

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached	General	Subdivision case #: _____
Attached	Mixed use	Scoping/sketch plan case #: _____
Townhouse	Civic	Certificate of Appropriateness #: _____
Apartment	Cottage Court	Board of Adjustment #: _____
Tiny house	Frequent Transit	Zoning Case #: _____
Open lot	Development Option	Design Alternate #: _____
GENERAL INFORMATION		
Development name:		
Inside City limits?	Yes	No
Property address(es):		
Site P.I.N.(s):		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).		
Proposed parking lot with stormwater and erosion control measure for lot located at 6842 Old Wake Forest Rd.		
<b>Current Property Owner(s):</b>		
Company:		Title:
Address:		
Phone #:		Email:
<b>Applicant Name (If different from owner. See "who can apply" in instructions):</b>		
Relationship to owner:	Lessee or contract purchaser	Owner's authorized agent
		Easement holder
Company:		Address:

Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b>	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed: 209	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4): parking lot - automotive dealer	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court?      Yes      No
	A frequent transit development?      Yes      No

Continue to Applicant Signature Block on Page Three.

**APPLICANT SIGNATURE BLOCK**

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature: *Drew Wilkinson*

Date:

Printed Name:



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Site Plan Tier: Tier Two Site Plan  Tier Three Site Plan

Building and Development Type (Check all that apply)	Site Transaction History
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Townhouse <input type="checkbox"/> Apartment <input type="checkbox"/> Tiny house <input type="checkbox"/> Open lot	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Civic <input type="checkbox"/> Cottage Court <input type="checkbox"/> Frequent Transit Development Option
Subdivision case #: _____ Scoping/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Design Alternate #: _____	

**GENERAL INFORMATION**

Development name: Johnson Lexus Storage Lot

Inside City limits? Yes  No

Property address(es): 6842 Old Wake Forest Rd, Raleigh, NC 27616

Site P.I.N.(s): 1727301487

Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).  
Proposed parking lot with stormwater and erosion control measure for lot located at 6842 Old Wake Forest Rd.

Current Property Owner(s): Lumley, LLC  
 Company: Lumley, LLC Title: \_\_\_\_\_  
 Address: 5839 CAPITAL BLVD, Raleigh NC 27616  
 Phone #: \_\_\_\_\_ Email: \_\_\_\_\_

Applicant Name (if different from owner. See "who can apply" in instructions):  
 Relationship to owner:  Lessee or contract purchaser  Owner's authorized agent  Easement holder

Company: Lumley, LLC Address: 5839 Capital Boulevard Raleigh NC 27616

Phone #: \_\_\_\_\_ Email: wswaringen@bohlereng.com

**NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.**

Developer Contact: Drew Wilkinson  
 Company: Lumley, LLC Title: Facilities Director  
 Address: PO Box 58646 Raleigh, NC 27658  
 Phone #: 919-877-1955 Email: \_\_\_\_\_

Applicant Name: Drew Wilkinson  
 Company: Johnson Automotive Address: 5839 CAPITAL BLVD, Raleigh NC 27616  
 Phone #: 919-877-1955 Email: dwilkinson@johnsonautomotive.com

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each): IX-5 and IX-7	Existing gross floor area (not to be demolished): N/A
Gross site acreage: 3.69	Existing gross floor area to be demolished: N/A
# of parking spaces proposed: 209	New gross floor area: N/A
Max # parking permitted (7.1.2.C): none	Total sq gross (to remain and new): N/A
Overlay District (if applicable):	Proposed # of buildings: N/A
Existing use (UDO 6.1.4): vacant lot	Proposed # of stories for each: N/A
Proposed use (UDO 6.1.4): parking lot - automotive dealer	Proposed # of basement levels (UDO 1.5.7.A.6) N/A

STORMWATER INFORMATION	
Imperious Area on Parcel(s):	Imperious Area for Compliance (includes ROW):
Existing (sf) 0 Proposed total (sf) _____	Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units: N/A	Total # of hotel bedrooms: N/A
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots: N/A	Is your project a cottage court? <input type="radio"/> Yes <input checked="" type="radio"/> No
	A frequent transit development? <input type="radio"/> Yes <input checked="" type="radio"/> No

Continue to Applicant Signature Block on Page Three.

# ADMINISTRATIVE SITE REVIEW DOCUMENTS

FOR

## JOHNSON AUTOMOTIVE LEXUS DEALERSHIP - LUMLEY LOT

LOCATION OF SITE  
6842 OLD WAKE FOREST ROAD,  
RALEIGH, NC 27616  
WAKE COUNTY  
SPR-0264-2022



LOCATION MAP  
SCALE: 1" = 500'

**OWNER**  
LUMLEY LLC  
5839 CAPITAL BLVD  
RALEIGH, NC 27616

**DEVELOPER**  
DREW WILKINSON  
JOHNSON AUTOMOTIVE  
5839 CAPITAL BLVD  
RALEIGH, NC 27616

PREPARED BY



CONTACT: WILL SWARINGEN, P.E.

PHONE: 919-578-9000

EMAIL: WSWARINGEN@BOHLERENG.COM

IMPERVIOUS AREA TABLE		
	PRE-DEVELOPMENT	POST-DEVELOPMENT
TOTAL SITE AREA	3.69 AC	2.85 AC
IMPERVIOUS AREA	0 AC	1.67 AC
PERVIOUS AREA	3.69 AC	1.18 AC

**SITE PLAN & ZONING NOTES:**

- THIS PLAN REFERENCE DOCUMENTS AND INFORMATION BY:  
BOHLER NC PLLC  
4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612
- OWNER/DEVELOPER:  
JOHNSON AUTOMOTIVE  
5839 CAPITAL BLVD  
RALEIGH, NC 27616  
CONTACT: DREW WILKINSON  
PHONE: (919) 877-1955  
EMAIL: DWILKINSON@JOHNSONAUTOMOTIVE.COM
- SITE INFORMATION:  
PARCEL ACREAGE: 2.85 AC  
PARCEL ID NUMBER: 1727301487  
EXISTING ZONING: IX-7 & IX-5  
OVERLAY DISTRICT: NONE  
FRONTAGE TYPE: C2 BUFFER  
EXISTING LAND USE: VACANT  
PROPOSED USE: VEHICLE SALES/ RENTAL  
BUILDING SF: 0 SF
- SEE SHEET C-101 - GENERAL NOTES FOR ALL GENERAL NOTES.
- ALL DIMENSIONS ARE SHOWN FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY



Know what's below.  
Call before you dig.  
ALWAYS CALL 811  
It's fast. It's free. It's the law.

ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	NCB230054
DRAWN BY:	RKA
CHECKED BY:	WES
DATE:	12/4/23
CAD ID:	CNDS - 0

PROJECT:

**ADMINISTRATIVE SITE REVIEW DOCUMENTS**

FOR

JOHNSON AUTOMOTIVE LEXUS DEALERSHIP

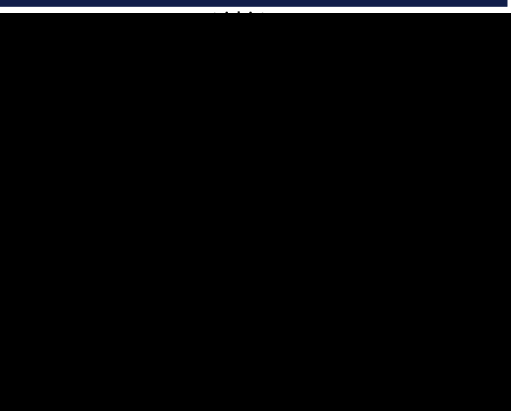
PROPOSED DEVELOPMENT

6842 OLD WAKE FOREST ROAD  
RALEIGH, NC 27616  
WAKE COUNTY



BOHLER ENGINEERING NC, PLLC  
NCBELS P-1132  
4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612  
Phone: (919) 578-9000

NC@BohlerEng.com



SHEET TITLE:

**COVER SHEET**

SHEET NUMBER:

**C-100**

ORG. DATE - 12/4/2023

D:\04\_2023\112023\NCB230054\01LAND DEVELOPMENT\ENGINEERING\CAD\DRAWINGS\PLAN SET\ENC230054\CNDS-0-1-LAYOUT\_C-100 COVER SHEET.dwg

GENERAL NOTE:  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL, STATE AND FEDERAL CODES.



