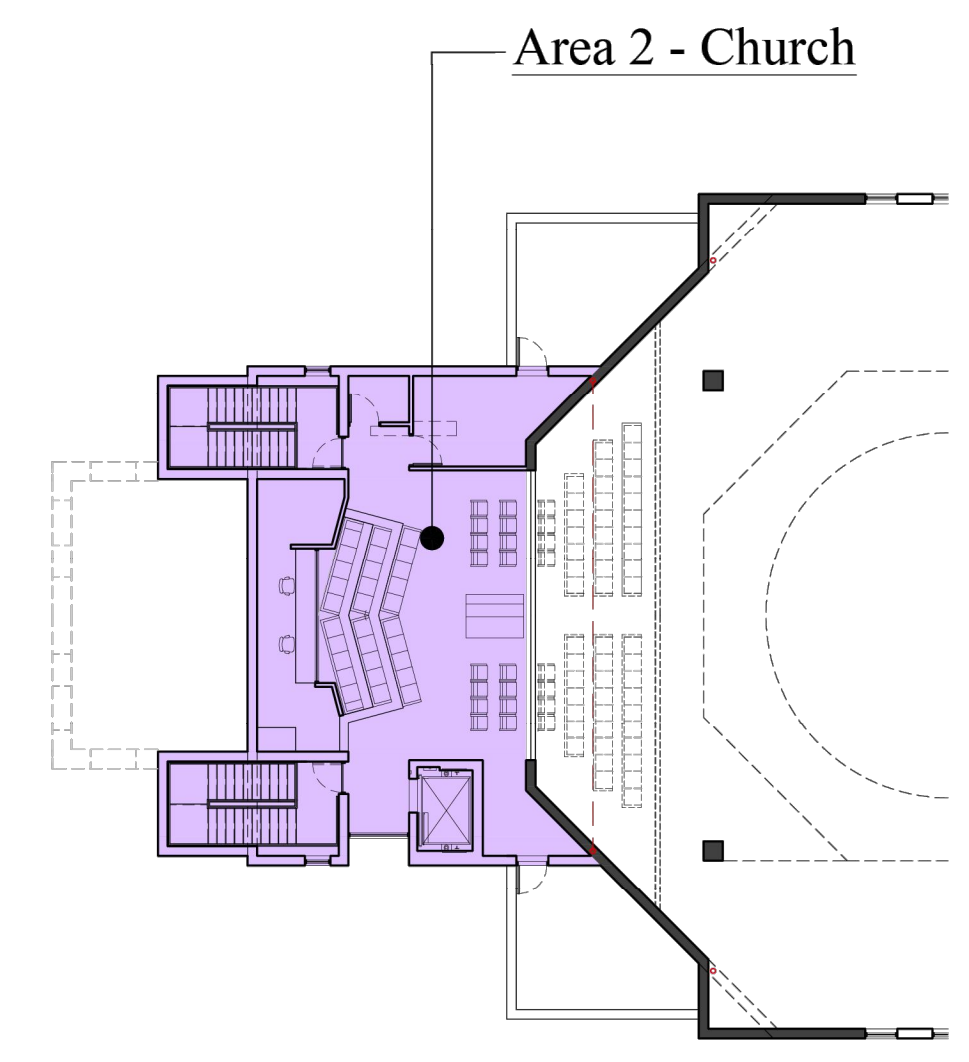
OVERALL LOWER LEVEL FLOOR PLAN
 SCALE: 1"=20'-0"
 A-FP-01

AREA LEGEND

	Area 1 - Total Existing Construction
	Main Level = 17,089 SF
	Lower Level = 3,391 SF
	Total = 20,480 SF
	Area 2 - Church
	Main Level = 10,867 SF
	Upper Level = 1,751 SF
	Total = 12,618 SF
	Area 3 - Family Life Center
	Main Level = 18,101 SF
	Total = 18,101 SF



01 Aerial View
 Scale: N.T.S. A-PERS-01



Revisions
 Administrative Steplan Review (ASR)
 Review Set November 14, 2023

Architect's Seal
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 Architecture / Planning
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 www.cgp-architecture.com

