



# Administrative Site Review

## Submittal Instructions

Site plan applications fall under one of the three tiers. The tier category indicates which Unified Development Ordinance (UDO) provisions are applicable in the review and approval of a site plan application. The Administrative Site Review (ASR) review process is for site plans that qualify as either a Tier Two or Tier Three Site Plan as specified in UDO Section 10.2.8.

Email all documents with your ASR plans to [SiteReview@raleighnc.gov](mailto:SiteReview@raleighnc.gov).

- Tier One Site Plans are reviewed under the [Non-Residential Permit](#) review process
- If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). Please note you will need a registered account to submit an online portal request. There is also a fee for this verification service.

Note: Applicants seeking to revise an already approved site plan must follow the “Modifications to an Approved Site Plan” application process.

### Who can apply:

In accordance with state law (N.C.G.S. § 160D-403(a)), applications for site plan approvals may be made by the following individuals:

- The landowner (holder of the title in fee simple);
- A lessee or person holding an option or contract to purchase or lease land;
- An authorized agent of the landowner; or
- An easement holder, for such development as is authorized by the easement.

### What to Submit:

- Administrative Site Review Checklist
- Administrative Site Review Application
- One digital copy of proposed plans and supporting documents
  - Original plans scanned to scale, in sequential order
  - To engineering scale, example: 1"=20', 1"=100'
  - For resubmittals, include all revisions and responses to comments
- If dwelling units are proposed, submit the [Wake County Residential Development Notification Form](#)

### Mailed Notification Process (if applicable):

- Notification letters should be mailed to:  
Planning and Development Department  
ATTN: Daniel L. Stegall  
One Exchange Plaza, Suite 400  
Raleigh, NC 27601
- Per UDO Section 10.2.8.C.1d and Section 10.2.1.C, notification letters must be provided at the time of application submission (when applicable). Please mail your letters as soon as possible to avoid delays. (See adopted UDO text change [TC-11-20](#) “Tenant Notification”)
- Mailouts will be processed once we receive both your digital application and your notification letter package.

### Payment:

Please review the Development Fee Schedule to estimate your fees. Payments can be made:

- Online via the Permit and Development Portal (you must be a registered user)
- Over the phone via the Customer Service Center (919-996-2500)
- Fees for Site Plans are based on the project scope as defined in the Development Fee Schedule. (Please note: The Site Plan Tier and the Site Plan Level defined in the fee schedule are independent of one another.)

Questions? We're here to help! Contact the Planning and Development Customer Service Center at 919-996-2500 or [ds.help@raleighnc.gov](mailto:ds.help@raleighnc.gov).

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan		Tier Three Site Plan
Building and Development Type (Check all that apply)		Site Transaction History
Detached	General	Subdivision case #: _____
Attached	Mixed use	Scoping/sketch plan case #: _____
Townhouse	Civic	Certificate of Appropriateness #: _____
Apartment	Cottage Court	Board of Adjustment #: _____
Tiny house	Frequent Transit	Zoning Case #: _____
Open lot	Development Option	Design Alternate #: _____
GENERAL INFORMATION		
Development name:		
Inside City limits?	Yes	No
Property address(es):		
Site P.I.N.(s):		
Please describe the scope of work. Include any additions, expansions, and uses (UDO 6.1.4).		
<b>Current Property Owner(s):</b>		
Company:		Title:
Address:		
Phone #:		Email:
<b>Applicant Name (If different from owner. See "who can apply" in instructions):</b>		
Relationship to owner:    Lessee or contract purchaser    Owner's authorized agent    Easement holder		
Company:		Address:



Phone #:	Email:
<b>NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.</b>	
<b>Developer Contact:</b>	
Company:	Title:
Address:	
Phone #:	Email:
Applicant Name:	
Company:	Address:
Phone #:	Email:

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district(s) (please provide the acreage of each):	Existing gross floor area (not to be demolished):
Gross site acreage:	Existing gross floor area to be demolished:
# of parking spaces proposed:	New gross floor area:
Max # parking permitted (7.1.2.C):	Total sf gross (to remain and new):
Overlay District (if applicable):	Proposed # of buildings:
Existing use (UDO 6.1.4):	Proposed # of stories for each:
Proposed use (UDO 6.1.4):	Proposed # of basement levels (UDO 1.5.7.A.6)

STORMWATER INFORMATION	
Imperious Area on Parcel(s): Existing (sf) _____ Proposed total (sf) _____	Impervious Area for Compliance (includes ROW): Existing (sf) _____ Proposed total (sf) _____

RESIDENTIAL & OVERNIGHT LODGING DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel bedrooms:
# of bedroom units: 1br _____ 2br _____ 3br _____ 4br or more _____	
# of lots:	Is your project a cottage court?      Yes      No
	A frequent transit development?      Yes      No

Continue to Applicant Signature Block on Page Three.

**APPLICANT SIGNATURE BLOCK**

Pursuant to state law (N.C. Gen. Stat. § 160D-403(a)), applications for development approvals may be made by the landowner, a lessee or person holding an option or contract to purchase or lease land, or an authorized agent of the landowner. An easement holder may also apply for development approval for such development as is authorized by the easement.

By submitting this application, the undersigned applicant acknowledges that they are either the property owner or one of the persons authorized by state law (N.C.G.S. 160D-403(a)) to make this application, as specified in the application. The undersigned also acknowledges that the information and statements made in the application are correct and the undersigned understands that developments approvals are subject to revocation for false statements or misrepresentations made in securing the development approval, pursuant to N.C. Gen. Stat. § 160D-403(f).

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

The undersigned hereby acknowledges that, pursuant to state law (N.C.G.S. 143-755(b1)), if this permit application is placed on hold at the request of the applicant for a period of six consecutive months or more, or if the applicant fails to respond to comments or provide additional information requested by the City for a period of six consecutive months or more, then the application review is discontinued and a new application is required to proceed and the development regulations in effect at the time permit processing is resumed shall apply to the new application.

Signature:	<i>Alex Shapiro</i>	Date:	12-8-23
Printed Name:	Alexander Shapiro		



# Administrative Site Review Checklist

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

Use this checklist as a guide for Administrative Site Review submittals requirements. This checklist must be submitted with your application.

## MAILED NOTIFICATION REQUIREMENTS

Mailed notice is required for projects that:

1. Include new buildings greater than 25,000 square feet, or additions that represent a 10% increase in building area or 25,000 square feet (whichever is greater), AND;
2. The subject property is located within 100 feet of a property that is zoned: R-1, R-2, R-4, R-6, R-10

If your project requires mailed notice, [click here to download the letter template](#) and other helpful information.

Please check one of the following:

- Yes, my project meets the mailed notification requirement and my letters are provided with this application.
- The mailed notification is not applicable for my project.

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
1. <b>Cover sheet and/or second sheet:</b> include project name and location; copy of applications, site data table ( <i>include Property Identification Numbers (PINs), Zoning, Overlay District(s), Frontage Type, Current Use(s), Proposed Use(s), Building Square Footage(s), residential density and unit data, existing and proposed parking calculations</i> ); general notes; sheet index and legend defining symbols with north arrow; contact information for owner, applicant, and all consultants; vicinity map no smaller than 1"=500" and no larger than 1"=1000'; and adopted zoning conditions (if any)					
2. <b>Existing conditions sheet:</b> including, but not limited to - graphic scale; site size with meets and bounds; setbacks/ build-to lines; existing structures; utilities and easements; topography, infrastructure ( <i>adjacent streets with names and r/w width, sidewalks, water, and sewer</i> ); built improvements ( <i>parking, driveways, alleys</i> ); and vegetation					
3. <b>Demolition plan:</b> Clearly indicate items to be removed					
4. <b>Proposed site plan:</b> including but not limited to – north arrow and graphic scale; show and distinguish between existing and proposed conditions ( <i>structures, streets, driveways, parking, storage areas, service areas, etc.</i> ); setback/build-to lines; proposed property lines; streetscape; mechanical equipment ( <i>HVAC, generators, etc.</i> ); sidewalks, walkways, trails; solid waste facilities; parking and parking calculations ( <i>UDO Section 7.1.2</i> ); amenity area ( <i>UDO Section 1.5.3</i> ) open space and/or greenways; transition protective yard ( <i>UDO Section 7.2.4</i> ); Site Data ( <i>Square footages for proposed and existing uses; Parking calculations; amenity area calculations</i> ); Setback/Build-to; transitional protective yard type ( <i>UDO Section 7.2.4.A</i> ); street protective yard type ( <i>UDO Section 7.2.4.B</i> )					

Please continue to page two >>

GENERAL REQUIREMENTS Applicant to provide the following plan information:	APPLICANT		CITY STAFF		
	YES	N/A	YES	NO	N/A
5. <b>Proposed grading plan:</b> including but not limited to - Limits of land disturbance; grading; structural improvements with finished floor elevations; stream buffers with labels; labeled impervious surfaces (and calculations); tree protection fencing information; retaining walls with top and bottom of wall; stormwater ponds, bioretention facilities, etc.					
6. <b>Proposed stormwater plan:</b> include preliminary stormwater quantity and quality summary and calculations package. If not required, provide notes indicating such and reference UDO section on front cover					
7. <b>Proposed Utility Plan:</b> All utilities (shown underground); above ground utilities and equipment with required screening ( <i>UDO Section 7.2.5.D.</i> ); include Fire					
8. <b>Lighting Plan:</b> Pole mounted fixture locations and details (with height labeled to top of fixture; building mounted fixture locations; graphics and notes conveying compliance with UDO Section 7.4					
9. <b>Proposed tree conservation plan:</b> for secondary tree conservation areas, include tree cover report completed by a certified arborist, NC licensed landscape architect, or NC registered forester. If not required, provide notes indicating such and reference UDO section on front cover					
10. <b>Proposed landscape plan:</b> ( <i>UDO Section 7.2</i> ) including but not limited to – existing vegetation to remain; proposed landscaping meeting minimum size and species mixing requirements; plant list; label yard types; show and label parking lot landscaping ( <i>UDO Section 7.1.7.</i> ) include existing and/or proposed parking lot light fixtures					
11. <b>Architectural Elevations</b> showing existing and/or proposed building height per UDO Section 1.5.7., 2.3, 3.2., and 3.3., transparency per UDO Section 1.5.9., 2.3 and 3.2, and blank wall area per UDO Section 1.5.10.					



# GO RALEIGH - NEW HOPE PARK AND

1426 WILDERS GROVE LN AND 1451 N. NEW HOPE RD.  
 RALEIGH, NORTH CAROLINA, 27604

CLIENT

## SITE DEVELOPMENT PLANS

PROJECT NUMBER: RAL22005

DATE: DECEMBER 6, 2023

Two PINS provided  
 but ASR Application  
 lists 3 PINS and 3  
 addresses: 1451 N  
 New Hope Road,  
 1426 Wilder's Grove  
 Road and 1408  
 Wilder's Grove Road

### SHEET INDEX

C0.00	PROJECT NOTES
C1.00	EXISTING CONDITIONS
C1.01	DEMOLITION PLAN
C2.00	SITE PLAN
C3.00	GRADING AND STORM DRAINAGE PLAN
C6.00	STAGE 1 EROSION CONTROL PLAN
C6.01	STAGE 2 EROSION CONTROL PLAN
C6.10	EROSION CONTROL DETAILS
C6.11	EROSION CONTROL DETAILS
C6.12	EROSION CONTROL DETAILS
C8.00	STORMWATER DETAILS
C8.01	TRANSPORTATION DETAILS
C8.02	TRANSPORTATION DETAILS
C8.03	TRANSPORTATION DETAILS
C9.00	SCM A AND SCM B PLAN VIEW

### SITE DATA

PARCEL PIN NUMBER:	1724965306, 1724962367	
ZONING:	IX-3, IW-3-PL	
OVERLAY DISTRICT:	NONE	
WATERSHED:	CRABTREE CREEK	
FLOODPLAIN/FIRM PANEL:	3720079600J	
SITE AREA	1.43 AC (62486 SF). SEE ALTA/NSPS LAND TITLE SURVEY	
EXISTING USE:	VACANT; COMMERCIAL	
PROPOSED USE:	GORALEIGH FACILITY	
PARKING DATA:	VEHICLE PARKING	REQUIRED: NO MAXIMUM PROVIDED: 98 SPACES
	EV VEHICLE PARKING	PROVIDED: 11 SPACES EV READY: 10 SPACES
	ACCESSIBLE PARKING	REQUIRED: 4 SPACES; 1 VAN SPACE PROVIDED: 6 SPACES; 3 VAN SPACES
	BIKE PARKING	PROVIDED: 20 SPACES
NEIGHBORHOOD TRANSITIONS AND PARKING + BUILDING SETBACKS:	NORTHERN PROPERTY LINE	N/A
	SOUTHERN PROPERTY LINE	N/A
BUILD-TO:	N NEW HOPE RD AND NEW BERN AVE	N/A
		N/A
DWELLING UNITS:	MAXIMUM ALLOWED: 185 DWELLING UNITS PROPOSED: N/A	
OUTDOOR AMENITY AREA:	REQUIRED: 0.475 AC, 20,710 SF (95 UNITS * 218 SF/UNIT) PROVIDED: 1.21 AC, 52,893 SF (26.6%) SEE C2.00 FOR DETAILS	
TREE CONSERVATION:	REQUIRED: 0.456 AC, 19,865 SF (10% PARCEL NET AREA) PROVIDED: 0.462 AC, 20,112 SF (10.1%)	

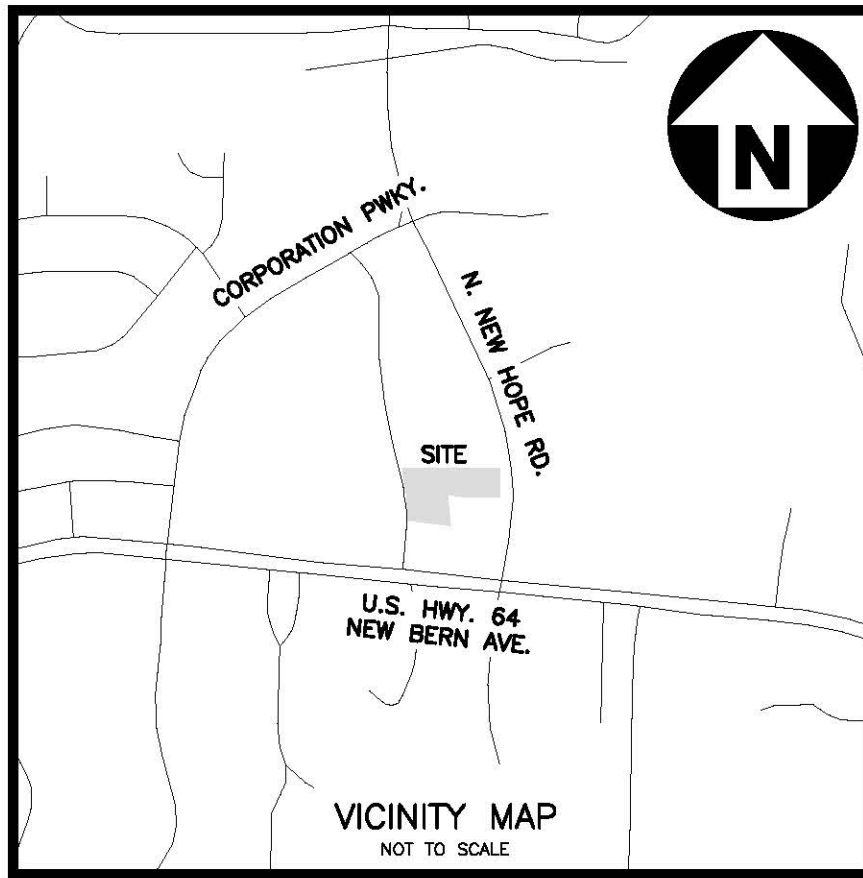
### RIGHT-OF-WAY OBSTRUCTION NOTES

- LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, THE CONTRACTOR OR ENGINEER SHALL SUBMIT A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN ALONG WITH A RIGHT-OF-WAY SERVICES APPLICATION TO REQUEST THE OBSTRUCTION PRIOR TO THE START OF WORK. [rightofwayservices@raleighnc.gov](mailto:rightofwayservices@raleighnc.gov) FOR APPROVAL.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL AND THE LATEST EDITION OF THE NCDOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NCDOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NCDOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBILITY DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.



VICINITY MAP  
 N.T.S.





I, CONNOR J. STEARNS, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK AND PAGE AS SHOWN); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK AND PAGE AS SHOWN; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:552,802.4; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 58-16.00).  
WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., \_\_\_\_

CONNOR J. STEARNS, PROFESSIONAL LAND SURVEYOR T-8469

**PRELIMINARY**



CONNOR J. STEARNS, PLS L-5469 DAT  
**PRELIMINARY**

I, CONNOR J. STEARNS, CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THIS LEVEL SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL TO MEET FEDERAL GEOGRAPHIC DATA COMMITTEE STANDARDS; THAT THIS SURVEY WAS PERFORMED TO MEET THE REQUIREMENTS FOR A TOPOGRAPHIC/PLANIMETRIC SURVEY TO THE ACCURACY OF CLASS A AND VERTICAL ACCURACY WHEN APPLICABLE TO THE CLASS A STANDARD; AND THAT THE ORIGINAL DATA WAS OBTAINED ON MARCH 22, 2023; THAT THE SURVEY WAS COMPLETED ON MARCH 27, 2023; THAT CONTOURS SHOWN AS [BROKEN LINES] MAY MEET THE STATED STANDARD; AND ALL COORDINATES ARE BASED ON NAD83 AND REALIZATION (2001) AND ALL ELEVATIONS ARE BASED ON NAVD83.

**GENERAL NOTES**

- THIS IS A SURVEY OF AN EXISTING PARCEL OF LAND. THIS IS A BOUNDARY AND TOPOGRAPHIC SURVEY.
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD83 (2001).
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
- ZONING: IX-3 PER WAKE COUNTY GIS
- AREA BY COORDINATE GEOMETRY.
- FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A. F.I.R.M. COMMUNITY PANEL #3720172400K DATED 07/19/2022.
- REFERENCES: AS SHOWN
- UTILITY STATEMENT  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
- ELEVATIONS FOR THIS SURVEY ARE BASED ON NAVD83.

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	628.51	83.36	S 09°40'56" E	83.30

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 09°36'31" W	32.31
L2	S 02°16'47" W	61.35

TOTAL AREA SURVEYED:  
94,325 S.F.  
2.17 AC.

