



Administrative Approval Action

Case File / Name: ASR-0087-2021
DSLC - 2510 Hillsborough St. Revitalization

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This .19 acre site zoned NX-7-SH-CU is located on the north side of Hillsborough Street, west of the intersection of Hillsborough and Horne Street at 2510 Hillsborough Street.

REQUEST: This is an 18,141 gross square foot mixed use building (restaurant, bar, and retail establishment).

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 13, 2022 by Pabst Design Group, PA.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Public Utilities

2. The water meters must be proposed in a location acceptable to the City of Raleigh Public Utilities Department.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. The final location for the GOTriangle Bus stop is coordinated with the Transit Division and all accommodations are in place to install the infrastructure for the bus stop.



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2. Revise the plan taking advantage of Text change TC-11-21 (Maximum parking limits). (FYI - TC-11-21 went into effect recently limiting parking to a maximum number as opposed to a minimum requirement.) Should you wish to utilize this recently effective text change please note this on the cover sheet and remove sheet C-2.2.
3. Comply with all conditions of Z-2-14

Engineering

4. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Public Utilities

5. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry

6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes (3) street trees along Hillsborough St.
7. A public infrastructure surety for (3) tree pit street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

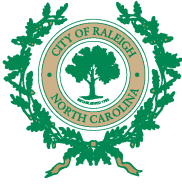
EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: September 22, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



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I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 05/26/2022
Development Services Director/Designee
Staff Coordinator: Michael Walters

TIER 3 SITE PLAN REVIEW FOR:
2510 HILLSBOROUGH STREET
REVITALIZATION
RALEIGH, NORTH CAROLINA

Administrative Site Review Application
Planning and Development Customer Service Center • One Exchange Place, Suite 400 | Raleigh, NC 27601 | 919-999-2900

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case # _____ Planner (print): _____

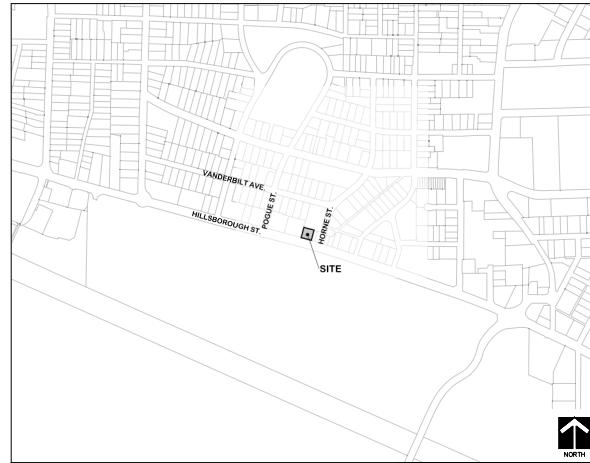
Please review UDO Section 10.2.8 as amended by text change case **TC-14-19** to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: Tier Two Site Plan ☐ Tier Three Site Plan ☒

Building Type: ☐ Detached ☐ Attached ☐ Apartment ☐ Townhouse ☒ General ☒ Mixed use ☐ Open lot ☐ Civic ☐ Subdivision case # _____ Scoping/sketch plan case # _____ Certificate of Appropriateness # _____ Board of Adjustment # _____ Zoning Case # _____ Administrative Alternate # _____

GENERAL INFORMATION
Development name: 2510 Hillsborough St. Revitalization
Inside City limits? Yes ☒ No ☐
Property address(es): 2510 Hillsborough St. Raleigh, NC 27607
Site P.I.N.(s): 0794-01-3951
Please describe the scope of work. Include any additions, expansions, and change of use. Construction of a two story building with eating establishment, bar and retail uses. Site improvements include construction of access lane, streetscape elements, landscaping and utilities.
Current Property Owner/Developer/Contact Name: Cityplat Modalia 2510, LLC (Vincent Nicolson) (Registered Agent)
NOTE: please attach purchase agreement when submitting this form.
Company: Cityplat Modalia 2510, LLC Title: Vincent Nicolson, Registered Agent
Address: 2021 Fairview Road, Raleigh, NC 27608
Phone #: 919-548-5916 Email: pat@cityplat.com
Applicant Name: Mark Phillips
Company: Pabst Design Group, PA Address: 107 Fayetteville Street, Ste. 200 Raleigh, NC 27601
Phone #: 919-848-4399 Email: mphilips@pabstdesign.com

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VICINITY MAP
1"=500'

DEVELOPMENT TYPE + SITE DATA TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the average of each): Neighborhood Mixed Use (NX-7.5H-CU)	Existing gross floor area to be demolished: NA New gross floor area: 18,141 GFA Total of gross (to remain and new): 18,141 GFA
Gross site acreage: 0.186 AC	Proposed # of buildings: 1
# of parking spaces required: 23	Proposed # of stories for each: 2
# of parking spaces proposed: 23 (Rounded)	
Overlay District (if applicable): (Special Residential Parking Overlay District)	
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Eating establishment, bar, retail sales	

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.00	Proposed Impervious Surface: Acres: NA
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Flood study: FEMA Map Panel #: 19004 Flood zone: V-1	
Wetlands: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: NA	Total # of hotel units: NA
# of bedroom units: 1br 2br 3br 4br or more	
# of lots: 1 Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	

SIGNATURE BLOCK
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.
I, Mark Phillips, PLA, will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and administrative policy, which states applications will expire after 180 days of inactivity.
Signature: Mark Phillips Date: 4/12/2022
Printed Name: Mark S. Phillips

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**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

- STREETSCAPE ELEMENTS**
- MAINTAINED BY THE CITY:**
- TREE TREES
 - TREE GRATES
 - CURB AND CUTTER
 - STREET PAVING
 - CROSSWALK STRIPING AND SIGNALS
 - BUS STOPS
 - ON-STREET PARKING STRIPING
 - PARKING METERS
 - TRASH RECEPTACLE
- MAINTAINED BY THE LANDOWNER:**
- SIDEWALKS
 - BUILDING IMPROVEMENTS
 - AWNINGS
 - BENCHES
 - BUSINESS SIGNS
 - LIGHTING