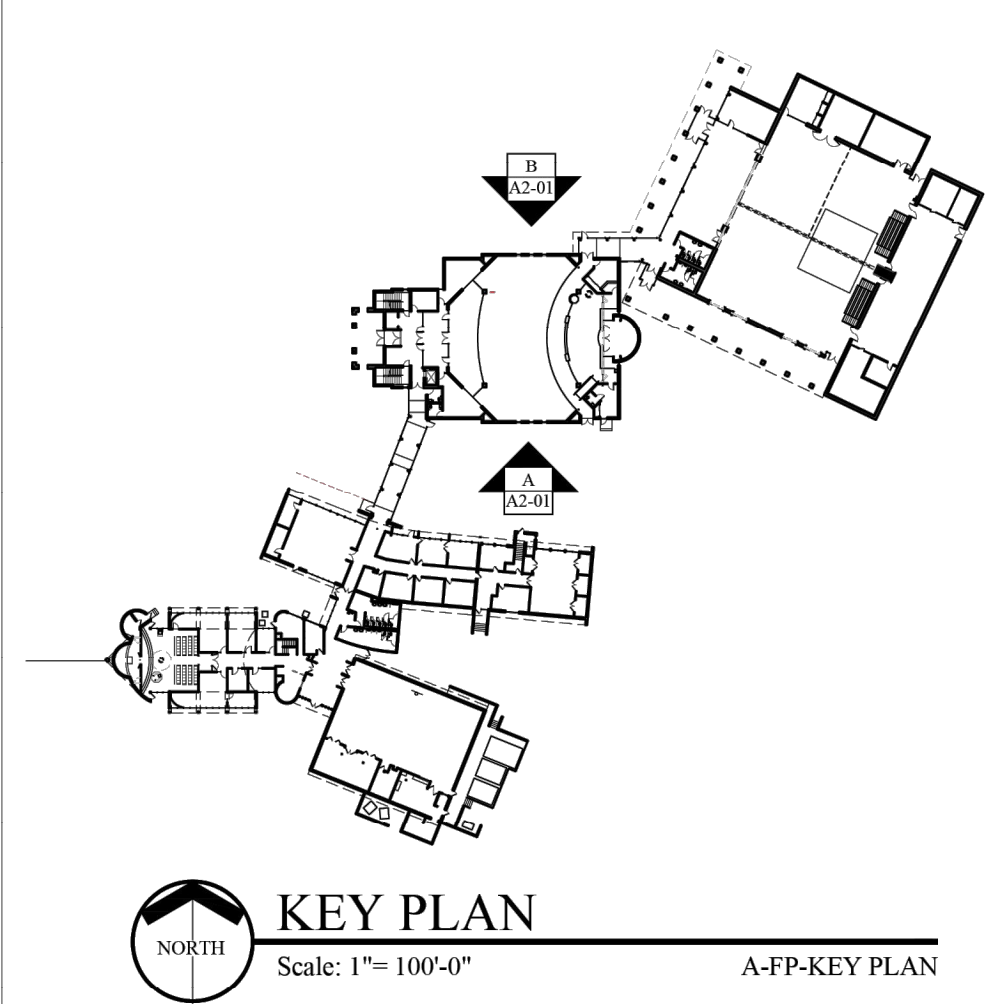
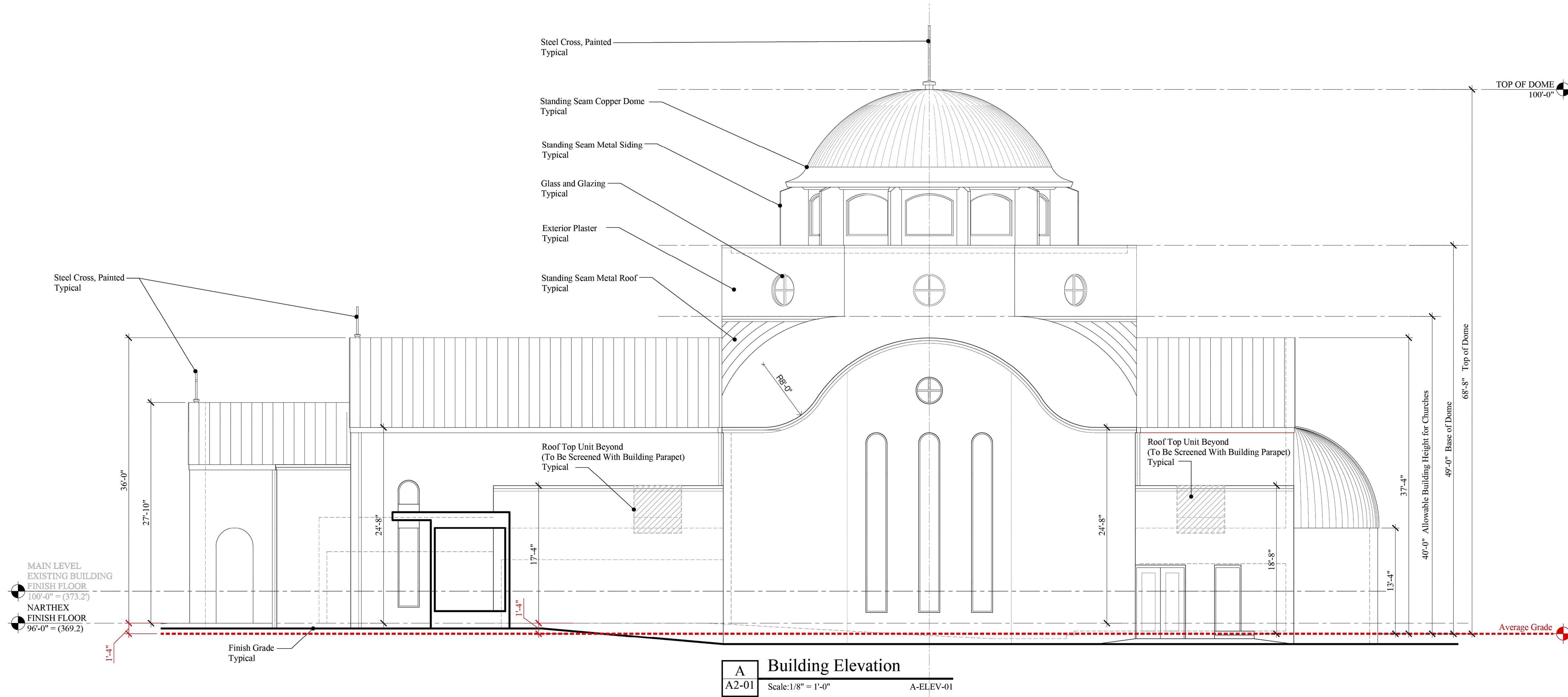
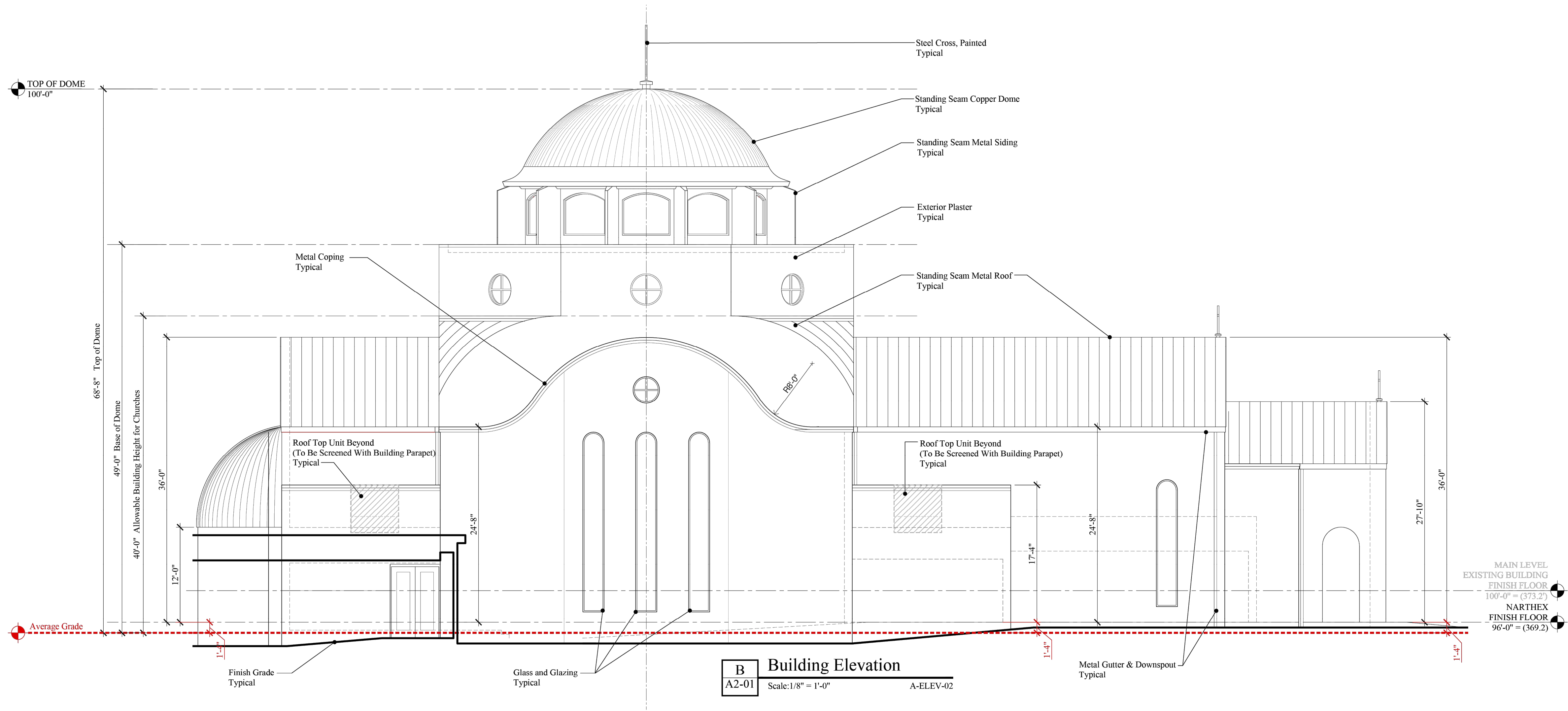
Project
 Holy Trinity GOC
 500 Lead Mine Rd., Raleigh, NC 27612
 Project No. 201505

