



# Administrative Approval Action

Case File / Name: ASR-0087-2021  
DSLCL - 2510 Hillsborough St. Revitalization

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This .19 acre site zoned NX-7-SH-CU is located on the north side of Hillsborough Street, west of the intersection of Hillsborough and Horne Street at 2510 Hillsborough Street.

**REQUEST:** This is a revision to a Previously Approved Plan for a mixed use building (restaurant, bar, and retail establishment). The original plan showed 18,141 sf of building space. The proposed revision includes the removal of the second floor, architectural changes, and additional seating provided on the roof to serve the ground floor eating establishment with a total revised gross floor area of 10,737 sf

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** SPR-0139-2022: DSLCL - Site Permitting Review/Major [Signature Set]

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated October 4, 2022 by Pabst Design Group, PA.

## CONDITIONS OF APPROVAL and NEXT STEPS:

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

**The following items are required prior to approval of Site Permitting Review plans:**

### Engineering

1. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

### Public Utilities

2. The water meters must be proposed in a location acceptable to the City of Raleigh Public Utilities Department.

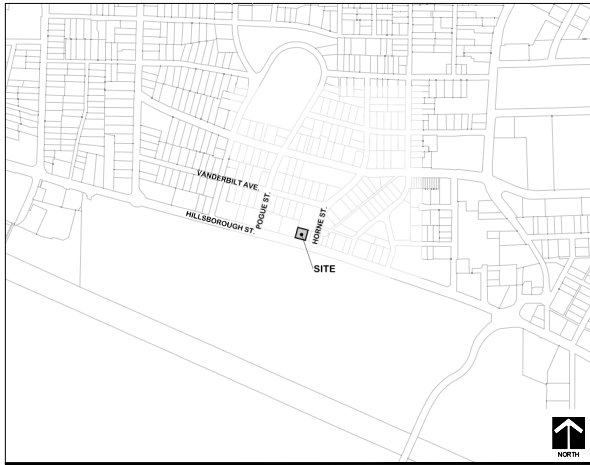
**BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

**The following items must be approved prior to the issuance of building permits:**

### General



# TIER 3 SITE PLAN REVIEW FOR: 2510 HILLSBOROUGH STREET REVITALIZATION RALEIGH, NORTH CAROLINA



VICINITY MAP  
1" = 500'

### Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Place, Suite 401 Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case # \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8 as amended by last change case TC-14-19 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Tier and Development Portal](#). (Note: There is a fee for this verification service.)

**Site Plan Tier:** Tier Two Site Plan  Tier Three Site Plan  Site Transaction History

Building Type	General	Subdivision case #:
<input type="checkbox"/> Detached	<input type="checkbox"/>	Scoping/sketch plan case #:
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/>	Certificate of Appropriateness #:
<input type="checkbox"/> Apartment	<input type="checkbox"/>	Board of Adjustment #:
<input type="checkbox"/> Townhouse	<input type="checkbox"/>	Zoning Case #:
	<input type="checkbox"/>	Administrative Alternate #:

**GENERAL INFORMATION**

Development name: 2510 Hillsborough St. Revitalization  
 Inside City limits? Yes  No   
 Property address(es): 2510 Hillsborough St. Raleigh, NC 27607  
 Site P.L.N.(s): 0794-61-3951  
 Please describe the scope of work. Include any additions, expansions, and change of use. Construction of a two story building with eating establishment, bar and retail sales. Site improvements include construction of access, landscape elements, landscaping and utility.

Current Property Owner/Developer Contact Name: Cityplat Modalia 2510, LLC (Vicent Nicolson) (Registered Agent)  
 NOTE: please attach purchase agreement when submitting this form.  
 Company: Cityplat Modalia 2510, LLC Title: Vicent Nicolson, Registered Agent  
 Address: 2021 Fairview Road, Raleigh, NC 27608  
 Phone #: 724-548-9181 Email: pat@cityplat.com  
 Applicant Name: Mark Phillips  
 Company: Pabst Design Group, PA Address: 107 Fayetteville Street, Ste. 200 Raleigh, NC 27601  
 Phone #: 919-848-4399 Email: mphilips@pabstdesign.com

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SITE DATA TABLE	
SITE ADDRESS:	2510 HILLSBOROUGH STREET RALEIGH, NC 27607
OWNERS:	CITYPLAT MODALIA 2510, LLC 2021 FAIRVIEW ROAD RALEIGH, NC 27608
DEEDPAGE:	BK 019546, PG 00506
PKSL:	0784.6.1.3951
EXISTING ZONING:	NEIGHBORHOOD MIXED USE (NX-7-SH-CU)
EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	EATING ESTABLISHMENT, BAR, AND RETAIL SALES
EXISTING LOT AREA:	8,100 SF (0.186 AC)
PROPOSED LOT AREA:	8,100 SF (0.186 AC)
WATERSHED:	WALNUT CREEK
RIVERBASIN:	NEUSE
ADDITIONAL OVERLAY(S):	SPECIAL RESIDENTIAL PARKING OVERLAY DISTRICT (SRPOP)
FLOODPLAIN DATA:	THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE PER FLOOD INSURANCE RATE MAP 372007405J, DATED MAY 2, 2006.
TREE CONSERVATION:	NONE
RIGHT-OF-WAY DEDICATION:	NONE
IMPERVIOUS AREA:	EXISTING LOT GROSS AREA: 8,100 SF (0.186 AC) PRE-DEVELOPED IMPERVIOUS: 8,100 SF (0.186 AC) POST-DEVELOPED IMPERVIOUS AREA: SAME AS ABOVE
OUTDOOR AMENITY AREA:	REQUIRED: 810 SF (10% OF TOTAL SITE AREA) PROVIDED: 810 SF AT GROUND LEVEL, CONTIGUOUS TO PUBLIC SW (10%+) SHOFFRONT (5H)
FRONTAGE TYPE:	7 STORES
BUILDING STRUCTURE SETBACKS:	PRIMARY STREET (MIN): 0' SIDE STREET (MIN): 0' REAR LOT LINE (MIN): 0' OR 6' SIDE LOT LINE: 0' OR 6'
BUILD-TO:	PRIMARY REQUIRED: (MIN/MAX): 0'11" (80% WIDTH) MIN) 8,100 SF (0.186 AC) 80% DEVELOPED
STREETSCAPE:	STREETSCAPE WIDTH (MAX): 35' SIDEWALK (MIN): 6' PLANTING AREA (MIN): 6' WALKWAY TYPE: SIDEWALK PLANTING TYPE: TREE GATE TREE SPACING: 42" C.C. AVG.
BUILDING FLOOR AREA:	FLOOR LEVEL: BAR + EATING ESTABLISHMENT + 6,301 SF GROUND FLOOR LEVEL: EATING ESTABLISHMENT = 6,301 SF RETAIL = 188 SF BAR = 7,484 SF
OUTDOOR SEATING:	BUILDING GROGS FLOOR AREA = 19,141 SF 2ND FLOOR OPEN-AIR PATIO (BAR) - 20 SEATS TOTAL OUTDOOR SEATING: 80 SEATS
PARKING:	GROUND FLOOR: EXEMPT PER 7.1.3 C.4 BASEMENT & 2ND FLOOR BAR: 1 SPACE PER 500 SF OF NONRESIDENTIAL GROSS FLOOR AREA 1,642 SF / 500 = 23 SPACES 2ND FLOOR UNCOVERED OUTDOOR SEATING AREA: EXEMPT PER 7.1.3 C.8 23(1) 243 G.F.A. (OR RESTAURANT/BAR USES ON ALL LEVELS) = 2.91% TOTAL PARKING REQUIRED: 23 SPACES
REQUIRED BICYCLE PARKING:	REFER TO STREET C-2.2 EATING ESTABLISHMENT/BAR: 1 SHORT TERM SPACE PER 50,000 SF OF GROSS FLOOR AREA AND 1 LONG TERM SPACE PER 25,000 SF OF GROSS FLOOR AREA, MINIMUM OF 4 1,744 / 25,000 = 0 (SHORT TERM) RETAIL: 1 SHORT TERM SPACE PER 5,000 SF OF GROSS FLOOR AREA, MINIMUM OF 4 188 / 5,000 = 0 (SHORT TERM) TOTAL REQUIRED IN SHORT TERM: 4 LONG TERM TOTAL PROVIDED: 8 SHORT TERM, 4 LONG TERM