- INDEX TO PLANS**
- C-0.0 COVER SHEET
 - C-1.0 EXISTING CONDITIONS & DEMOLITION PLAN
 - C-2.0 SITE LAYOUT PLAN
 - C-2.1 GROUND FLOOR STREETSCAPE PLAN
 - C-2.2 REMOTE PARKING PLAN
 - C-3.0 UTILITY PLAN
 - C-4.0 GRADING AND DRAINAGE PLAN
 - D-1.0 SITE DETAIL SHEET
 - D-2.0 UTILITY DETAIL SHEET
 - D-3.0 STORM DRAINAGE DETAIL SHEET
 - L-1.0 LANDSCAPE PLAN
 - L-1.1 BASEMENT FLOOR PLAN
 - A110 GROUND FLOOR PLAN
 - A112 SECOND FLOOR PLAN
 - A201 EXTERIOR ELEVATIONS

DEVELOPER:
CITYPLAT MODALIA 2510, LLC
2021 FAIRVIEW RD
RALEIGH, NC 27615
TEL: 724.549.5916
EMAIL: pat@cityplat.com

SURVEYOR:
NEWCOMB LAND SURVEYORS, LLC
7008 HARPS MILL RD, STE. 105
RALEIGH, NC 27615
TEL: 919.847.1800
EMAIL: justin@nls-nc.com

CIVIL ENGINEER:
PABST DESIGN GROUP, PA
107 FAYETTEVILLE ST, STE. 200
RALEIGH, NC 27601
TEL: 919.848.4399
EMAIL: dpabst@pabstdesign.com

ARCHITECT:
NEW CITY DESIGN GROUP
1304 HILLSBOROUGH ST
RALEIGH, NC 27601
TEL: 919.831.1308
EMAIL: jeff@newcitydesign.com

- LIMITED USE STANDARDS PER UDO 6.4.10 B:**
- NO LIVE PERFORMANCES
 - NO DANCE FLOOR
 - OUTDOOR SEATING IN EXCESS OF 20 SEATS SHALL REQUIRE THE ISSUANCE OF A SPECIAL USE PERMIT IN ACCORDANCE WITH SEC. 10.2.9. IN ADDITION TO THE SHOWINGS REQUIRED BY SEC. 10.2.8.1, THROUGH 1.1, THE FOLLOWING STANDARDS MUST BE MET:
a) THE OUTDOOR SEATING AREA SHALL BE A MINIMUM DISTANCE OF 100 FEET FROM ANY PRINCIPAL OR ACCESSORY DWELLING UNIT IN A RESIDENTIAL DISTRICT, HOWEVER PROVIDED.
b) THE MINIMUM DISTANCE MAY BE REDUCED TO 40 FEET PROVIDED:
1) A TYPE B1 TRANSITIONAL PROTECTIVE YARD IS ESTABLISHED ALONG ANY SHARED PROPERTY LINE LOCATED BETWEEN THE OUTDOOR SEATING AREA AND ANY APPLICABLE PRINCIPAL, OR ACCESSORY, DWELLING UNIT; AND
2) A TYPE C1 OR C2 STREET PROTECTIVE YARD IS ESTABLISHED ALONG ANY PROPERTY LINE ABUTTING A RIGHT-OF-WAY LOCATED BETWEEN THE OUTDOOR SEATING AREA AND ANY APPLICABLE PRINCIPAL, OR ACCESSORY, DWELLING UNIT.
3) NOTHING IN THIS SUBSECTION SHALL BE CONSTRUED TO REQUIRE SCREENING OR LANDSCAPING ALONG A PROPERTY LINE OR RIGHT-OF-WAY LINE WHEN THE OUTDOOR SEATING AREA IS SCREENED WHOLLY AND ADEQUATELY BY A NON-RESIDENTIAL PRINCIPAL STRUCTURE, EITHER ON SITE OR OFF-SITE.
4) NO OUTDOOR SEATING SHALL OCCUPY ANY AREA WITHOUT PRIOR APPROVAL OF THE CONVERSION TO SEATING BY THE CITY.
- COMPLIANCE WITH LIMITED USE STANDARDS:**
- LIVE PERFORMANCES WILL NOT BE HELD.
 - A DANCE FLOOR HAS NOT BEEN PROPOSED.
 - MAXIMUM OF 20 SEAT SEATS PROPOSED ON 2ND LEVEL AND IS SCREENED BY PRINCIPAL STRUCTURE ON SITE FROM ADJACENT DWELLING UNITS.
 - OUTDOOR SEATING TO BE APPROVED AS PART OF THIS APPLICATION.
- EXEMPTION NOTES:**
- SITE IS EXEMPT FROM RIGHT-OF-WAY DEDICATION PER UDO SECTION 6.4.1.5.
 - SITE IS EXEMPT FROM STORM WATER MANAGEMENT CONTROLS PER UDO SECTION 9.2.2.4.3.B.