GENERAL NOTES

- 1. THESE PLANS ARE SOLELY BASED ON INFORMATION THE OWNER AND OTHERS PROVIDED TO BOHLER ENGINEERING, NORTH CAROLINA, PLLC (HEREIN "BOHLER") PRIOR TO THE DATE ON WHICH THE PROFESSIONAL OF RECORD AND BOHLER PREPARED THESE PLANS...
2. THE GENERAL NOTES AND IMMEDIATELY NOTIFY BOHLER. IN WRITING, IF ANY ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THESE PLANS...
3. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST CONFIRM WITH THE PROFESSIONAL OF RECORD AND BOHLER THAT THE DOCUMENTS AND/OR REPORTS REFERENCED WITHIN THE PLAN REFERENCES ARE BEING USED FOR CONSTRUCTION...
4. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED...
5. THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, REPORTS AND CONDITIONS OF APPROVAL...
6. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS...
7. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS...
8. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS...
9. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND MEASUREMENTS INCLUDED ON DESIGN DOCUMENTS HEREIN AND MUST NOT SCALE OFF THE DRAWINGS...
10. WHEN INCLUDED AS ONE OF THE REFERENCED DOCUMENTS, THE GEOTECHNICAL REPORT, SPECIFICATIONS AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REFERENCED DOCUMENTS AND IN CASE OF A DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN (A) THE PLANS, AND (B) THE GEOTECHNICAL REPORT AND RECOMMENDATIONS...
11. THE CONTRACTOR MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, THE CONTRACTOR MUST NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER, IN WRITING, OF ANY SUCH DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS...
12. THE CONTRACTOR MUST TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS, THE CONTRACTOR MUST NOTIFY THE PROFESSIONAL OF RECORD AND BOHLER, IN WRITING, OF ANY SUCH DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS...
13. THE PROFESSIONAL OF RECORD AND BOHLER ARE NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, HAS NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOVE, OR UNDER THE PROJECT SITE...
14. THE CONTRACTOR MUST EXERCISE EXTREME CAUTION WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONITION...
15. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE. ALL DEMOLITION AND CONSTRUCTION WASTES, UNSUITABLE EXCAVATED MATERIAL, EXCESS SOIL, AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL MUNICIPAL, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER THE CONTRACTOR...
16. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAINTAIN RECORDS TO DEMONSTRATE PROPER AND FULLY COMPLIANT DISPOSAL ACTIVITIES TO BE PROMPTLY PROVIDED TO THE OWNER UPON REQUEST...
17. THE CONTRACTOR MUST REPAIR AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY...
18. THE CONTRACTOR MUST REPAIR AT CONTRACTOR'S SOLE COST, ALL DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY...
19. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME...
20. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR AND HAVE NO CONTRACTUAL, LEGAL OR OTHER RESPONSIBILITIES FOR JOB SITE SAFETY JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME...
21. ALL CONTRACTORS MUST CARRY AT LEAST THE MINIMUM AMOUNT OF THE SPECIFIED AND COMMERCIALY REASONABLE STATUTORY WORKERS COMPENSATION INSURANCE, EMPLOYERS LIABILITY INSURANCE AND COMMERCIAL LIABILITY INSURANCE...
22. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERAL OR FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORK...
23. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER NOR THE PRESENCE OF BOHLER AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE HEREIN ("BOHLER PARTIES") RELIEVES OR WILL RELIEVE THE CONTRACTOR OF AND FROM COMPLIANCE WITH THE MEANS, METHODS, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ALL HEALTH AND SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THIS PROJECT AND/OR PROPERTY...
24. WHEN IT IS CLEARLY AND BOHLER WITHIN BOHLER'S SCOPE OF SERVICES CONTRACT WITH THE OWNER/DEVELOPER, BOHLER WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA...
25. IF THE CONTRACTOR DEVIATES FROM THESE PLANS AND/OR SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE PROFESSIONAL OF RECORD AND BOHLER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDS AND BOHLER'S SOLE RESPONSIBILITY FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK PERFORMED WHICH DEVIATES FROM THE PLANS...
26. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL RECORDS, PLANS AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE...
27. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL RECORDS, PLANS AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE...
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34. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL RECORDS, PLANS AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE...
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36. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL RECORDS, PLANS AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE...
37. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL RECORDS, PLANS AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE...
38. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL RECORDS, PLANS AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE...
39. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL RECORDS, PLANS AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE...
40. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL RECORDS, PLANS AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE...
41. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL RECORDS, PLANS AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE...
42. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL RECORDS, PLANS AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE...
43. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL RECORDS, PLANS AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE...
44. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL RECORDS, PLANS AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE...
45. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING AND PROTECTING ALL RECORDS, PLANS AND ELEMENTS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE RIGHT OF WAY OR ON SITE...

DEMOLITION NOTES

- 1. THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES...
2. THE CONTRACTOR MUST ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, REPORTS AND CONDITIONS OF APPROVAL...
3. WHEN DEMOLITION-RELATED ACTIVITIES IMPACT ROADWAYS AND/OR ROADWAY RIGHT-OF-WAY, THE CONTRACTOR MUST PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE CURRENT FEDERAL HIGHWAY ADMINISTRATION MANUAL...
4. DEMOLITION (AND/OR REMOVALS) PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION AND TO IDENTIFY ONLY CONDITIONS REGARDING ITEMS TO BE DEMOLISHED, REMOVED, AND/OR REMAIN...
5. THIS PLAN IS NOT INTENDED TO AND DOES NOT PROVIDE DIRECTION REGARDING THE MEANS, METHODS, SEQUENCING, TECHNIQUES AND PROCEDURES TO BE EMPLOYED TO ACCOMPLISH THE WORK...
6. THE PROFESSIONAL OF RECORD AND BOHLER ARE NOT RESPONSIBLE FOR JOB SITE SAFETY JOB SUPERVISION OR SUPERVISION THE CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER...
7. THE CONTRACTOR IS RESPONSIBLE FOR JOB SITE SAFETY, WHICH MUST INCLUDE, BUT IS NOT LIMITED TO, THE INSTALLATION AND MAINTENANCE OF BARRIERS, FENCING, OTHER APPROPRIATE AND/OR NECESSARY SAFETY FEATURES AND ITEMS NECESSARY TO PROTECT THE PUBLIC FROM AREAS OF CONSTRUCTION AND CONSTRUCTION ACTIVITIES...
8. PRIOR TO THE COMMENCEMENT OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY, THE CONTRACTOR MUST, IN WRITING, RAISE ANY QUESTIONS CONCERNING THESE PLANS AND/OR SPECIFICATIONS...
9. THE CONTRACTOR MUST BECOME FAMILIAR WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION AND/OR AMBIGUITY...
10. PRIOR TO COMMENCING ANY DEMOLITION, THE CONTRACTOR MUST OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS...
11. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, EXCEPT AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH THE PROFESSIONAL OF RECORDS AND BOHLER'S SOLE COST...
12. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, EXCEPT AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH THE PROFESSIONAL OF RECORDS AND BOHLER'S SOLE COST...
13. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS...
14. EXPLOSIVES MUST NOT BE USED WITHOUT PRIOR WRITTEN CONSENT FROM BOTH THE OWNER AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL REGULATIONS...
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SITE LAYOUT NOTES