DEVELOPMENT TYPE & SITE DATA TABLE		BUILDING DATA	
APPLICABLE TO ALL DEVELOPMENTS			
<b>SITE DATA</b>	Existing gross floor area (not to be demolished):	NA	
Zoning district (if more than one, please provide the acreage of each):	Existing gross floor area to be demolished:	NA	
Neighborhood Mixed Use (NX-7-SH-CU)	New gross floor area:	18,141 GFA	
Gross site acreage: 0.186 AC	Total of gross (to remain and new):	18,141 GFA	
# of parking spaces required: 23	Proposed # of buildings: 1		
# of parking spaces proposed: 23 (Remote)	Proposed # of stories for each: 2		
Overlay District (if applicable): Special Residential Parking Overlay District			
Existing use (UDO 6.1.4): Vacant			
Proposed use (UDO 6.1.4): Eating establishment, bar, retail sales			
<b>STORMWATER INFORMATION</b>			
Existing Impervious Surface:	Square Feet: 0.00 SF	Proposed Impervious Surface:	Square Feet: NA
Acres: 0.00		Acres: NA	
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
If yes, please provide:			
Advisory soils: NA			
Flood study: NA (Historic Flood No. 12-2008)			
FEMA Map Panel #: NA			
Neouse River Buffer: Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Wetlands: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>		
<b>RESIDENTIAL DEVELOPMENTS</b>			
Total # of dwelling units: NA	Total # of hotel units: NA		
# of bedroom units: 1br 2br 3br 4br or more			
# of lots: Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>			
<b>SIGNATURE BLOCK</b>			
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.			
I, Mark Phillips, PLA will serve as the agent regarding this application, and will receive and respond to administrative comments, rezoning plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.			
We have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and substantial policy, which states applications will expire after 180 days of inactivity.			
Signature: Mark Phillips	Date: 01/22/2022		
Printed Name: Mark M. Phillips			

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STREETSCAPE ELEMENTS	INDEX TO PLANS	LIMITED USE STANDARDS PER UDO 6.4.10.0-B:
<b>MAINTAINED BY THE CITY:</b>	C-0.0 COVER SHEET	1. NO LIVE PERFORMANCE AREAS
TREE TREES	C-1.0 ASBUILT SURVEY	2. NO DANCE FLOOR
TREE GRATES	C-2.0 EXISTING CONDITIONS & DEMOLITION PLAN	3. OUTDOOR SEATING IN EXCESS OF 20 SEATS SHALL REQUIRE THE ISSUANCE OF A SPECIAL USE PERMIT IN ACCORDANCE WITH SEC. 10.2.8.1. THROUGH 11. THE FOLLOWING STANDARDS MUST BE MET:
CURB AND CUTTER	C-2.1 SITE LAYOUT PLAN	(A) THE OUTDOOR SEATING AREA SHALL BE A MINIMUM DISTANCE OF 100 FEET FROM ANY PRINCIPAL OR ACCESSORY DWELLING UNIT IN A RESIDENTIAL DISTRICT; HOWEVER
STREET PAVING	C-2.2 REMOTE PARKING PLAN	(B) THE MINIMUM DISTANCE MAY BE REDUCED TO 40 FEET PROVIDED:
CROSSWALK STRIPING AND SIGNALS	C-3.0 UTILITY PLAN	1) A TYPE B1 TRANSITIONAL PROTECTIVE YARD IS ESTABLISHED ALONG ANY SHARED PROPERTY LINE LOCATED BETWEEN THE OUTDOOR SEATING AREA AND ANY APPLICABLE PRINCIPAL, OR ACCESSORY, DWELLING UNIT; AND
BUS STOPS	C-4.0 GRADING AND DRAINAGE PLAN	2) A TYPE C1 OR C2 STREET PROTECTIVE YARD IS ESTABLISHED ALONG ANY PROPERTY LINE ABUTTING A RIGHT-OF-WAY LOCATED BETWEEN THE OUTDOOR SEATING AREA AND ANY APPLICABLE PRINCIPAL, OR ACCESSORY DWELLING UNIT.
ON-STREET PARKING STRIPING	D-1.0 SITE DETAIL SHEET	3) NOTHING IN THIS SUBSECTION SHALL BE CONSTRUED TO REQUIRE SCREENING OR LANDSCAPING ALONG A PROPERTY LINE OR RIGHT-OF-WAY LINE WHEN THE OUTDOOR SEATING AREA IS SCREENED WHOLLY AND ADEQUATELY BY A NON-RESIDENTIAL PRINCIPAL STRUCTURE, EITHER ON SITE OR OFF-SITE.
PARKING METERS	D-2.0 UTILITY DETAIL SHEET	4. NO OUTDOOR SEATING SHALL OCCUPY ANY AREA WITHOUT PRIOR APPROVAL OF THE CONVERSION TO SEATING BY THE CITY.
TRASH RECEPTACLE	D-3.0 STORM DRAINAGE DETAIL SHEET	
<b>MAINTAINED BY THE LANDOWNER:</b>	D-4.0 LANDSCAPE PLAN	<b>COMPLIANCE WITH LIMITED USE STANDARDS:</b>
SIDEWALKS	L-1.1 LANDSCAPE DETAIL SHEET	1. LIVE PERFORMANCES WILL NOT BE HELD.
BUILDING IMPROVEMENTS	L-1.10 BASEMENT FLOOR PLAN	2. A DANCE FLOOR SHALL BE NOT PROPOSED.
AWNINGS	A111 GROUND FLOOR PLAN	3. MAXIMUM OF 20 BAR SEATS PROPOSED ON 2ND LEVEL AND IS SCREENED BY PRINCIPAL STRUCTURE ON-SITE FROM ADJACENT DWELLING UNITS.
BENCHES	A112 SECOND FLOOR PLAN	4. OUTDOOR SEATING TO BE APPROVED AS PART OF THIS APPLICATION.
BUSINESS SIGNS	A201 EXTERIOR ELEVATIONS	
LIGHTING		

**DEVELOPER:**  
CITYPLAT MODALIA 2510, LLC  
2021 FAIRVIEW RD  
RALEIGH, NC 27608  
TEL: 724.549.5916  
EMAIL: pat@cityplat.com

**SURVEYOR:**  
NEWCOMB LAND SURVEYORS, LLC  
700B HARPS MILL RD, STE. 105  
RALEIGH, NC 27615  
TEL: 919.847.1800  
EMAIL: justin@nls-nc.com

**CIVIL ENGINEER:**  
PABST DESIGN GROUP, PA  
107 FAYETTEVILLE ST, STE. 200  
RALEIGH, NC 27601  
TEL: 919.848.4399  
EMAIL: dpabst@pabstdesign.com

**ARCHITECT:**  
NEW CITY DESIGN GROUP  
130A HILLSBOROUGH ST  
RALEIGH, NC 27601  
TEL: 919.831.1308  
EMAIL: jeff@newcitydesign.com