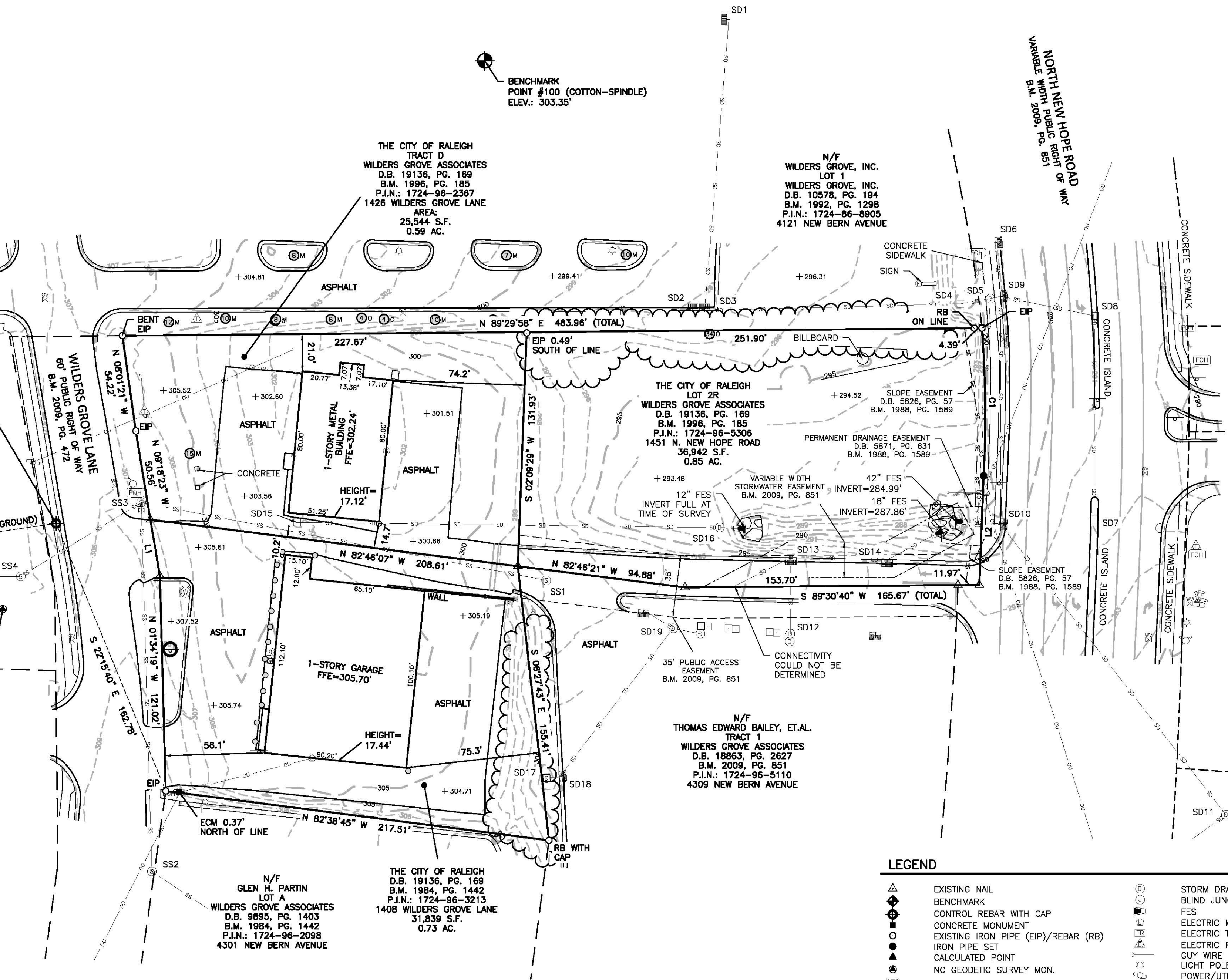
- SD1-CB  
TOP=300.04'  
24" RCP (NW)=293.67'  
24" RCP (S)=293.43'
- SD2-CB  
TOP=297.40'  
24" RCP (E)=290.82'
- SD3-CB  
TOP=297.39'  
24" RCP (W)=290.81'  
24" RCP (N)=290.94'  
24" RCP (E)=290.43'
- SD4-DI  
TOP=289.13'  
24" RCP (W)=285.66'  
24" RCP (NE)=285.51'
- SD5-DMH  
RIM=289.59'  
24" RCP (SW)=285.56'  
15" RCP (S)=285.60'  
24" RCP (NE)=285.55'
- SD6-CB  
TOP=289.37'  
15" RCP (S)=285.37'
- SD7-DI  
TOP=291.62'  
15" RCP (N)=288.29'
- SD8-DI  
TOP=290.91'  
15" RCP (S)=287.19'  
18" RCP (NW)=287.17'
- SD9-CB  
TOP=289.41'  
15" RCP (N)=285.13'  
18" RCP (SE)=285.55'  
24" RCP (SW)=285.51'  
18" RCP (S)=284.81'
- SD10-CB  
TOP=290.11'  
18" RCP (N)=284.03'  
42" RCP (W)=283.96'  
42" RCP (SE)=283.53'
- SD11-DMH  
RIM=290.59'  
42" RCP (NW)=277.25'  
18" RCP (SW)=277.09'  
42" RCP (E)=276.99'
- SD12-DMH  
RIM=289.17'  
15" RCP (N)=293.54'
- SD13-CB  
TOP=294.71'  
15" RCP (SW)=290.57'  
15" RCP (S)=290.79'  
18" RCP (E)=290.55'
- SD14-CB  
TOP=293.05'  
18" RCP (W)=288.36'  
18" RCP (NE)=288.33'
- SD15-DI  
TOP=301.77'  
12" RCP (E)=299.97'
- SD16-DMH  
RIM=293.35'  
12" RCP (W)=288.90'  
12" RCP (E)=288.77'
- SD17-DMH  
RIM=293.36'  
15" RCP (E)=296.24'
- SD18-CB  
TOP=298.52'  
15" RCP (W)=296.13'  
15" RCP (NE)=294.59'
- SD19-DMH  
TOP=298.99'  
15" RCP (SW)=294.12'  
15" RCP (NW)=294.01'  
24" RCP (SE)=293.84'
- SS1-SMH  
RIM=297.75'  
8" DIP (NW)=292.89'
- SS2-SMH  
RIM=309.70'  
6" PVC (SE)=301.96'  
8" DIP (N)=301.75'
- SS3-SMH  
RIM=307.79'  
8" DIP (SE)=292.05'  
8" DIP (S)=292.75'  
8" DIP (SW)=291.97'
- SS4-SMH  
RIM=308.45'  
8" DIP (NE)=291.25'  
8" DIP (W)=291.23'

N/F  
WILDERS GROVE, INC.  
LOT 1  
WILDERS GROVE, INC.  
D.B. 10578, PG. 194  
B.M. 1992, PG. 1298  
P.I.N.: 1724-96-8905  
4121 NEW BERN AVENUE

PROJECT LOCALIZATION POINT AND BENCHMARK  
POINT #101 (CONTROL REBAR WITH CAP)  
N.C. STATE PLANE GRID COORDINATES:  
NAD83 (2001) NAVD88  
N:746,326.11'  
E:2,129,115.13'  
ELEV:307.88'  
COMBINED SCALE FACTOR: 0.99990963

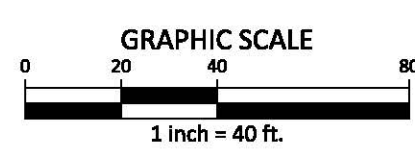
N.G.S. MONUMENT "TAYLORS"  
N.C. GRID COORDINATES:  
NAD83 (2001) NAVD88  
N:746,020.36'  
E:2,126,941.22'  
ELEV:286.22'

N.G.S. MONUMENT "NEUSE"  
N 81°59'39" E (GROUND)  
2195.31' (GRID) 2195.51' (GROUND)  
N 74°29'07" W (GROUND)  
9286.91' (GRID) 9287.75' (GROUND)



**LEGEND**

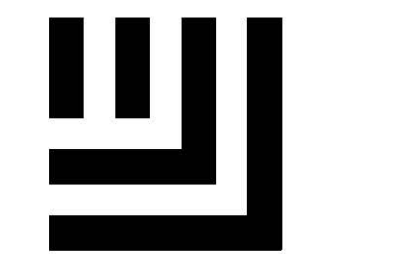
- EXISTING NAIL
- BENCHMARK
- CONTROL REBAR WITH CAP
- CONCRETE MONUMENT
- EXISTING IRON PIPE (EIP)/REBAR (RB)
- IRON PIPE SET
- CALCULATED POINT
- NC GEODETIC SURVEY MON.
- FIRE HYDRANT
- WATER METER
- BACKFLOW PREVENTER
- WATER VALVE
- WATER WELL
- DRAINAGE INLET/YARD INLET
- CL. CATCH BASIN AT BC
- BOUNDARY LINE
- ADJOINER LINE NOT SURVEYED
- ADJOINER GIS LINE NOT SURVEYED
- SEWER LINE
- STORM LINE
- OVERHEAD ELECTRIC LINE
- WOOD LINE/LANDSCAPING
- RIP RAP
- STORM DRAIN MANHOLE
- BLIND JUNCTION BOX
- FES
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- ELECTRIC PEDESTAL
- GUY WIRE
- LIGHT POLE
- POWER/UTILITY POLE
- CLEAN OUT
- SEWER MANHOLE
- IRRIGATION CONTROL VALVE
- GAS SERVICE METER
- GAS VALVE
- GAS TEST STATION
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- FIBER OPTIC HANDHOLE
- BOLLARD
- AIR CONDITIONER
- SIGN
- MAPLE
- OAK



N:\Projects\RAL\22005\GIS\Graphics\1-1.dwg, 3/29/2023 7:46:01 AM, Connor Stearns



NC GRID NAD83 (2001)



**McADAMS**

The John R. McAdams Company, Inc.  
621 Hillsborough Street  
Suite 500  
Raleigh, NC 27603  
phone 919.361.5000  
fax 919.361.2269  
license number: C-0293, C-187  
www.mcadamsco.com

**CLIENT**  
CITY OF RALEIGH  
TRANSPORTATION/TRANSIT DIVISION  
P.O. BOX 590  
RALEIGH, NORTH CAROLINA 27602

**GORALEIGH - NEW HOPE PARK+  
RIDE LOT DESIGN  
BOUNDARY AND TOPOGRAPHIC SURVEY  
1426 WILDERS GROVE LANE  
CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA**

**REVISIONS**

NO.	DATE

**PLAN INFORMATION**

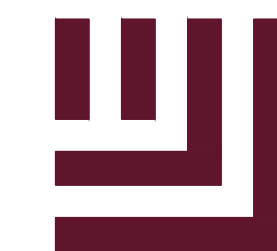
PROJECT NO.	RAL-22005
FILENAME	RAL22005-C1
CHECKED BY	JBT
DRAWN BY	CJS
SCALE	1"=40'
DATE	03.24.2023

**SHEET**

**BOUNDARY AND TOPOGRAPHIC SURVEY**

**1-1**





**McADAMS**

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license number: C-0293, C-187

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**EAST RALEIGH TC  
SITE DEVELOPMENT PLANS  
RALEIGH, NC**

REV1

NO. DATE

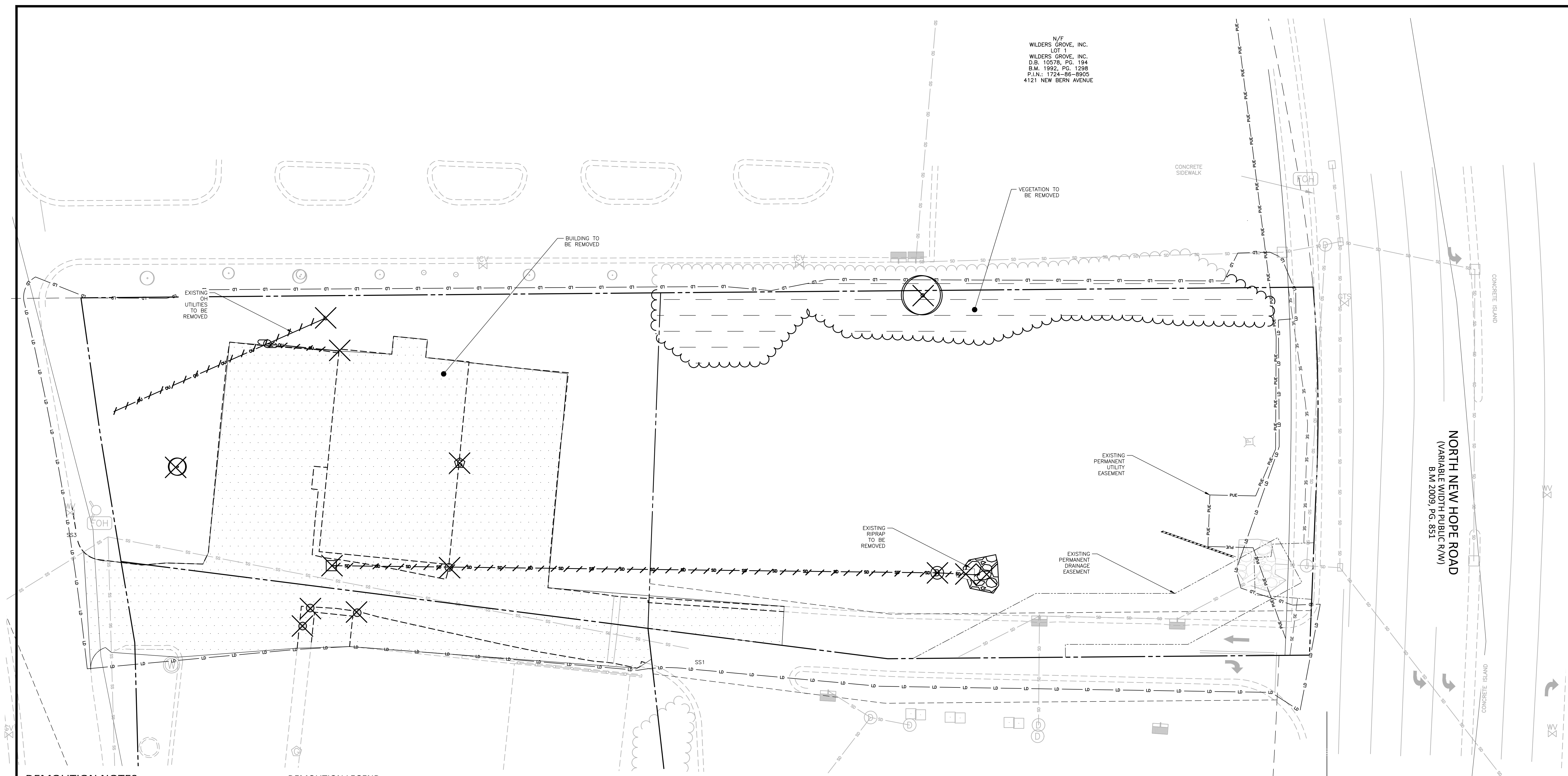
**PLAN INFORMATION**

PROJECT NO. RAL22005  
FILENAME RAL22005-DM1.DWG  
CHECKED BY EMD  
DRAWN BY AAC  
SCALE 1"=20'  
DATE 12.06.2023

**TITLE**

**DEMOLITION PLAN**

**C1.01**



**DEMOLITION NOTES:**

1. THE INFORMATION SHOWN WAS TAKEN FROM DESIGN DRAWINGS AND FIELD SURVEY WHEREVER POSSIBLE. ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL DEMOLITION MATERIAL WILL BE REMOVED FROM THE SITE AND DISPOSED OF IN A PROPER LOCATION AND METHOD AS DESIGNATED BY THE LOCAL AUTHORITIES.
4. CONTRACTOR SHALL NOTIFY NC811 (811 OR 800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
5. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
6. THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES AND ADJACENT ROADWAYS FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH CAUSED BY HIM, HIS EMPLOYEES OR HIS WORK. ALL DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
7. COMPLY WITH REQUIREMENTS FOR FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION. (CHAPTER 33, 2018 NC FIRE CODE, NFPA 241 AND CHAPTER 33, 2018 NC BUILDING CODE)

**DEMOLITION LEGEND**

- TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY TO BE REMOVED
- AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, VEGETATION, ETC.)
- VEGETATIVE AREA TO BE REMOVED

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.



**Know what's below.  
Call before you dig.**

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

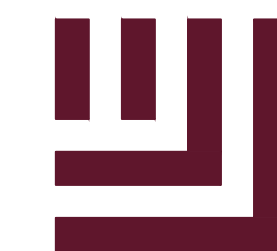


GRAPHIC SCALE  
1 inch = 20 ft.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\RAL\RAL22005\Production\Engineering\Construction Drawing\Current Drawings\RAL22005-DM1.dwg, 12/06/2023 5:09:59 PM, Eric, Domanoff





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**EAST RALEIGH TC  
SITE DEVELOPMENT PLANS  
RALEIGH, NC**

REV#

NO. DATE

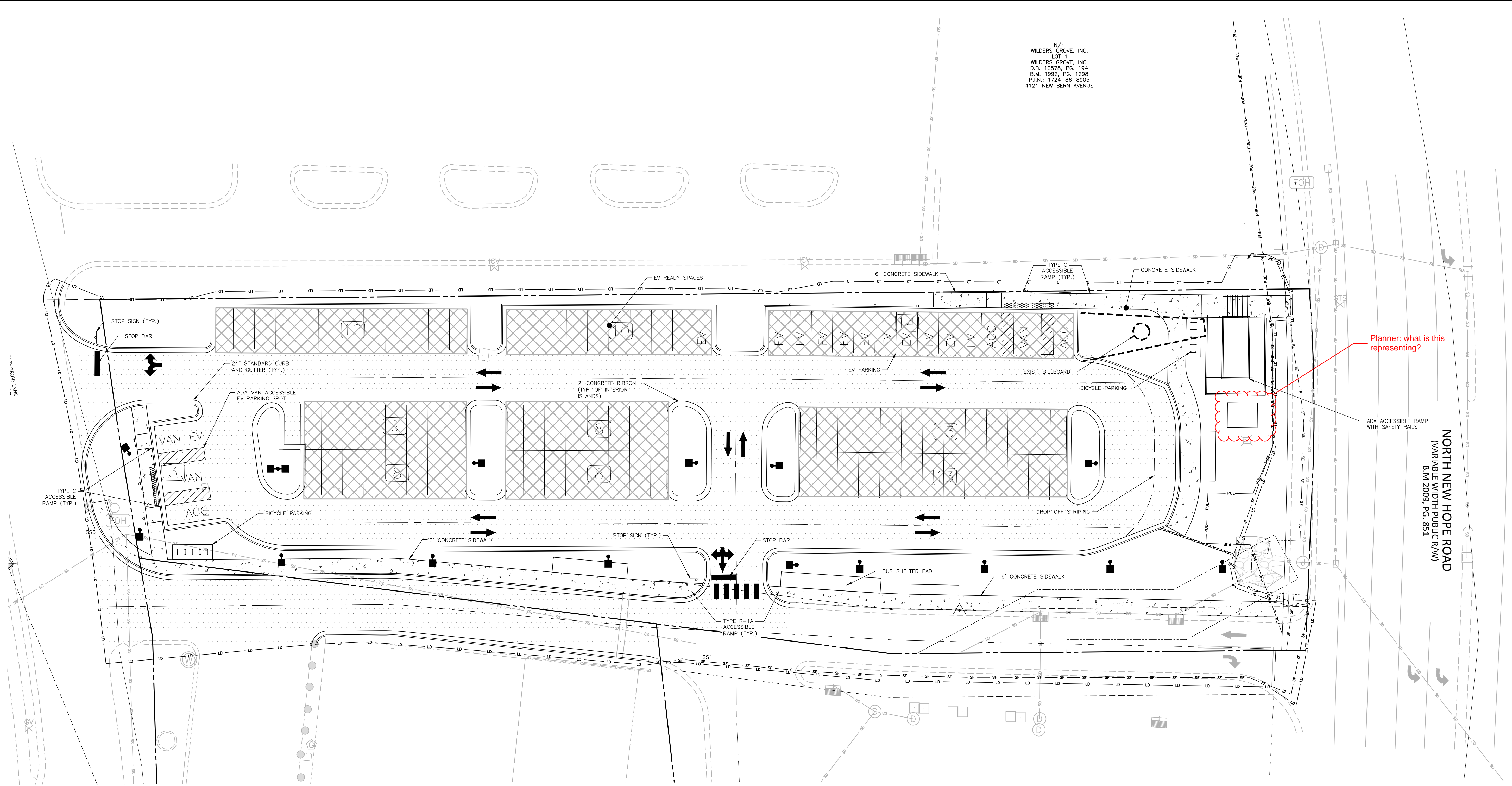
**PLAN INFORMATION**

PROJECT NO. RAL22005  
FILENAME RAL22005-S1.DWG  
CHECKED BY EMD  
DRAWN BY AAC  
SCALE 1"=20'  
DATE 12.06.2023

**TITLE**

**SITE PLAN**  
**C2.00**

N/F  
WILDERS GROVE, INC.  
LOT 1  
WILDERS GROVE, INC.  
D.B. 10078, PG. 194  
B.M. 1992, PG. 1298  
P.L.N. 1724-86-8905  
4121 NEW BERN AVENUE



Planner: what is this representing?