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2. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST INSTALL SOIL EROSION CONTROL AND ANY STORMWATER POLLUTION PREVENTION PLAN (SWPPP) MEASURES NECESSARY, AS INDICATED ON THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN AND IN ACCORDANCE WITH APPLICABLE AND/OR APPROPRIATE AGENCIES' GUIDELINES...
3. ALL DIRECTIONAL TRAFFIC SIGNING AND PAVEMENT STRIPING MUST CONFORM TO THE LATEST STANDARDS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND ANY APPLICABLE STATE OR LOCALLY APPROVED SUPPLEMENTS...
4. THE LOCATIONS OF PROPOSED UTILITY POLES AND TRAFFIC SIGNS SHOWN ON THE PLANS ARE SCHEMATIC AND PRELIMINARY...
5. ALL DIMENSIONS SHOWN ARE TO BOTTOM FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, EXCEPT WHEN INDICATED OTHERWISE...
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EXISTING UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER SYSTEMS...
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ACCESSIBILITY DESIGN GUIDELINES

- 1. ALL ACCESSIBLE (A.K.A. ADA) COMPONENTS AND ACCESSIBLE ROUTES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF (A) THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CHAPTER II, 28 C.F.R. PARTS 201 AND 202, AND 42 U.S.C. 4151 ET SEQ.; AND (B) ANY APPLICABLE LOCAL AND STATE GUIDELINES, AND ANY AND ALL AMENDMENTS TO BOTH, WHICH ARE IN EFFECT WHEN THESE PLANS WERE PREPARED...
2. THE CONTRACTOR MUST REVIEW ALL DOCUMENTS REFERENCED IN THESE NOTES FOR ACCURACY, COMPLIANCE AND CONSISTENCY WITH INDUSTRY GUIDELINES...
3. COMPONENTS AND ACCESSIBLE ROUTES FOR THE SITE, FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACES, PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, AND INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING CONSTRUCTION (LATEST EDITION) AND ANY ACCESSIBLE ROUTES FOR OTHER ACCESSIBLE AREAS, SHALL BE, BUT NOT LIMITED TO THE FOLLOWING:
A. ACCESSIBLE PARKING SPACES AND ACCESSIBLE ROUTE MUST PROVIDE A 48-INCHES MINIMUM WIDTH, OR AS SPECIFIED BY THE GOVERNING AGENCY, UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANDS AND/OR HANDRAILS) MUST NOT REDUCE THIS MINIMUM WIDTH...
B. ACCESSIBLE ROUTES MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL...
C. ACCESSIBLE RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE RAMP...
D. ACCESSIBLE RAMP SURFACES SHALL BE PROVIDED ON BOTH SIDES OF THE RAMP...
E. ACCESSIBLE CURB RAMPS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%)...
F. ACCESSIBLE SIDEWALKS MUST BE PROVIDED ON THE EXTERIOR SIDE OF ANY DOOR LEADING TO AN ACCESSIBLE PATH OF TRAVEL...
G. ACCESSIBLE STAIRS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%) AND A RISE OF 30-INCHES LEVEL LANDINGS MUST BE PROVIDED AT EACH END OF ACCESSIBLE STAIR...
H. ACCESSIBLE WALKWAYS MUST BE PROVIDED ON BOTH SIDES OF THE WALKWAY...
I. ACCESSIBLE CURB CUTS MUST NOT EXCEED A SLOPE OF 1:12 (8.3%)...
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SOIL EROSION & SEDIMENT CONTROL PLAN NOTES

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LIGHTING NOTES

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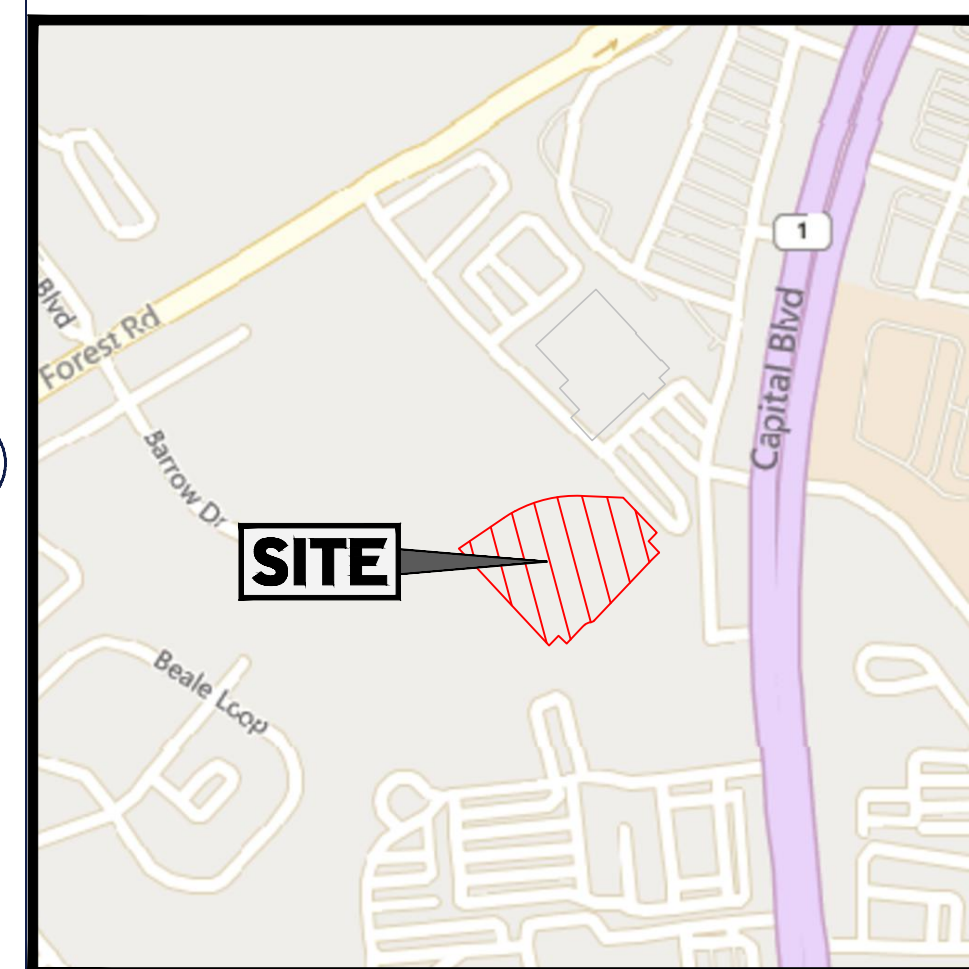
BOHLER ENGINEERING NC, PLLC
SHEET TITLE:
GENERAL NOTES
C-102
ORG. DATE - 12/4/2023
ISSUED FOR MUNICIPAL & AGENCY REVIEW & APPROVAL
JOHNSON AUTOMOTIVE LEXUS DEALERSHIP
PROPOSED DEVELOPMENT
6842 OLD WAKE FOREST ROAD
RALEIGH, NC 27616
WAKE COUNTY
NC@BohlerEng.com





**GENERAL DEMOLITION NOTES:**

- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
- BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR TO: OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK AND DEMOLITION WORK, INCLUDING DEMOLITION OF THE EXISTING BUILDING.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS INDICATED ON THE PLAN IS APPROXIMATE. FIELD LOCATE ALL UNDERGROUND EXISTING UTILITIES LOCATED IN THE AREA OF WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CALL "NC 811" PRIOR TO CONSTRUCTION FOR ASSISTANCE IN LOCATING EXISTING UNDERGROUND UTILITIES. SUBSURFACE FEATURES ARE SHOWN IN AN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UNDERGROUND UTILITY LOCATIONS AND DEPTH.
- ALL SIDEWALKS AND CURB AND GUTTER SECTIONS SHALL BE REMOVED BY SAWCUTTING THE NEAREST CONTROL JOINT AWAY FROM THE LOCATION DESIGNATED FOR REMOVAL ON THE PLANS. EXISTING PAVEMENT SHALL BE SAWCUT IN ALL LOCATIONS WHERE ABUTTING NEW PAVEMENT OR CONCRETE.
- COORDINATE ALL UTILITY REMOVAL, RELOCATION, & ABANDONMENT WITH THE APPROPRIATE UTILITY SERVICE PROVIDER. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL UTILITY SERVICES TO ADJACENT PROPERTIES DURING ALL PHASES OF CONSTRUCTION.
- CONTRACTOR TO SUPPLY SUFFICIENT TRAFFIC CONTROL DEVICES AT ALL TIMES.
- TRAFFIC PLATES MUST BE USED OVER MAIN DRIVES.