SITE DATA TABLE	
SITE ADDRESS:	2510 HILLSBOROUGH STREET RALEIGH, NC 27607
OWNERS:	CITYPLAT MODALIA 2510, LLC RALEIGH, NC 27608
DEEDPAGE:	BK 01854S, PG 00506
PARCELS:	0794-01-3951
EXISTING ZONING:	NEIGHBORHOOD MIXED USE (NX-7.5H-CU)
EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	EATING ESTABLISHMENT, BAR, AND RETAIL SALES
EXISTING LOT AREA:	8,100 SF (0.186 AC)
PROPOSED LOT AREA:	8,100 SF (0.186 AC)
WATERSHED:	WALNUT CREEK
RIVERBASIN:	NEUSE
ADDITIONAL OVERLAY(S):	SPECIAL RESIDENTIAL PARKING OVERLAY DISTRICT (SRPOD)
FLOODPLAIN DATA:	THE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE PER FLOOD INSURANCE RATE MAP 377001400J, DATED MAY 2, 2006.
TREE CONSERVATION:	NONE
RIGHT-OF-WAY DEDICATION:	NONE
IMPERVIOUS AREA:	EXISTING LOT GROSS AREA: 8,100 SF (0.186 AC) 8,100 SF (0.186 AC) POST-DEVELOPED IMPERVIOUS AREA: SAME AS ABOVE
OUTDOOR AMENITY AREA:	REQUIRED: 810 SF (10% OF TOTAL SITE AREA) PROVIDED: 810 SF AT GROUND LEVEL, CONTIGUOUS TO PUBLIC SW (10%)
FRONTAGE TYPE:	SHOPFRONT (5-S)
MAX. BUILDING HEIGHT:	7 STORIES
BUILDING STRUCTURE SETBACKS:	PRIMARY STREET (MIN): 0' SIDE STREET (MIN): 0' REAR LOT LINE (MIN): 0' OR 6' SIDE LOT LINE: 0' OR 6'
BUILD-TO:	PRIMARY REQUIRED: (MIN/MAX) 0'11" (80% MINIMUM) 11'6" (80% MAXIMUM) PRIMARY PROVIDED: 10'8" NORTH
STREETSCAPE:	STREETSCAPE WIDTH (MAX): 35' SIDEWALK (MIN): 6' PLANTING AREA (MIN): 6' WALKWAY TYPE: SIDEWALK PLANTING TYPE: TREE GATE TREE SPACING: 40' C.C. AVG.
BUILDING FLOOR AREA:	BASEMENT LEVEL: BAR = 4,208 SF GROUND FLOOR LEVEL: EATING ESTABLISHMENT = 6,301 SF RETAIL = 198 SF 2ND FLOOR LEVEL: BAR = 1,424 SF
OUTDOOR SEATING:	BUILDING GROSS FLOOR AREA = 18,141 SF GROUND FLOOR LEVEL (EATING ESTABLISHMENT) - 50 SEATS 2ND FLOOR OPEN AIR PATIO (BAR) - 20 SEATS
PARKING:	GROUND FLOOR: EXEMPT PER 7.1.3 C.4 BASEMENT & 2ND FLOOR BAR: PER 7.1.3 C.5 1 SPACE PER 500 SF OF NONRESIDENTIAL GROSS FLOOR AREA 1,642 SF / 500 = 3.28 SPACES 2ND FLOOR UNCOVERED OUTDOOR SEATING AREA: EXEMPT PER 7.1.3 C.8 8231.7 SQ. GFA OF RESTAURANT/BAR USES ON ALL LEVELS = 2.91% TOTAL PARKING REQUIRED: 23 SPACES TOTAL PARKING PROVIDED: 23 SPACES (REMOTE) REFER TO SHEET C-2.2
REQUIRED BICYCLE PARKING:	EATING ESTABLISHMENT: 1 SHORT TERM SPACE PER 50,000 SF OF GROSS FLOOR AREA AND 1 LONG TERM SPACE PER 25,000 SF OF GROSS FLOOR AREA, MINIMUM OF 4 1,642 SF / 50,000 = 0.03 (SHORT TERM) 1,642 SF / 25,000 = 0.07 (LONG TERM) RETAIL: 1 SHORT TERM SPACE PER 5,000 SF OF GROSS FLOOR AREA, MINIMUM OF 4 198 SF / 5,000 = 0.04 (SHORT TERM) TOTAL REQUIRED: 1 SHORT TERM, 4 LONG TERM TOTAL PROVIDED: 1 SHORT TERM, 4 LONG TERM