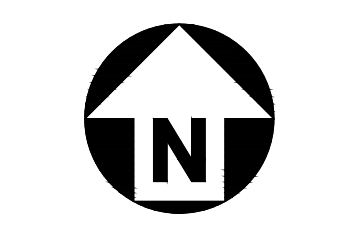
- GENERAL SITE PLAN NOTES:**
- THIS SCHEMATIC DESIGN SET HAS BEEN CREATED TO ILLUSTRATE THE GENERAL DESIGN INTENT OF THE PROJECT. THE CONTRACTOR SHALL WORK CLOSELY WITH THE OWNER'S REP. AND NOTIFY HIM AS ADDITIONAL INFORMATION IS NEEDED TO PROPERLY CONSTRUCT/INSTALL/BUILD ELEMENTS DEPICTED HEREIN.
  - THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS TO THE EXTENT NECESSARY TO DETERMINE THE EFFECTS OF SUB-SURFACE CONDITIONS ON THE WORK AND SHALL BID AND CONSTRUCT THE WORK IN ACCORDANCE WITH HIS FINDINGS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AND FOR AVOIDING ALL CONFLICTS WITH SAME. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
  - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES AND UNUSUAL CONDITIONS TO OWNER'S REP PRIOR TO CONSTRUCTION.
  - ALL DISTURBED AREAS AND PROPOSED EARTH GRADING NOT TO BE COVERED BY OTHER SURFACES SHALL BE GRASSED BY SEEDING, FERTILIZING, MULCHING, AND WATERING AS REQUIRED TO OBTAIN AN ACCEPTABLE GROUND COVER, UNLESS SPECIFIED OTHERWISE. ALL AREAS THAT ARE DISTURBED BY CONSTRUCTION INSIDE OR OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED, GRADED, AND GRASSED AT THE CONTRACTOR'S EXPENSE.
  - SEE CIVIL DRAWINGS FOR GRADING AND DRAINAGE INFORMATION.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING PROPER DRAINAGE OF ANY AND ALL AREAS WHICH ARE FIELD ADJUSTED DURING CONSTRUCTION.
  - CONTRACTOR SHALL RESTORE DAMAGED FINISHES AND REPLACE DAMAGED OR DEFECTIVE UNITS.
  - CONTRACTOR SHALL STAKE ALL WALKS, HARDSCAPE AND OTHER PAVED AREAS TO BE COMPLETED AND OBTAIN APPROVAL FROM OWNER'S REP. PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE RESOLVED PRIOR TO CONSTRUCTION. ANY WORK PERFORMED WITHOUT APPROVAL, THE CONTRACTOR IS AT RISK FOR COST OF REPLACEMENT.
  - ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM OWNER'S REP. PRIOR TO CONSTRUCTION.
  - CONSTRUCT EXPANSION JOINTS WHERE WALKS MEET CURBS, STEPS, WALLS, OR FIXED SLABS.
  - TEMPORARY EROSION & SEDIMENT CONTROLS (SILT FENCES, ETC.) SHALL BE INSTALLED AT INLETS, PIPES, AND LIMITS OF WORK AREAS WHERE SURFACE RUN-OFF OCCURS UNTIL SOIL STABILIZATION IS COMPLETE.
  - SEE ARCHITECTURAL PLANS FOR BUILDING INFORMATION. SEE CIVIL PLAN FOR SITE & UTILITY INFORMATION.
  - CONTRACTOR SHALL MAINTAIN ALL GRASSED AREAS, INCLUDING THE REPAIR OF EROSION AREAS UNTIL GRASS HAS REACHED THE LEVEL OF FINAL ACCEPTANCE.
  - ALL EXISTING TREES TO BE SAVED WILL HAVE TREE BARRICADES INSTALLED AROUND THEM PRIOR TO BEGINNING OF DEMOLITION. ALL WORK IN THOSE AREAS TO BE DONE BY HAND. FENCES SHALL BE MAINTAINED AND KEPT IN PLACE AT ALL TIMES.
  - ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ALL LOCAL, STATE, AND FEDERAL AGENCIES AND REGULATIONS.
  - CONTRACTOR SHALL PROTECT THE PUBLIC FROM CONSTRUCTION AREAS AND ASSOCIATED ACTIVITY DURING CONSTRUCTION.
  - DIGITAL BASE FILE SHALL BE MADE AVAILABLE FOR USE IN FIELD LOCATION OF ELEMENTS AND SITE FEATURES. ANY HARDCOPY INFORMATION THAT CONFLICTS WITH THE DIGITAL FILE SHALL BE BROUGHT TO THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT'S ATTENTION.
  - CONTRACTOR SHALL COORDINATE CONDUIT LOCATIONS (I.E. IRRIGATION, ETC.).
  - NO SPECIMEN TREES FOUND ON SITE. NO SPECIMEN TREES TO BE REMOVED.

**MATERIALS LEGEND**

SYMBOL	TYPE	STYLE/MANUFACTURER	COLOR/FINISH
	PERMEABLE PAVEMENT	TBD	TBD
	STANDARD CONCRETE	TBD	TBD
	ASPHALT	TBD	TBD

**SITE LEGEND**

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT

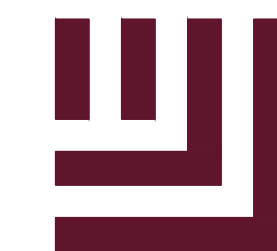


GRAPHIC SCALE  
1 inch = 20 ft.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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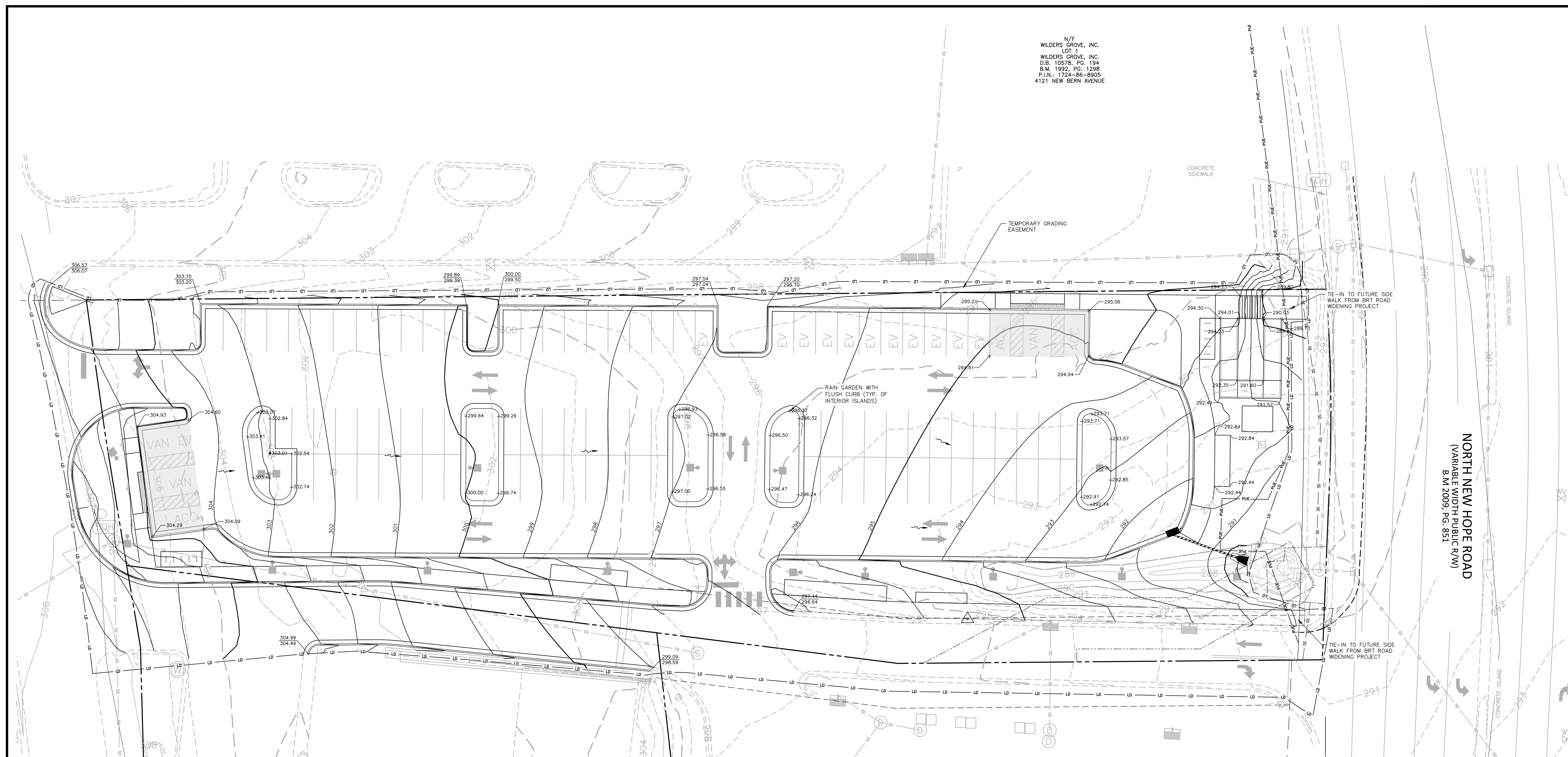
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**EAST RALEIGH TC  
SITE DEVELOPMENT PLANS  
RALEIGH, NC**



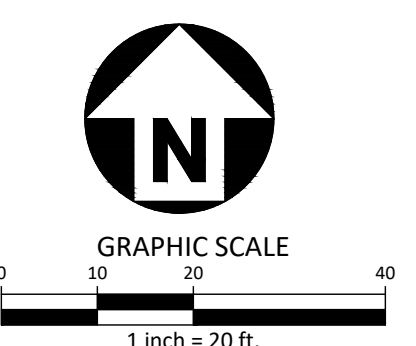
**GRADING NOTES**

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART PP APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH, WAKE COUNTY AND/OR NCDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
- CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH WAKE COUNTY STORMWATER AND EROSION CONTROL DEPARTMENT, THE ENGINEER AND A REPRESENTATIVE OF THE OWNER.
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- ALL SLOPES TO BE VEGETATED WITH GRASS SHALL BE A MAXIMUM OF 3:1
- SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- ALL LANDSCAPE ISLANDS SHALL BE GRADED FOR POSITIVE DRAINAGE WITH NO LOW SPOTS ALLOWING WATER TO BE TRAPPED.

**GRADING LEGEND**

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-RAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION  
(NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS NON-PERFORATED TUBING OR EQUAL 1.0% MIN. SLOPE 3' MIN. COVER PVC SCHEDULE 40 IN TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)

NORTH NEW HOPE ROAD  
(VARIABLE WIDTH PUBLIC R/W)  
B.M. 2009, PG. 851



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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RE

NO. DATE

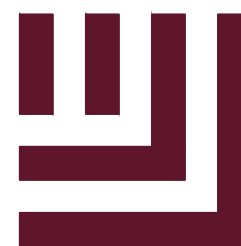
**PLAN INFORMATION**

PROJECT NO. RAL22005  
 FILENAME RAL22005-G1.DWG  
 CHECKED BY EMD  
 DRAWN BY OGT  
 SCALE 1"=20'  
 DATE 12.06.2023

**TITLE**

**GRADING AND  
DRAINAGE PLAN  
C3.00**





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EAST RALEIGH TC
SITE DEVELOPMENT PLANS
RALEIGH, NC

REV1

NO. DATE

PLAN INFORMATION

PROJECT NO. RAL22005
FILENAME RAL22005-EC1.DWG
CHECKED BY EMD
DRAWN BY AAC
SCALE 1"=20'
DATE 12.06.2023

TITLE

EROSION CONTROL
NOTES

C6.00

REQUIRED GROUND STABILIZATION TIMEFRAMES table with columns: SITE AREA DESCRIPTION, STABILIZE WITHIN THIS MANY CALENDAR DAYS AFTER LEASING/ LAND DISTURBANCE, TIMEFRAME VARIATIONS

BUILDING WASTES HANDLING table with bullet points: NO PAINT OR LIQUID WASTES IN STREAM OR STORM DRAINS, DEDICATED AREAS FOR DEMOLITION, CONSTRUCTION AND OTHER WASTES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE, EARTHEN MATERIAL STOCKPILES MUST BE LOCATED 50' FROM STORM DRAINS AND STREAMS UNLESS NO REASONABLE ALTERNATIVES AVAILABLE, CONCRETE MATERIALS MUST BE CONTROLLED TO AVOID CONTACT WITH SURFACE WATER, WETLANDS, OR BUFFERS.

TOTAL DISTURBED AREA: 1.67 AC

TEMPORARY SKIMMER BASIN/TRAP DESIGN TABLE with columns: SEDIMENT TRAP ID, DRAINAGE AREA (AC), FLOW (CFS), BOTTOM ELEVATION (FT), SEDIMENT DEPTH (FT), FREEDRAIN (FROM SEDIMENT DEPTH), DEPTH TO CREST OF EMERGENCE SPILLWAY (FT), SIDE SLOPE, SPILLWAY LENGTH (FT), HEIGHT OF BARRIS (FT), TOP OF TRAP LENGTH (FT), TOP OF TRAP WIDTH (FT), STORAGE VOLUME REQUIRED (FT3), STORAGE VOLUME PROVIDED (FT3), SETTLEMENT SURFACE AREA REQUIRED (FT2), SETTLEMENT SURFACE AREA PROVIDED (FT2), NUMBER OF SKIMMERS, SKIMMER SIZE (IN), SKIMMER ORIFICE SIZE (IN), ANTI-PITRATION BLOCK, RISER DIAMETER (IN), BARREL DIAMETER (IN), NOTES

TEMPORARY SEEDING SCHEDULE

Table with columns: SEEDING DATE, SEEDING MIXTURE, APPLICATION RATE. Includes sections for SOIL AMENDMENTS, MULCH, and MAINTENANCE.

PERMANENT SEEDING SCHEDULE

Table with columns: SEEDING DATE, SEEDING MIXTURE, APPLICATION RATE. Includes sections for SOIL AMENDMENTS, MULCH, and MAINTENANCE.

SEEDBED PREPARATION

AREAS TO BE SEEDDED TO BE SCANNED 4" DEEP. A FIRM, WELL PULVERIZED, UNIFORM SEEDBED SHOULD BE PROVIDED. FERTILIZER SHALL BE PLACED DURING SCARIFICATION AS FOLLOWS:
LIME: 45 LBS / 1,000 SF
PHOSPHOROUS: 20 LBS / 1,000 SF
FERTILIZER: 17 LBS / 1,000 SF

TEMPORARY SKIMMER BASIN SPECIFICATIONS:

EROSION CONTROL NOTES:

- 1. EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR SHALL CALL FOR AN INSPECTION BY NCDQF SEDIMENTATION AND EROSION CONTROL (SEC) ONCE INITIAL MEASURES ARE IN PLACE.
2. REQUIRED TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED AND A PRE-CONSTRUCTION CONFERENCE SCHEDULED WITH THE TOWN'S URBAN FORESTER PRIOR TO BEGINNING LAND DISTURBANCE.
3. GRADING PERMIT WILL NOT BE ISSUED UNTIL NCDQF HAS RECEIVED NOTIFICATION FROM THE ECOSYSTEM ENHANCEMENT PROGRAM OR AN APPROVED NUTRIENT OFFSET BANK THAT A RECEIPT HAS BEEN ISSUED TO THE DEVELOPER AND THE LOCAL GOVERNMENT STATING THE NITROGEN BUY DOWN HAS BEEN COMPLETED.
4. SEDIMENT/EROSION CONTROL DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
5. IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR THE INSPECTION OF EROSION CONTROL DEVICES AFTER EVERY RAINFALL, THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES AND OFFSITE ROADWAYS DAILY, MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, REMOVE DEPOSITION OF WET OR DRY SILT ON ADJACENT ROADWAYS AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.
6. A COPY OF THE APPROVED EROSION CONTROL PLAN MUST BE ON FILE AT THE JOB SITE AT ALL TIMES.
7. CONSTRUCTION, MAINTENANCE, AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GRADING CONTRACTOR UNLESS OTHERWISE NOTED.
8. ANY GRADING BEYOND THE DENUDEED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
9. NO DEBRIS SHALL BE TRACKED ONTO ANY EXISTING PAVED AREAS OR PUBLIC RIGHT OF WAY. IF THE SITUATION OCCURS WHERE MUD, ROCK AND DEBRIS IS TRACKED ONTO PAVEMENT, THE CONTRACTOR SHALL CLEAN THE PAVEMENT AND INSTALL ADDITIONAL MEASURES TO PREVENT THE FUTURE OCCURRENCE.
10. DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT ON SITE. THE EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL FIELD MEASURES AS NECESSARY TO PROVIDE ADEQUATE PROTECTION FROM RECEIVING WATER COURSES.
11. PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE STRIPPING OF TOPSOIL OR LOWERING OF EXISTING GRADE AROUND A TREE, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA AND SHALL BE POSTED ON THE PROTECTION FENCE. A PROTECTION FENCE CONSTRUCTED OF MATERIAL RESISTANT TO DEGRADATION BY SUN, WIND, AND MOISTURE FOR THE DURATION OF THE CONSTRUCTION, SHALL BE INSTALLED AT THE SAME TIME AS THE EROSION CONTROL MEASURES AND SHALL BE IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE.
12. A CONSTRUCTION SEQUENCE HAS BEEN PROVIDED. INSTALLATION OF ALL PROPOSED SEDIMENTATION & EROSION CONTROL MEASURES IN THE SEQUENCE(S) PROVIDED AND MAINTENANCE OF THOSE DEVICES IS REQUIRED. THE CONTRACTOR MAY BE ALLOWED, WITH PRIOR APPROVAL FROM THE OWNER, TO COORDINATE CHANGES TO THE PLAN WITH THE ON-SITE SEDIMENTATION & EROSION CONTROL INSPECTOR AND THE ENGINEER.
13. CUT AND FILL SLOPE THAT IS TWO TO ONE (2:1) OR GREATER SHALL BE STABILIZED WITH PERMANENT SLOPE RETENTION DEVICES OR A SUITABLE COMBINATION OF PLANTINGS AND RETENTION DEVICES. SLOPES GREATER THAN THREE TO ONE (3:1) SHALL NOT BE STABILIZED WITH TURF GRASS BUT MUST BE STABILIZED WITH VEGETATION THAT REQUIRES MINIMAL MAINTENANCE. WINGING LOVE GRASS, RED FESCUE OR OTHER APPROVED VARIETY, (CHAPTER 7, PART 2, SECTION 4, (G) (LO).
14. PROVIDE INLET PROTECTION AROUND ALL SITE STORM INLETS. PROTECT OPEN PIPES UNDER CONSTRUCTION WITH EITHER PLYWOOD OR WITH MESH AND GRAVEL WEIRS. RUNOFF SHALL NOT BE ALLOWED IN ANY OPEN TRENCH.
15. CONTRACTOR TO VERIFY SILT FENCE OUTLET PLACEMENT AT LOW POINTS AS THEY EXIST OR DEVELOP. ADDITIONAL SILT FENCE OUTLETS MAY BE REQUIRED TO PREVENT EROSION DURING AND AFTER CONSTRUCTION AND LAND DISTURBANCE ACTIVITIES. IF ADDITIONAL SILT FENCE OUTLETS ARE NECESSARY, CONTRACTOR TO ADD ADDITIONAL SILT FENCE OUTLETS PER ENGINEER, NCDQF EROSION CONTROL INSPECTOR, OR OWNER DIRECTION. IF PONDING OF WATER OR SEDIMENT OCCURS ALONG SILT FENCE, CONTRACTOR SHALL INSTALL AN ADDITIONAL SILT FENCE OUTLET.
16. TEMPORARY DIVERSIONS SHALL BE MAINTAINED DAILY BY CONTRACTOR SO THAT THEY ARE FUNCTIONAL AT THE END OF EACH WORKDAY AND WHEN STOPPING WORK FOR RAIN.
17. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION IS SCHEDULED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). THE FENCING SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FINAL SITE INSPECTION FOR THE SITE.
18. TREE PROTECTION FENCING SHALL NOT BE MOVED AND THERE SHALL BE NO ENCROACHMENT INTO SUCH PROTECTED AREAS(S) WITHOUT WRITTEN AUTHORIZATION OF THE TOWN'S ZONING COMPLIANCE STAFF. ANY ACTIVITY (LANDSCAPING FENCING, OR UTILITY INSTALLATION) SHOWN ON THE APPROVED PLANS IN A TREE PROTECTION AREA SHALL ALSO NOT OCCUR WITHOUT WRITTEN AUTHORIZATION FROM THE TOWN'S ZONING COMPLIANCE STAFF. ANY UNAUTHORIZED ENCROACHMENT OR DISTURBANCE WITHIN THE BOUNDARIES OF A TREE PROTECTION AREA SHALL AUTOMATICALLY RESULT IN FINES AND THE REPLACEMENT OF ANY DAMAGED VEGETATION IN ACCORDANCE WITH THE LAND DEVELOPMENT ORDINANCE.
19. CONSTRUCTION ENTRANCES MUST BE MODIFIED TO ACHIEVE ADA COMPLIANCE WHERE APPLICABLE.
20. THE STREETS IN FRONT OF THE PROJECT AREA WILL BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.
21. THE PROJECT MAY REQUIRE A PRE-CONSTRUCTION CONFERENCE BEFORE THE GRADING PERMIT IS ISSUED.
22. THE SKIMMER AND SEDIMENT BASIN OUTLET PIPE MUST BE ON SITE BEFORE THE GRADING PERMIT IS ISSUED.
23. THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION IS SCHEDULED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY (CO). THE FENCING SHALL BE REMOVED IMMEDIATELY PRIOR TO THE FINAL SITE INSPECTION FOR THE SITE.
24. TREE PROTECTION FENCING SHALL NOT BE MOVED AND THERE SHALL BE NO ENCROACHMENT INTO SUCH PROTECTED AREAS(S) WITHOUT WRITTEN AUTHORIZATION OF THE TOWN'S ZONING COMPLIANCE STAFF. ANY ACTIVITY (LANDSCAPING, FENCING, OR UTILITY INSTALLATION) SHOWN ON THE APPROVED PLANS IN A TREE PROTECTION AREA, SHALL ALSO NOT OCCUR WITHOUT WRITTEN AUTHORIZATION FROM THE TOWN'S ZONING COMPLIANCE STAFF. ANY UNAUTHORIZED ENCROACHMENT OR DISTURBANCE WITHIN THE BOUNDARIES OF A TREE PROTECTION AREA SHALL AUTOMATICALLY RESULT IN FINES AND THE REPLACEMENT OF ANY DAMAGED VEGETATION IN ACCORDANCE WITH THE LAND DEVELOPMENT ORDINANCE.