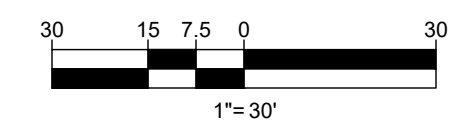
**VICINITY MAP**  
SCALE: 1" = 500'

**DEMOLITION / REMOVAL LEGEND**

DEMOLITION/REMOVAL NOTE	TYPICAL NOTE TEXT
(TBR)	TO BE REMOVED
---	RIPRAP
--- LOD --- LOD ---	LIMITS OF DISTURBANCE (LOD)
[Pattern]	EXISTING GRAVEL
[Pattern]	GRAVEL TO BE DEMOED
[Pattern]	EXISTING CONCRETE
[Pattern]	CONCRETE TO BE DEMOED
[Pattern]	EXISTING ASPHALT

**GRADING LEGEND**

[Line Style]	EXISTING MAJOR CONTOUR
[Line Style]	EXISTING MINOR CONTOUR
[Line Style]	OTHER CONTOUR



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PROGRAM MANAGEMENT  
LANDSCAPE ARCHITECTURE  
SUSTAINABLE DESIGN  
PERMITTING SERVICES  
TRANSPORTATION SERVICES

**REVISIONS**

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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PROJECT No.: NCB230054  
DRAWN BY: RKA  
CHECKED BY: WES  
DATE: 12/4/23  
CAD ID: DEMO-0

**ADMINISTRATIVE SITE REVIEW DOCUMENTS**

FOR  
**JOHNSON AUTOMOTIVE LEXUS DEALERSHIP**  
PROPOSED DEVELOPMENT  
6842 OLD WAKE FOREST ROAD  
RALEIGH, NC 27616  
WAKE COUNTY

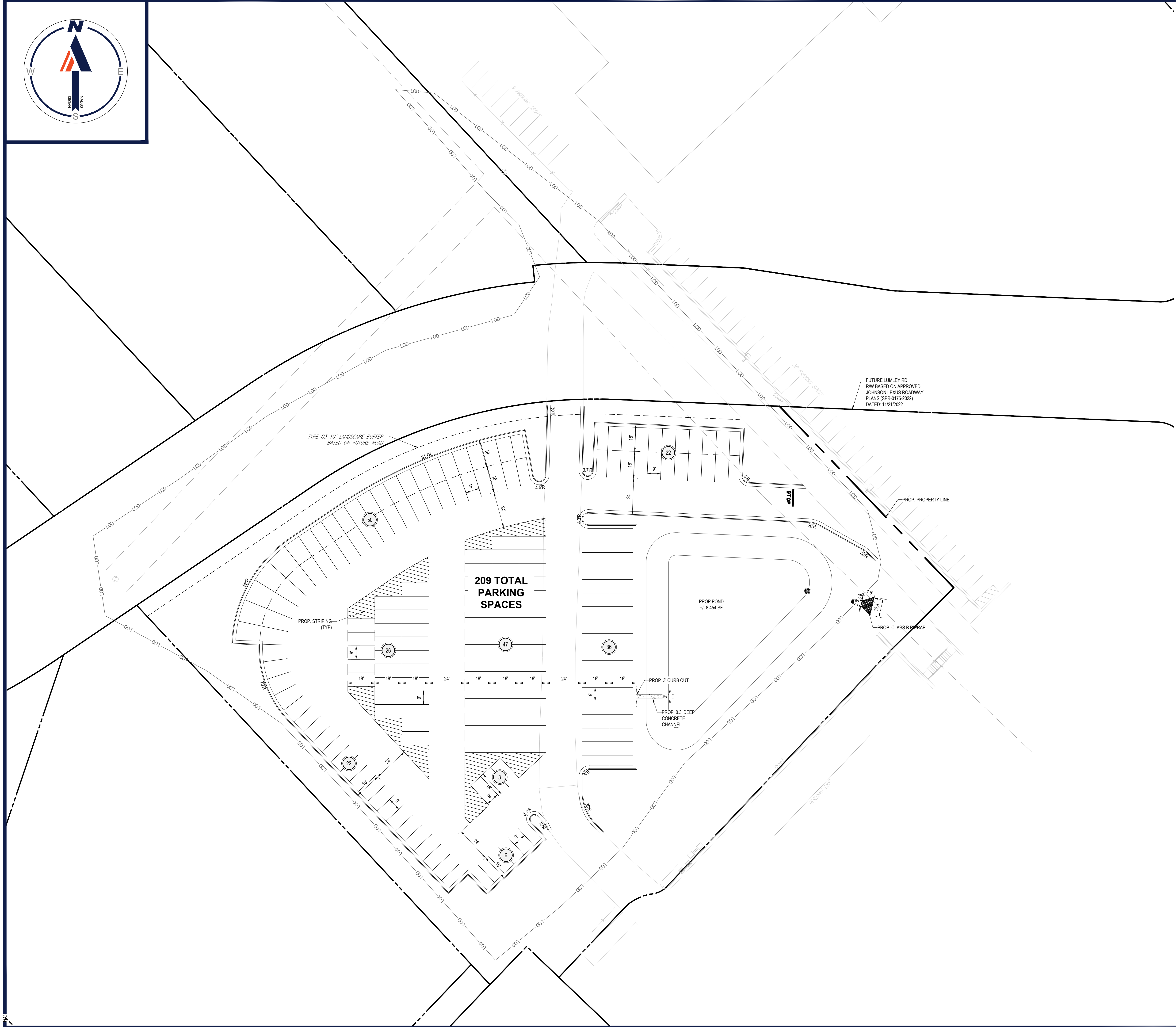
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NCBELS P-1132  
4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612  
Phone: (919) 578-9000  
NC@BohlerEng.com

SHEET TITLE  
**EXISTING CONDITIONS AND DEMO PLAN**

SHEET NUMBER  
**C-201**

ORG. DATE - 12/4/2023





IMPERVIOUS AREA TABLE		
	PRE-DEVELOPMENT	POST-DEVELOPMENT
TOTAL SITE AREA	3.69 AC	2.83 AC
IMPERVIOUS AREA	0 AC	1.67 AC
PERVIOUS AREA	3.69 AC	1.16 AC

**SITE PLAN & ZONING NOTES:**

- THIS PLAN REFERENCE DOCUMENTS AND INFORMATION BY:  
 BOHLER  
 4130 PARKLAKE AVENUE, SUITE 130  
 RALEIGH, NC 27612
- OWNER/DEVELOPER:  
 JOHNSON AUTOMOTIVE  
 5839 CAPITAL BLVD  
 RALEIGH, NC 27616  
 CONTACT: DREW WILKINSON  
 PHONE: (919) 877-1955  
 EMAIL: DWILKINSON@JOHNSONAUTOMOTIVE.COM
- SITE INFORMATION:  
 PARCEL ACREAGE: 2.85 AC  
 PARCEL ID NUMBER: 1727301487  
 EXISTING ZONING: IX-7 & IX-5  
 OVERLAY DISTRICT: NONE  
 FRONTAGE TYPE: C2 BUFFER  
 EXISTING LAND USE: VACANT  
 PROPOSED USE: SELF SERVICE STORAGE LOT  
 BUILDING SF: 0 SF
- SEE SHEET C-101 - GENERAL NOTES FOR ALL GENERAL NOTES.  
 ALL DIMENSIONS ARE SHOWN FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.

