

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____

Please review UDO Section 10.2.8. as amended by text change case TC-14-19 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the Permit and Development Portal. (Note: There is a fee for this verification service.)

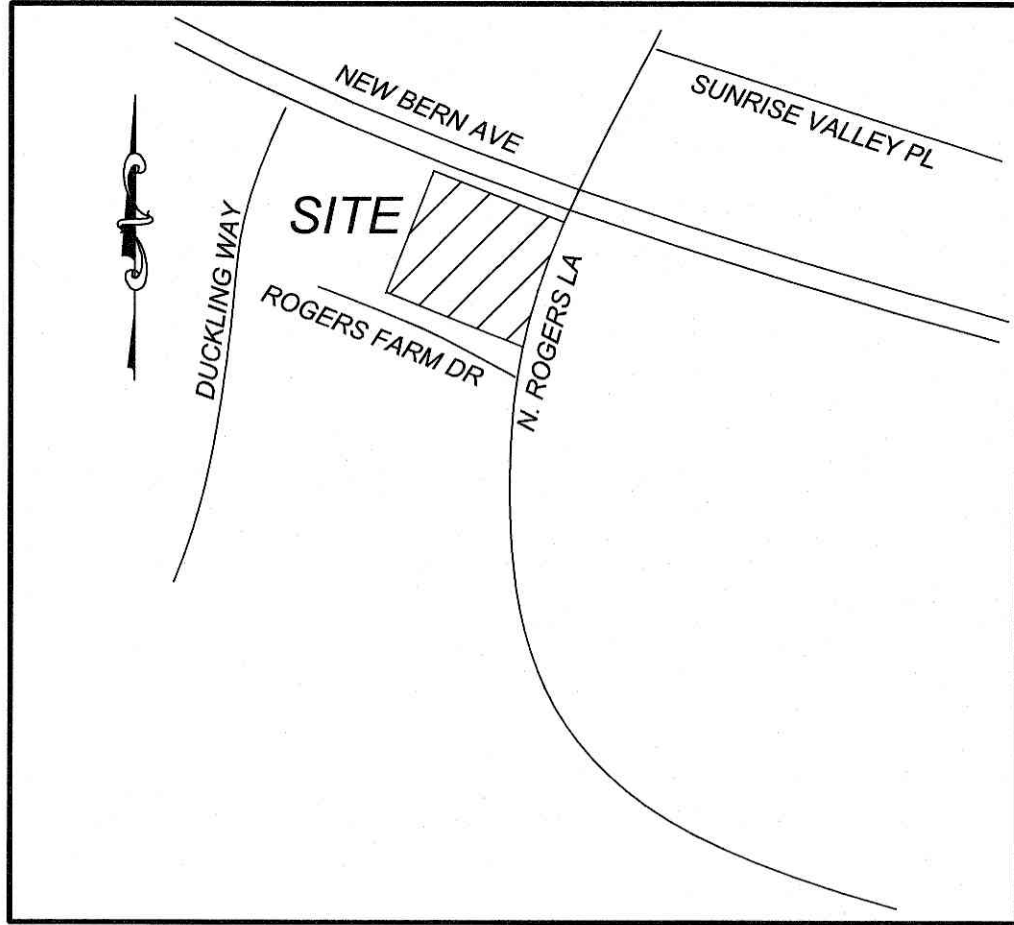
Site Plan Tier: Tier Two Site Plan ☐ Tier Three Site Plan ☒	
Building Type	Site Transaction History
☐ Detached ☐ Attached ☐ Apartment ☐ Townhouse	☒ General ☐ Mixed use ☐ Open lot ☐ Civic
Subdivision case #: _____ Scoping/sketch plan case #: 0065-2021 Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: Z-45-1996 Administrative Alternate #: _____	
GENERAL INFORMATION	
Development name: HWY 55	
Inside City limits? Yes ☒ No ☐	
Property address(es): 5150 and 5160 New Bern Avenue	
Site P.I.N.(s): 1734345171 ; 1734343294	
Please describe the scope of work. Include any additions, expansions, and change of use. Construction of new eating establishment with drive-though and associated parking and utilities.	
Current Property Owner/Developer Contact Name: Cory D. Bass NOTE: please attach purchase agreement when submitting this form.	
Company: OP Edgewater LLC	Title: Corporate Officer
Address: 695 US Hwy 46, Suite 210, Fairfield, NJ 07004	
Phone #:	Email:
Applicant Name: Matt Watterson, Project Manager	
Company: Commercial Site Design	Address: 8312 Creedmoor Road, Raleigh, NC 27613
Phone #: 919-848-6121	Email: watterson@csitedesign.com

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): P-D Planned Development	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 1.29	New gross floor area: 2,949
# of parking spaces required: 19	Total sf gross (to remain and new): 2,949
# of parking spaces proposed: 29	Proposed # of buildings: 1
Overlay District (if applicable): Conditional use	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): vacant	
Proposed use (UDO 6.1.4): Eating establishment with Drive-through	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0 Square Feet: 0	Proposed Impervious Surface: Acres: 73 Square Feet: 31,924
Is this a flood hazard area? Yes ☐ No ☒	
If yes, please provide: N/A	
Alluvial soils: Mantachi	
Flood study:	
FEMA Map Panel #: 3720173400J	
Neuse River Buffer Yes ☐ No ☒	Wetlands Yes ☐ No ☒