TEMPORARY DIVERSION SPECIFICATIONS:

- 1. REMOVE AND PROPERLY DISPOSE OF ALL TREES, BRUSH, STUMPS, AND OTHER OBJECTIONABLE MATERIAL IN THE LOCATIONS OF TEMPORARY DIVERSIONS PRIOR TO CONSTRUCTION OF DIVERSION CHANNELS AND/OR RIDGES.
2. ENSURE THAT THE MINIMUM CONSTRUCTED CROSS SECTION MEETS ALL DESIGN REQUIREMENTS. SEE TEMPORARY DIVERSION SWALE DESIGN SUMMARY TABLE.
3. ENSURE THAT THE TOP OF THE DIKE IS NOT LOWER AT ANY POINT THAN THE DESIGN ELEVATION PLUS THE SPECIFIED SETTLEMENT.
4. PROVIDE SUFFICIENT ROOM AROUND DIVERSIONS TO PERMIT MACHINE REGRADING AND CLEANOUT.
5. VEGETATE THE RIDGE IMMEDIATELY AFTER CONSTRUCTION, UNLESS IT WILL REMAIN IN PLACE LESS THAN 30 WORKING DAYS.
6. MAINTENANCE - INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL TO BLEND WITH THE NATURAL GROUND LEVEL AND APPROPRIATELY STABILIZE IT.

TEMPORARY DIVERSION SWALE SUMMARY TABLE with columns: DIVERSION SWALE ID, DRAINAGE AREA (AC), APPROX. LONGITUDINAL SLOPE (%), SIDESLOPES (H:V), BOTTOM WIDTH (FT), TEMPORARY LINER (OR EQUIVALENT EQUAL), LINER LONGEVITY

CONSTRUCTION SEQUENCE - STAGE 1

- 1. REQUEST PRE-CONSTRUCTION MEETING WITH DEMLR RALEIGH REGIONAL OFFICE AT LEAST 72 HOURS PRIOR TO COMMENCING THE PROJECT. CONTACT THE OFFICE AT LEAST 48 HOURS PRIOR TO COMMENCING THE LAND-DISTURBING ACTIVITY.
2. EROSION AND SEDIMENT CONTROL (ERSC) PERMIT AND A CERTIFICATE OF COVERAGE (COC) MUST BE OBTAINED BEFORE ANY LAND DISTURBING ACTIVITIES (INCLUDING TIMBERING AND DEMOLITION) OCCUR. A COPY OF THE ERSC PERMIT, THE COC, AND A HARD COPY OF THE PLANS MUST BE KEPT ON SITE, PREFERABLY IN A PERMITS BOX, AND ACCESSIBLE DURING INSPECTION.
3. INSTALL TREE PROTECTION FENCE AT FINAL LOCATIONS SHOWN. CALL NCDQF TO INSPECT TREE PROTECTION FENCE. TREE PROTECTION FENCING MUST BE INSTALLED AND INSPECTED BY NCDQF SITE INSPECTOR PRIOR TO A GRADING PERMIT BEING ISSUED.
4. ATTEND PRE-CONSTRUCTION MEETING WITH NCDQF EROSION CONTROL INSPECTOR.
5. OBTAIN GRADING PERMIT.
6. INSTALL CONSTRUCTION ENTRANCE, SILT FENCE WITH OUTLETS, AND TEMPORARY STREAM CROSSING AS SHOWN ON THIS EROSION CONTROL PLAN STAGE 1. CONTRACTOR SHALL CLEAR ONLY AS NECESSARY FOR CONSTRUCTION EQUIPMENT TO ACCESS AND INSTALL THE TEMPORARY EROSION CONTROL DEVICES. INSTALL THE REQUIRED LINER FOR ALL DIVERSION DITCHES WHEN INSTALLING THE DITCHES. NO CLEARING SHALL OCCUR OUTSIDE OF THE LIMITS OF CONSTRUCTION SHOWN UNLESS PRIOR APPROVAL IS OBTAINED FROM NCDQF EROSION CONTROL INSPECTOR. ENSURE EXISTING SEDIMENT BASIN IS FUNCTIONING PROPERLY. IF SEDIMENT BASIN WAS CONVERTED TO AN SCM, REINSTALL THE SKIMMER AND BAFFLES AS SHOWN UNDER THE PHASE 1C INFRASTRUCTURE PLANS (22-DP-133Z).
7. INSTALL ALL REMAINING PERIMETER EROSION CONTROL MEASURES AS SHOWN TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING WHEN GENERAL GRADING COMMENCES.
8. OBTAIN CERTIFICATE OF COMPLIANCE THROUGH ON-SITE INSPECTION BY NCDQF EROSION CONTROL INSPECTOR.
9. PROCEED WITH CLEARING OF SITE.
10. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE CHECKED BY CONTRACTOR FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
11. CLEAN SEDIMENT BASINS WHEN ONE-HALF FULL.
12. ALL AREAS AND SLOPES DISTURBED DURING CONSTRUCTION AND EXPOSED SHALL BE STABILIZED WITH TEMPORARY SEEDING AND MULCHING WITHIN 14 CALENDAR DAYS, FOLLOWING COMPLETION OF ANY PHASE OF GRADING OR PERIOD OF INACTIVITY. PERMANENT GROUND COVER IS TO BE ESTABLISHED FOR ALL DISTURBED AREAS WITHIN 14 WORKING DAYS OR 30 CALENDAR DAYS, WHICHEVER IS SHORTER, FOLLOWING COMPLETION OF CONSTRUCTION, COMPLETION OF GRADING OR PERIOD OF INACTIVITY. PERMANENT SEEDING, MULCHING AND GROUND COVER SHALL BE APPLIED TO THE SITE FOLLOWING COMPLETION OF CONSTRUCTION. HIGH QUALITY WATER (HWQ) ZONES AND PERIMETER DIKES, SWALES, DITCHES, AND SLOPES SHALL BE STABILIZED WITH TEMPORARY SEEDING AND MULCHING WITHIN 7 CALENDAR DAYS.
13. MAINTAIN SOIL EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
14. WITH APPROVAL FROM NCDQF EROSION CONTROL INSPECTOR MOVE TO EROSION CONTROL PLAN STAGE 2.

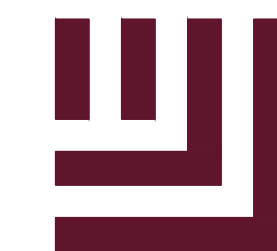
CONSTRUCTION SEQUENCE - STAGE 2

- 1. PROCEED WITH GRADING/BUILDING CONSTRUCTION.
2. INSTALL STORM DRAINAGE SYSTEM AND DIVERT FLOW TO INLETS WITH EXCAVATED INLET PROTECTION. INSTALL RETAINING WALLS AS NECESSARY WHILE MAINTAINING EROSION CONTROL MEASURES.
3. DRAIN AND REDUCE THE SEDIMENT BASIN UTILIZING THE SEDIMENT FILTER BAG WHICH WILL BE CONTINUOUSLY MONITORED DURING OPERATION, IN COORDINATION WITH NCDQF EROSION CONTROL INSPECTOR
4. CLEAN SEDIMENT BASIN WHEN ONE-HALF FULL
5. ALL EROSION AND SEDIMENTATION CONTROL PRACTICES SHALL BE CHECKED BY CONTRACTOR FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
6. ALL AREAS AND SLOPES DISTURBED DURING CONSTRUCTION AND EXPOSED SHALL BE STABILIZED WITH TEMPORARY SEEDING AND MULCHING WITHIN 14 CALENDAR DAYS, FOLLOWING COMPLETION OF ANY PHASE OF GRADING OR PERIOD OF INACTIVITY. PERMANENT GROUND COVER IS TO BE ESTABLISHED FOR ALL DISTURBED AREAS WITHIN 14 WORKING DAYS OR 30 CALENDAR DAYS, WHICHEVER IS SHORTER, FOLLOWING COMPLETION OF CONSTRUCTION, COMPLETION OF GRADING OR PERIOD OF INACTIVITY. PERMANENT SEEDING, MULCHING AND GROUND COVER SHALL BE APPLIED TO THE SITE FOLLOWING COMPLETION OF CONSTRUCTION. HIGH QUALITY WATER (HWQ) ZONES AND PERIMETER DIKES, SWALES, DITCHES, AND SLOPES SHALL BE STABILIZED WITH TEMPORARY SEEDING AND MULCHING WITHIN 7 CALENDAR DAYS.

CONTRACTOR'S MAINTENANCE PLAN:

- 1. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS SHALL BE MADE IMMEDIATELY TO MAINTAIN ALL MEASURES AS DESIGNED.
2. SEDIMENT BASINS SHALL BE INSPECTED REGULARLY DURING LAND DISTURBING ACTIVITIES AND AFTER EACH RUNOFF-PRODUCING RAINFALL. SEDIMENT SHALL BE REMOVED AND THE BASIN RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF EACH BASIN. PORTIONS OF THE BASIN'S GRAVEL FACING THAT ARE CONTAMINATED BY SEDIMENT SHALL BE REPLACED WITH FRESH GRAVEL DURING EACH SEDIMENT REMOVAL EPISODE.
3. SEDIMENT FENCES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EACH RUNOFF PRODUCING RAINFALL. REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE REMOVED AS NEEDED TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAINFALL EVENT, AND TO REDUCE PRESSURE ON THE FENCE. FENCING MATERIALS AND SEDIMENT DEPOSITS SHALL BE REMOVED, AND THE AREA BROUGHT TO GRADE FOLLOWING STABILIZATION OF UPGRADIENT DISTURBED AREAS.
4. DIVERSION DITCHES MUST REMAIN IN PLACE UNTIL PROJECT IS STABILIZED.
5. EROSION CONTROL DURING SITE CONSTRUCTION WILL BE ACCOMPLISHED BY USE OF SILT FENCING AND SILT FENCE OUTLETS. DEVICES MUST BE EMPTIED WHEN SEDIMENT ACCUMULATION HAS REACHED 6" DEPTH.





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**EAST RALEIGH TC  
SITE DEVELOPMENT PLANS  
RALEIGH, NC**

RE

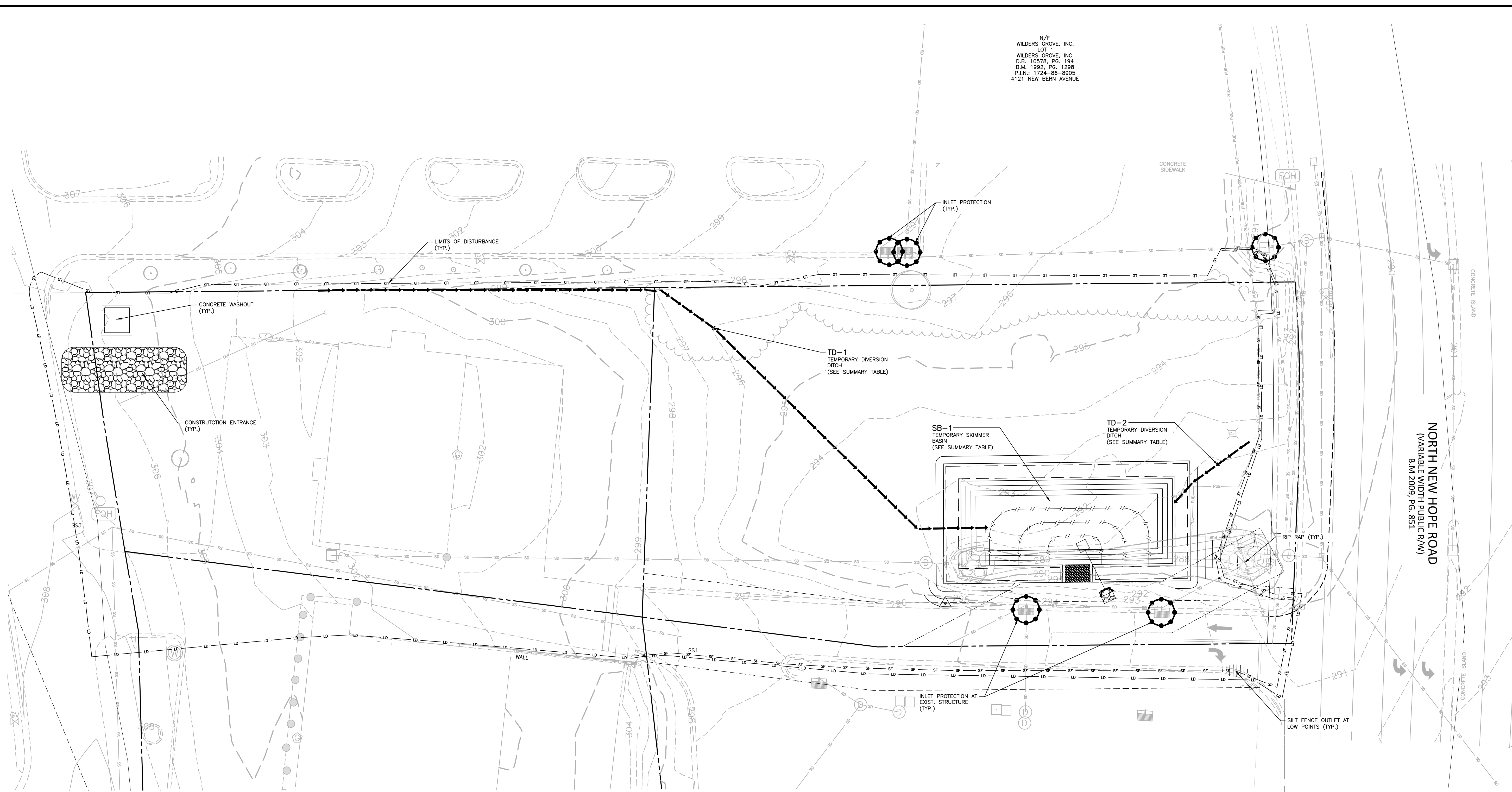
NO. DATE

**PLAN INFORMATION**

PROJECT NO. RAL22005  
FILENAME RAL22005-EC1.DWG  
CHECKED BY EMD  
DRAWN BY AAC  
SCALE 1"=20'  
DATE 12.06.2023

**TITLE**

**STAGE 1 EROSION  
CONTROL PLAN  
C6.01**



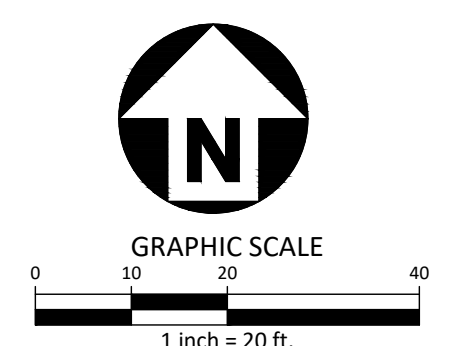
N/F  
WILDERS GROVE, INC.  
LOT 1  
WILDERS GROVE, INC.  
D.B. 10578, PG. 194  
B.M. 1992, PG. 1298  
P.L.N.: 1724-86-8905  
4121 NEW BERN AVENUE

**EROSION CONTROL LEGEND**

- SILT FENCE OUTLET
- INLET PROTECTION
- INLET PROTECTION FOR EXISTING STRUCTURES
- TEMPORARY SLOPE DRAIN
- FILTER BERM
- CHECK DAM
- SILT FENCE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- DIVERSION DITCH
- CONSTRUCTION ENTRANCE/EXIT

SEE SHEETS C6.10 THRU C6.12 FOR ALL EROSION CONTROL DETAILS

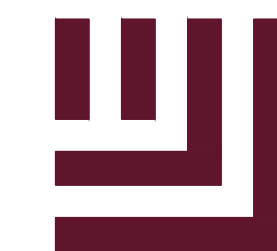
DISTURBED AREA = 1.67 AC.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\RAL\RAL22005\Production\Engineering\Construction Drawings\Current Drawings\RAL22005-EC1.dwg, 12/16/2023 5:10:12 PM, EFC\_Dominelli





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REVI

NO. DATE

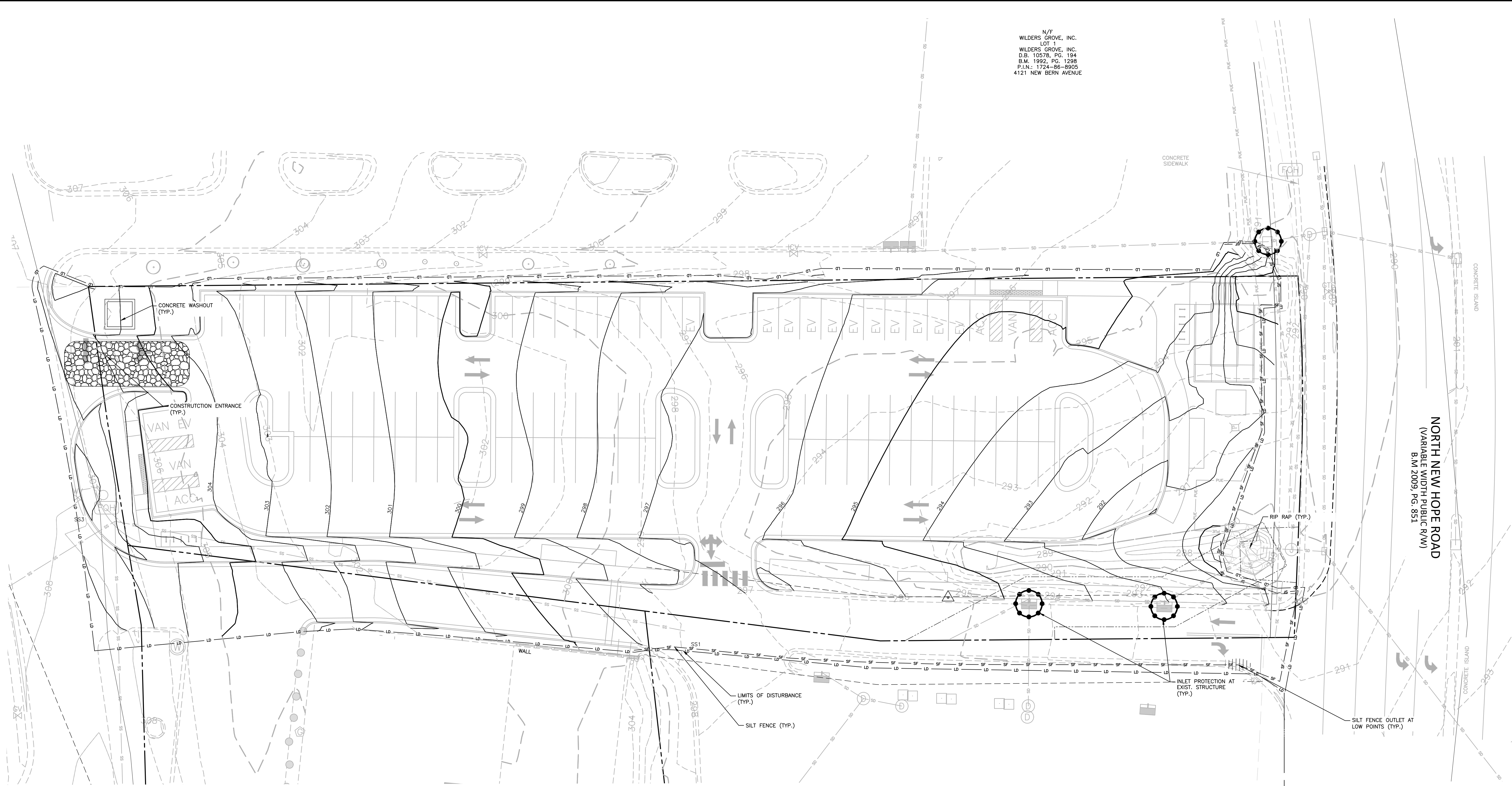
**PLAN INFORMATION**

PROJECT NO. RAL22005  
FILENAME RAL22005-EC1.DWG  
CHECKED BY EMD  
DRAWN BY AAC  
SCALE 1"=20'  
DATE 12.06.2023

**TITLE**

**STAGE 2 EROSION  
CONTROL PLAN**

**C6.02**



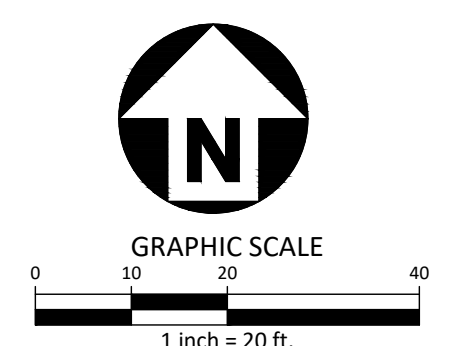
N/F  
WILDERS GROVE, INC.  
LOT 1  
WILDERS GROVE, INC.  
D.B. 10578, PG. 194  
S.M. 1992, PG. 1238  
P.I.N.: 1724-86-8905  
4121 NEW BERN AVENUE