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PROJECT No.:	NCB230054
DRAWN BY:	RKA
CHECKED BY:	WES
DATE:	12/4/23
CAD ID:	SITE-0

PROJECT:

**ADMINISTRATIVE  
 SITE REVIEW  
 DOCUMENTS**  
 FOR  
**JOHNSON  
 AUTOMOTIVE LEXUS  
 DEALERSHIP**  
 PROPOSED  
 DEVELOPMENT  
 6842 OLD WAKE FOREST ROAD  
 RALEIGH, NC 27616  
 WAKE COUNTY

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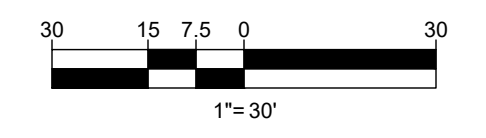
SHEET TITLE:

**SITE  
 PLAN**

SHEET NUMBER:

**C-301**

ORG. DATE - 12/4/2023

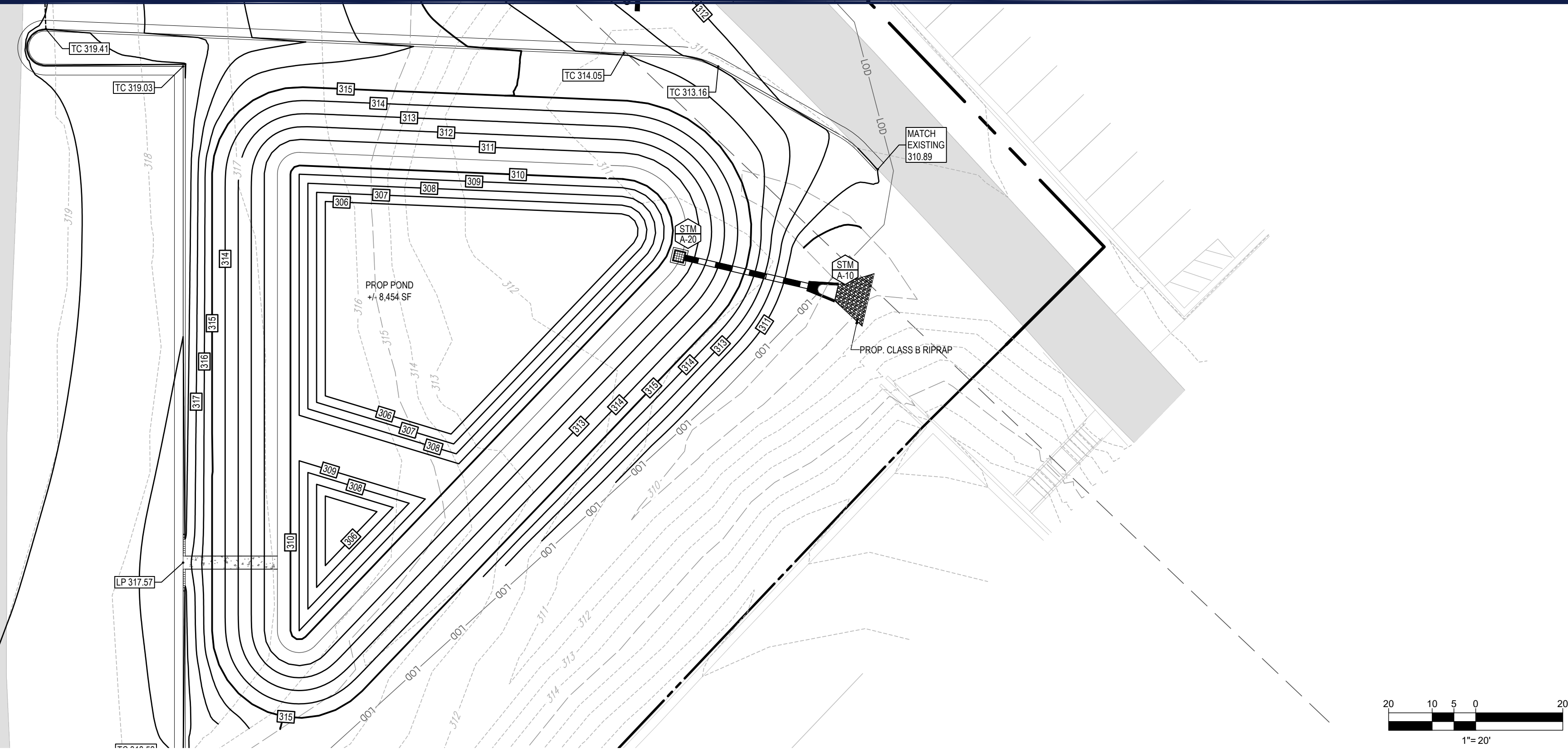


Dec 04, 2023  
 H:\2023\NCB230054\01LAND DEVELOPMENT\ENGINEERING\CAD\DRAWINGS\PLAN SET\NCB230054-SITE-0-1-LAYOUT\_C-301 SITE PLAN

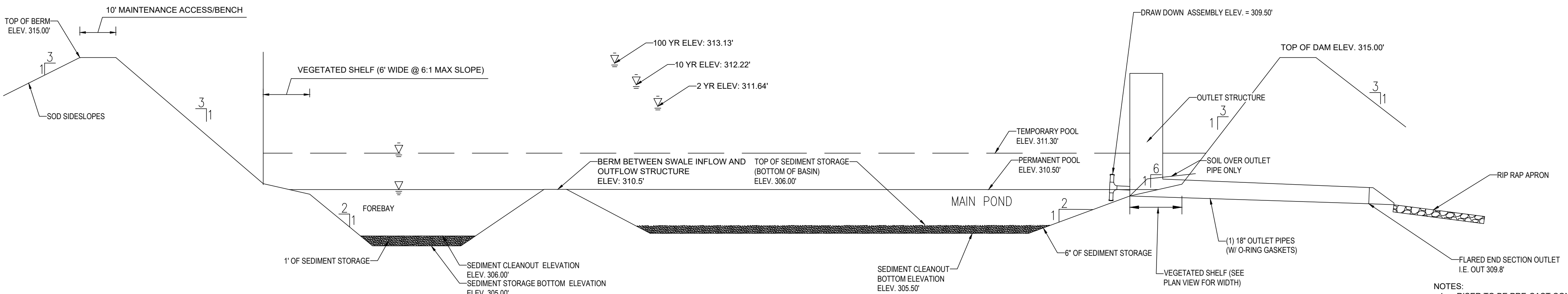
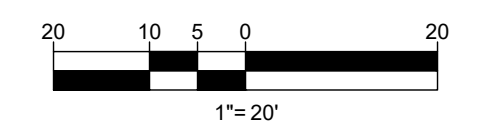