Drawn / Checked
 E.P.C. / C.G.P.
Approved:
 C.G.P.
 Date: November 14, 2023
 ARS - Revisit Set

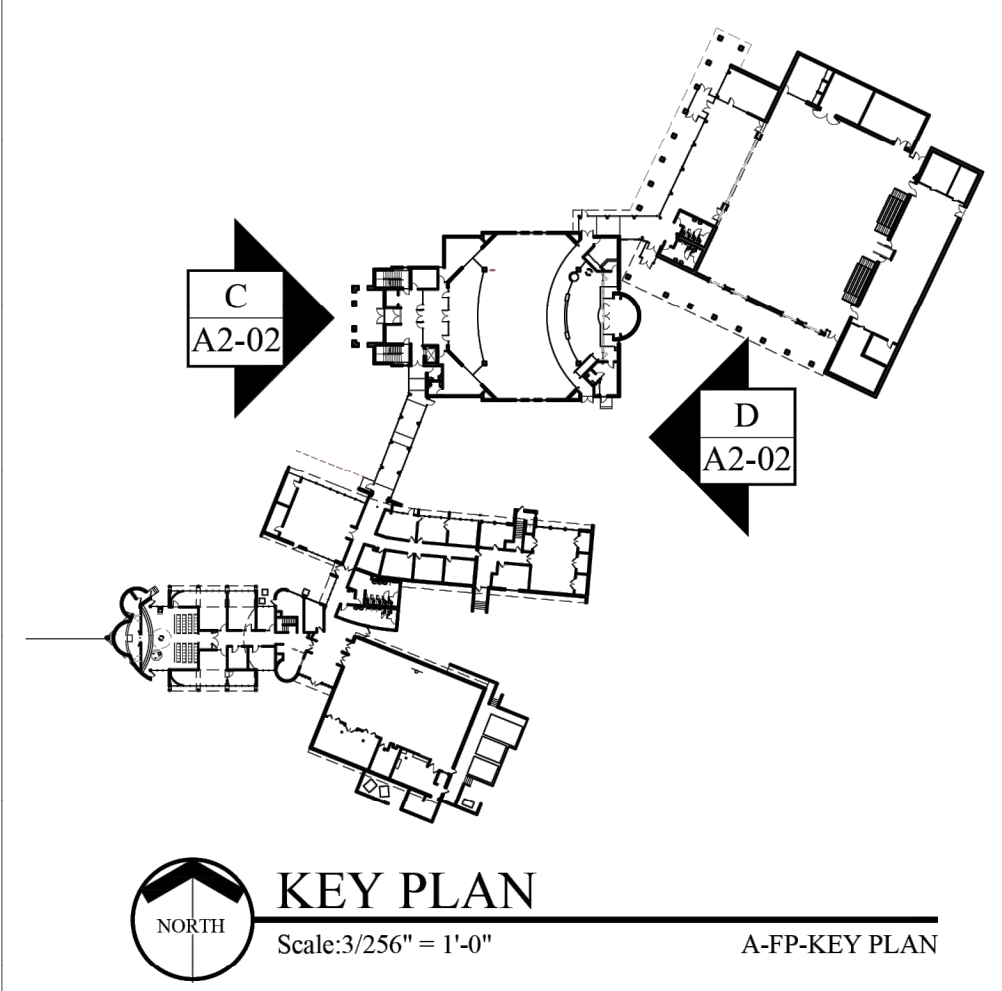
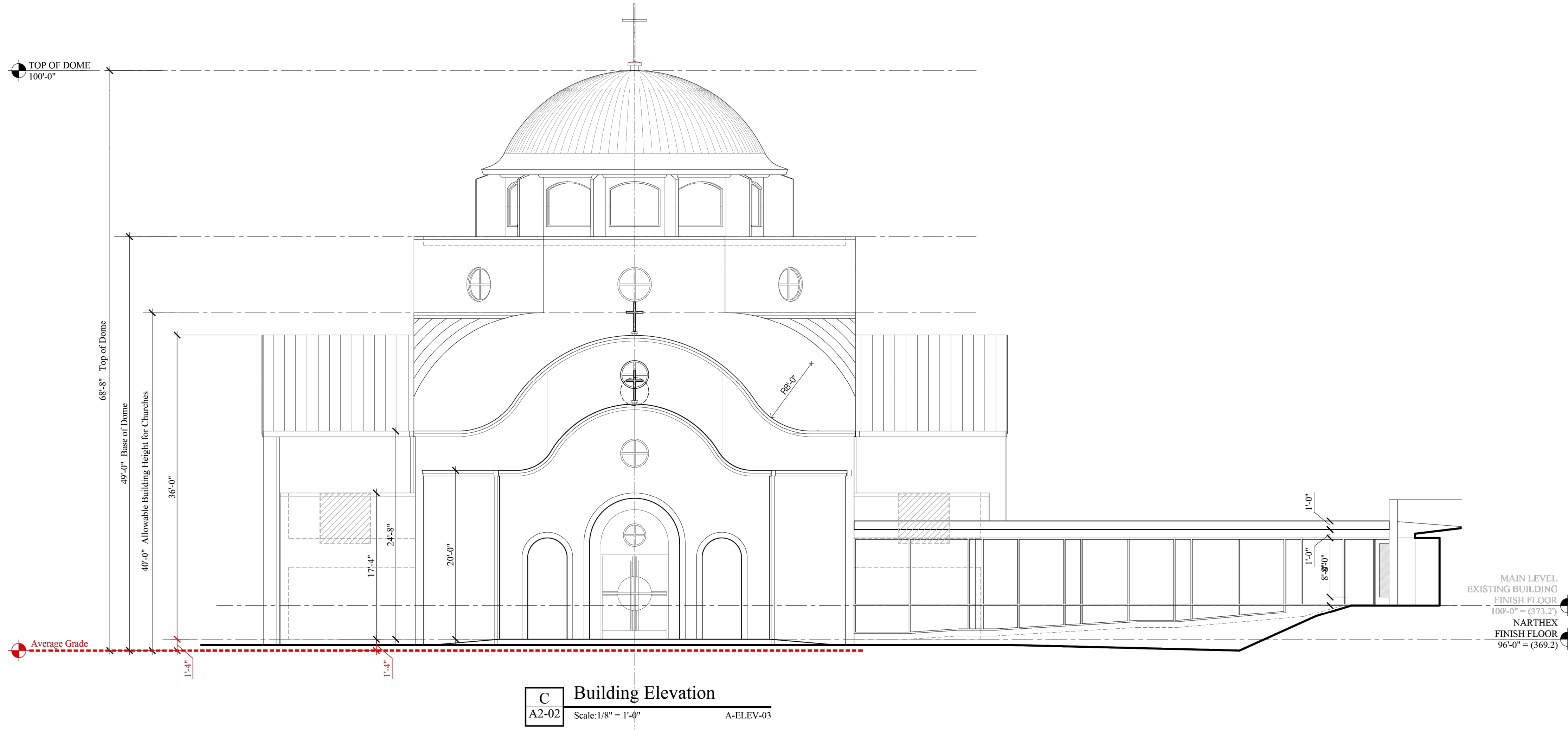
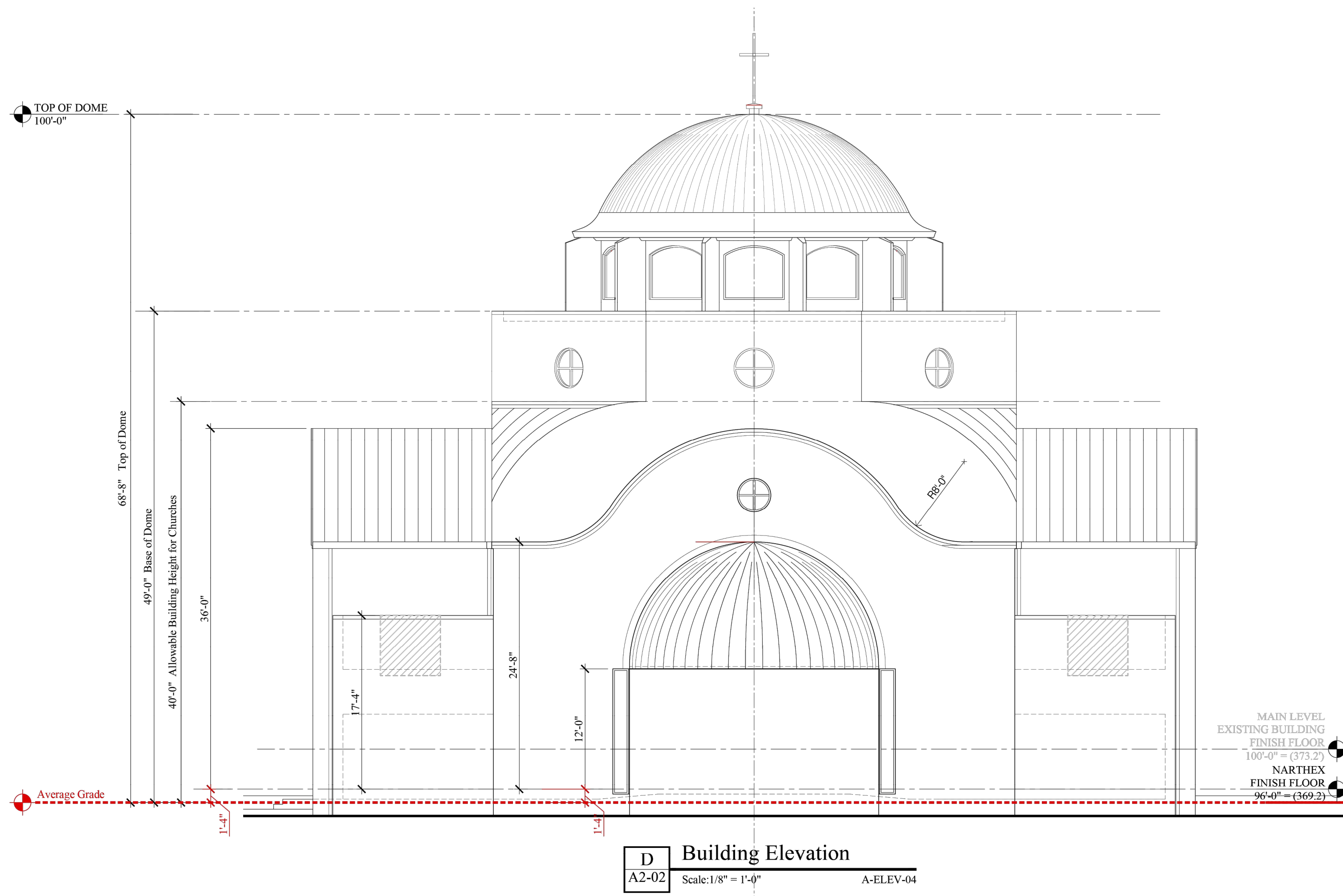
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A1-01