**EROSION CONTROL LEGEND**

- SILT FENCE OUTLET
- INLET PROTECTION
- INLET PROTECTION FOR EXISTING STRUCTURES
- TEMPORARY SLOPE DRAIN
- FILTER BERM
- CHECK DAM
- SILT FENCE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- DIVERSION DITCH
- CONSTRUCTION ENTRANCE/EXIT

SEE SHEETS C6.10 THRU C6.12 FOR ALL EROSION CONTROL DETAILS

DISTURBED AREA = 1.67 AC.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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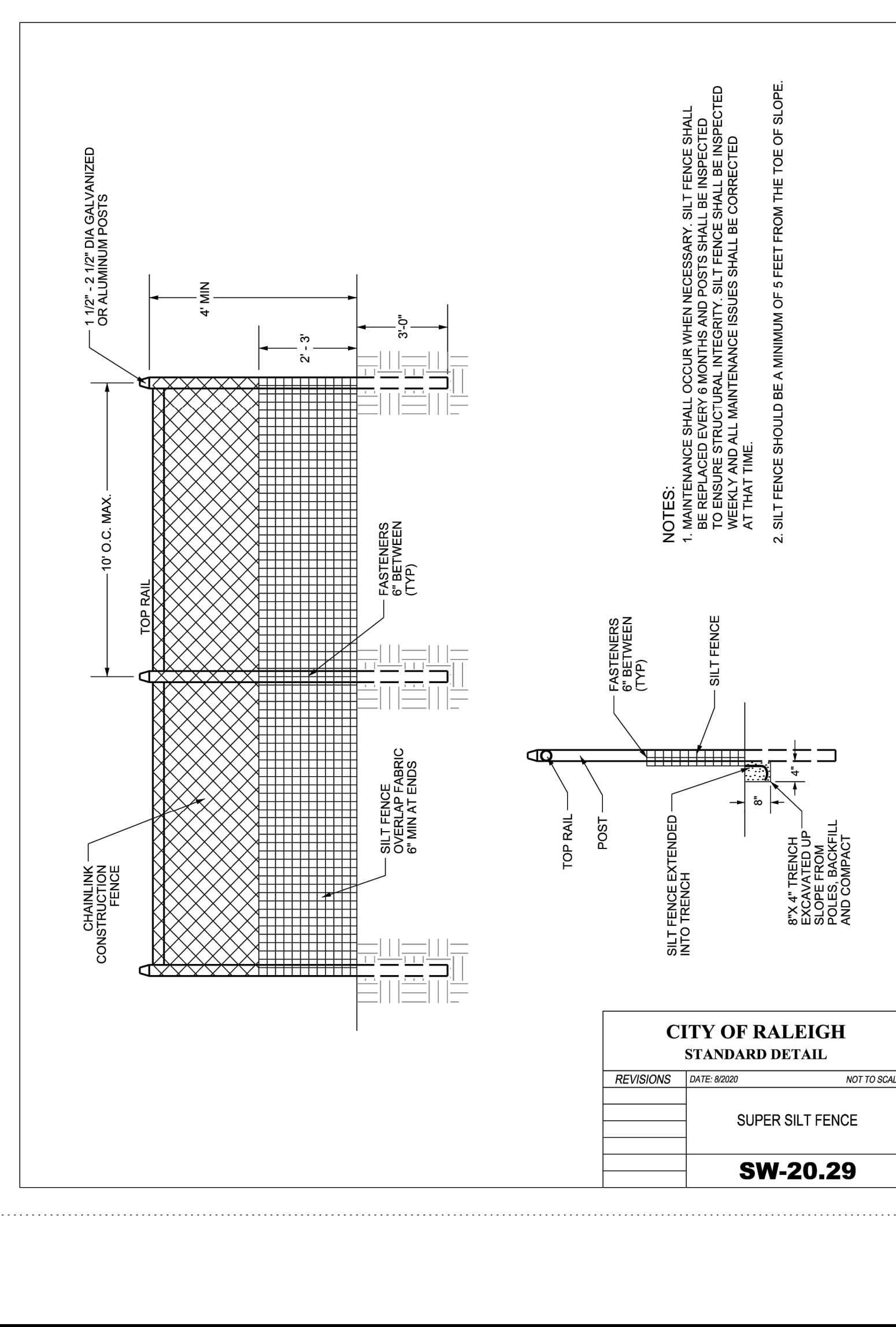
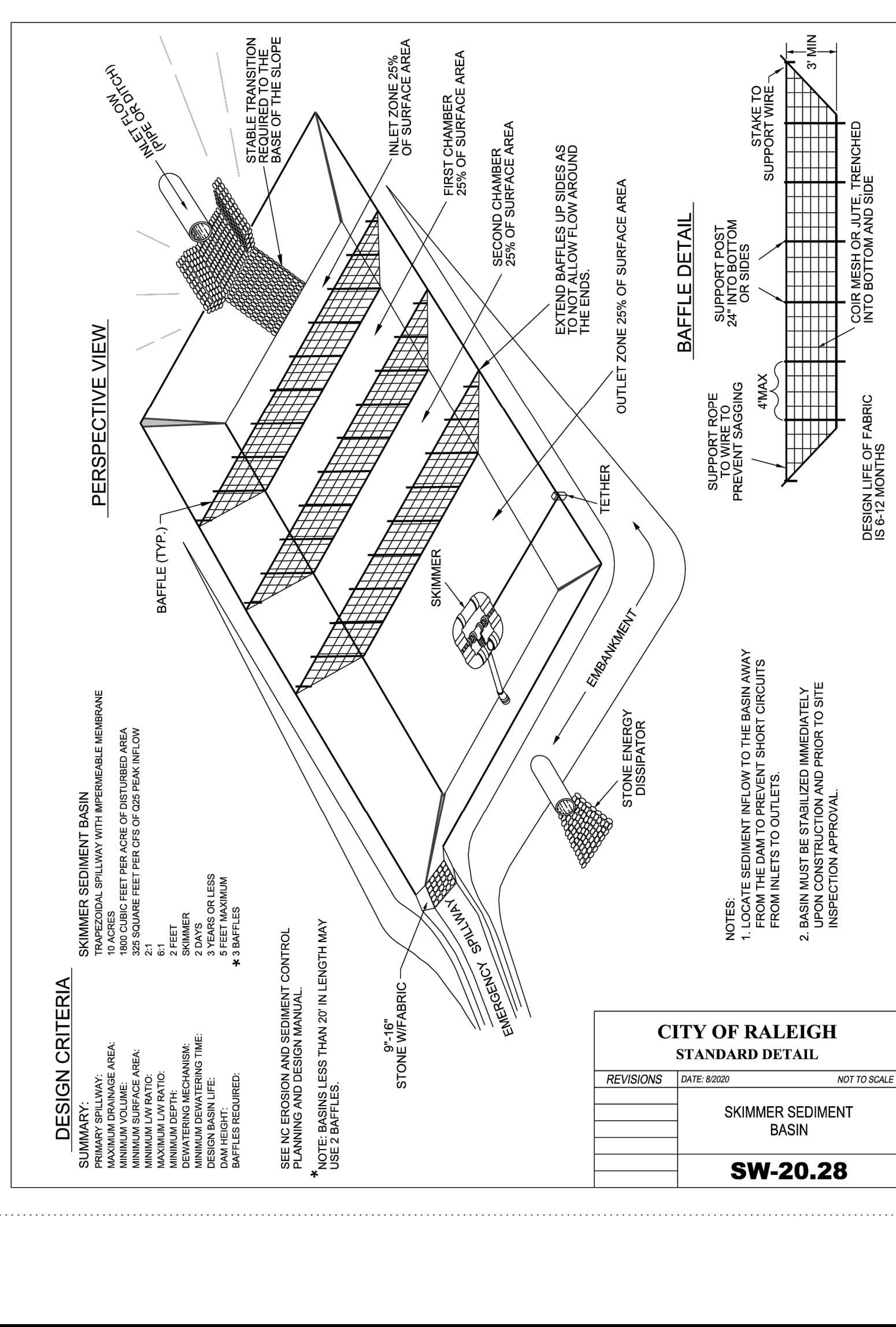
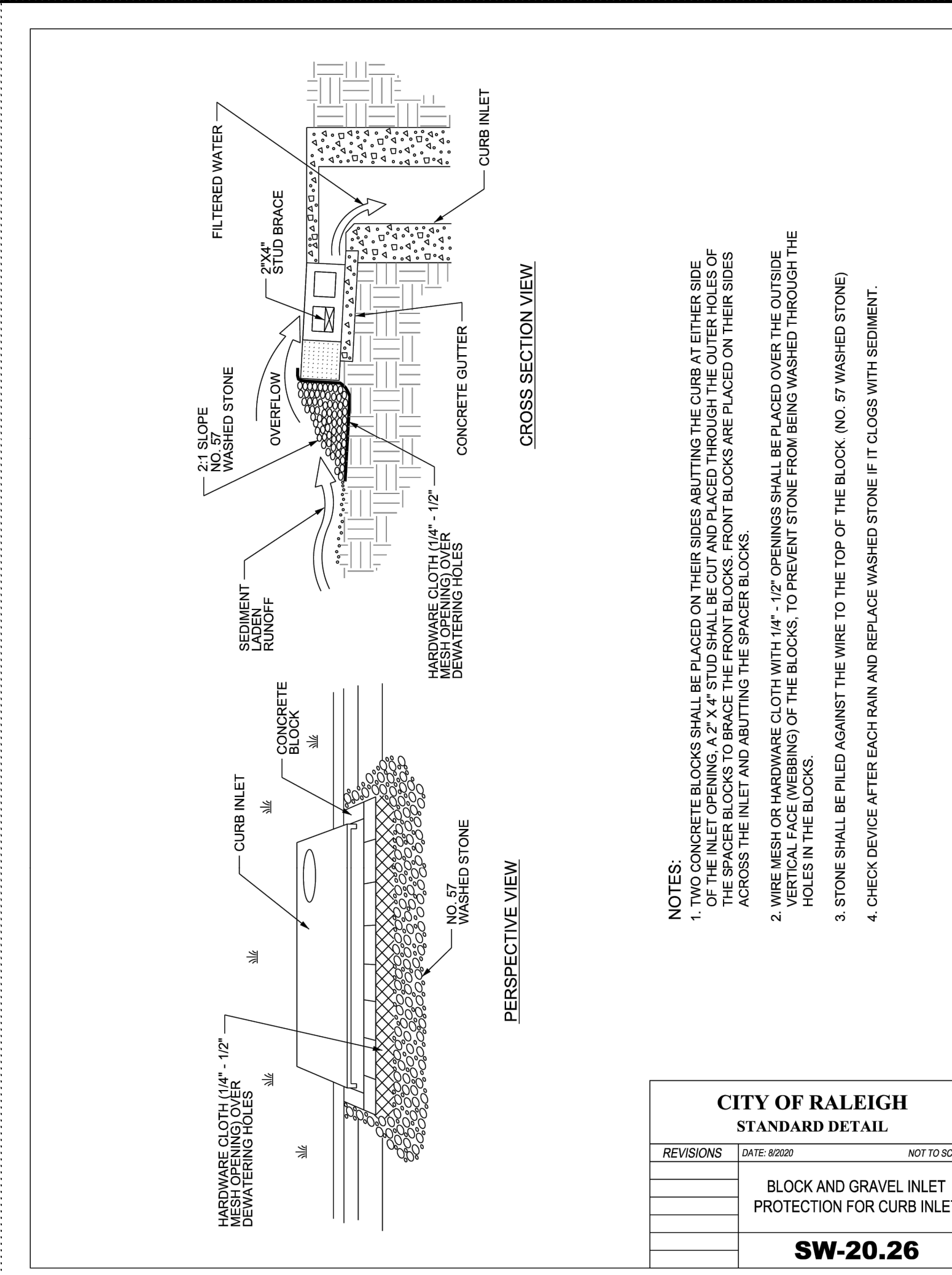
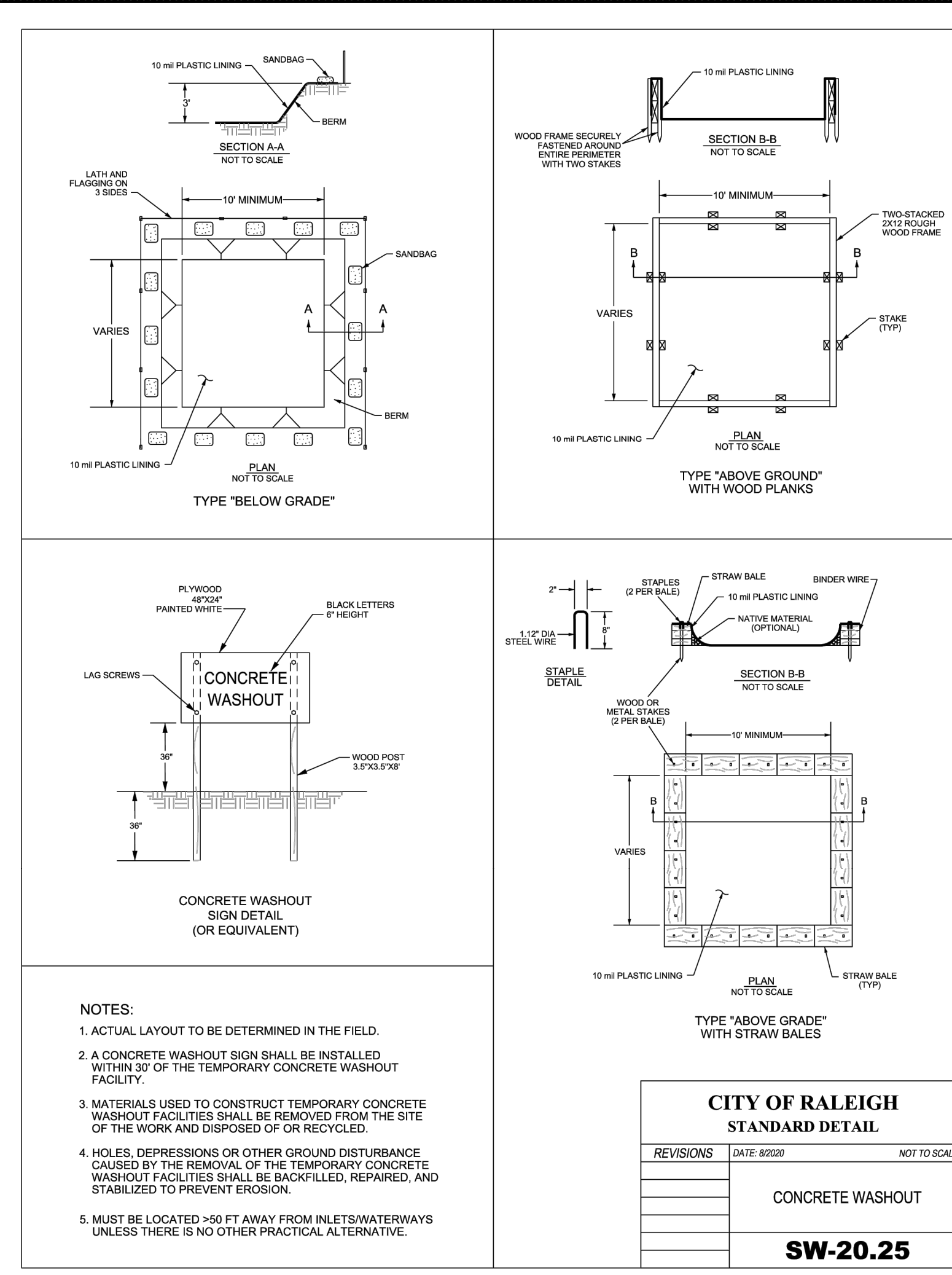
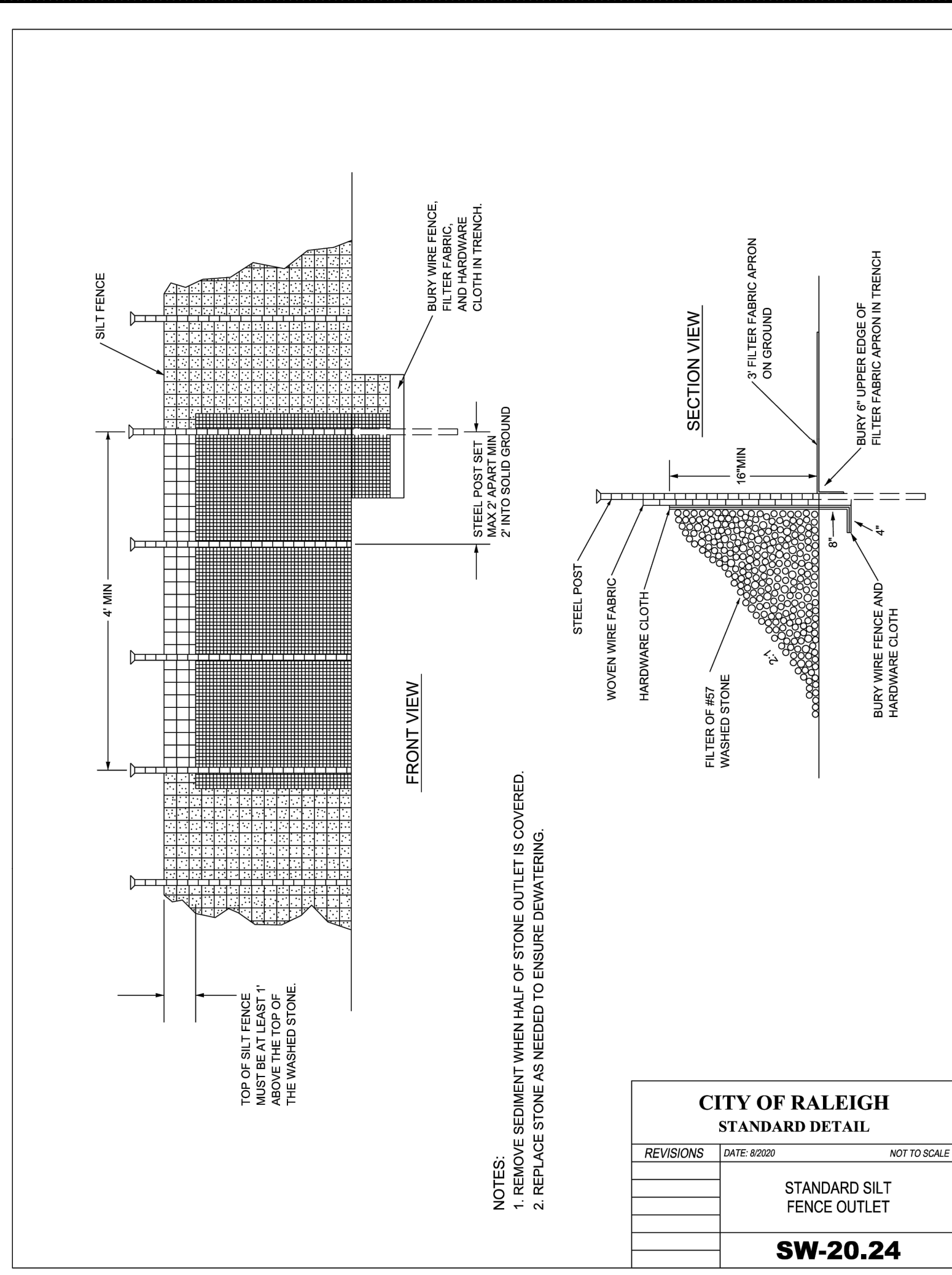