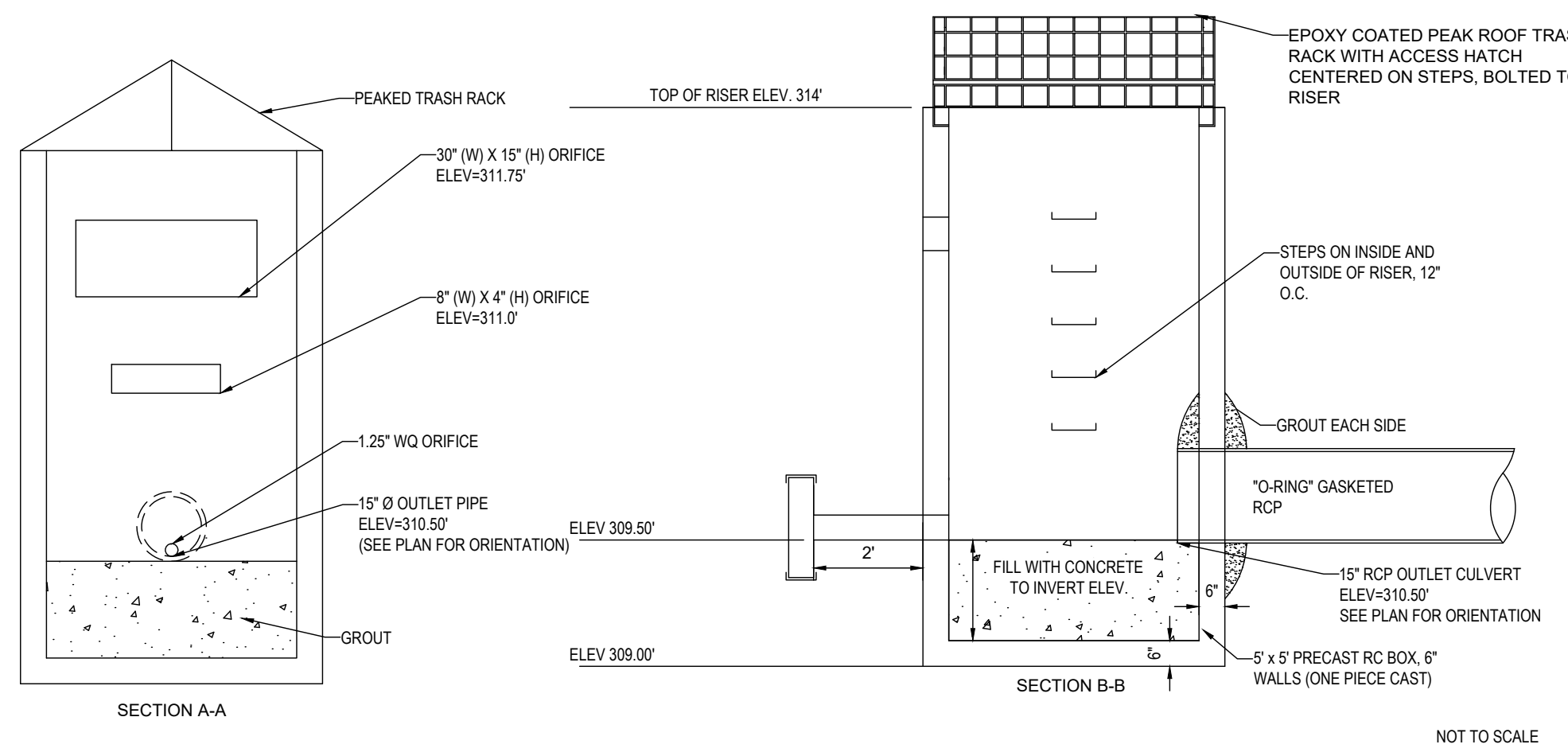


**SCM #1: WET DETENTION BASIN**

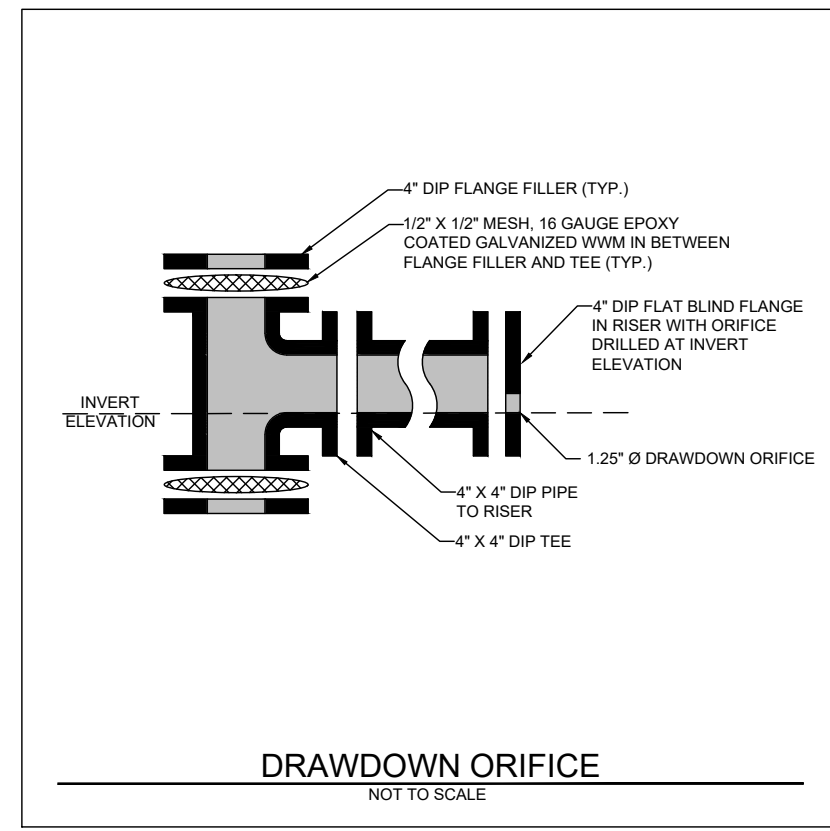
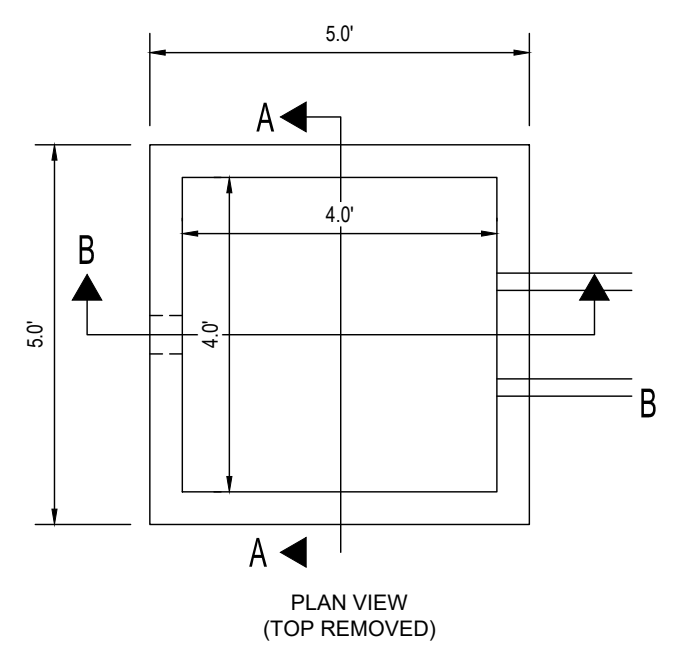


**WET DETENTION BASIN CROSS SECTION**  
NOT TO SCALE

- NOTES:
1. BASIN SHALL BE CLEANED OUT AND STABILIZED UPON CONVERSION TO WET DETENTION BASIN
  1. RISER TO BE PRE-CAST CONCRETE STRUCTURE. CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL.
  2. DE-WATERING TO BE CONDUCTED VIA PUMP. THE PUMP SHALL REMAIN ONSITE AT ALL TIMES FOR EMERGENCY PURPOSES. PUMP NEEDS TO BE ABLE TO DRAW DOWN PERMANENT POOL OF WATER IN UNDER 24HR.