- CONDITIONS OF 2.2-14:**
- THE FOLLOWING USES SHALL BE PROHIBITED: TELECOMMUNICATION TOWER - ALL TYPES; DETENTION CENTER, JAIL, PRISON, TATTOO PARLOR, BODY PIERCING, EMERGENCY SHELTER, OUTDOOR SPORTS AND ENTERTAINMENT FACILITY - ALL TYPES, VEHICLE REPAIR (MINOR).
 - THE MAXIMUM BUILDING HEIGHT OF ANY BUILDING ON THE PROPERTY SHALL BE 7 STORIES/75 FEET IN HEIGHT, AS MEASURED BY UDO SECTION 1.5.7.
 - THERE SHALL BE NO BALCONIES THAT ARE ASSOCIATED WITH INDIVIDUAL DWELLING UNITS. CONSTRUCTED ON THE NORTHERN BUILDING FACADE FACING THAT ADJACENT TRACT OF LAND DESCRIBED AS "FIRST TRACT" IN THAT CERTAIN DEED RECORDED IN BOOK 4193, PAGE 46, WAKE COUNTY REGISTRY.
 - ALL POLE MOUNTED LIGHTING LOCATED BETWEEN THE PRINCIPAL BUILDING AND THE NORTHERN PROPERTY LINE SHALL BE OF FULL CUT-OFF DESIGN, AND ALL LIGHT FIXTURES MOUNTED ON THE EXTERIOR OF THE NORTH FACADE OF THE PRINCIPAL BUILDING SHALL BE OF FULL CUT-OFF DESIGN. THE ENTIRETY OF THE REQUIRED 10% OUTDOOR AMENITY AREA SHALL BE LOCATED CONTIGUOUS TO THE PUBLIC SIDEWALK.
 - THE BUILDING FACADE FACING HILLSBOROUGH STREET SHALL PROVIDE A BUILDING FOOTPRINT VARIATION (RECESS OR PROTRUSION) OF AT LEAST EIGHTEEN INCHES (18") IN DEPTH AT LEAST TWICE ALONG THE THAT FACADE. ALSO, THE BUILDING FACADE FACING HILLSBOROUGH STREET SHALL INCORPORATE AT LEAST TWO CHANGES IN BUILDING MATERIALS AND AT LEAST ONE CANOPY.
 - AN AREA MEASURING AT LEAST 750 SQUARE FEET IN FLOOR AREA SHALL BE PROVIDED ON THE GROUND LEVEL OF THE BUILDING FOR NON-RESIDENTIAL USE, AND THIS AREA SHALL BE DIRECTLY ACCESSIBLE BY A DOOR LOCATED ON THE NORTH SIDE OF THE BUILDING FACING THAT ADJACENT TRACT OF LAND DESCRIBED AS "FIRST TRACT" IN THAT CERTAIN DEED RECORDED IN BOOK 4193 PAGE 41, WAKE COUNTY REGISTRY.
- COMPLIANCE WITH CONDITIONS OF 2.2-14:**
- PER THIS ADMINISTRATIVE SITE REVIEW APPLICATION, THE PROPOSED USES OF THE PROPERTY ARE EATING ESTABLISHMENT, BAR AND RETAIL SALES WHICH ARE NOT LISTED AS PROHIBITED USES WITHIN THE FIRST CONDITION OF 2.2-14.
 - PER ARCHITECTURAL ELEVATIONS AND FLOOR PLANS, ALL LIGHT FIXTURES MOUNTED ON THE EXTERIOR OF THE NORTH FACADE OF THE PRINCIPAL BUILDING ARE FULL CUT-OFF DESIGN. THERE ARE NO POLE MOUNTED LIGHTS PROPOSED WITH THIS APPLICATION. THE 10% OUTDOOR AMENITY AREA IS LOCATED AT GROUND LEVEL ALONG THE HILLSBOROUGH STREET FACADE CONTIGUOUS TO THE PUBLIC SIDEWALK.
 - GROUND FLOOR FACADE IS RECESSED OVER 7" FROM THE OVERHANGING 2ND FLOOR BALCONY AND CREATES A CANOPY. THE LENGTH OF THE BUILDING WITHOUT CREATING AN ENCROACHMENT OVER THE FRONT PROPERTY LINE. TWO 1' OFFSETS ARE PROVIDED ALONG THE GROUND FLOOR FACADE WITH DEEPER RECESSES AT THE 2ND FLOOR. FACADE INCLUDES BUILDING MATERIALS. SEE W-1, W-2, AND W-3 ON SHEET A201.
 - A 700 SQUARE FOOT FLOOR AREA IS PROVIDED ON THE GROUND LEVEL OF THE BUILDING FOR NON-RESIDENTIAL USE, AND THIS AREA IS DIRECTLY ACCESSIBLE BY A DOOR LOCATED ON THE NORTH SIDE OF THE BUILDING FACING THAT ADJACENT TRACT OF LAND.

PABST DESIGN GROUP, PA
Engineering | Consulting
107 Fayetteville Street, Suite 200, Raleigh, North Carolina 27601
Phone: 919.848.4399 | Fax: 919.848.4391 | E-MAIL: C-0.01



2510 HILLSBOROUGH ST. REVITALIZATION
RALEIGH, WAKE COUNTY, NORTH CAROLINA
TIER 3 ADMINISTRATIVE SITE REVIEW PLANS
COVER SHEET

DATE: 4/12/2022
REVISION: 1
NO.: 1
REVIEWED BY: PER CITY PLANNING DEPARTMENT
DATE: 4/12/2022

DRAWING SHEET
C-0.0
PROJECT NUMBER
581-21

LOT 11
B & F PROPERTIES
DB 1572, PG 396
BM 2017, PG 65
PINE 0794-81-2948
ZONING: MX-4-SH

LEGEND

	PROPOSED ASPHALT
	PROPOSED CONCRETE
---	LIMITS OF CONSTRUCTION
FFE	FINISHED FLOOR ELEVATION

- ## LAYOUT NOTES:
1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND MCDOT STANDARDS AND SPECIFICATIONS.
 2. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT/ EDGE OF SIDEWALK, FACE OF CURB, CENTERLINE OF COLUMN AND FACE OF BUILDING WALL, UNLESS OTHERWISE NOTED. ALSO RADIUS DIMENSIONS TO BACK OF CURB.
 3. ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS REQUIRED IN SPECIFICATIONS.
 4. ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE.
 5. ALL RADI TO BE 3" OR 6" UNLESS OTHERWISE NOTED.
 6. ALL PLANS AND CONSTRUCTION DETAILS MUST MEET THE CURRENT SPECIFICATIONS OF THE CITY OF RALEIGH.
 7. VERIFY ALL SETBACKS WITH LOCAL CODES.
 8. ALL CURB RAMPS SHALL HAVE A DETECTABLE WARNING COMPLYING WITH SECTIONS 4.7.7 AND 4.29.2 OF THE ADA ACCESSIBILITY GUIDELINES.
 9. GENERAL CONTRACTOR TO REFER TO THE MOST CURRENT ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEAKS, EXIT DOORS AND EXIT RAMPS.
 10. CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON CONSTRUCTION PLANS.
 11. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
 12. DETECTABLE WARNING IS REQUIRED AT ANY CROSSWALK, OR ISLAND CUT THRU, WHERE THERE IS NOT CHANGE IN ELEVATION (I.E. RAMP NOT PROVIDED).
 13. NEW WHITE PAINT DIRECTIONAL ARROWS SHALL BE IN ACCORDANCE WITH LATEST REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL" FOR LOW SPEED ROAD CONDITIONS.
 14. PERMANENT AND TEMPORARY SIGNAGE REQUIRES AN APPROVED SIGN PERMIT PRIOR TO INSTALLATION. SIGNAGE IS A SEPARATE SUBMITTAL REVIEW, AND APPROVAL PROCESS BY THE PLANNING DEPARTMENT.
 15. CONTACT BYRON REEVES IN THE ENGINEERING DEPARTMENT AT (919) 436-3333 FOR REQUEST TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO OBTAINING BUILDING PERMITS FOR THIS PLAN.
 16. CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGINGS. 1-800-632-4949.
 17. ALL CURB DRAINS SHALL BE DIRECTED TO STORM DRAIN SYSTEM.