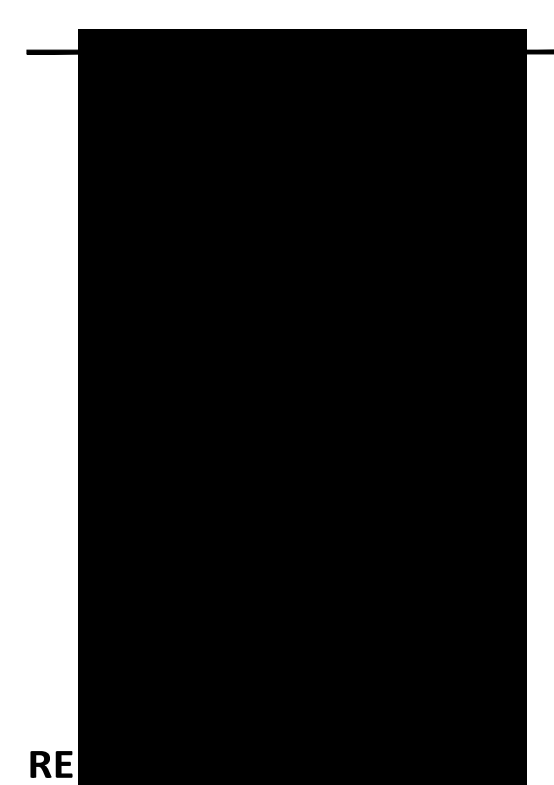






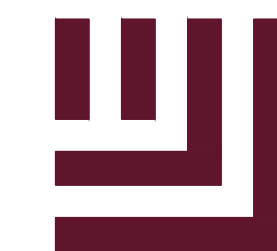


**EAST RALEIGH TC  
SITE DEVELOPMENT PLANS  
RALEIGH, NC**



RE NO. DATE





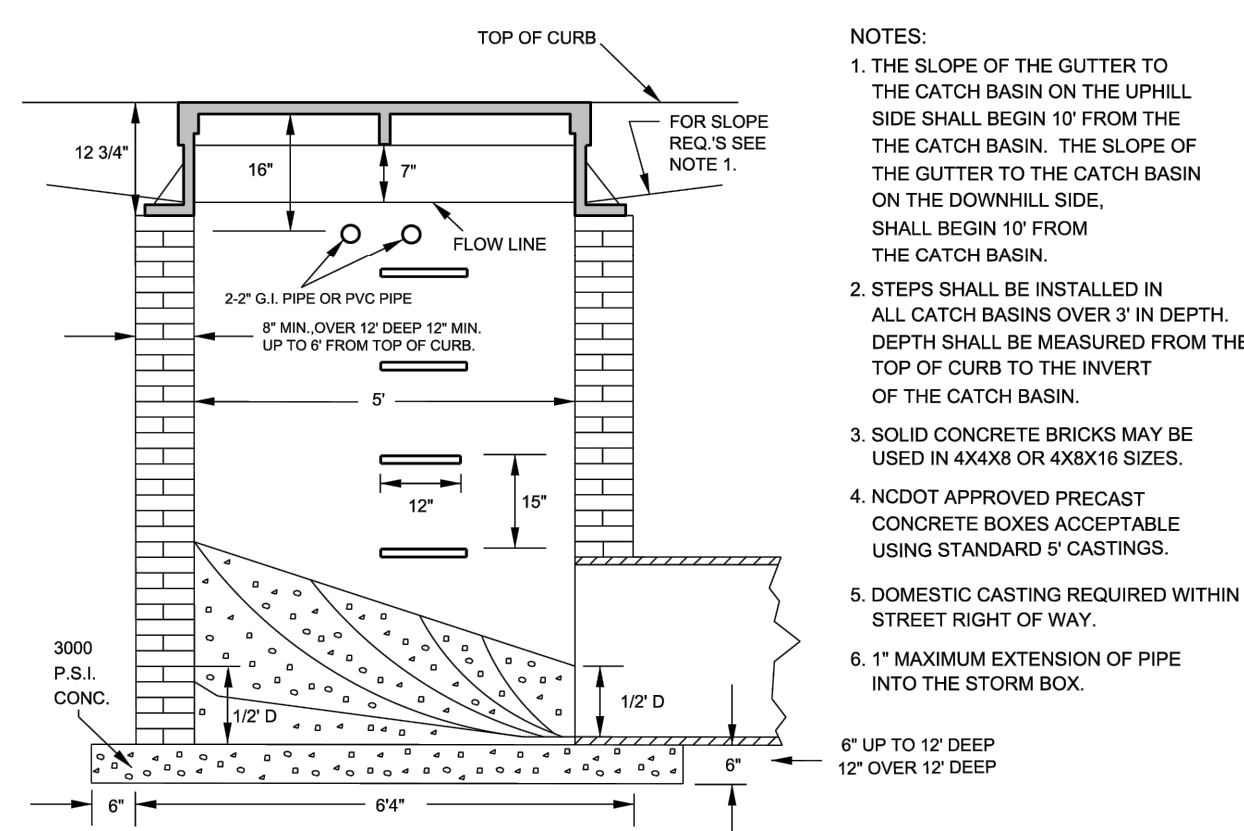
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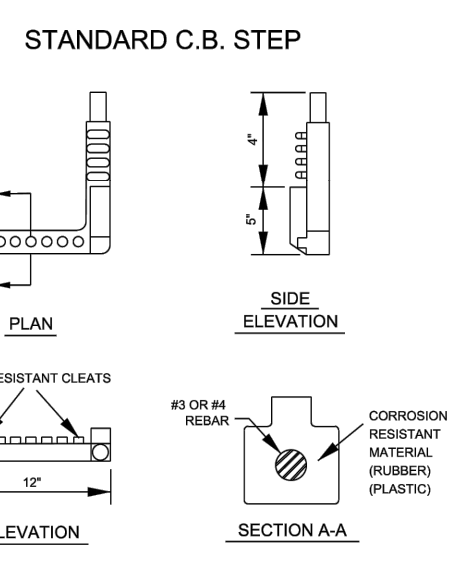
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SITE DEVELOPMENT PLANS  
RALEIGH, NC



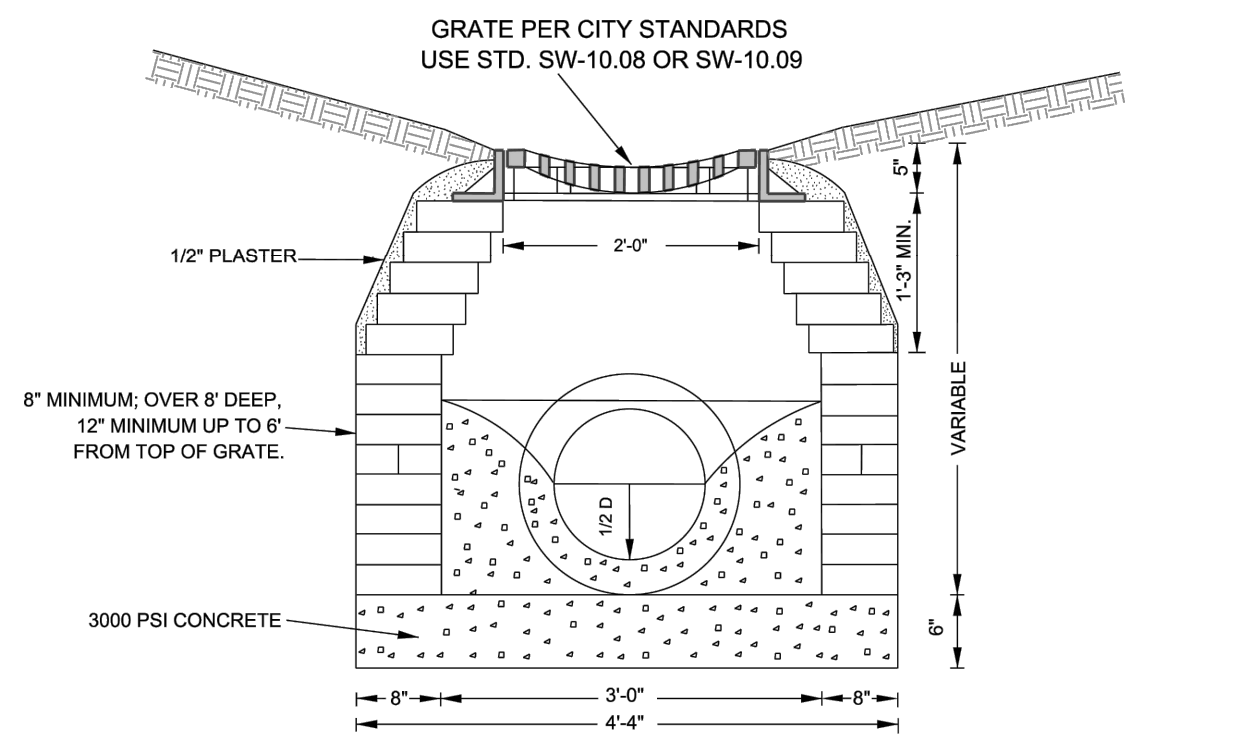
- NOTES:
1. THE SLOPE OF THE GUTTER TO THE CATCH BASIN ON THE UPHILL SIDE SHALL BEGIN 10' FROM THE THE CATCH BASIN. THE SLOPE OF THE GUTTER TO THE CATCH BASIN ON THE DOWNHILL SIDE, SHALL BEGIN 10' FROM THE CATCH BASIN.
  2. STEPS SHALL BE INSTALLED IN ALL CATCH BASINS OVER 3' IN DEPTH. DEPTH SHALL BE MEASURED FROM THE TOP OF CURB TO THE INVERT OF THE CATCH BASIN.
  3. SOLID CONCRETE BRICKS MAY BE USED IN 4X4S OR 4X8X16 SIZES.
  4. NCDOT APPROVED PRECAST CONCRETE BOXES ACCEPTABLE USING STANDARD 5' CASTINGS.
  5. DOMESTIC CASTING REQUIRED WITHIN STREET RIGHT OF WAY.
  6. 1" MAXIMUM EXTENSION OF PIPE INTO THE STORM BOX.



CITY OF RALEIGH  
STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

5' OM CATCH BASIN  
**SW-10.01**

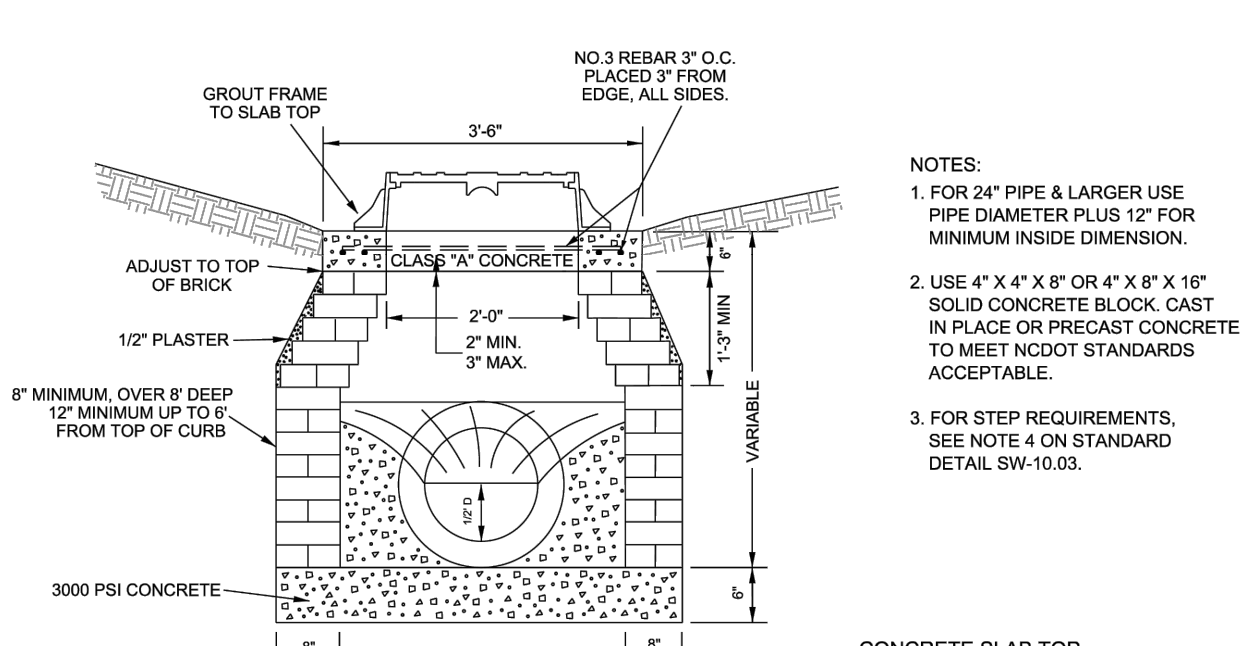


- NOTES:
1. FOR 24" RCP & LARGER USE PIPE DIAMETER PLUS 12" FOR MINIMUM INSIDE DIMENSION.
  2. 24" X 24" CASTING WITH 12", 15" & 18" PIPE, 24" X 36" CASTING USED WITH 24" PIPE OR LARGER. IF PLACED WITHIN PUBLIC ROW CASTING MUST BE TRAFFIC BEARING TYPE PER NCDOT STANDARDS.
  3. USE 4" X 4" X 8" OR 4" X 8" X 16" SOLID CONCRETE BLOCK. CAST IN PLACE OR PRECAST CONCRETE TO MEET N.C.D.O.T. STANDARDS ACCEPTABLE.
  4. STEPS SHALL BE INSTALLED IN ALL DROP INLETS OVER 3' IN DEPTH. DEPTH SHALL BE MEASURED FROM THE TOP OF GRATE TO THE INVERT OF THE DROP INLET.

CITY OF RALEIGH  
STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

STANDARD DROP INLET  
**SW-10.03**

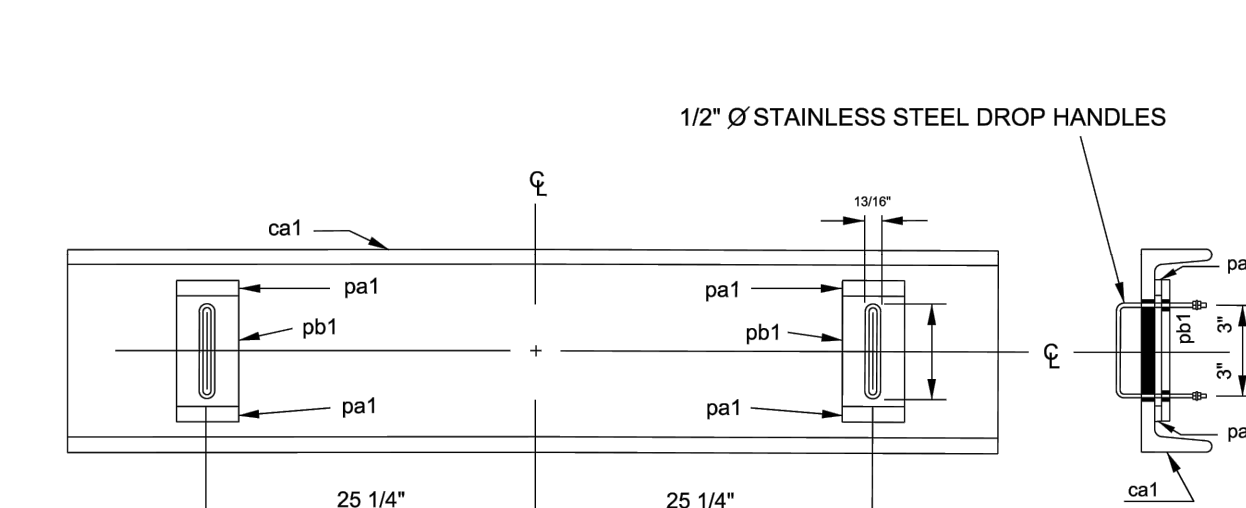


- NOTES:
1. FOR 24" PIPE & LARGER USE PIPE DIAMETER PLUS 12" FOR MINIMUM INSIDE DIMENSION.
  2. USE 4" X 4" X 8" OR 4" X 8" X 16" SOLID CONCRETE BLOCK. CAST IN PLACE OR PRECAST CONCRETE TO MEET NCDOT STANDARDS ACCEPTABLE.
  3. FOR STEP REQUIREMENTS, SEE NOTE 4 ON STANDARD DETAIL SW-10.03.

CITY OF RALEIGH  
STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

STANDARD JUNCTION BOX  
**SW-10.04**

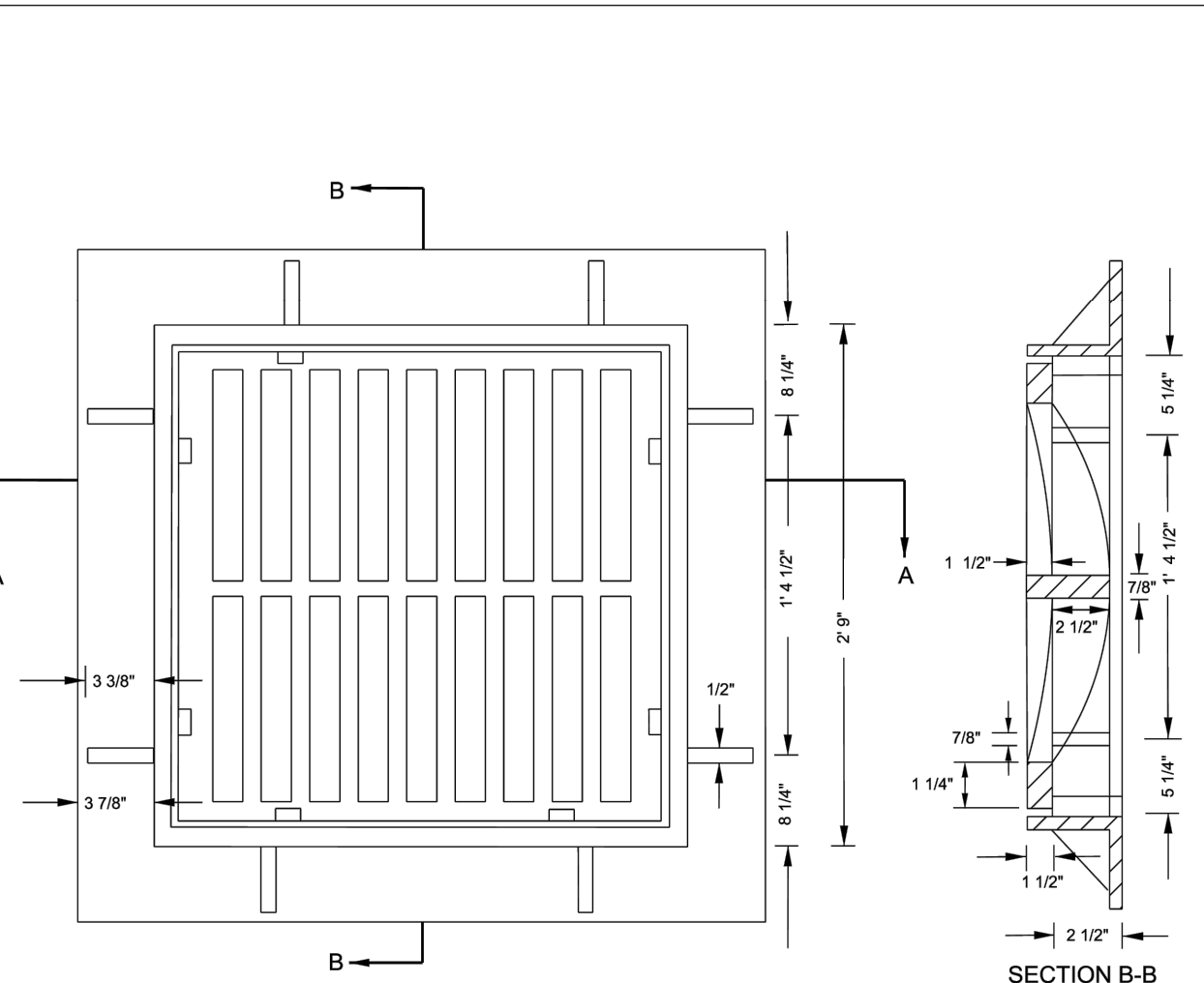


- NOTES:
1. PAINT WITH RUST INHIBITING BLACK PAINT.