CONDITIONS OF Z-2.1.4:	COMPLIANCE WITH CONDITIONS OF Z-2.1.4:
1. THE FOLLOWING USES SHALL BE PROHIBITED: TELECOMMUNICATION TOWER - ALL TYPES; DETENTION CENTER, LAB, PRISON, TATTOO PARLOR, BODY PIERCING, EMERGENCY SHELTER, OUTDOOR SPORTS AND ENTERTAINMENT FACILITY - ALL TYPES, TELEPHONE RELAY (MINOR).	1. PER THIS ADMINISTRATIVE SITE REVIEW APPLICATION, THE PROPOSED USES OF THE PROPERTY ARE EATING ESTABLISHMENT, BAR AND RETAIL SALES WHICH ARE NOT LISTED AS PROHIBITED USES WITHIN THE CONDITION OF Z-2.1.4.
2. THE MAXIMUM BUILDING HEIGHT OF ANY BUILDING ON THE PROPERTY SHALL BE 3 STOREYS FEET IN HEIGHT, AS MEASURED BY UDO SECTION 1.1.7.	2. PER ARCHITECTURAL ELEVATION SHEET, THE PROPOSED BUILDING IS 3 STOREYS WITH A HEIGHT OF 33 FT.
3. THERE SHALL BE NO BALCONIES THAT ARE ASSOCIATED WITH INDIVIDUAL DWELLING UNITS CONSTRUCTED ON THE NORTHERN BUILDING FACINGS FACING THAT ADJACENT TRACT OF LAND DESCRIBED AS "FIRST TRACT" IN THAT CERTAIN DEED RECORDED IN BOOK 4163, PAGE 4, WAKE COUNTY RECORDS.	3. THERE ARE NOT INDIVIDUAL DWELLING UNITS PROPOSED WITH THIS ADMINISTRATIVE SITE REVIEW APPLICATION.
4. ALL POLE MOUNTED LIGHTING LOCATED BETWEEN THE PRINCIPAL BUILDING AND THE NORTHERN PROPERTY LINE SHALL BE OF FULL CUT-OFF DESIGN, AND ALL LIGHT FIXTURES MOUNTED ON THE EXTERIOR OF THE NORTH FACADE OF THE PRINCIPAL BUILDING SHALL BE OF FULL CUT-OFF DESIGN. THE ENTIRETY OF THE REQUIRED 15' OUTDOOR AMENITY AREA SHALL BE LOCATED CONTIGUOUS TO THE PUBLIC SIDEWALK.	4. PER ARCHITECTURAL ELEVATIONS AND FLOOR PLANS, ALL LIGHT FIXTURES MOUNTED ON THE EXTERIOR OF THE NORTH FACADE OF THE PRINCIPAL BUILDING ARE FULL CUT-OFF DESIGN. THERE ARE NO POLE MOUNTED LIGHTS PROPOSED WITH THIS APPLICATION. THE 10% OUTDOOR AMENITY AREA IS INDICATED AT GROUND LEVEL ALONG THE HILLSBOROUGH STREET FACADE CONTIGUOUS TO THE PUBLIC SIDEWALK.
5. THE BUILDING FACADE FACING HILLSBOROUGH STREET SHALL LOCATED A BUILDING FOOTPRINT VARIATION (RECESS OR PROTRUSION) OF AT LEAST EIGHTEEN INCHES (18") IN DEPTH AT LEAST TWICE ALONG THE NORTH FACADE. ALSO, THE BUILDING FACADE FACING HILLSBOROUGH STREET SHALL INCORPORATE AT LEAST TWO CHANGES IN BUILDING MATERIALS AND AT LEAST ONE CANOPY.	5. GROUND FLOOR FACADE IS RECESSED OVER 7' FROM THE OVERHANGING 2ND FLOOR BALCONY AND CREATES A CANOPY THE LENGTH OF THE BUILDING WITHOUT USING AN ENCROACHMENT OVER THE FRONT PROPERTY LINE. TWO 1' OFFSETS ARE PROVIDED ALONG THE GROUND FLOOR FACADE WITH DESIGN NECESSITIES AT THE 2ND FLOOR FACADE INCLUDES BUILDING MATERIALS, SEE W-1, W-2, AND W-3 ON SHEET A01.
6. AN AREA MEASURING AT LEAST 700 SQUARE FEET IN FLOOR AREA SHALL BE PROVIDED ON THE GROUND LEVEL OF THE BUILDING FOR NON RESIDENTIAL USE, AND THIS AREA SHALL BE DIRECTLY ACCESSIBLE BY A DOOR LOCATED ON THE NORTH SIDE OF THE BUILDING FACING THAT ADJACENT TRACT OF LAND DESCRIBED AS "FIRST TRACT" IN THAT CERTAIN DEED RECORDED IN BOOK 4103 PAGE 41, WAKE COUNTY RECORDS.	6. A 700 SQUARE FOOT FLOOR AREA IS PROVIDED ON THE GROUND LEVEL OF THE BUILDING FOR NON-RESIDENTIAL USE, AND THIS AREA IS DIRECTLY ACCESSIBLE BY A DOOR LOCATED ON THE NORTH SIDE OF THE BUILDING FACING THAT ADJACENT TRACT OF LAND.

**PABST DESIGN GROUP, PA**  
 Consulting  
 Engineering | Surveying | Architecture  
 507 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601  
 Phone: 919.848.4399 | Fax: 919.848.4398

PREPARED BY: JEFF NEWBY, P.E.  
 CHECKED BY: JUSTIN NISCOMB, P.E.  
 DATE: 1/10/2022  
 PROJECT NUMBER: 2510-2021-0001  
 PROJECT NAME: PABST DESIGN GROUP, PA  
 PROJECT SHEET: COVER SHEET

**2510 HILLSBOROUGH ST. REVITALIZATION**  
 RALEIGH, WAKE COUNTY, NORTH CAROLINA  
**TIER 3 ADMINISTRATIVE SITE REVIEW PLANS**  
**COVER SHEET**

NO. DATE REVIEWED BY  
 1. 1/27/2022 JDN  
 2. 1/27/2022 JDN  
 3. 1/27/2022 JDN  
 4. 1/27/2022 JDN  
 5. 1/27/2022 JDN  
 6. 1/27/2022 JDN

**DRAWING SHEET**  
**C-0.0**  
 PROJECT NUMBER  
**581-21**

ASR-0087-2021



LEGEND and NOMENCLATURE	
SYMBOLS	LINETYPES
● EX. IRON PIPE/POD OR WALL	--- FENCE
■ EX. CONCRETE MONUMENT	--- OVERHEAD UTILITY
○ NEW IRON PIPE	--- WATER PIPE
○ CALCULATED POINT	--- SAWHAY SEWER PIPE
○ CABLE FEEDSTOCK	--- STORM DRAIN PIPE
○ TELEPHONE FEEDSTOCK	
○ ELECTRICAL FEEDSTOCK	
○ FIBER-OPTIC MARKER	
○ TRAFFIC SIGNAL BOX	
○ WATER METER	
○ FIRE HYDRANT	
○ VALVE (WATER OR GAS)	
○ SANITARY SEWER MANHOLE	
○ SANITARY SEWER CLEANOUT	
○ STORM CURB INLET	
○ DRAINAGE INLET (W/ GRATE)	
○ STORM DRAIN MANHOLE	
○ UTILITY POLE	
○ LAMP POST	
○ SIGNAL POLE	
○ GUY WIRE	
○ SIGN POST	

LEGEND	
---	STRUCTURE TO BE REMOVED
---	LIMITS OF CONSTRUCTION
---	UTILITY TO BE REMOVED

ABBREVIATIONS	
DB	DEED BOOK
PB or BM	PLAT BOOK / BOOK OF MAPS
N/P	NOW ON FORMERLY
PLG	PLANE
SF	SQUARE FEET
AC	ACRES
R/W	RIGHT-OF-WAY
NCSR	NORTH CAROLINA STATE ROUTE
NCDOT	NORTH CAROLINA DEPT. OF TRANSPORTATION
EX	EXISTING
ROP	REINFORCED CONCRETE PIPE
PVC	POLYVINYL CHLORIDE PIPE
(U)	UNITS
(P)	PLATED
(D)	DEED

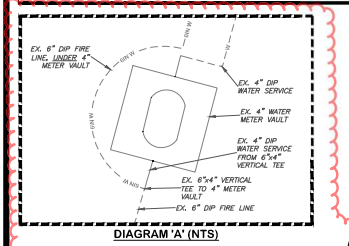
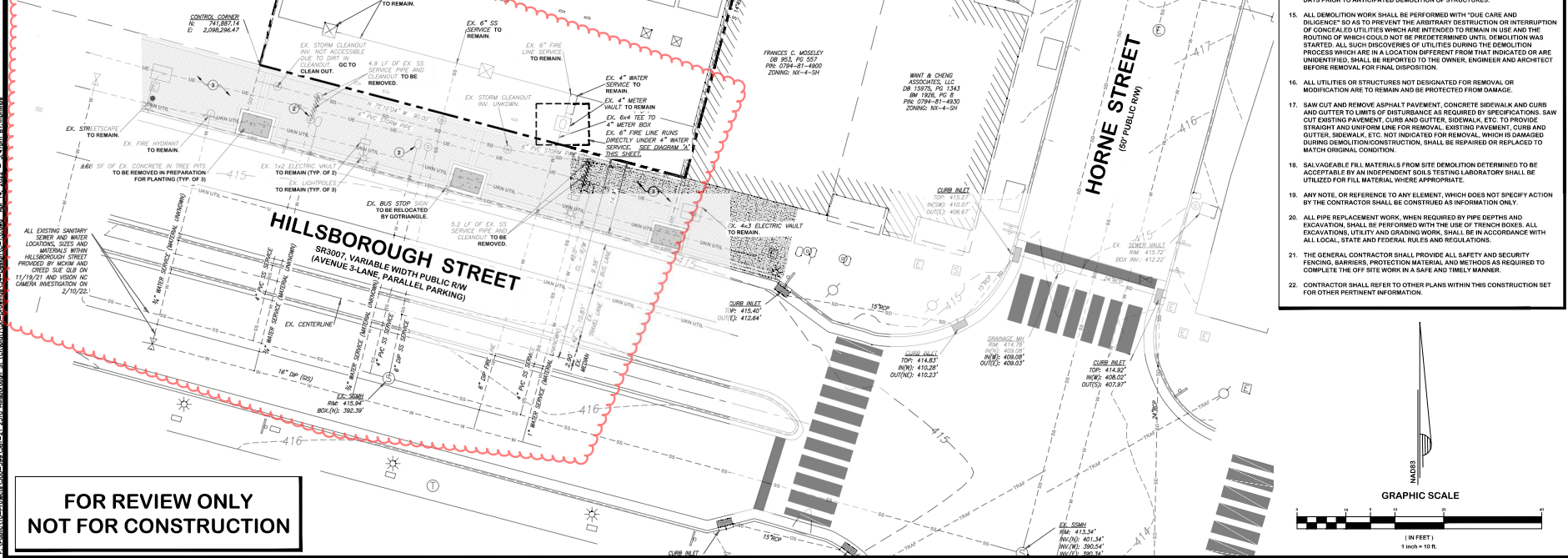