NOT TO SCALE



**DRAWDOWN ORIFICE**  
NOT TO SCALE

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11100223/NC/230054-001/LAND DEVELOPMENT/ENGINEERING/CADD/DRAWINGS/PLAN SET/TS/NC/230054-001/LAYOUT\_C-402/SCM PLAN

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PROJECT No.: NCB230054  
DRAWN BY: RKA  
CHECKED BY: WES  
DATE: 12/14/23  
CAD ID: GRAD-0

PROJECT:  
**ADMINISTRATIVE SITE REVIEW DOCUMENTS**  
FOR  
**JOHNSON AUTOMOTIVE LEXUS DEALERSHIP**  
PROPOSED DEVELOPMENT  
6842 OLD WAKE FOREST ROAD  
RALEIGH, NC 27616  
WAKE COUNTY

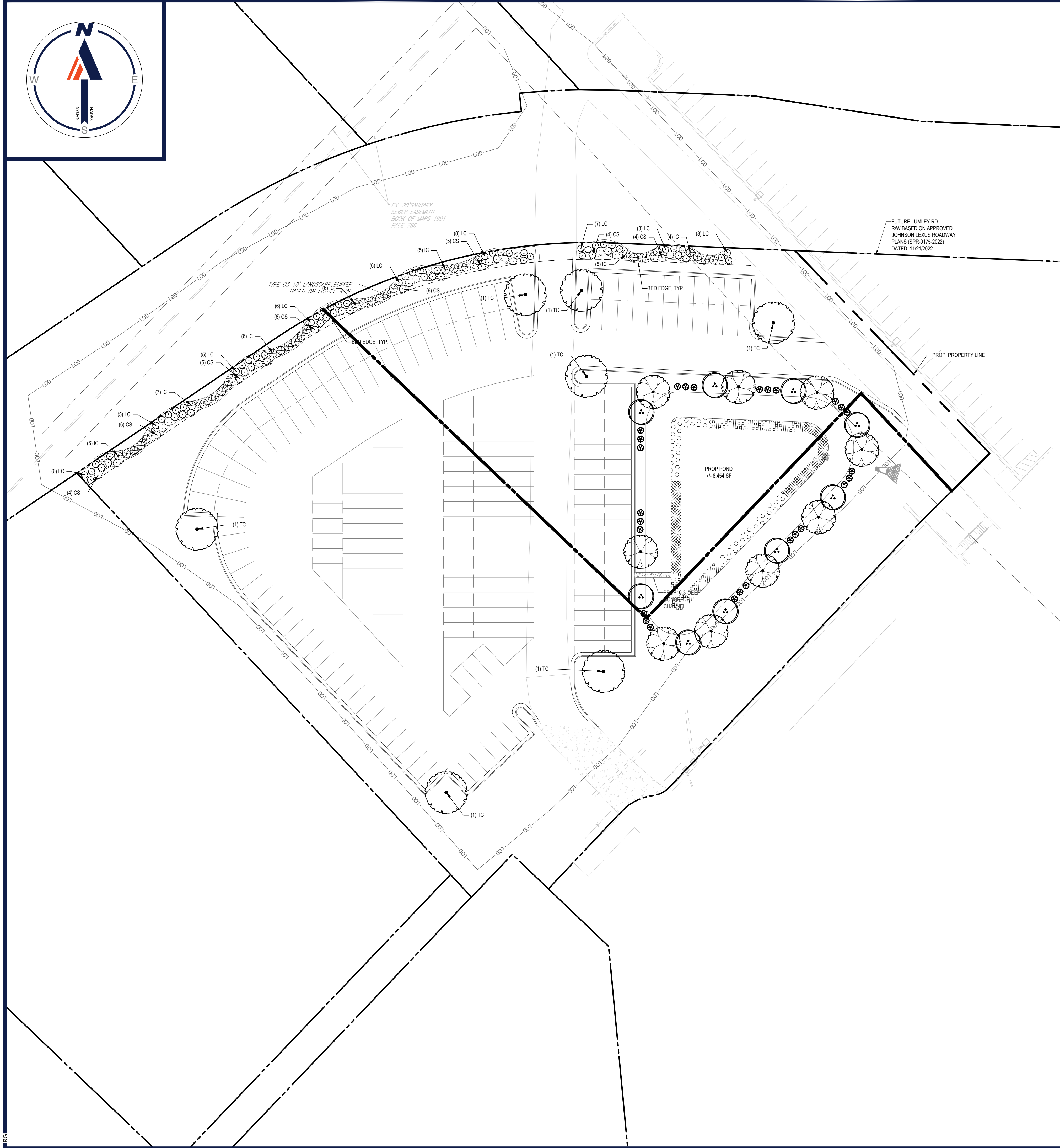
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4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612  
Phone: (919) 578-9000  
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SHEET TITLE:  
**GRADING PLAN**

SHEET NUMBER:  
**C-401**

ORG. DATE - 12/14/2023





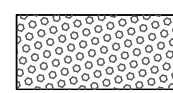
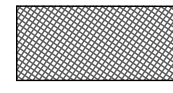
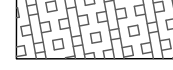
LANDSCAPE COMPLIANCE CHART		
SECTION	REQUIREMENT	PROVIDED
ARTICLE 6.4.13.B VEHICLE SALES USERENTRAL USE STANDARDS	ALL VEHICULAR DISPLAY AREA WITH FRONTAGE ON ANY PORTION OF A STREET RIGHT-OF-WAY (NOT INCLUDING AN ALLEY) MUST BE SCREENED ALONG THE STREET EDGE BY A TYPE C3 STREET PROTECTIVE YARD UNDER SECTION 7.2.4.B.	SCREENING PER SECTION 7.2.4.B PROVIDED AS SHOWN BELOW
ARTICLE 7.2.4.B STREET PROTECTIVE YARD	TYPE C3 STREET PROTECTIVE YARD: 10' MINIMUM WIDTH SHRUBS PER 100 LF = 30 SHRUB HEIGHT MIN. 42"  FRONTAGE = 425 LF (INCLUDING DRIVEWAY) 425 / 100 = 4.25 4.25 X 30 = 127.5 OR 128 SHRUBS REQUIRED	128 SHRUBS PLANTED AT A RATE OF 30 PER 100 LF PROVIDED ALONG STREET RIGHT-OF-WAY
ARTICLE 7.1.7 VEHICLE PARKING LOT LANDSCAPING	EACH INTERIOR ISLAND (AND TERMINAL ISLAND) MUST INCLUDE AT LEAST ONE SHADE TREE	AT LEAST ONE SHADE TREE IS PROVIDED IN EVERY INTERNAL OR TERMINAL ISLAND  TOTAL PARKING LOT TREES PROVIDED: 7

PLANT SCHEDULE BUFFER PLANTINGS				
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
CS	40	CORNUS SERICEA 'ALLEMIANS'	42" MIN.	CONTAINER/B&B
IC	38	ALLEMASS COMPACT RED TWIG DOGWOOD	42" MIN.	CONTAINER
LC	49	LOREPETALUM CHINENSE 'RUBRUM RUBY' RUBY PRINCE FLOWER	42" MIN.	CONTAINER

PLANT SCHEDULE PARKING LOT				
PARKING LOT TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
TC	7	TILIA CORDATA LITTLELEAF LINDEN	2.5' CAL.	B&B

PLANT SCHEDULE WET POND PLANTINGS				
TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	9	ACER RUBRUM 'AUTUMN FLAME' AUTUMN FLAME RED MAPLE	2.5" CAL./12-14" HT.	B&B
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	27	THUJA OCCIDENTALIS 'EMERALD GREEN' EMERALD GREEN ARBOVITAE	5-6'	B&B
UNDERSTORY TREES	QTY	BOTANICAL / COMMON NAME	SIZE	CONTAINER
	9	LAGERSTROEMIA 'INDICA' FAJURED 'SIOUX' SIOUX GRAPE MYRTLE	2' CAL.	B&B

**WET POND LANDSCAPE LEGEND:**

-  ASCLEPIAS INCARNATA - SWAMP MILKWEED = 166 UNITS
-  LOBELIA CARDINALIS - CARDINAL FLOWER = 166 UNITS
-  EUPATORIADELPHUS MACULATUS - SPOTTED TRUMPETWEED = 166 UNITS

TOTAL VEGETATED SHELF AREA = 1,991 SF  
 TOTAL UNITS REQUIRED = 1,991 SF \* (50 PLANTS/200 SF) = 498 UNITS  
 TOTAL UNITS PROVIDED = 498 UNITS

PLANTING SIZE AND DEPTH: 6"-8" POTS,  
 PLANTED 24" ON-CENTER. PLANT DEPTH TO BE 1" LESS THAN CONTAINER AND 2x AS WIDE AS CONTAINER.