CITY OF RALEIGH  
STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

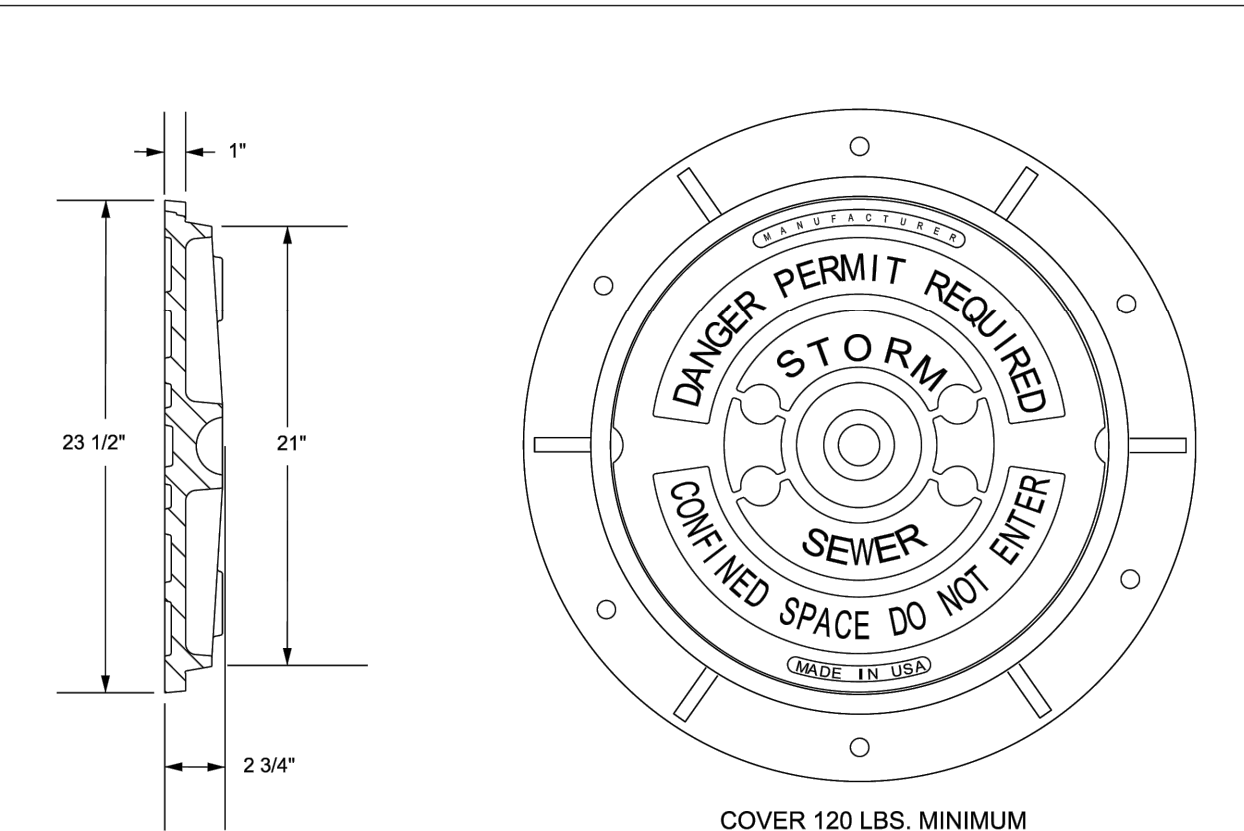
CATCH BASIN STEEL TOP  
**SW-10.07**



CITY OF RALEIGH  
STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

DROP INLET CASTING  
**SW-10.08**



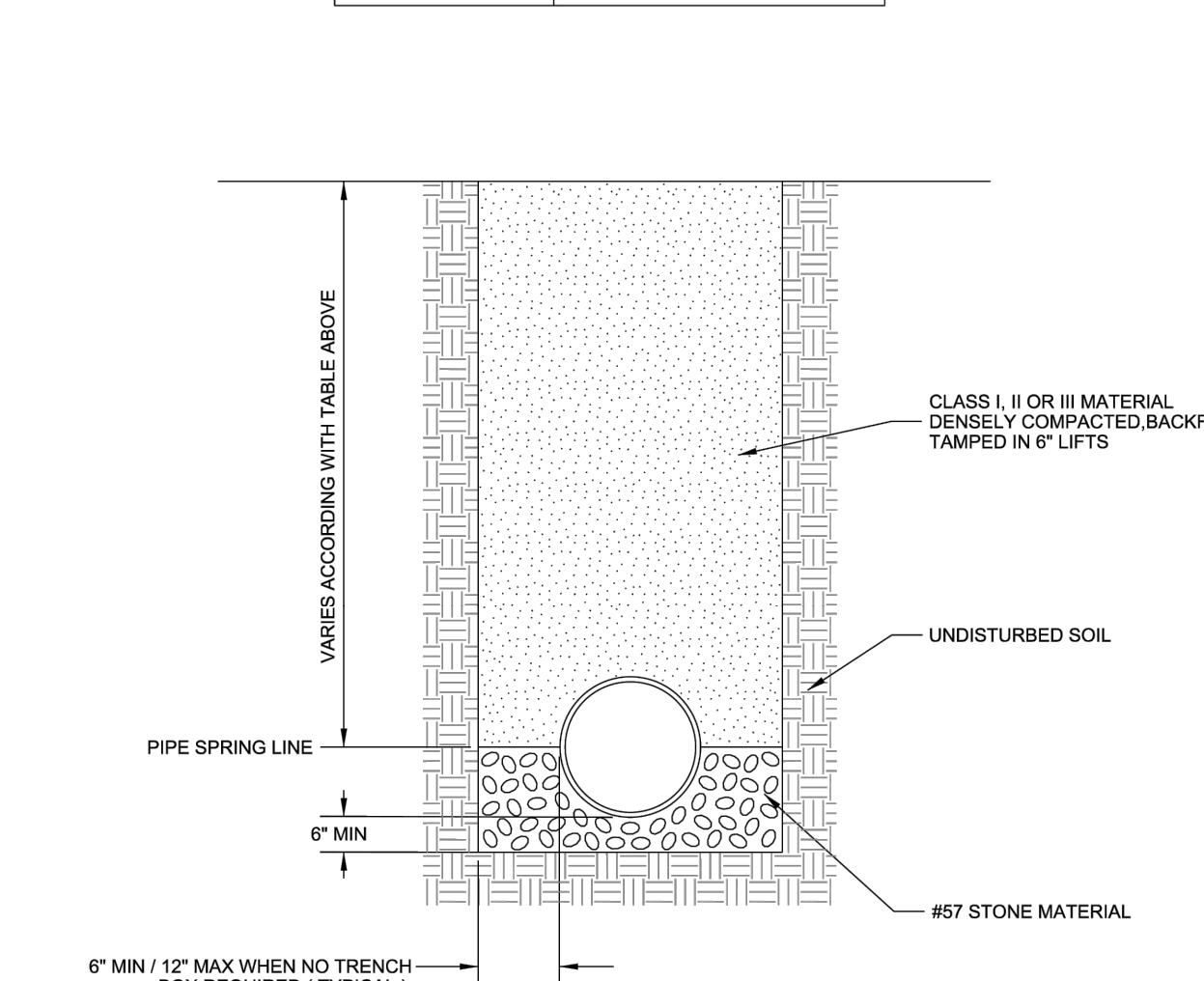
- NOTES:
1. ALL MANHOLE FRAMES SHALL BE DOMESTICALLY CAST.
  2. FRAME SHALL BE A MINIMUM WEIGHT OF 182 LBS. WITHIN PUBLIC ROW AND 180 LBS. WITHIN EASEMENTS.
  3. COVER SHALL WEIGH A MINIMUM OF 120 LBS.
  4. ALL MANHOLE FRAMES OUTSIDE OF PAVED SURFACE SHALL BE BOLTED TO THE CONE SECTION OR RING WITH A MINIMUM OF 4 BOLTS PER FRAME.

CITY OF RALEIGH  
STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

STANDARD STORM MANHOLE COVER  
**SW-10.10**

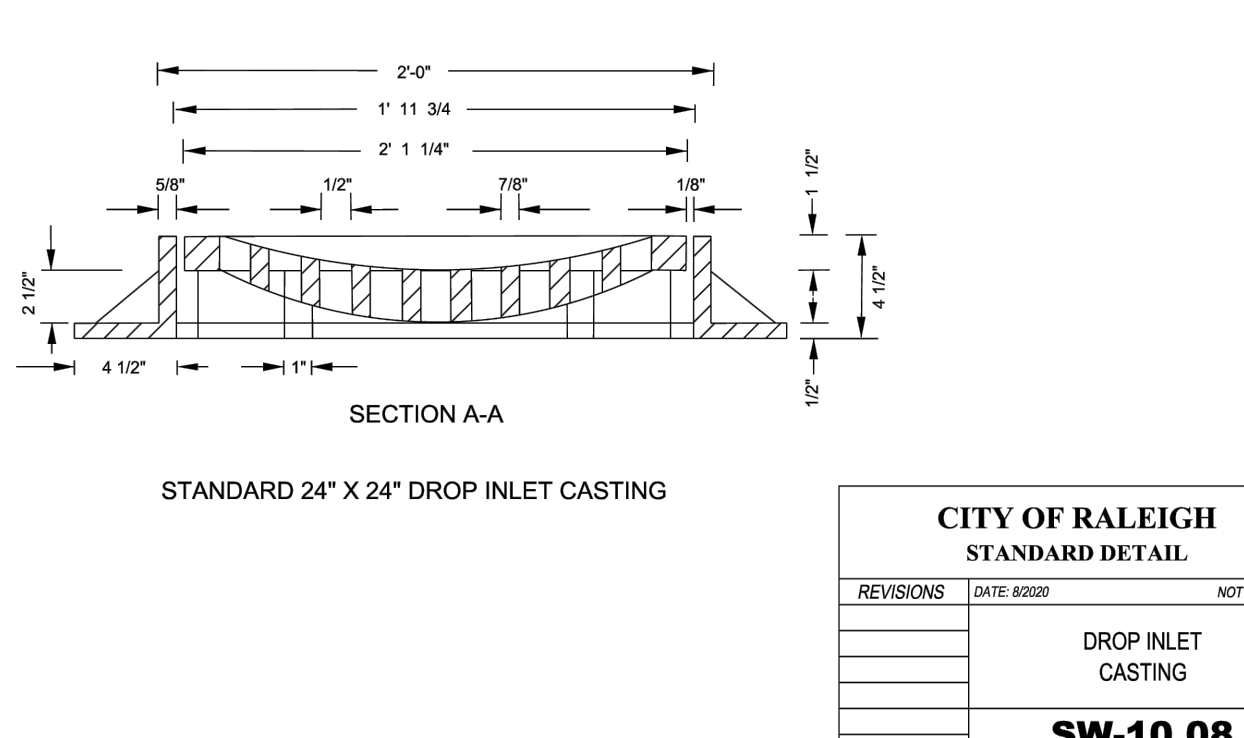
PIPE SIZE (in)	CLEARANCE DISTANCE (ft)
15	2.4
18	2.7
24	3.3
30	3.8
36	4.4
42	4.9
48	5.4
54	6.0
60	6.5
66	7.0
72	7.6



CITY OF RALEIGH  
STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

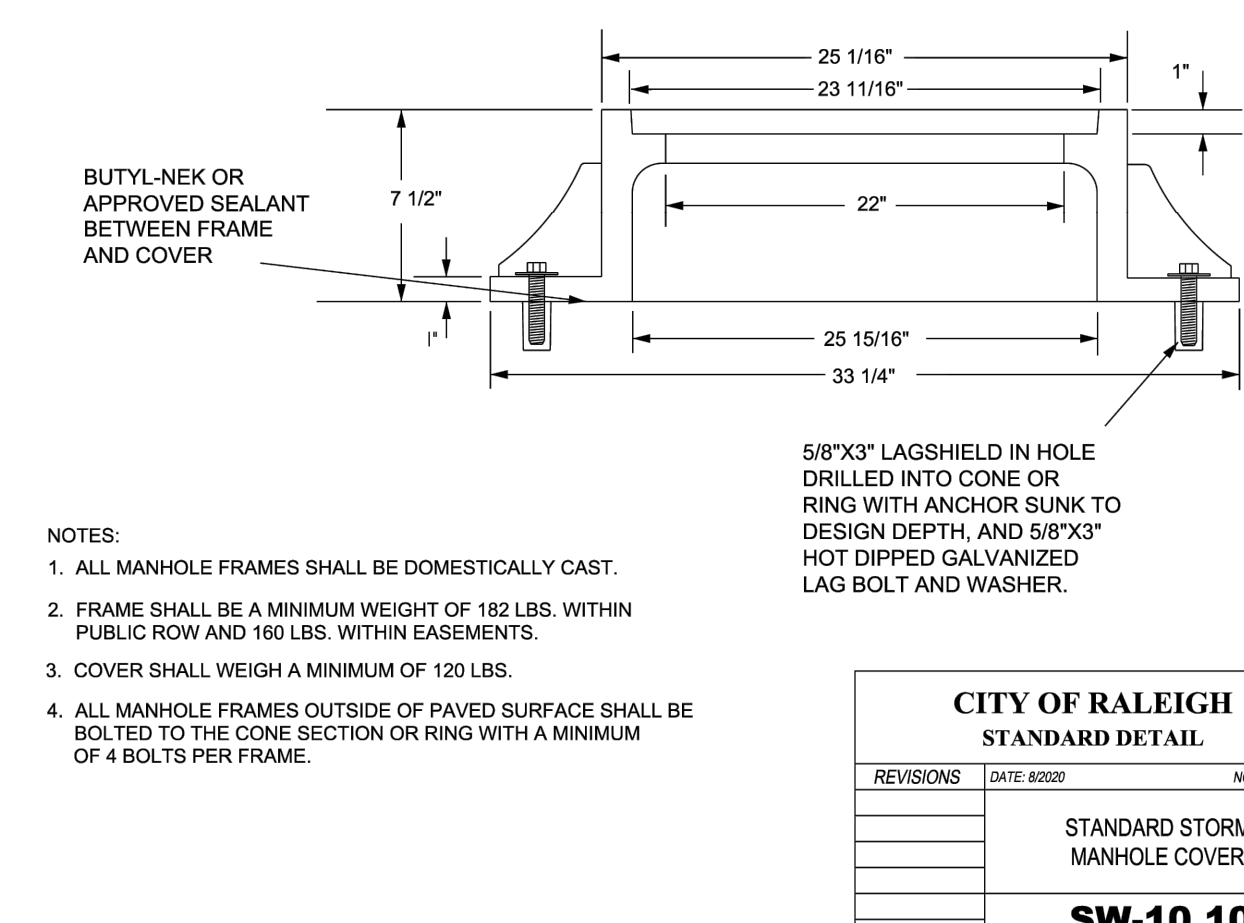
BEDDING FOR STORMWATER RCP PIPES  
**SW-10.14**



CITY OF RALEIGH  
STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

DROP INLET CASTING  
**SW-10.08**



CITY OF RALEIGH  
STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

STANDARD STORM MANHOLE COVER  
**SW-10.10**



CITY OF RALEIGH  
STANDARD DETAIL

REVISIONS	DATE	BY	NOT TO SCALE

BEDDING FOR STORMWATER RCP PIPES  
**SW-10.14**

NO.	DATE

PLAN INFORMATION

PROJECT NO.	RAL22005
FILENAME	RAL22005-D1.DWG
CHECKED BY	XXX
DRAWN BY	AAC
SCALE	1"=20'
DATE	12.06.2023

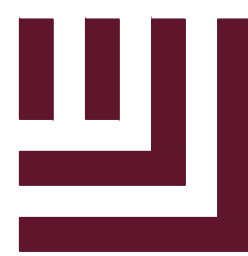
STORMWATER DETAILS

C8.00









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EAST RALEIGH TC  
SITE DEVELOPMENT PLANS  
RALEIGH, NC

CITY OF RALEIGH  
CURB RAMPS  
GENERAL NOTES

- CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES (PROWAG).
- CURB RAMPS SHALL BE PROVIDED AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL, HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT.
- DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
- THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
- NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1"/FT (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
- IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NONSKID SURFACE.
- A 1/2" EXPANSION JOINT INSTALLED FULL DEPTH WILL BE REQUIRED WHERE THE CONCRETE SIDEWALK ACCESS RAMP JOINS THE CURB AND ALSO WHERE NEW CONCRETE ABUTS EXISTING CONCRETE.
- CURB RAMPS SHOULD BE PLACED PARALLEL TO THE DIRECTION OF TRAVEL.

**TYPE N-1 (CURB TYPE)**

CONCRETE DEPTH  
RAMP / FLARE 6"  
LANDING 4"

1. 7.5% (8.33%) (1:12) MAX RAMP SLOPE  
2. 1.5% (2.08%) (1:48) MAX CROSS SLOPE  
3. CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 1.5% (2.08%) MAX WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.  
4. RAMPS AND DOMES SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.  
5. IF LENGTH EXCEEDS 6', TRUNCATED DOMES SHALL BE INSTALLED ALONG THE BACK OF THE CURB COVERING THE FULL WIDTH OF THE RAMP.

**TYPE N-1A (FLARE TYPE)**

NOTE: USE SMALL FLARES ONLY WHEN A CURB TYPE DIRECTLY CONFLICTS WITH APPROACHING VEHICULAR TURNING MOVEMENTS.

CONCRETE DEPTH  
RAMP / FLARE 6"  
LANDING 4"

**TYPE N-2 (RADIUS)**

CONCRETE DEPTH  
RAMP / FLARE 6"  
LANDING 4"

**TYPE N-2 (TEE INTERSECTION)**

CONCRETE DEPTH  
RAMP / FLARE 6"  
LANDING 4"

**CITY OF RALEIGH STANDARD DETAIL**

REVISIONS DATE 8/2002 NOT TO SCALE  
DATE 12/2002  
CURB RAMPS (NEW DEVELOPMENT)  
**T-20.01.2**

**TYPE N-3**

CONCRETE DEPTH  
RAMP / FLARE 6"  
LANDING 4"

NOTE: \*USE SMALL FLARE ONLY WHEN A CURB WOULD DIRECTLY CONFLICT WITH APPROACHING VEHICLE TURNING MOVEMENTS.

1. 7.5% (8.33%) (1:12) MAX RAMP SLOPE  
2. 1.5% (2.08%) (1:48) MAX CROSS SLOPE  
3. CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 1.5% (2.08%) MAX WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.  
4. RAMPS AND DOMES SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.

**TYPE N-3A (COMMERCIAL/RETAIL USE)**

CONCRETE DEPTH  
RAMP / FLARE 6"  
LANDING 4"

**CITY OF RALEIGH STANDARD DETAIL**

REVISIONS DATE 8/2003 NOT TO SCALE  
DATE 12/2002  
CURB RAMPS (NEW DEVELOPMENT)  
**T-20.01.3**

**TYPE N-4**

CONCRETE DEPTH  
RAMP / FLARE 6"  
LANDING 4"

1. 7.5% (8.33%) (1:12) MAX RAMP SLOPE  
2. 1.5% (2.08%) (1:48) MAX CROSS SLOPE  
3. CURB RAMPS REQUIRE A (4'-0") MINIMUM LANDING WITH A MAXIMUM CROSS SLOPE AND LONGITUDINAL SLOPE OF 1.5% (2.08%) MAX WHERE PEDESTRIANS PERFORM TURNING MANEUVERS. SLOPE TO DRAIN TO CURB.  
4. RAMPS AND DOMES SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.  
5. IF LENGTH EXCEEDS 6', TRUNCATED DOMES SHALL BE INSTALLED ALONG THE BACK OF THE CURB COVERING THE FULL WIDTH OF THE RAMP.