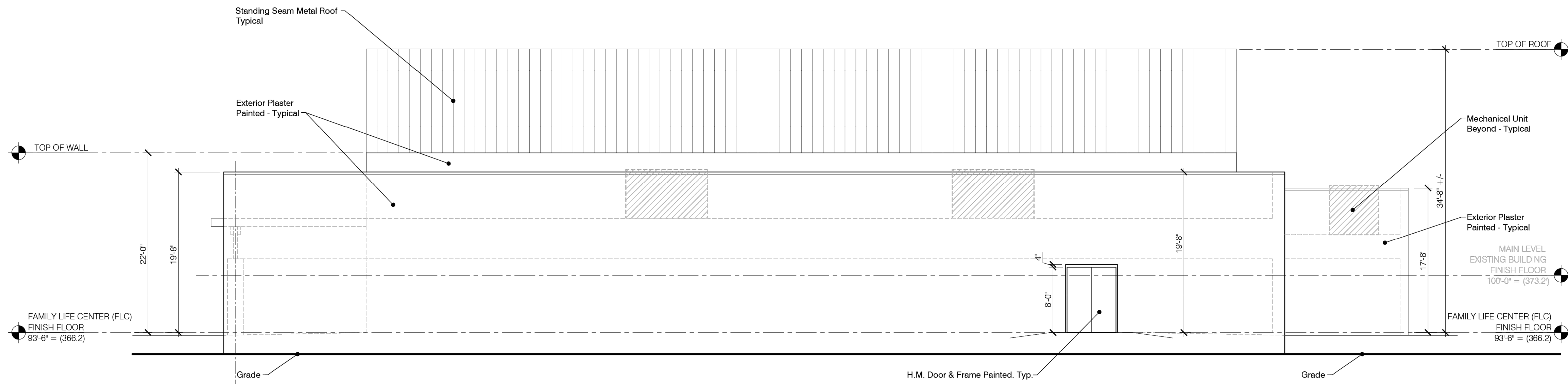
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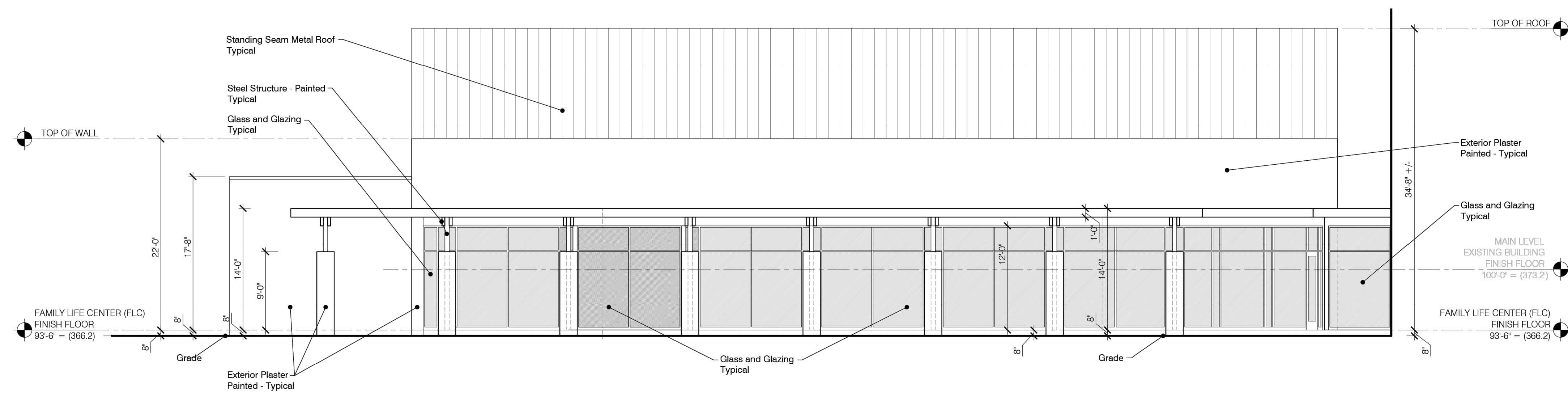
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Sheet Title Church - Exterior Elevations	Project Holy Trinity GOC 500 Lead Mine Rd., Raleigh, NC 27612
Drawn / Checked E.P.C. / C.G.P. Approved: C.G.P. Date: November 14, 2023 ARS - Revetiv Set	Revisions Administrative Siteplan Review (ASR) Review Set November 14, 2023
Architect's Seal THIS REGISTRATION SEAL IS FOR THE DRAWINGS ONLY AND DOES NOT SATISFY ANY INDIVIDUAL REQUIREMENTS NEEDED FOR EACH ENGINEER DISCIPLINE	Architect's Seal Pennington George Pappas AIA Architecture / Planning 1025 S. Washington Ave. Royal Oak, MI 48067 P. 248.629.8998 F. 248.298.3192 www.cgp-architecture.com
Sheet No. A2-01	Project No. 201505