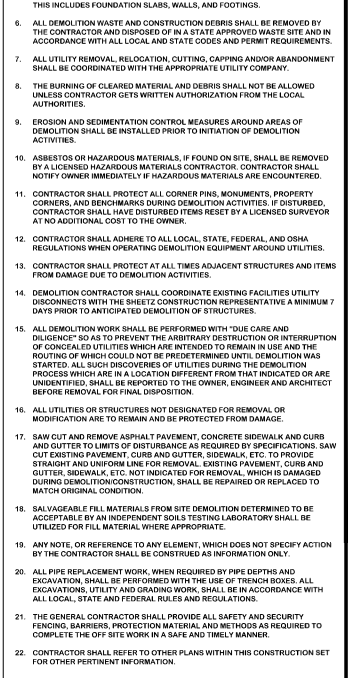
DIAGRAM 'A' (NTS)



**FOR REVIEW ONLY  
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- SURVEY NOTES:**
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES, UNLESS NOTED. AREA(S) COMPUTED BY COORDINATE GEOMETRY.
  - THIS SURVEY DOES NOT INCLUDE NOR DEPICT ANY ENVIRONMENTAL EVALUATIONS.
  - FIELD SURVEY(S) PERFORMED JULY 21 THRU AUGUST 2, 2021.
  - SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
  - THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVEGROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES STRUCTURES MAY VARY FROM LOCATION SHOWN HEREON. NO SUBSURFACE UTILITY ENGINEERING OR MARKING WAS PERFORMED FOR THIS PROJECT UNLESS SPECIFICALLY NOTED. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.
  - SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA FLOOD INSURANCE RATE MAP (FIRM) #372007400J, EFFECTIVE DATE MAY 2, 2006.
  - THE STATE PLANE COORDINATES FOR THIS PROJECT WERE PRODUCED WITH RTK GPS OBSERVATIONS AND PROCESSED USING THE NORTH CAROLINA VIRS NETWORK. THE NETWORK POSITIONAL ACCURACY OF THE DERIVED POSITIONAL INFORMATION IS 8x.07".
- NGCS MONUMENT REFERENCED:  
 \*TENSIS\* (NAD 83) 745,199.60  
 NORTHING: 2,090,535.87  
 COMBINED FACTOR: 0.99999033  
 \*VERTICAL DATUM: NAVD 88

- DEMOLITION NOTES:**
- REMOVE ±1,048 SF OF EXISTING GRAVEL IN ALLEY AS SHOWN.
  - EXISTING WATER AND SEWER SERVICES TO REMAIN. CONTRACTOR SHALL FLUSH AND VERIFY CONDITION OF ALL EXISTING SEWER SERVICES BY VIDEO TO OWNER, ENGINEER, AND ARCHITECT PRIOR TO CONNECTING PROPOSED SERVICES TO EXISTING SERVICES.
  - CONTRACTOR SHALL PRESERVE AND STOCKPILE EXISTING BRICKS FROM SIDEWALK CRIBS TO BE REUSED IN UTILITY WORKS IS COMPLETE. POST CONSTRUCTION BRICK PATTERNS SHALL MATCH PRE-CONSTRUCTION PATTERNS.
- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY AND NCDOT STANDARDS AND SPECIFICATIONS.
  - THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
  - THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
  - EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
  - ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET. ARCHITECTURAL PLANS AND/OR PROJECT SPECIFICATIONS, THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
  - ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
  - ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
  - THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
  - EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES.
  - ASSESSORS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
  - CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND REMAINERS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT AN ADDITIONAL COST TO THE OWNER.
  - CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
  - CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
  - DEMOLITION CONTRACTOR SHALL COORDINATE EXISTING FACILITIES UTILITY DISCONNECTS WITH THE SHEET CONSTRUCTION REPRESENTATIVE A MINIMUM 7 DAYS PRIOR TO ANTICIPATED DEMOLITION OF STRUCTURES.
  - ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE AND DILIGENCE" SO AS TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE ROUTING OF WHICH COULD NOT BE PREDETERMINED UNTIL DEMOLITION WAS STARTED. ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE OWNER, ENGINEER AND ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSITION.
  - ALL UTILITIES OR STRUCTURES NOT DESIGNATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
  - SAW CUT AND REMOVE ASPHALT PAVEMENT, CONCRETE SIDEWALK AND CURB AND GUTTER TO LIMITS OF DISTURBANCE AS REQUIRED BY SPECIFICATIONS. SAW CUT EXISTING PAVEMENT, CURB AND GUTTER, SIDEWALK, ETC. TO PROVIDE STRAIGHT AND UNIFORM LINE FOR REMOVAL. EXISTING PAVEMENT, CURB AND GUTTER, SIDEWALK, ETC. NOT INDICATED FOR REMOVAL, WHICH IS DAMAGED DURING DEMOLITION CONSTRUCTION, SHALL BE REPAIRED OR REPLACED TO MATCH ORIGINAL CONDITION.
  - SALVAGEABLE FILL MATERIALS FROM SITE DEMOLITION DETERMINED TO BE ACCEPTABLE BY AN INDEPENDENT SOILS TESTING LABORATORY SHALL BE UTILIZED FOR FILL MATERIAL WHERE APPROPRIATE.
  - ANY NOTE OR REFERENCE TO AN ELEMENT, WHICH DOES NOT SPECIFY ACTION BY THE CONTRACTOR SHALL BE CONSTRUED AS INFORMATION ONLY.
  - ALL PIPE REPLACEMENT WORK, WHEN REQUIRED BY PIPE DEPTHS AND EXCAVATION, SHALL BE PERFORMED WITH THE USE OF TRENCH BOXES. ALL EXCAVATIONS, UTILITY AND GRADING WORK, SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
  - THE GENERAL CONTRACTOR SHALL PROVIDE ALL SAFETY AND SECURITY FENCING, BARRIERS, PROTECTION MATERIAL AND METHODS AS REQUIRED TO COMPLETE THE OFF SITE WORK IN A SAFE AND TIMELY MANNER.
  - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.



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**250 HILLSBOROUGH ST. REVITALIZATION**  
 RALEIGH, WAKE COUNTY, NORTH CAROLINA  
 TIER 3 ADMINISTRATIVE SITE REVIEW PLANS  
 EXISTING CONDITIONS & DEMOLITION PLAN

NO.	REVISION	DATE
1	REVISED PER OUR COMMENTS	12/27/21
2	REVISED PER OUR COMMENTS	1/11/22
3	REVISED PER OUR COMMENTS	1/11/22

DRAWING SHEET  
**C-1.0**  
 PROJECT NUMBER  
**581-21**

**LEGEND and NOMENCLATURE**

SYMBOLS	LINETYPES
● EX. IRON PIPE/POD OR MAN	--- FENCE
○ EX. CONCRETE MONUMENT	- - - OVERHEAD UTILITY
○ NEW IRON PIPE	- - - WATER PIPE
○ CALCULATED POINT	- - - SANITARY SEWER PIPE
○ CABLE FEDESTAL	- - - STORM DRAIN PIPE
○ TELEPHONE FEDESTAL	
○ ELECTRICAL FEDESTAL	
○ FIBER-OPTIC MANHOLE	
○ TRAFFIC SIGNAL BOX	
○ WATER METER	
○ FIRE HYDRANT	
○ VALVE (WATER OR GAS)	
○ SANITARY SINKER MANHOLE	
○ SANITARY SINKER CLEANOUT	
○ STORM CURB INLET	
○ DRAINAGE INLET (W/ GRATE)	
○ STORM DRAIN MANHOLE	
○ UTILITY POLE	
○ LAMP POST	
○ SIGNAL POLE	
○ GUY WIRE	
○ SIGN POST	

**ABBREVIATIONS**

DB	DEED BOOK
PB or BM	PLAT BOOK / BOOK OF MAPS
N/F	NOW OR FORMERLY
PL	PLAT
SF	SQUARE FEET
AC	ACRES
R/W	RIGHT-OF-WAY
NCSR	NORTH CAROLINA STATE ROUTE
NCDOT	NORTH CAROLINA DEPT. OF TRANSPORTATION
EX	EXISTING
ROP	REINFORCED CONCRETE PIPE
PVC	POLYVINYL CHLORIDE PIPE
(M)	MEASURED
(P)	PLATED
(D)	DEED