**TYPE N-4A**

CONCRETE DEPTH  
RAMP / FLARE 6"  
LANDING 4"

**CITY OF RALEIGH STANDARD DETAIL**

REVISIONS DATE 8/2003 NOT TO SCALE  
DATE 12/2002  
CURB RAMPS (NEW DEVELOPMENT)  
**T-20.01.4**

**TRIANGULAR ISLAND WITH CUT THROUGH**

MONOLITHIC CONCRETE ISLAND  
7'-0" MIN DIAMETER LANDING  
6'-0" MIN (TYP) \*  
6" STRIP (TYP)

TRIANGULAR ISLANDS MAY BE CONSTRUCTED WITH ONLY 2 POINTS OF ENTRY AND EXITS AS SHOWN IN THE ROADWAY PLANS.

**MEDIAN ISLAND CURB RAMPS**

(MEDIANS WIDER THAN 20')

CONCRETE PEDESTRIAN REFUGE  
5' MONOLITHIC CONCRETE ISLAND  
1/2" EXPANSION JOINT (TYP)

**MEDIAN ISLAND WITH CUT THROUGH**

(MEDIANS ≤ 20')

**CITY OF RALEIGH STANDARD DETAIL**

REVISIONS DATE 8/2002 NOT TO SCALE  
DATE 12/2002  
MEDIAN ISLAND CURB RAMPS/CUT THROUGHS  
**T-20.02**

**TYPE N-1, N-1A & R-1**

1. CROSS SLOPE NOT TO EXCEED 1.5% (2.08%) MAX ON ANY PORTION OF RAMP OR TRANSITION TO STREET.  
2. RUNNING SLOPE NOT TO EXCEED 7.5% (8.33%) MAX.

**TYPE R-1**

1. CROSS SLOPE NOT TO EXCEED 1.5% (2.08%) MAX ON ANY PORTION OF RAMP OR TRANSITION TO STREET.  
2. RUNNING SLOPE NOT TO EXCEED 7.5% (8.33%) MAX.

**TYPE R-2**

1. CROSS SLOPE NOT TO EXCEED 1.5% (2.08%) MAX ON ANY PORTION OF RAMP OR TRANSITION TO STREET.  
2. RUNNING SLOPE NOT TO EXCEED 7.5% (8.33%) MAX.

**TYPE R-3**

1. CROSS SLOPE NOT TO EXCEED 1.5% (2.08%) MAX ON ANY PORTION OF RAMP OR TRANSITION TO STREET.  
2. RUNNING SLOPE NOT TO EXCEED 7.5% (8.33%) MAX.

**TYPE R-4**

1. CROSS SLOPE NOT TO EXCEED 1.5% (2.08%) MAX ON ANY PORTION OF RAMP OR TRANSITION TO STREET.  
2. RUNNING SLOPE NOT TO EXCEED 7.5% (8.33%) MAX.

**CITY OF RALEIGH STANDARD DETAIL**

REVISIONS DATE 8/2003 NOT TO SCALE  
DATE 12/2002  
DETECTABLE WARNING SURFACE PLACEMENT  
**T-20.04.1**

**RAMP SECTION WITH DETECTABLE WARNING PAVERS**

2'-0" LENGTH  
RAMP WIDTH AREA VARIABLE  
4" MINIMUM  
BASE DIAMETER 0.45" R TO 0.70" R  
TOP DIAMETER OF NO LESS THAN 50% TO NO MORE THAN 65% OF THE BASE DIAMETER

0.9" TO 1.4" 0.85" MIN 1.6" TO 2.0" 2.4"

PRECAST CLASS "B" CONCRETE

DETECTABLE WARNING DOMES CONCRETE PAVER

4' MIN LANDING  
1.5%+ SLOPE 7.5%\* (8' MIN.)  
2' DETECTABLE WARNING DOMES SEE NOTE #1  
DEPRESSED CURB  
STANDARD 2'-6" CURB & GUTTER  
EXPANSION JOINT  
1" GROUT TO SET BLOCKS  
4" CONCRETE FOUNDATION FOR WARNING DOMES TO BE WITH SAME POUR AS RAMP, FLARES, ETC.

**CITY OF RALEIGH STANDARD DETAIL**

REVISIONS DATE 8/2003 NOT TO SCALE  
DATE 12/2002  
DETECTABLE WARNING SURFACE PAVERS  
**T-20.04.2**

NOTES:  
1. DETECTABLE WARNING DOMES SHALL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON DETAIL. SIZE OF PAVER SHALL BE 1' X 1'.  
2. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.

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NO. DATE

PLAN INFORMATION

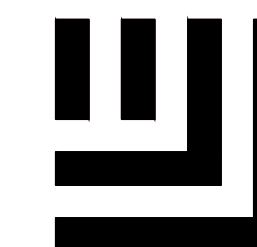
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SCALE	1"=20'
DATE	12.06.2003

TRANSPORTATION  
DETAILS  
**C8.02**









**McADAMS**

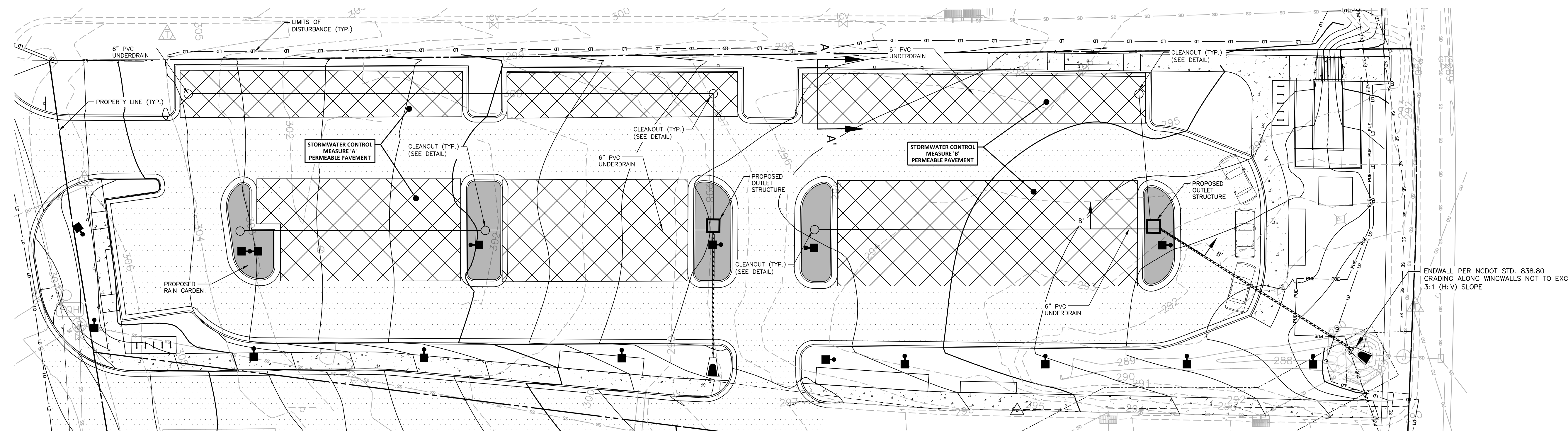
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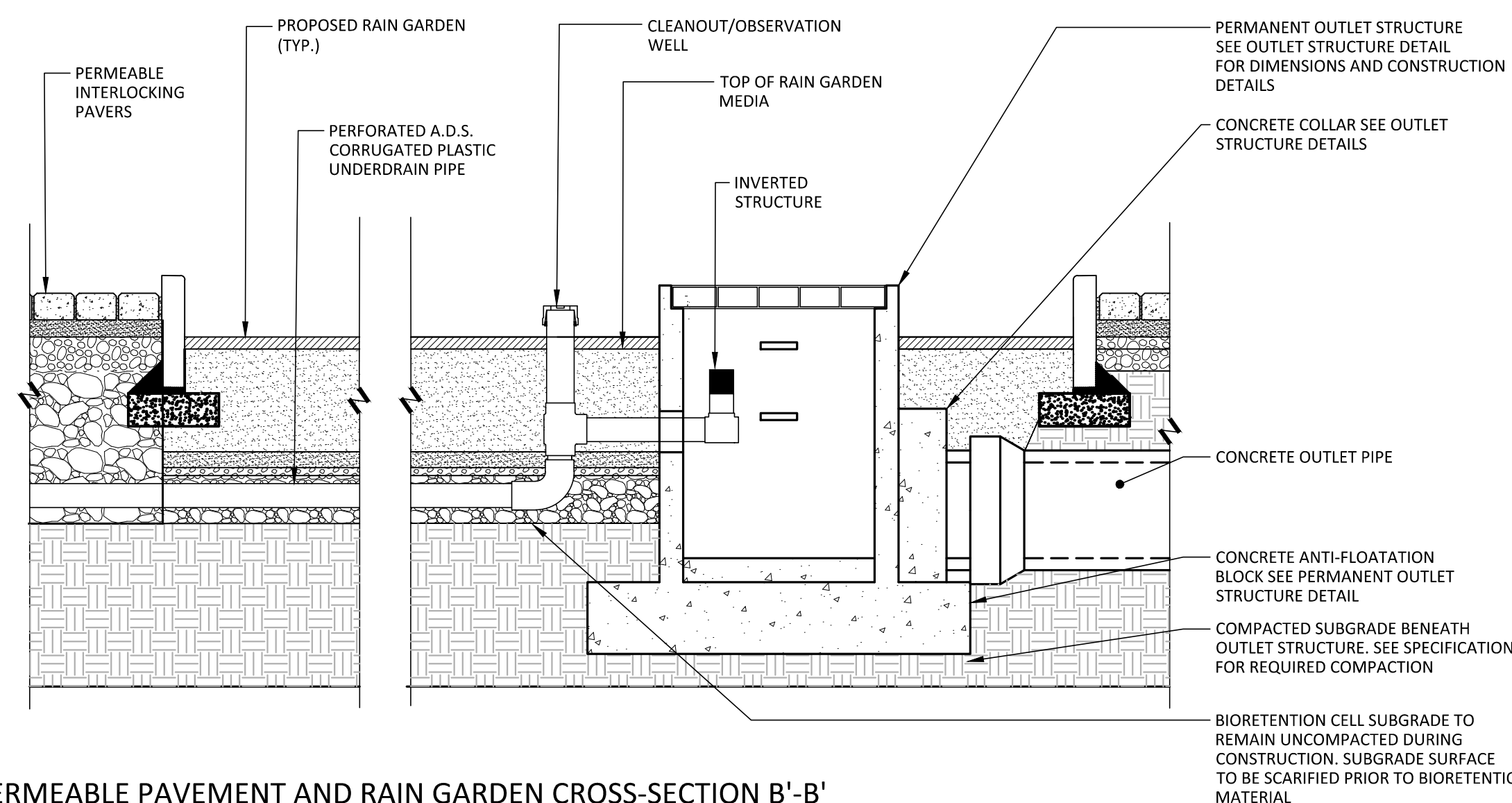
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**EAST RALEIGH TC**  
SITE DEVELOPMENT PLANS  
RALEIGH, NC



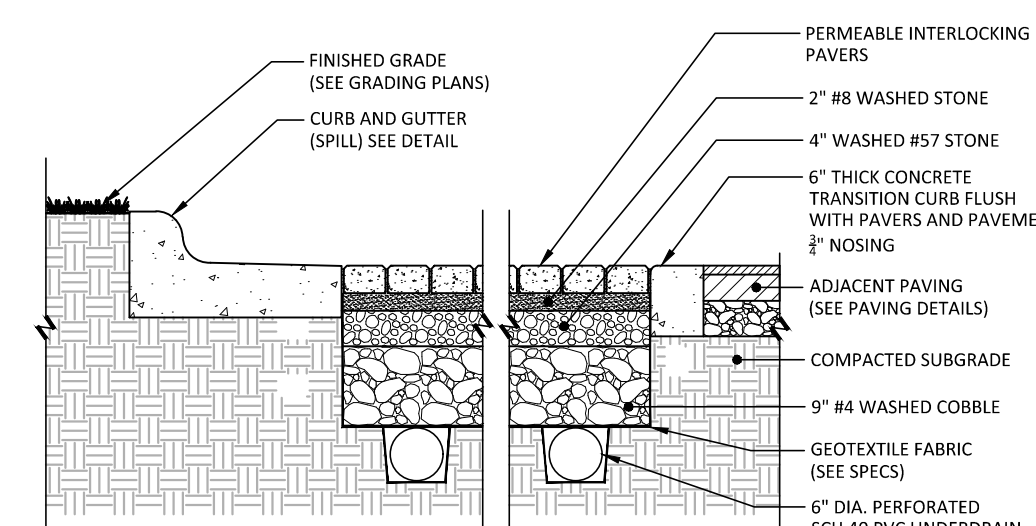
PERMEABLE PAVEMENT AND RAIN GARDEN PLAN VIEW- SCM A AND SCM B

1" = 20'



PERMEABLE PAVEMENT AND RAIN GARDEN CROSS-SECTION B'-B'

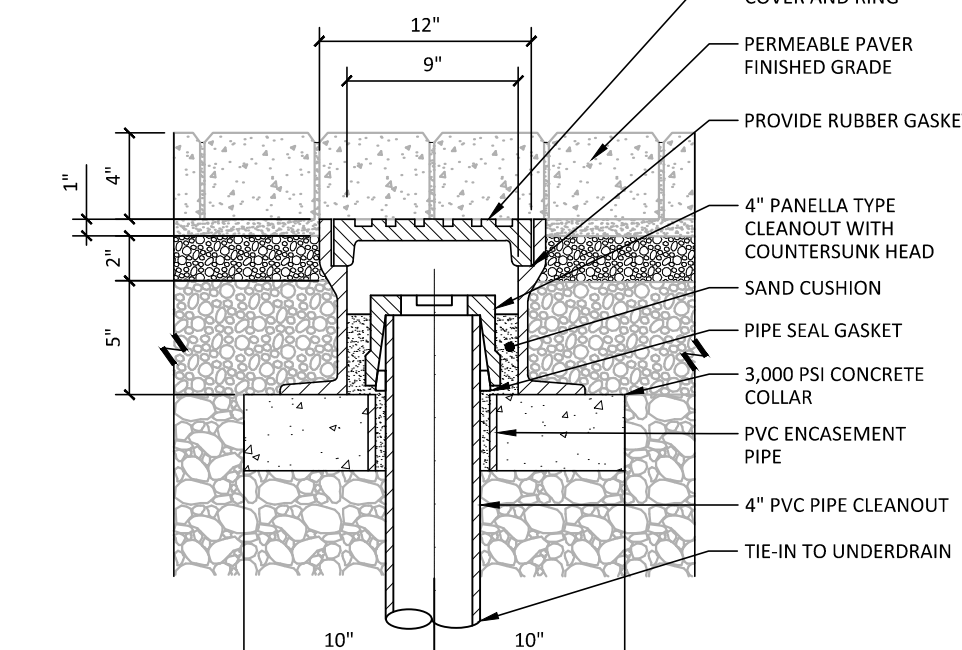
SCALE: NTS



- NOTES:
1. COMPACT SUBGRADE PRIOR TO ADDING DRAINS AND STONE.
  2. COMPACT AFTER APPLYING EACH STONE LAYER WITH A VIBRATING PLATE COMPACTOR. IF INDIVIDUAL STONE LAYER DEPTH IS GREATER THAN 6" THEN IT SHALL BE COMPACTED ON AVERAGE WITH 4" LIFTS.
  3. KEEP SURFACE CLEAR FROM SILT AFTER INSTALLING PAVERS TO PREVENT JOINTS FROM CLOGGING.
  4. DEPENDING ON CONDITIONS JOINT MAINTENANCE WILL VARY BETWEEN 1-5 YEARS. CONTRACTOR SHOULD PROVIDE A ONE YEAR MAINTENANCE PERIOD AND SHALL CLEAN JOINTS IF CLOGGED IN LESS THAN A YEAR FOLLOWING CONSTRUCTION.

PERMEABLE PAVER CROSS-SECTION A'-A'

SCALE: NTS



- NOTES:
1. COMPACT AGGREGATE UNDER CONCRETE COLLAR
  2. INSTALL CLEANOUT ASSOCIATED PARTS AS NEEDED DURING PERMEABLE PAVER BASE AND SUB-BASE PROCESS
  3. INSTALL ALL PRODUCTS PER MFR. RECOMMENDATIONS

PERMEABLE PAVER CLEANOUT / OBSERVATION WELL

SCALE: NTS

**PERMEABLE PAVEMENT NOTES**

1. CONTRACTOR TO INSTALL PERMEABLE PAVEMENT AFTER ASPHALT, CONCRETE, AND GRADING WORK IS COMPLETE AND THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.
2. STONE SUBBASE AND BASE SHALL BE INSTALLED PRIOR TO OVERLAY OF PARKING. THE CONTRACTOR IS RESPONSIBLE TO PROTECT PERMEABLE PAVEMENT DURING OVERLAY PROCESS. DIG THE FINAL 9 TO 12 IN. BY USING THE TEETH OF THE EXCAVATOR BUCKET TO LOOSEN SOIL.
3. BEDDING COURSE PAVERS MAY NOT BE INSTALLED UNTIL UPSTREAM SURFACES ARE COMPLETE AND FULLY STABILIZED. PERMEABLE PAVEMENT AREAS SHALL BE IDENTIFIED AND SHALL NOT EXPERIENCE ANY LOADING BY VEHICLES FROM THE TIME THE SUBBASE IS EXCAVATED UNTIL FINAL PAVERS ARE PLACED. ADDITIONALLY, MINIMAL COMPACTION SHOULD BE PERFORMED ON THE SUBGRADE SOILS TO PRESERVE INFILTRATION CAPACITY.
4. ALL PLANT WASHED PERMEABLE PAVEMENT AGGREGATE (NO. 8, NO. 57, AND NO. 2) SHALL BE WASHED ONSITE PRIOR TO INSTALLATION. CONDUCT A DIRECT MEASUREMENT OF THE SOIL'S INFILTRATION RATE IMMEDIATELY AFTER EXCAVATION AND BEFORE THE AGGREGATE IS PLACED. INFILTRATION RATE TESTING SHALL BE CONDUCTED BY A SOIL SCIENTIST OR GEOTECHNICAL ENGINEER. IF THE SOIL INFILTRATION RATE IS LESS THAN 0.40 INCHES PER HOUR, THEN RIP OR TRENCH THE SUBGRADE FURTHER TO RESTORE THE ORIGINAL INFILTRATION RATE, AND RETEST.

**INSPECTIONS AND CERTIFICATIONS NOTES**

1. AN INFILTRATION TEST OF THE PERMEABLE PAVEMENT SURFACE SHALL BE CONDUCTED ONCE CONSTRUCTION IS COMPLETE AND THE RESULTS WILL BE PROVIDED TO THE CITY OF RALEIGH TO DEMONSTRATE COMPLIANCE WITH MINIMUM DESIGN CRITERIA.
- 1.1. TESTING THE PAVEMENT SURFACE PERMEABILITY SHOULD USE THE NCSU SIMPLE INFILTRATION TEST (SEE MAINTENANCE SECTION 18.6.4) OR OTHER APPROPRIATE TEST, SUCH AS ASTM C1701 STANDARD TEST METHOD FOR INFILTRATION RATE OF IN-PLACE PERVIOUS CONCRETE.

**STATEMENT OF RESPONSIBILITY**

ALL REQUIRED MAINTENANCE AND INSPECTIONS OF THIS FACILITY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, PER THE EXECUTED OPERATION AND MAINTENANCE AGREEMENT FOR THIS FACILITY.

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**REVISIONS**

NO. DATE

NO. DATE

**PLAN INFORMATION**

PROJECT NO. RAL22005  
 FILENAME PP AND RG.DWG  
 CHECKED BY HF  
 DRAWN BY EB  
 SCALE 1"=20'  
 DATE 12.06.2023

**TITLE**

SCM A AND SCM B  
PLAN VIEW

**C9.00**