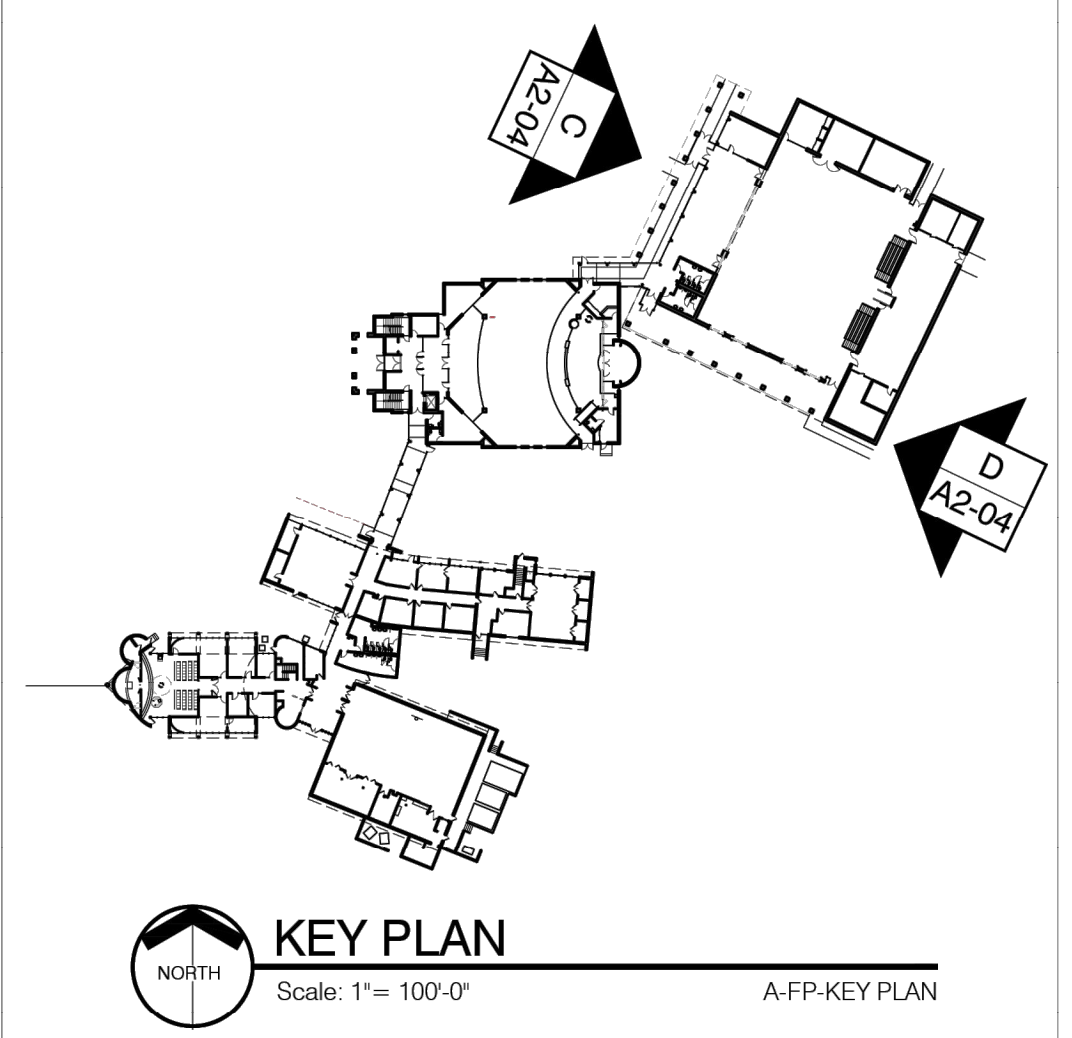
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Sheet Title Church - Exterior Elevations	Project Holy Trinity GOC 500 Lead Mine Rd., Raleigh, NC 27612
Drawn / Checked E.P.C. / C.G.P. Approved: C.G.P. Date: November 14, 2023 ARS - Revisit Set	Revisions Administrative Siteplan Review (ASR) Review Set November 14, 2023
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Sheet No. A2-02	Project No. 201505
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Architect's Name Penistone George Pappas AIA Architecture / Planning 1025 S. Washington Ave. Royal Oak, MI 48067 P. 248.629.8998 F. 248.298.3192 www.cgp-architecture.com	Architect's Name Penistone George Pappas AIA Architecture / Planning 1025 S. Washington Ave. Royal Oak, MI 48067 P. 248.629.8998 F. 248.298.3192 www.cgp-architecture.com