SITE DATA TABLE	
SITE ADDRESS:	2511 HILBROUGH STREET RALEIGH, NC 27607
OWNERS:	CITY OF RALEIGH, 2511, LLC 201 FANNIN ROAD RALEIGH, NC 27608
DEED/DATE:	8K 01846, PP 05066
PARCEL:	VACANT
EXISTING ZONING:	NEIGHBORHOOD MIXED USE (NB 75K-00C)
EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	EATING/ENTERTAINMENT, BAR, AND RETAIL SALES
EXISTING LOT AREA:	8,100 SF (0.18 AC)
PROPOSED LOT AREA:	8,100 SF (0.18 AC)
WATERED:	WALNUT CREEK
WETLANDS:	NE/SE
ADDITIONAL OVERLAYS:	SUBJECT RESIDENTIAL PARKING OVERLAY DISTRICT (SRPDC)
FLOODPLAIN DATA:	PROPERTY NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE PER FLOOD INSURANCE RATE MAP 370707-0000, DATED MAY 2, 2005.
THREE CONSERVATION RIGHT OF WAY DEDICATION:	NONE
INFERRUS AREA:	NONE
EXISTING LOT GROSS AREA:	8,100 SF (0.18 AC)
PER DEVELOPER INTERVIEW:	4,100 SF (0.09 AC)
PORT DEVELOPED INTERVIEW AREA:	PORT DEVELOPED INTERVIEW AREA: SAME AS ABOVE
ADDITIONAL AREA:	REQUIRED: 810 SF (0.018 AC) TOTAL SITE AREA REQUIRED: 810 SF (0.018 AC) CONTIGUOUS TO PUBLIC WWS (10%) SHOULDER (30%)
FRONTAGE TYPE:	7 STORES
MAX BUILDING HEIGHT:	STREET STREET (MIN): 6'
STRUCTURE SETBACKS:	REAR LOT LINE (MIN): 6' OR SIDE LOT LINE: 0' OR 6'
BUILD TO:	STREET STREET (MINIMUM): 9'11" (0.017 AC) WIDTH MAX
STREETCASE:	PRIMARY FRONTAGE: 18.5' W/TH STREETCASE WIDTH (MAX): 30' SECONDARY FRONTAGE: 18.5' W/TH PLANTING AREA (MIN): 6' SIGNAGE TYPE: SIDEWALK PLANTING TYPE: TREE GRASS THE STREET: 40' - 6' x 4' x 4'
BUILDING FLOOR AREA:	BASEMENT LEVEL: BAU + 238 SF GROUND FLOOR LEVEL: EATING/ENTERTAINMENT = 8,501 SF REAR = 108 SF 2ND FLOOR LEVEL: BAU = 1,454 SF
OUTDOOR SEATING:	BUILDING GROUND FLOOR AREA = 18,144 SF GROUND FLOOR LEVEL (EATING/ENTERTAINMENT): 30 SEATS GROUND FLOOR OPEN PATIO (BAR): 20 SEATS
PARKING:	GROUND FLOOR: TOTAL PARKING PROVIDED: 20 SEATS EXEMPT PER 7.3.3 C.4 BASEMENT & 2ND FLOOR BAR: PER 7.3.3 C.3 1 SPACE PER 1,000 SF OF NONRESIDENTIAL, 2 SPACE PER 1,000 SF OF 1,642 SF (100 + 24) SPACES 2ND FLOOR UNOCCUPIED OUTDOOR SEATING AREA: EXEMPT PER 7.3.3 C.8 5,017 SF (300 + 6) OF RESTAURANT/RETAIL USES (ON ALL LEVELS) = 219 SF TOTAL PARKING REQUIRED: 25 SPACES TOTAL PARKING PROVIDED: 25 SPACES (REQUIREMENTS MET) REAR TO BE REQUIRED: 2 SPACES EATING/ENTERTAINMENT: 1 SHORT TERM SPACE PER 1,000 SF OF GROUND FLOOR AREA, 1 LONG TERM SPACE PER 1,000 SF OF GROUND FLOOR AREA, MINIMUM OF 4 17,443 SF (100 + 6) SHORT TERM 17,443 SF (100 + 6) LONG TERM RETAIL: 1 SHORT TERM SPACE PER 1,000 SF OF GROUND FLOOR AREA, MINIMUM OF 4 98 SF (5,000 + 1) SHORT TERM TOTAL REQUIRED: 8 SHORT TERM, 4 LONG TERM TOTAL PROVIDED: 8 SHORT TERM, 4 LONG TERM