LOT 11  
B & F PROPERTIES  
OR 1572, PG 106  
BM 2073, PG 85  
PGS 1274(1)-1284  
ZONING: N1-4-SH

**BUILD-TO CALCULATION (%)**

STREET	BLOCK FACE (LF)	BUILDING FACADE (LF)	REQUIRED %	PROVIDED %
HILLSBOROUGH	90	88'-6"	80	92

**LEGEND**

[Pattern]	PROPOSED ASPHALT
[Pattern]	PROPOSED CONCRETE
[Pattern]	LIMITS OF CONSTRUCTION
[Pattern]	FFE FINISHED FLOOR ELEVATION

**LEGEND**

- LEGEND**
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS.
  - ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, EDGE OF SIDEWALK, FACE OF CURB, CENTER FACE OF COLUMN AND FACE OF BUILDING WALL, UNLESS OTHERWISE NOTED. ALL RADIUS DIMENSIONS TO BACK OF CURB.
  - ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS REQUIRED IN SPECIFICATIONS.
  - ALL STRIPING SHALL BE 4" WIDE UNLESS OTHERWISE NOTED.
  - ALL RADIUS TO BE 3'-0" BOC UNLESS OTHERWISE NOTED.
  - ALL PLANS AND CONSTRUCTION DETAILS MUST MEET THE CURRENT SPECIFICATIONS OF THE CITY OF RALEIGH.
  - VERIFY ALL SETBACKS WITH LOCAL CODES.
  - ALL CURB RAMPS SHALL HAVE A DETECTABLE WARNING COMPLYING WITH SECTIONS 4.7.7 AND 4.29.2 OF THE ADA ACCESSIBILITY GUIDELINES.
  - GENERAL CONTRACTOR TO REFER TO THE MOST CURRENT ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS AND EXIT RAMPS.
  - CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
  - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
  - DETECTABLE WARNINGS ARE REQUIRED AT ANY CROSSWALK, OR ISLAND CUT THRU, WHERE THERE IS NO CHANGE IN ELEVATION (I.E. RAMP NOT PROVIDED).
  - NEW WHITE PAINT DIRECTIONAL ARROWS SHALL BE IN ACCORDANCE WITH LATEST REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL" FOR LOW SPEED URBAN CONDITIONS.
  - PERMANENT AND TEMPORARY SIGNAGE REQUIRES AN APPROVED SIGN PERMIT PRIOR TO INSTALLATION. SIGNAGE IS A SEPARATE SUBMITTAL, REVIEW, AND APPROVAL PROCESS BY THE PLANNING DEPARTMENT.
  - CONTACT BYRON REEVES IN THE ENGINEERING DEPARTMENT AT (910) 433-1301 OR breeves@cityofraleigh.nc.us TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO OBTAINING BUILDING PERMITS FOR THIS PLAN.
  - CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING. 1-800-632-4343
  - ALL ROOF DRAINS SHALL BE DIRECTED TO STORM DRAIN SYSTEM.

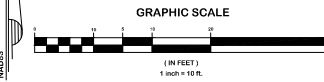
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PREPARED FOR: B & F PROPERTIES, LLC  
2011 PARKWAY DRIVE, SUITE 300  
RALEIGH, NORTH CAROLINA 27601  
DATE: 10/1/2021  
PROJECT NUMBER: 581-21  
DRAWN BY: JACOB BLANKENHORN  
CHECKED BY: JACOB BLANKENHORN  
PROJECT MANAGER: JACOB BLANKENHORN

**2510 HILLSBOROUGH ST. REVITALIZATION**  
RALEIGH, WAKE COUNTY, NORTH CAROLINA  
TIER 3 ADMINISTRATIVE SITE REVIEW PLANS  
SITE LAYOUT PLAN

**SITE DATA TABLE**

SITE ADDRESS:	2510 HILLSBOROUGH STREET RALEIGH, NC 27601
CITY/PLAT:	MOGALLA 2510, LLC
OWNER:	2510 PARKWAY ROAD RALEIGH, NC 27601
DEED/PAGE:	BK 018543, PG 05596
PARCEL:	075-041-001
VACANT ZONING:	NEIGHBORHOOD MIXED USE (N2-750-C)
EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	EATING ESTABLISHMENT, BAR, AND RETAIL SALES
EXISTING LOT AREA:	8,100 SF (0.186 AC)
PROPOSED LOT AREA:	8,100 SF (0.186 AC)
WARRANTY:	WARRANTY ORDER
NEUSE:	NEUSE
ADDITIONAL OVERLAYS:	SPECIAL RESIDENTIAL PARKING OVERLAY DISTRICT
FLOORPLAN DATA:	THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE PER FLOOD INSURANCE RATE MAP 372007400J, DATED MAY 2, 2006.
CONSERVATION:	NONE
RIGHT OF WAY DESIGNATION:	NONE
IMPERVIOUS AREA:	EXISTING LOT GROSS AREA = 8,100 SF (0.186 AC) PRE-DEVELOPED IMPERVIOUS: 8,100 SF (0.186 AC) POST-DEVELOPED IMPERVIOUS AREA: SAME AS ABOVE
REQUIRED:	810 SF (10% OF TOTAL SITE AREA) PROVIDED: 810 SF AT GROUND LEVEL, CONTIGUOUS TO PUBLIC SW (10%)
FRONTAGE TYPE:	SHOPFRONT (S-F)
MAX BUILDING HEIGHT:	3 STORIES
BUILDING STRUCTURE SETBACKS:	PRIMARY STREET (MIN): 0' SIDE STREET (MIN): 0' REAR LOT LINE (MIN): 0' OR 6' SIDE LOT LINE: 0' OR 6'
BUILD-TO:	PRIMARY REQUIRED: MINIMUM: 5'11" (10% WIDTH MIN.) PRIMARY PROVIDED: 98.57% WIDTH
STREETSCAPE:	STREETSCAPE WIDTH (MIN): 30' SIDEWALK (MIN): 6' PLANTING AREA (MIN): 6' WALKWAY TYPE: SIDEWALK PLANTING TYPE: TREE GRATE TREE SPACING: 40'-0" TO 45'-0"
BUILDING FLOOR AREA:	BASE: 2,238 SF GROUND FLOOR LEVEL: 4,238 SF EATING ESTABLISHMENT + 6,301 SF RETAIL: 1,198 SF 2ND FLOOR LEVEL: 7,404 SF BASE: 1,404 SF
BUILDING GROSS FLOOR AREA:	BASE: 2,238 SF GROUND FLOOR LEVEL: 4,238 SF EATING ESTABLISHMENT + 6,301 SF RETAIL: 1,198 SF 2ND FLOOR LEVEL: 7,404 SF
OUTDOOR SEATING:	GROUND FLOOR LEVEL: 30 SEATS 2ND FLOOR OPEN AIR PATIO: 20 SEATS TOTAL OUTDOOR SEATING: 50 SEATS
PARKING:	GROUND FLOOR: EXEMPT PER 7.1.3 & 7.1.3 C.3 BASEMENT & 2ND FLOOR BAR: PER 7.1.3 C.3 1 SPACE PER 500 SF OF NON-RESIDENTIAL GROSS FLOOR AREA 11,640 SF / 500 = 23 SPACES 2ND FLOOR INDOOR SEATING: EXEMPT PER 7.1.3 C.3 2ND FLOOR INDOOR SEATING: 33 SPACES (REMOVED) TOTAL PARKING REQUIRED: 23 SPACES TOTAL PARKING PROVIDED: 33 SPACES (REMOVED) REFER TO SHEET C-2 SATIN LIT LED SIGNAGE: 1 SHORT TERM SPACE PER 50,000 SF OF GROSS FLOOR AREA MINIMUM OF 4 17,043 / 50,000 = 0 (SHORT TERM) 17,043 / 20,000 = 0 (LONG TERM) RETAIL: 1 SHORT TERM SPACE PER 5,000 SF OF GROSS FLOOR AREA. 108 / 5,000 = 0 (SHORT TERM) TOTAL REQUIRED: 8 SHORT TERM, 4 LONG TERM TOTAL PROVIDED: 8 SHORT TERM, 4 LONG TERM