D BUILDING ELEVATION
 A2-04 Scale: 1/8" = 1'-0" A-ELEV-08

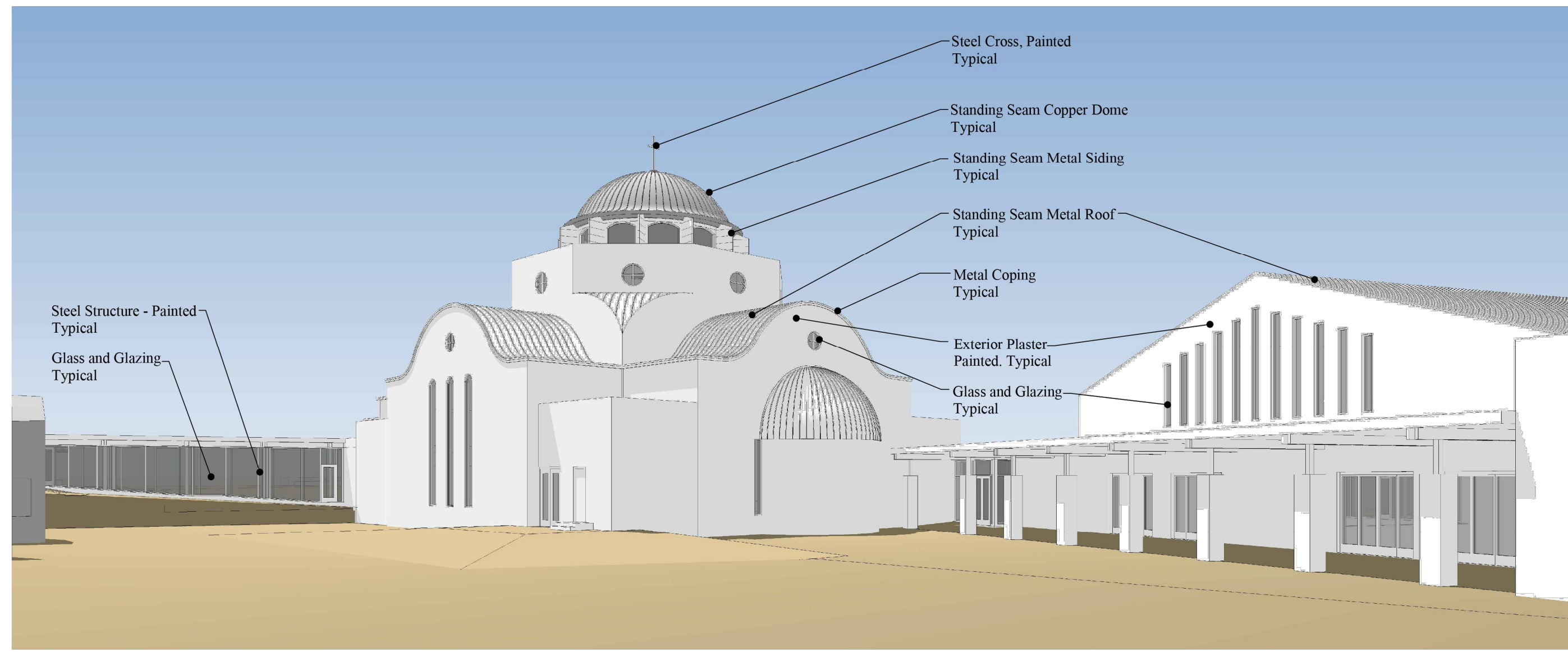


C BUILDING ELEVATION
 A2-04 Scale: 1/8" = 1'-0" A-ELEV-07

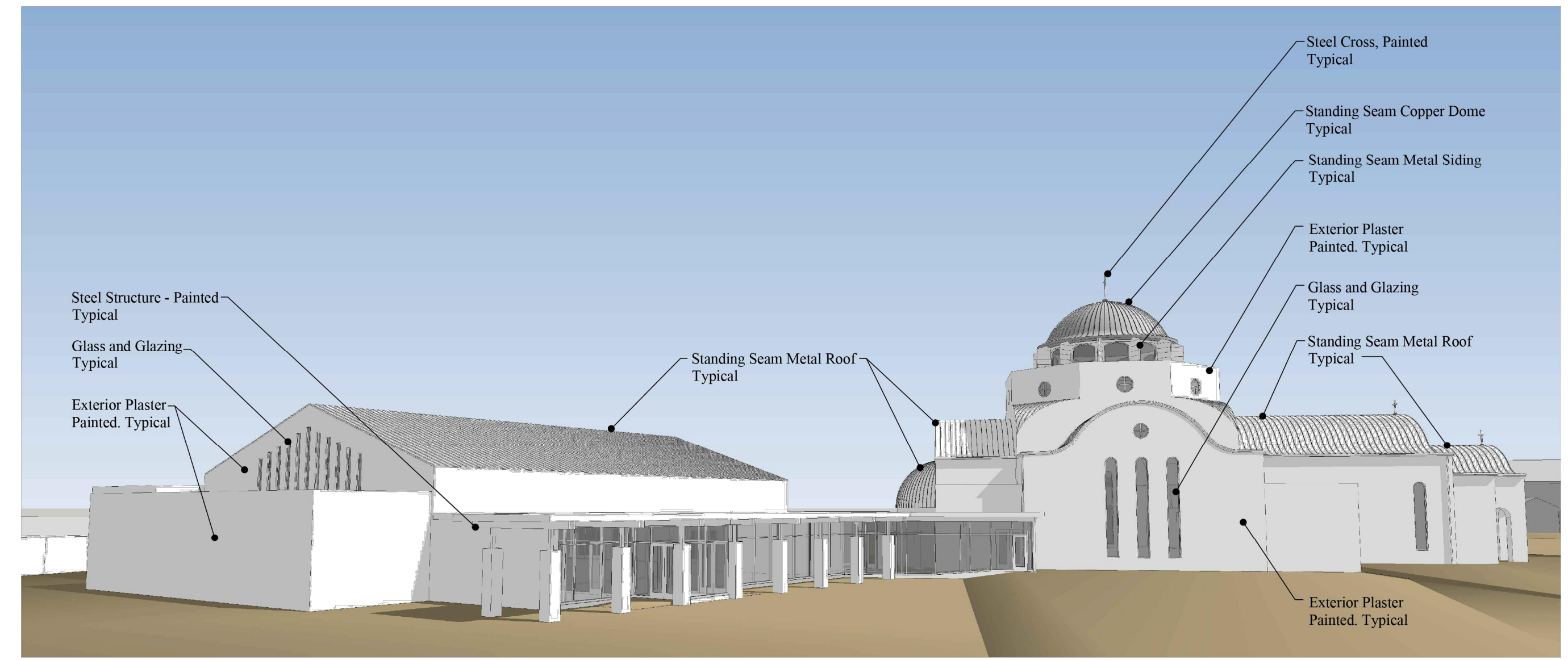


Sheet Title Family Life Center (FLC) - Exterior Elevations	Project Holy Trinity GOC 500 Lead Mine Rd., Raleigh, NC 27612	Revisions Administrative Steplan Review (ASR) Review Set November 14, 2023
Drawn / Checked E.P.C. / C.G.P.	Architect's Seal THIS REGISTRATION SEAL IS FOR THE DRAWINGS ONLY AND DOES NOT SATISFY ANY INDIVIDUAL REQUIREMENTS NEEDED FOR EACH ENGINEER DISCIPLINE	Architect's Seal THIS REGISTRATION SEAL IS FOR THE DRAWINGS ONLY AND DOES NOT SATISFY ANY INDIVIDUAL REQUIREMENTS NEEDED FOR EACH ENGINEER DISCIPLINE