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REVISIONS			
REV	DATE	COMMENT	DRAWN BY

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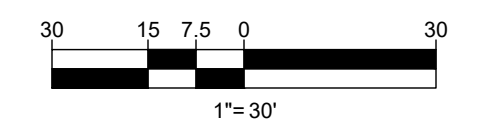
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PROJECT No.: NCB230054  
 DRAWN BY: RKA  
 CHECKED BY: WES  
 DATE: 12/14/23  
 CAD ID: LSCP-0

PROJECT:  
**ADMINISTRATIVE SITE REVIEW DOCUMENTS**  
 FOR  
 JOHNSON AUTOMOTIVE LEXUS DEALERSHIP  
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 6842 OLD WAKE FOREST ROAD  
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 WAKE COUNTY

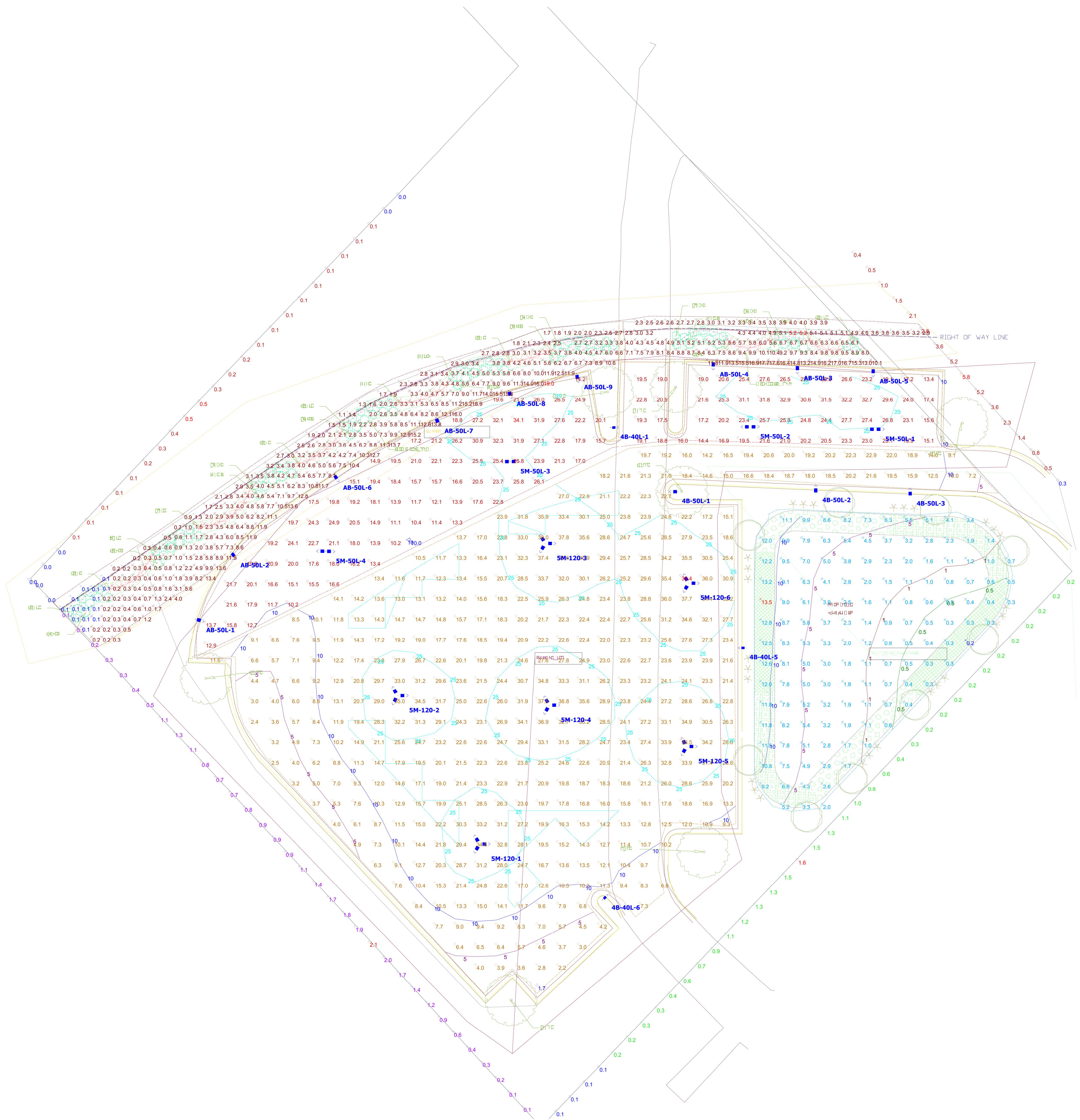
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SHEET TITLE:  
**LANDSCAPE PLAN**  
 SHEET NUMBER:  
**C-701**  
 ORG. DATE - 12/14/2023



Dec 04, 2023  
 H:\2023\NCB230054\01 LAND DEVELOPMENT\ENGINEERING\CAD\DRAWINGS\PLAN SET\NCS\BOHLER\LSCP-0-1-JAYOUT C-701 LANDSCAPE PLAN





Plan View - A

Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	5M-120	6	Cree Lighting	OSQX-C-75L-50K9-5M-Ux-xx-xx-xx-xx	CONFIGURED FROM OSQM-C Luminaire, 16L Lumen Package, 5700K, 70CRI, Type V Mid	1	51001	1	1341
	AB-50L	9		OSQX-C-50L-50K9-AB-Ux-xx-xx-xx-xx	CONFIGURED FROM OSQM-C Luminaire, 16L Lumen Package, 5700K, 70CRI, Automotive Frontline w-BLS Simulated	1	22202	1	297
	5M-50L	4	Cree Lighting	OSQX-C-50L-50K9-5M-Ux-xx-xx-xx-xx	CONFIGURED FROM OSQM-C Luminaire, 16L Lumen Package, 5700K, 70CRI, Type V Mid	1	34001	1	594
	4B-50L	3	Cree Lighting	OSQX-C-50L-50K9-4B-Ux-xx-xx-xx-xx	CONFIGURED FROM OSQM-C Luminaire, 16L Lumen Package, 5700K, 70CRI, Type IV Mid w-BLS	1	20400	1	297
	4B-40L	3	Cree Lighting	OSQX-C-40L-50K9-4B-Ux-xx-xx-xx-xx	CONFIGURED FROM OSQM-C Luminaire, 16L Lumen Package, 5700K, 70CRI, Type IV Mid w-BLS	1	16300	1	236

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
EASTERN PROPERTY BOUNDARY		2.3 fc	5.8 fc	0.3 fc	19.3:1	7.7:1
INTERIOR LOT		19.7 fc	38.4 fc	1.7 fc	22.6:1	11.6:1
LANDSCAPE BUFFER		6.0 fc	19.0 fc	0.1 fc	190.0:1	60.0:1
NORTHERN PROPERTY LINE		0.1 fc	0.5 fc	0.0 fc	N/A	N/A
RETENTION POND		4.1 fc	13.5 fc	0.2 fc	67.5:1	20.5:1
RIGHT OF WAY LINE		2.7 fc	5.2 fc	0.1 fc	52.0:1	27.0:1
SOUTHERN PROPERTY LINE		0.6 fc	1.6 fc	0.1 fc	16.0:1	6.0:1
WESTERN PROPERTY LINE		0.8 fc	2.1 fc	0.0 fc	N/A	N/A
AUTOMOTIVE FRONT		20.9 fc	34.1 fc	10.0 fc	3.4:1	2.1:1

Note

1. CALCULATION STUDY CONDUCTED AT 0FT ABOVE GROUND ON 10FT X 10FT SPACING.
2. ALL FIXTURES ARE POLE MOUNTED AT 25FT MOUNTING HEIGHT.
3. BOUNDARY LINES ARE APPROXIMATE BASED ON PROVIDED CAD DRAWING.
4. FIXTURES SET AT .50 LLF TO DEMONSTRATE 50% DIM POWER DURING CALCULATION.