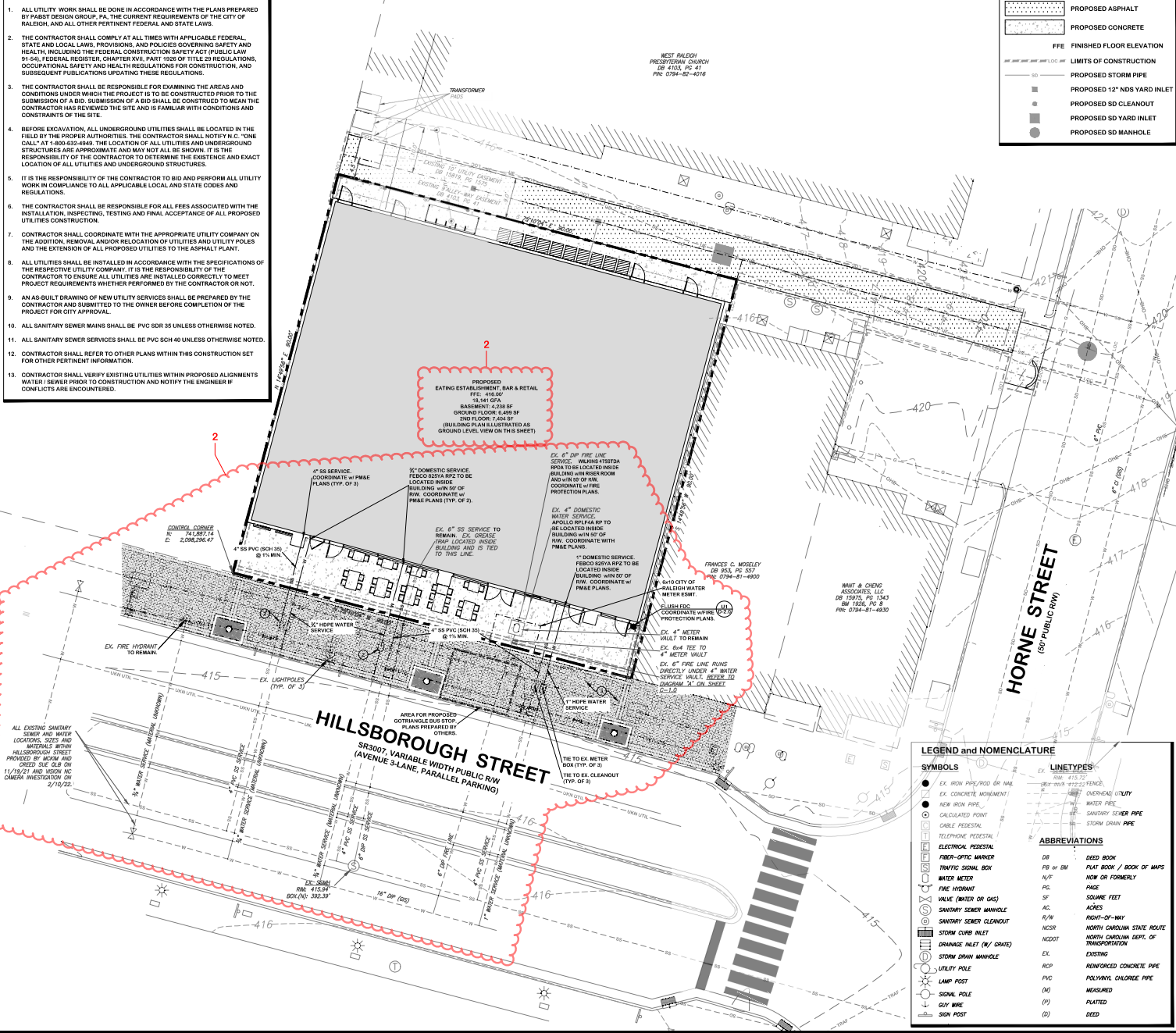
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NOT FOR CONSTRUCTION**

**DRAWING SHEET**  
**C-2.0**  
PROJECT NUMBER  
**581-21**



**GENERAL NOTES:**

1. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PAST DESIGN GROUP, PA, THE CURRENT REQUIREMENTS OF THE CITY OF RALEIGH, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-564, FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSIDERED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY N.C. ONE CALL AT 1-800-82-4848. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTION, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
7. THE CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO THE ASPHALT PLANT.
8. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
9. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER BEFORE COMPLETION OF THE PROJECT FOR CITY APPROVAL.
10. ALL SANITARY SEWER MAINS SHALL BE PVC SDR 35 UNLESS OTHERWISE NOTED.
11. ALL SANITARY SEWER SERVICES SHALL BE PVC SCH 40 UNLESS OTHERWISE NOTED.
12. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
13. CONTRACTOR SHALL VERIFY EXISTING UTILITIES WITHIN PROPOSED ALIGNMENTS WATER / SEWER PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF CONFLICTS ARE ENCOUNTERED.



**LEGEND**

	PROPOSED ASPHALT
	PROPOSED CONCRETE
	FFE
	LIMITS OF CONSTRUCTION
	PROPOSED STORM PIPE

**STANDARD CITY OF RALEIGH UTILITY NOTES:**

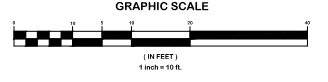
1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION).
2. **UTILITY SEPARATION REQUIREMENTS:**
  - a. A DISTANCE OF 100\"/>
  - b. WHEN INSTALLING WATER & ROR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 12\"/>
  - c. WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, OF MATERIALS OR STEEL ENCASMENT EXTENDED 10\"/>
  - d. 5.0\"/>
  - e. MAINTAIN 18\"/>
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN & RCP PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
5. 3.0\"/>
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
7. INSTALL 1/2\"/>
8. INSTALL 4\"/>
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKFLOW VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDQU, USEAC &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TAPS WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED BOTH INITIAL AND PERIODIC TESTING THEREAFTER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (810) 996-9923 OR JOANIE.HARTLEY@RAL.EIGHING.GOV FOR MORE INFORMATION.

**EXISTING UTILITY NOTES:**

1. EXISTING WATER AND SEWER SERVICES TO REMAIN, CONTRACTOR SHALL FLUSH AND VERIFY CONDITION OF ALL EXISTING SEWER SERVICES BY VIDEO TO OWNER, ENGINEER, AND ARCHITECT PRIOR TO CONNECTING PROPOSED SERVICES TO EXISTING SERVICES.
2. CONTRACTOR SHALL PRESERVE AND STOCKPILE EXISTING BRICKS FROM SIDEWALK ON-SITE TO BE REUSED AFTER SITE & UTILITY WORK IS COMPLETE. POST CONSTRUCTION BRICK PATTERNS SHALL MATCH PRE-CONSTRUCTION PATTERNS.

**LEGEND and NOMENCLATURE**

SYMBOLS	LINETYPES
	<b>ABBREVIATIONS</b>
	DB DEED BOOK
	FB # BM PLAN BOOK / BOOK OF MAPS
	N/P NOW OR FORMERLY
	PG. PAGE
	SF SQUARE FEET
	AC. ACRES
	R/W RIGHT-OF-WAY
	NCSR NORTH CAROLINA STATE ROUTE
	NCDDT NORTH CAROLINA DEPT. OF TRANSPORTATION
	EXISTING
	EL. ELEVATION
	RCP REINFORCED CONCRETE PIPE
	PVC POLYVINYL CHLORIDE PIPE
	(M) MEASURED
	(P) PLATED
	(C) CEDED



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**250 HILLSBOROUGH ST. REVITALIZATION**  
 RALEIGH, WAKE COUNTY, NORTH CAROLINA  
 TIER 3 ADMINISTRATIVE SITE REVIEW PLANS  
 UTILITY PLAN

**250 HILLSBOROUGH ST. REVITALIZATION**  
 RALEIGH, WAKE COUNTY, NORTH CAROLINA  
 TIER 3 ADMINISTRATIVE SITE REVIEW PLANS  
 UTILITY PLAN

**DRAWING SHEET**  
**C-3.0**  
 PROJECT NUMBER  
**581-21**

**LEGEND and NOMENCLATURE**

SYMBOLS	LINETYPES
● EX. IRON PIPE/ROD OR NAIL	— X — X — FENCE
□ EX. CONCRETE MONUMENT	- - - - - DHE OVERHEAD UTILITY
○ NEW IRON PIPE	- - - - - WATER PIPE
○ CALCULATED POINT	- - - - - SANITARY SEWER PIPE
○ CABLE FEDESTAL	- - - - - STORM DRAIN PIPE
○ TELEPHONE FEDESTAL	
○ ELECTRICAL FEDESTAL	
○ FIBER-OPTIC MARKER	
○ TRAFFIC SIGNAL BOX	
○ WATER METER	
○ FIRE HYDRANT	
○ VALVE (WATER OR GAS)	
○ SANITARY SEWER MANHOLE	
○ SANITARY SEWER CLEANOUT	
○ STORM CURB INLET	
○ DRAINAGE INLET (W/ GRATE)	
○ STORM DRAIN MANHOLE	
○ UTILITY POLE	
○ LAMP POST	
○ SIGNAL POLE	
○ GUY WIRE	
○ SIGN POST	

**LEGEND**

[Hatched Box]	PROPOSED CONCRETE
[Dashed Line]	LIMITS OF CONSTRUCTION
[Solid Line]	FFE FINISHED FLOOR ELEVATION