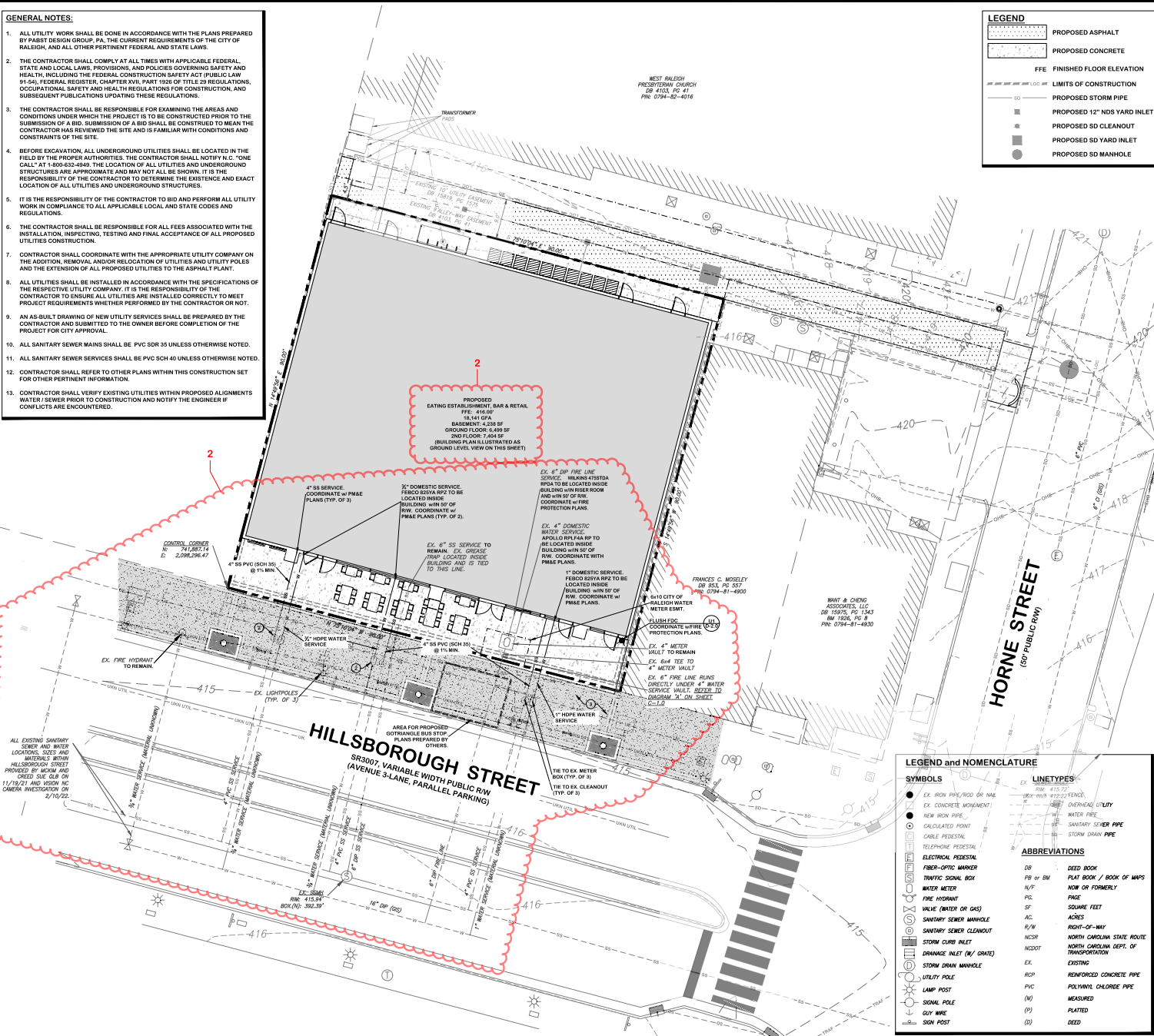
 P&D DESIGN GROUP, PA Engineering / Consulting 107 Appleton Street, Suite 200, Raleigh, North Carolina 27601 Phone: 919 844 4381 / Fax: 919 844 4382 / E-MAIL: LUCAS@P&DGROUP.COM	
250 HILLSBOROUGH ST. REVITALIZATION RALEIGH, WAKE COUNTY, NORTH CAROLINA	
TIER 3 ADMINISTRATIVE SITE REVIEW PLANS SITE LAYOUT PLAN	
DRAWING SHEET C-2.0	
PROJECT NUMBER: 581-21	

PREPARED FOR : 2017 HANOVER PARK RALEIGH, NORTH CAROLINA 27608	PROJECT NUMBER: 581-21	PROJECT CADD DEGRADE: 2017	PROJECT SURVIVOR: 2017
DATE : 10.10.2017			

NO.	REVISION	DATE	DESCRIPTION
1	REVISED PER CDR COMMENTS	12/22/2017	
2	REVISED PER CDR COMMENTS	4/18/22	

**FOR REVIEW ONLY
NOT FOR CONSTRUCTION**

1. ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY PREPARED BY PABST DESIGN GROUP, P.A. THE CURRENT REQUIREMENTS OF THE PLANS AND THE CITY OF CHICAGO.
2. THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 94-209), THE OSHA SAFETY AND HEALTH REGULATIONS, THE CITY OF CHICAGO LAWS, ORDINANCES, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBORDINATE ORDINANCES UPDATING THESE REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS VIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
4. BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR SHALL NOTIFY P.C. "ONE CALL" AT 1-800-632-4948. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A THOROUGH INVESTIGATION AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITY INSTALLATION/CONSTRUCTION.
7. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANY ON THE LOCATION, REDUCTION OF CONFLICTS OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO THE ASPHALT PLANT.
8. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE CITY OF CHICAGO. THE CONTRACTOR SHALL BE RESPONSIBLE TO MEET THE CONTRACT TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
9. AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER BEFORE COMPLETION OF THE AS-BUILT PROJECT FOR CITY APPROVAL.
10. ALL SANITARY SEWER MAINS SHALL BE PVC 30 S3N 40 LESS OTHERWISE NOTED.
11. ALL SANITARY SEWER SERVICES SHALL BE PVC 30 UNLESS OTHERWISE NOTED.
12. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
13. CONTRACTOR SHALL VERIFY EXISTING UTILITIES WITHIN PROPOSED ALIGNMENTS WATER / SEWER PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS OR ENCROACHMENTS ARE DETECTED.

[illegible]

2. EXISTING WATER AND SEWER SERVICES TO REMAIN. CONTRACTOR SHALL FLUSH AND VERIFY CONDITION OF ALL EXISTING SEWER SERVICES BY VIDEO TO OWNER, ENGINEER, AND ARCHITECT PRIOR TO CONNECTING PROPOSED SERVICES TO EXISTING SERVICES.

3. CONTRACTOR SHALL PRESERVE AND STOCKPILE EXISTING BRICKS FROM SIDEWALK ON-SITE TO BE REUSED AFTER SITE & UTILITY WORK IS COMPLETE. POST CONSTRUCTION BRICK PATTERNS SHALL MATCH PRE-CONSTRUCTION PATTERNS.