Approved: C.G.P.	Project No. 201505	Date: November 14, 2023 ARS - Review Set
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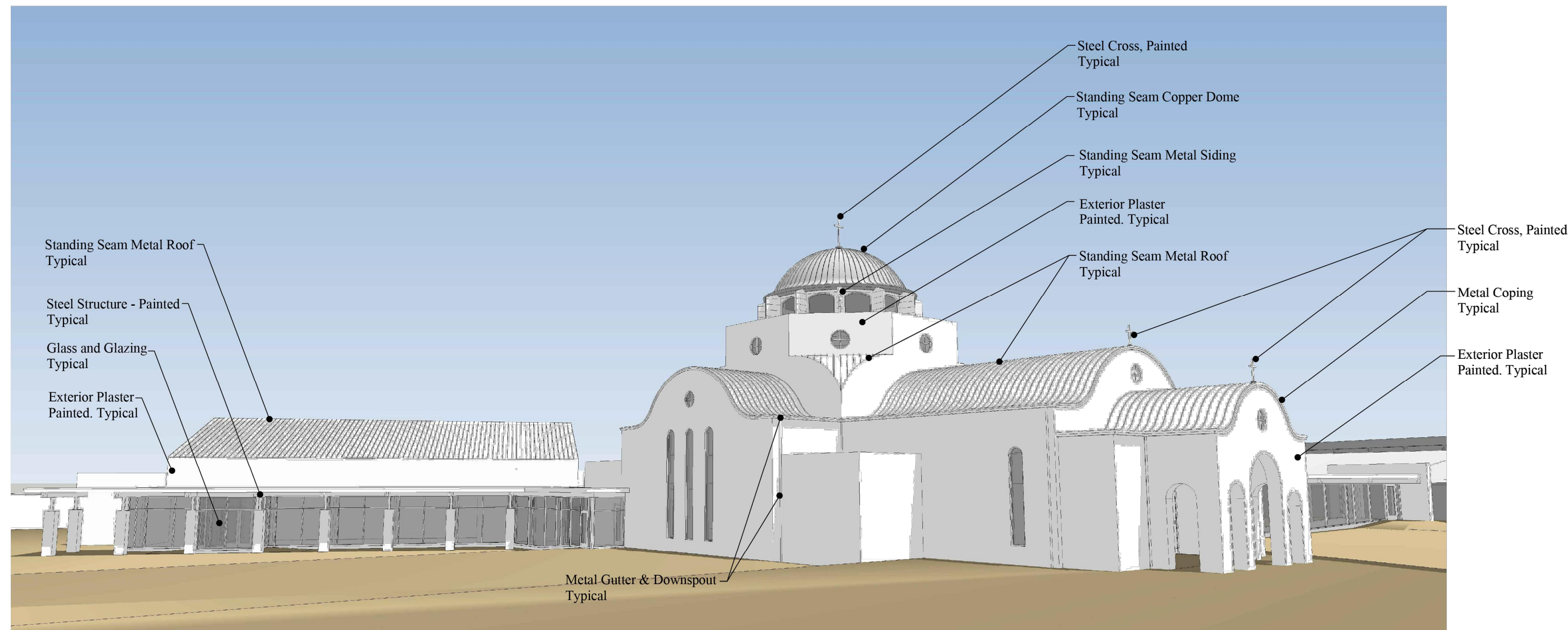
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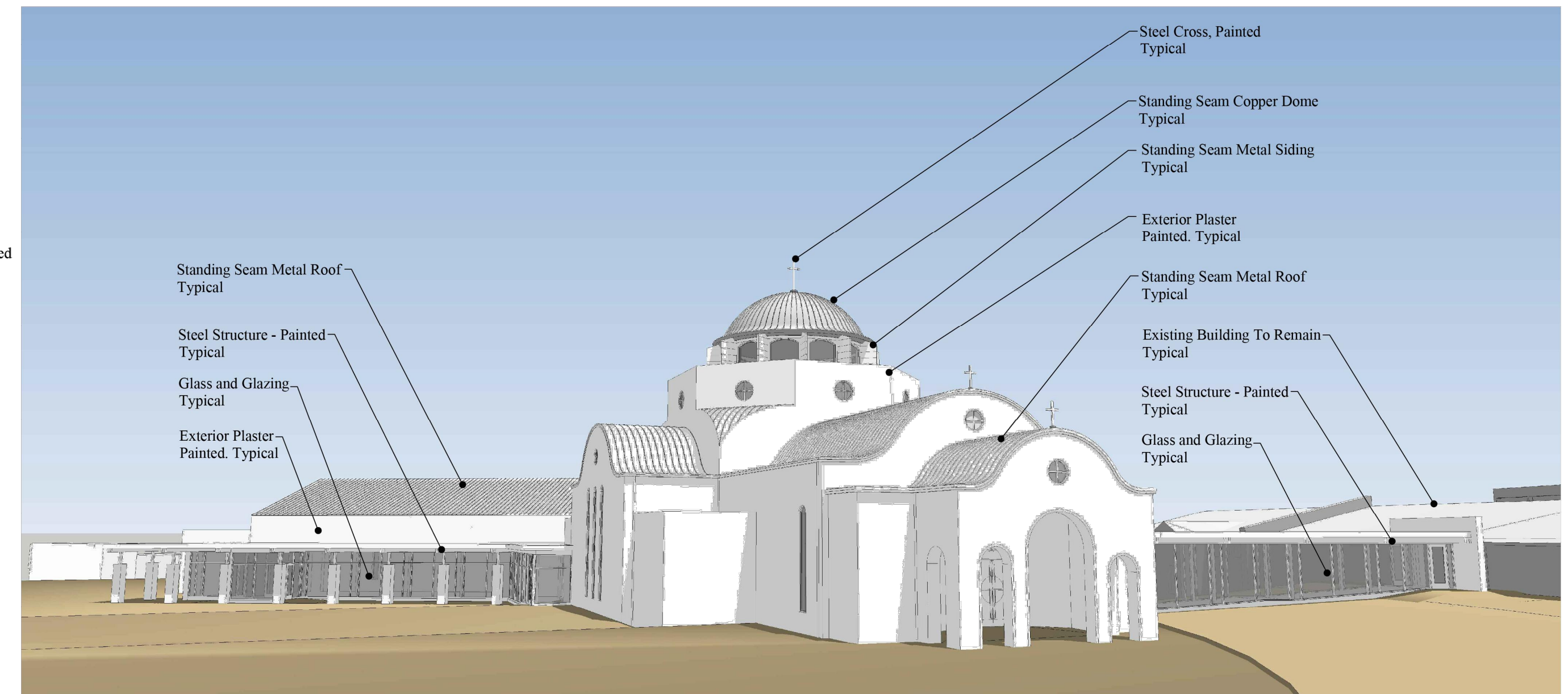
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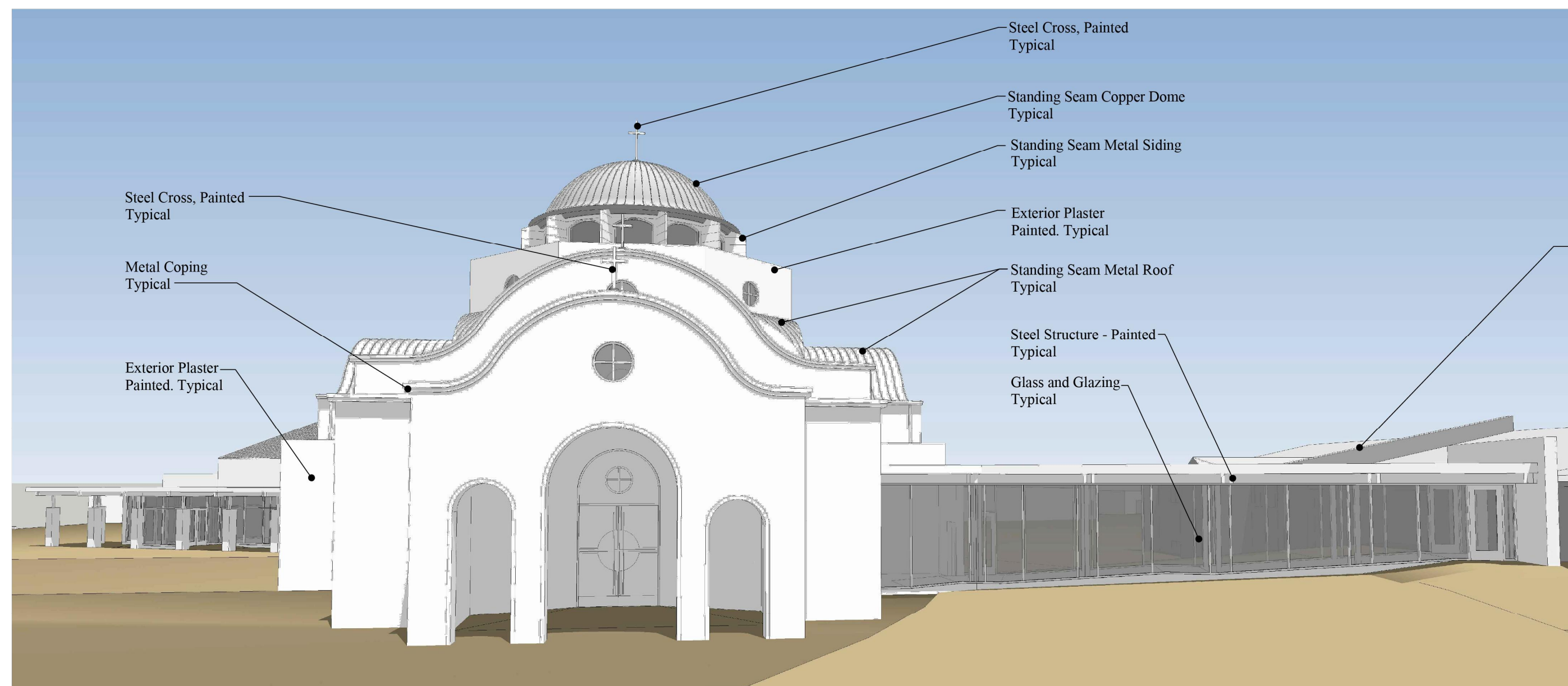
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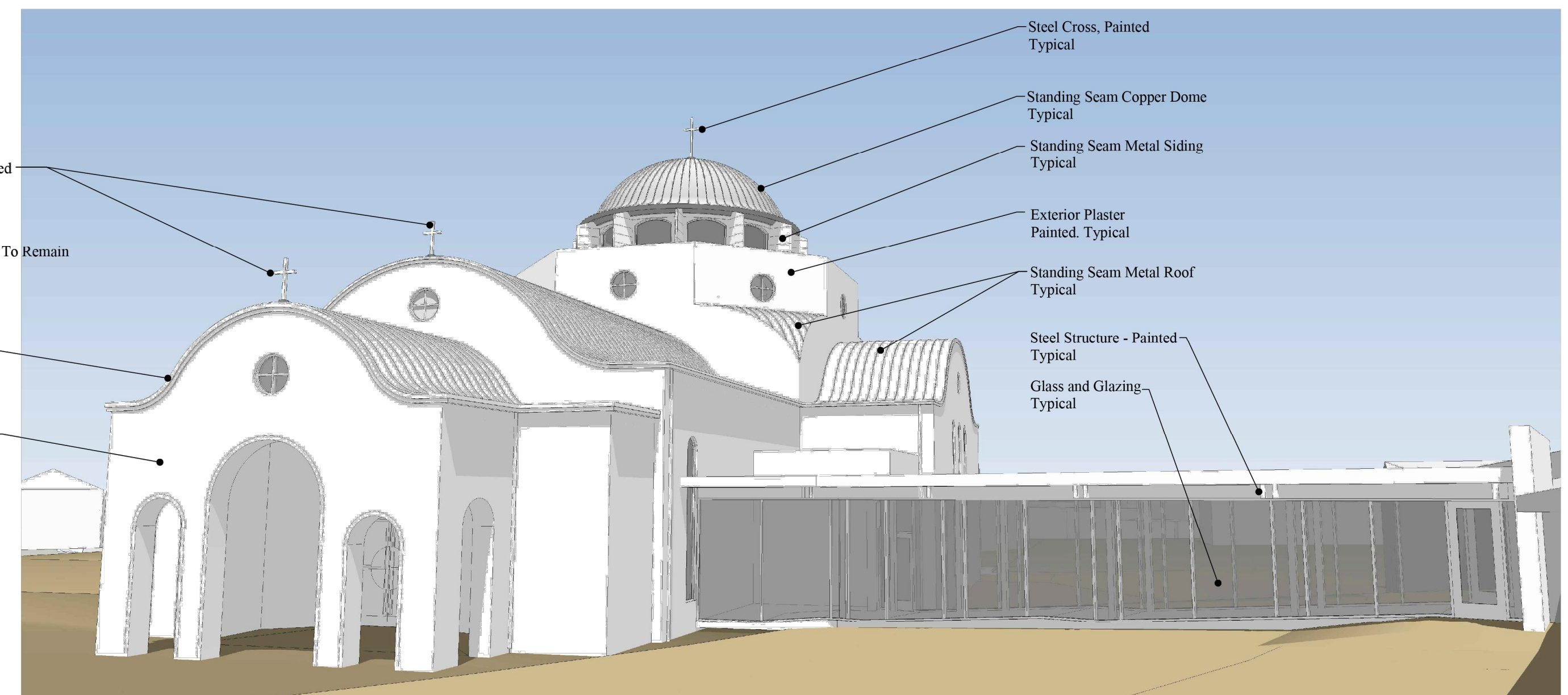
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A4-01 Scale: N.T.S. A-PERS-05



03 View 3
A4-01 Scale: N.T.S. A-PERS-04



02 View 2
A4-01 Scale: N.T.S. A-PERS-03



01 View 1
A4-01 Scale: N.T.S. A-PERS-02

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<p>Revisions</p>	<p>Architect's Seal</p>
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<p>Project</p>	<p>Project No. 201505</p>
<p>Sheet Title</p>	<p>Holy Trinity GOC 500 Lead Mine Rd., Raleigh, NC 27612</p>
<p>Building Perspectives</p>	<p>Drawn / Checked E.P.C. / C.G.P.</p>
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<p>Date: November 14, 2023 ARS - Review Set</p>	<p>Sheet No. A4-01</p>
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