**ABBREVIATIONS**

DB	DEED BOOK
PB or BM	PLAT BOOK / BOOK OF MAPS
N/F	NOW OR FORMERLY
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NCSR	NORTH CAROLINA STATE ROUTE
NCDOT	NORTH CAROLINA DEPT. OF TRANSPORTATION
EX	EXISTING
ROP	REINFORCED CONCRETE PIPE
PVC	POLYVINYL CHLORIDE PIPE
(M)	MEASURED
(P)	PLATED
(D)	DEED

**PLANT SCHEDULE**

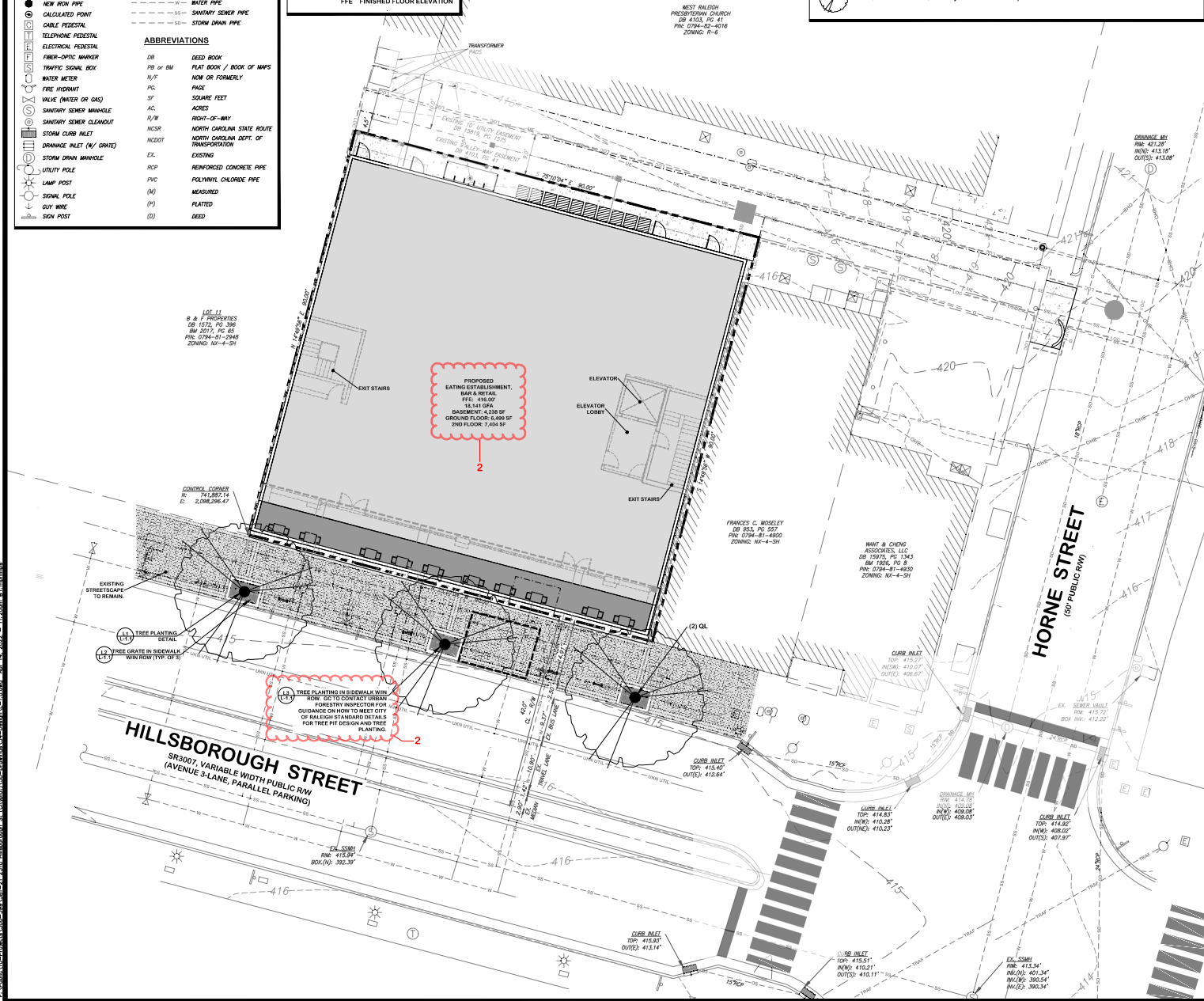
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	CONTAINER
[Tree Symbol]	QL	3	Quercus lyrata	Overcup Oak	3" MIN.	12'-14'	B&B

**GENERAL PLANTING NOTES:**

- ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK.
- PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWINGS SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE DESIGNER.
- CONTRACTOR SHALL HAVE UTILITY COMPANY LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES INCURRED BY HIS/HER WORK.
- METHODS OF TREE STAKING INDICATED ON THE DRAWINGS ARE SUGGESTIONS ONLY. THE LANDSCAPE CONTRACTOR SHALL USE WHATEVER METHOD HE DEEMES FIT. HOWEVER HE WILL BE HELD LIABLE FOR ANY DAMAGES CAUSED TO TREES BY IMPROPER STAKING METHODS (OR ABSENCE OF STAKING) AND IS RESPONSIBLE FOR UPDATING AND REPLANTING TREES WHICH ARE BLOWN OVER.
- ALL PLANTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN AND SHALL BE VIGOROUS, HEALTHY MATERIAL FREE OF PESTS AND DISEASE.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR, AND THE TOTAL QUANTITIES SHALL BE REQUIRED ON THE PLANTING PLAN.
- OWNERS SHALL PLANT MATERIAL IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH THE SAME PLANT MATERIAL ORIGINALLY SPECIFIED ON THIS PLAN.
- PLANT MATERIAL ON THIS SITE MUST BE INSTALLED IN CONFORMANCE WITH THE GENERAL PLANTING NOTES AND DETAILS ON THIS PLAN OR TO THE STANDARDS OF THE CITY OF RALEIGH.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND LICENSES TO PERFORM THE REQUIRED WORK.

**LANDSCAPE REQUIREMENTS:**

- PER UDO SECTION 8.5.9. STREETScape TYPES
- A. MAIN STREET  
 PLANTING TYPE - TREE GRATE  
 TREE SPACING - 40' O.C. AVG  
 REQUIRED: 90' 140' + 2.25 TREES  
 PROVIDED: 3 TREES



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 Phone: 919.844.4499 | Fax: 919.844.2981 | E-MAIL: CONTACT@PASTGROUP.COM

PREPARED FOR: PAST DESIGN GROUP, PA  
 250 HILLSBOROUGH STREET, RALEIGH, NORTH CAROLINA 27603  
 DATE: 10/1/2024  
 PROJECT NUMBER: 250 HILLSBOROUGH ST. REVITALIZATION  
 PROJECT CHAD DESSNER  
 PROJECT JACOB BLANKENHORN

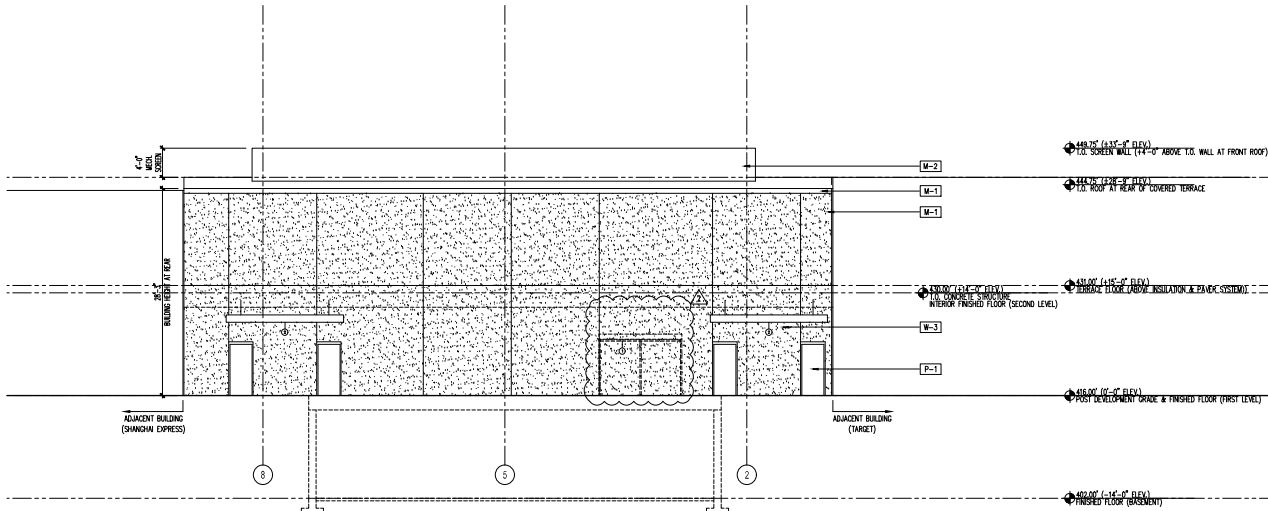
**250 HILLSBOROUGH ST. REVITALIZATION**  
 RALEIGH, WAKE COUNTY, NORTH CAROLINA  
**TIER 3 ADMINISTRATIVE SITE REVIEW PLANS**  
**LANDSCAPE PLAN**