LEGEND AND NOMENCLATURE

SYMBOLS

- EX. IRON PIPE/PIPE OR RAIL
- EX. CONCRETE MOVEMENT
- EX. WATER MAIN
- CALCULATED POINT
- CABLE PEDestal
- TELEPHONE PEDestal
- ELECTRICAL PEDestal
- FIBER-OPTIC MARKER
- SANITARY BOX
- WATER METER
- FIRE HYDRANT
- VALVE (WATER OR GAS)
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- STORM CURB INLET
- STORM DRAIN (MANHOLE)
- STORM DRAIN (VAULT)
- UTILITY POLE
- LAMP POST
- SIGNAL POLE
- GUY WIRE
- SIGN POST

LINETYPES

EX. 100' 4" 12" FENCE

OVERHEAD UTILITY

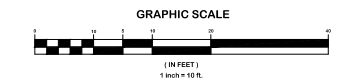
WATER PIPE

SANITARY SEWER PIPE

STORM DRAIN PIPE

ABBREVIATIONS

DB	DEE BOOK
FR or RM	FRONT BOOK / BOOK OF MAP
N/P	NOT OR FORMERLY
PL	PLAGE
SC	SQUARE
AF	ACROSS FEET
R/W	RIGHT-OF-WAY
NCST	NORTH CAROLINA STATE RD.
NCST	NORTH CAROLINA DEPT. OF TRANSPORTATION
EX	EXISTING
RCP	REINFORCED CONCRETE PIPE
PVC	POLYVINYL CHLORIDE PIPE
M	MEASURED
(D)	DEEDED



FOR REVIEW ONLY
NOT FOR CONSTRUCTION

LEGEND and NOMENCLATURE

SYMBOLS

- EX. IRON PIPE/POD OR NAIL
- EX. CONCRETE MONUMENT
- NEW IRON PIPE
- CALCULATED POINT
- CABLE FEDESTAL
- TELEPHONE FEDESTAL
- ELECTRICAL FEDESTAL
- FIBER-OPTIC MARKER
- TRAFFIC SIGNAL BOX
- WATER METER
- FIRE HYDRANT
- VALVE (W/OUT OR G.O.)
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- STORM CURB INLET
- DRAINAGE INLET (N/ GRATE)
- STORM DRAIN MANHOLE
- UTILITY POLE
- LAMP POST
- SIGNAL POLE
- GUY WIRE
- SIGN POST

LINETYPES

- FENCE
- OVERHEAD UTILITY
- WATER PIPE
- SANITARY SEWER PIPE
- STORM DRAIN PIPE

ABBREVIATIONS

- DB DEED BOOK
- PB or BM PLAT BOOK / BOOK OF MAPS
- N/F NOW ON FORMERLY
- PLG PLAGE
- SF SQUARE FEET
- AC ACRES
- R/W RIGHT-OF-WAY
- NCSR NORTH CAROLINA STATE ROUTE
- NCDOT NORTH CAROLINA DEPT. OF TRANSPORTATION
- EX EXISTING
- RCR REINFORCED CONCRETE PIPE
- PVC POLYVINYL CHLORIDE PIPE
- (M) MEASURED
- (P) PLATED
- DEED

LEGEND

- PROPOSED CONCRETE
- LIMITS OF CONSTRUCTION
- FFE FINISHED FLOOR ELEVATION

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	CONTAINER
	QL	3	Quercus lyrata	Overcup Oak	3" MIN.	12'-14'	B&B

- GENERAL PLANTING NOTES:
1. ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK".
 2. PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWINGS SHALL TAKE PRECEDENCE.
 3. NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE DESIGNER.
 4. CONTRACTOR SHALL HAVE UTILITY COMPANY LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES INCURRED BY HIS/HER WORK.
 5. METHODS OF TREE STAKING INDICATED ON THE DRAWINGS ARE SUGGESTIONS ONLY. THE LANDSCAPE CONTRACTOR SHALL USE WHATEVER METHOD HE DEEMS FIT. HOWEVER HE WILL BE HELD LIABLE FOR ANY DAMAGES CAUSED TO TREES BY IMPROPER STAKING METHODS (OR ABSENCE OF STAKING) AND IS RESPONSIBLE FOR UPRIGHTING AND REPLANTING TREES WHICH ARE BLOWN OVER.
 6. ALL PLANTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN AND SHALL BE VIGOROUS, HEALTHY MATERIAL FREE OF PESTS AND DISEASE.
 7. VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR, AND THE TOTAL QUANTITIES SHALL BE REQUIRED ON THE PLANTING PLAN.
 8. OWNERS SHALL PLANT MATERIAL IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH THE SAME PLANT MATERIAL ORIGINALLY SPECIFIED ON THIS PLAN.
 9. PLANT MATERIAL ON THIS SITE MUST BE INSTALLED IN CONFORMANCE WITH THE GENERAL PLANTING NOTES AND DETAILS ON THIS PLAN OR TO THE STANDARDS OF THE CITY OF RALEIGH.
 10. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND LICENSES TO PERFORM THE REQUIRED WORK.

LANDSCAPE REQUIREMENTS:

PER UDO SECTION 8.5.9. STREETSCAPE TYPES

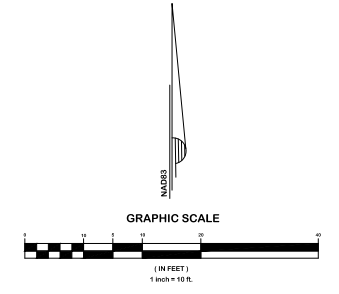
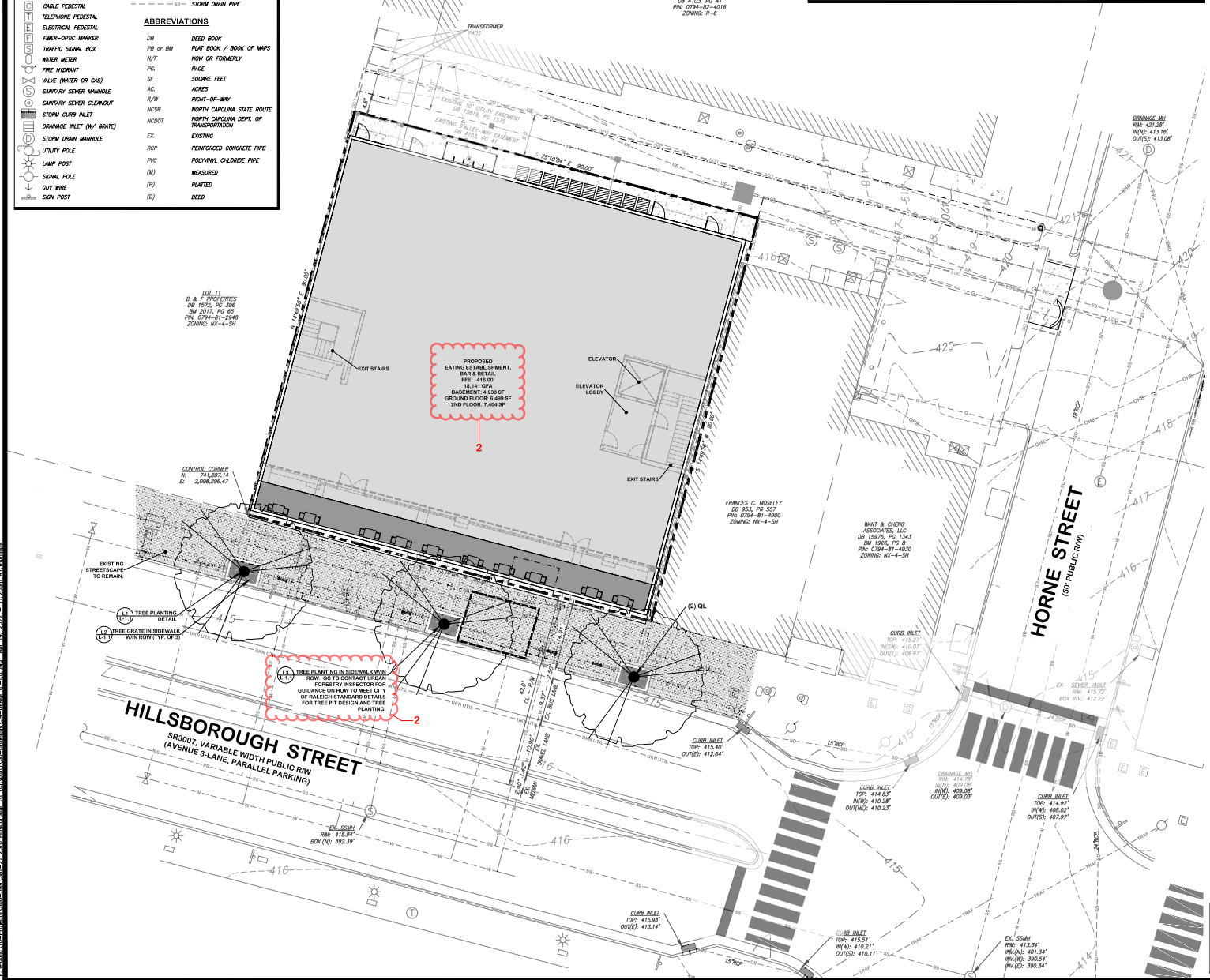
A. MAIN STREET:

PLANTING TYPE - TREE GRATE

TREE SPACING - 40' O.C. AVG

REQUIRED: 90' / 40' = 2.25 TREES

PROVIDED: 3 TREES



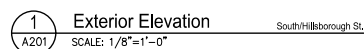
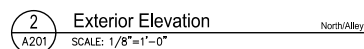
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PAST DESIGN GROUP, PA
Engineering | Consulting
107 Regency Road, Suite 200, Raleigh, North Carolina 27601
Phone: 919.946.1099 | Fax: 919.946.1098 | E-MAIL: CONTACT@PASTDESIGN.COM

250 HILLSBOROUGH ST. REVITALIZATION
RALEIGH, WAKE COUNTY, NORTH CAROLINA
TIER 3 ADMINISTRATIVE SITE REVIEW PLANS
LANDSCAPE PLAN

REVISIONS
NO. DATE REVISION
1 12/21/21 REVIEW FOR COMMENTS
2 1/11/22 REVIEW FOR COMMENTS

DRAWING SHEET
L-1.0
PROJECT NUMBER
581-21



Notes:

1. ALL EXTERIOR GLASS TO MEET ENERGY CODE REQUIREMENTS OUTLINED ON SHEET G002.
2. A SEPARATE SIGN SUBMITTAL IS REQUIRED. SUBMIT A SIGN DRAWING INDICATING DIMENSIONS, FABRICATION, COLORS OF MATERIALS, PLACEMENT OF STOREFRONT ELEVATIONS, AND MOUNTING AND SERVING TECHNIQUES.
3. ALL MATERIALS MUST BE SUBMITTED WITH SHOP DRAWINGS TO NEW CITY DESIGN GROUP FOR APPROVAL.

--	<input type="checkbox"/> PROGRESS PRINT
--	<input type="checkbox"/> HEALTH DEPT. PLAN CHECK
--	<input type="checkbox"/> BUILDING DEPT. PLAN CHECK
--	<input type="checkbox"/> BID SET
--	<input type="checkbox"/> CONSTRUCTION SET
08.31.21	<input checked="" type="checkbox"/> SUBMITTAL DOCUMENT
04.01.22	<u>2</u> ASR COMMENT RESPONSE
	△
	△
	△
	△
	△

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVING RIGHTS, INCLUDING COPYRIGHT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING BY THE ARCHITECT.

**2510 Hillsborough St.
Revitalization**

2510 Hillsborough St.
Raleigh, NC 27605

Exterior Elevations

SHEET NUMBER
A201