NO.	REVISION	DATE
1	REVISED PER OUR COMMENTS	10/27/24
2	REVISED PER COMMENTS	10/27/24
3	REVISED PER COMMENTS	10/27/24

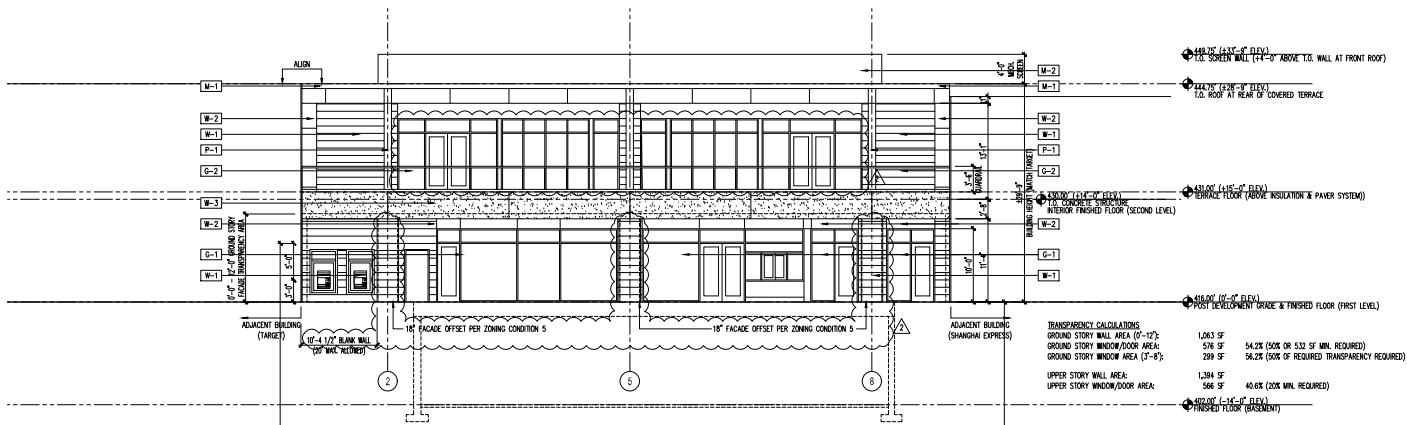
**DRAWING SHEET**  
**L-1.0**  
 PROJECT NUMBER  
**581-21**

**FOR REVIEW ONLY**  
**NOT FOR CONSTRUCTION**

C:\Users\jacob.blankenhorn\AppData\Local\Temp\250\_Hillsborough\_St\_Revitalization\_Tier3\_Administrative\_Site\_Review\_Plans\_Landscape\_Plan.dwg, Apr 14, 2024, 11:09am, 8/10/2024



2 Exterior Elevation  
A201 SCALE: 1/8"=1'-0" North Alley



1 Exterior Elevation  
A201 SCALE: 1/8"=1'-0" South Hillsborough St.

Finish Schedule:

Exterior Materials	
G-1	TYPE: INSULATED SOLARAN 30 GLAZING BY MIRO GLASS MANUFACTURER: HARBOR, A THOMSON BRUNNEN CORPORATION COLOR: BLACK ANODIZED LOCATION: STOREFRONT WINDOWS AND DOORS WEBSITE: <a href="https://www.harbor.com/america/north_america/catalog/16773.html?productId=32611&amp;cat=1">https://www.harbor.com/america/north_america/catalog/16773.html?productId=32611&amp;cat=1</a>
G-2	TYPE: 1/2" CLEAR LAMINATED GLASS GUARDRAIL MANUFACTURER: HERSHATE FABRICATIONS, LLC COLOR: BLACK ANODIZED TOP AND BOTTOM RAILS LOCATION: BALCONY EDGE NOTE: SEE BAL. GUARDRAIL DETAIL WEBSITE: <a href="http://www.hershate.com">http://www.hershate.com</a>
M-1	TYPE: BRASS METAL TRIM AND COPING COLOR: MATH BLACK (10' MAX) (G-1 FRAMES) LOCATION: ROOF EDGE, GUTTER, & DOWNSPOUTS NOTE:
M-2	TYPE: CORRUGATED METAL 7.2 EXPOSED FASTENER WALL PANEL MANUFACTURER: PAC-CLAD / PETERSON, A CARUBE COMPANY COLOR: RED FROM MFR. PREFERRED STANDARD COLORS LOCATION: ROOF EQUIPMENT SCREEN NOTE:
P-1	TYPE: EXTERIOR ENAMEL PAINT COLOR: WHITE BLACK (TO MATCH G-1 FRAMES) LOCATION: EXTERIOR HOLLOW METAL DOORS AND FRAMES NOTE:
W-1	TYPE: FIBER CEMENT PLANK PANELS, 5/8" THICKNESS MANUFACTURER: NICHOL FIBER CEMENT COLOR: VINTAGE WOOD SERIES, CEDAR LOCATION: BUILDING EXTERIOR AS SHOWN WEBSITE: <a href="https://www.nichol.com/product/vintage-wood">https://www.nichol.com/product/vintage-wood</a> NOTE:
W-2	TYPE: HARDWARE VERTICAL SERRA SMOOTH, 48" PANEL WITH MANUFACTURER: FAMES HARDWARE COLLECTION, 400' THICKNESS COLOR: PEARL GRAY LOCATION: PRIME FOR PAINT (MATCH PREFERRED PEARL GRAY FOR 4-2nd FLOOR EXTERIOR WALLS AS SHOWN) WEBSITE: <a href="https://www.johnsondecor.com/products/hardpanel-vertice-2800">https://www.johnsondecor.com/products/hardpanel-vertice-2800</a>
W-3	TYPE: HARDCOAT STUCCO MANUFACTURER: N/A COLOR: N/A LOCATION: FACE OF CONCRETE PODIUM AND ALLEY EXTERIOR WALLS NOTE:

Notes:

- ALL EXTERIOR GLASS TO MEET ENERGY CODE REQUIREMENTS OUTLINED ON SHEET 0000.
- A SEPARATE SIGN SUBMITTAL IS REQUIRED. SUBMIT A SIGN DRAWING INDICATING DIMENSIONS, FABRICATION, COLORS OF MATERIALS, PLACEMENT ON STOREFRONT ELEVATIONS, AND MOUNTING AND SIGNING TECHNIQUES.
- ALL MATERIALS MUST BE SUBMITTED WITH SHOP DRAWINGS TO NEW CITY DESIGN GROUP FOR APPROVAL.



Elevation Keynotes:

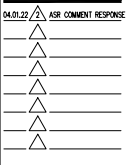
- COVERED BIKE STORAGE, SEE CIVIL
- PRE-FABRICATED METAL CANOPY



12 April 2022

NOT FOR CONSTRUCTION

- PROGRESS PRINT
- HEALTH DEPT. PLAN CHECK
- BUILDING DEPT. PLAN CHECK
- BID SET
- CONSTRUCTION SET
- 04.31.21 ■ SUBMITTAL DOCUMENT



THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR HIS PROJECT ARE SEVERALLY OF THE ARCHITECT'S OWN DESIGN AND SHALL BE HIS OWN WORK. THE ARCHITECT SHALL BE HELD RESPONSIBLE FOR THE ACCURACY OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RIGHTS IN HIS DESIGN, INCLUDING CONCEPTS, INVENTIONS, METHODS, SPECIFICATIONS AND OTHER RIGHTS. THESE DOCUMENTS SHALL NOT BE USED BY THE OWNER OR OTHERS FOR ANY PROJECTS OR FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. THE ARCHITECT SHALL BE HELD RESPONSIBLE FOR THE ACCURACY OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RIGHTS IN HIS DESIGN, INCLUDING CONCEPTS, INVENTIONS, METHODS, SPECIFICATIONS AND OTHER RIGHTS.

2510 Hillsborough St.  
Revitalization  
2510 Hillsborough St.  
Raleigh, NC 27605  
SITE PLAN SUBMITTAL

DESIGNER: --  
DRAWN: --  
CHECKED: --  
SCALE: AS SHOWN  
JOB NUMBER: 7986  
SHEET TITLE

Exterior Elevations  
SHEET NUMBER  
A201