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: N/A	Total # of hotel units: N/A
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes ☐ No ☐

SIGNATURE BLOCK	
The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance. I, <u>Ralph J Pugliano</u> will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application. I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>Ralph J Pugliano</u>	Date: 9/1/21
Printed Name: Ralph J Pugliano	



VICINITY MAP
NTS
SITE INFORMATION

OWNER:	OP EDGEWATER, LLC 330 PASSAIC AVE, SUITE 110 FAIRVIEW, NJ 07004-2009																		
DEVELOPER:	TRACK WEST PARTNERS 445 BISHOP ST NW ATLANTA, GA 20318 PHONE: (404) 913-9131 Matt@Trackwestpartners.com																		
DESIGNER:	COMMERCIAL SITE DESIGN, PLLC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 PHONE: (919) 848-6121																		
ZONING:	PLANNED DEVELOPMENT CONDITIONAL USE OVERLAY DISTRICT (CASE # MP-1-96, Z-45-96) BASE ZONING DISTRICT (MP-1-96): CX DISTRICT																		
LOT 7 EXISTING USE:	VACANT																		
LOT 7 PROPOSED USE:	EATING ESTABLISHMENT WITH DRIVE THRU																		
SITE ADDRESS:	5160 NEW BERN AVENUE																		
PARCEL IDENTIFICATION NUMBER:	1734-34-5171																		
PARKING REQUIREMENTS: NOTE: 1 PARKING SPACE PER 35 SF OF PUBLIC SPACE PER MP-1-96 AND SECTION 10-2081	1 SPACE PER 35 SF PUBLIC SPACE 1,130 SF OF PUBLIC SPACE = 32 SPACES REQUIRED																		
PARKING PROVIDED: NOTE: PROPOSED RESTAURANT USE PARKING REQUIREMENTS AND CALCULATIONS BASED ON MP-1-96 (PER REGULATION CODE 10-2081)	32 REGULAR SPACES 2 HANDICAP SPACES 34 TOTAL SPACES																		
BICYCLE PARKING:	SHORT TERM 4 SPACES REQUIRED / PROVIDED LONG TERM 4 SPACES REQUIRED / PROVIDED																		
BUILDING SETBACKS:	<table><tr><td>PRIMARY STREET (NORTH)</td><td>REQUIRED PER UDO -CX</td><td>PROVIDED</td></tr><tr><td>PRIMARY STREET (EAST)</td><td>5 FEET</td><td>100.5 FEET</td></tr><tr><td>SIDE STREET (WEST)</td><td>5 FEET</td><td>88.5 FEET</td></tr><tr><td>REAR STREET (SOUTH)</td><td>5 FEET</td><td>77.1 FEET</td></tr><tr><td>BUILDING SETBACKS PER MP-1-96 ORD 10-2035.5.2</td><td>0 OR 6 FEET</td><td>82.3 FEET</td></tr><tr><td>AGGREGATE FRONT YARD AND REAR YARD CORNER LOT SIDE YARD</td><td>FRONT YARD - 30 FEET, AGGREGATE FRONT / REAR YARDS - 50 FEET, SIDE YARD - 5 FEET, REAR YARD - 20 FEET</td><td></td></tr></table>	PRIMARY STREET (NORTH)	REQUIRED PER UDO -CX	PROVIDED	PRIMARY STREET (EAST)	5 FEET	100.5 FEET	SIDE STREET (WEST)	5 FEET	88.5 FEET	REAR STREET (SOUTH)	5 FEET	77.1 FEET	BUILDING SETBACKS PER MP-1-96 ORD 10-2035.5.2	0 OR 6 FEET	82.3 FEET	AGGREGATE FRONT YARD AND REAR YARD CORNER LOT SIDE YARD	FRONT YARD - 30 FEET, AGGREGATE FRONT / REAR YARDS - 50 FEET, SIDE YARD - 5 FEET, REAR YARD - 20 FEET	
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LOT 7 AREA (EXISTING): LOT 7 RW DEDICATION: LOT 7 AREA (AFTER RW DEDICATED): OFFSITE IMPROVEMENTS AREA:	56,305 SF OR 1.29 ACRES 480 SF 55,825 SF OR 1.28 ACRES 6,989 SF OR 0.16 ACRES																		
DISTURBED AREA:	60,485 SF OR 1.38 ACRES																		
LOT 7 EXISTING IMPERVIOUS AREA: LOT 7 PROPOSED IMPERVIOUS AREA: OFF-SITE EXISTING IMPERVIOUS AREA: OFF-SITE PROPOSED IMPERVIOUS AREA	0 SF OR 0 ACRES 32,890 SF OR 0.76 ACRES 1,346 SF OR 0.02 ACRES 6,154 SF OR 0.14 ACRES																		
PROPOSED BUILDING AREA:	2,490 SF - 1 STORY - 24 FEET HEIGHT (40' MAX PLUS 1' PER ADDITIONAL SETBACK PER MP-1-96)																		
WATER:	CITY OF RALEIGH PUBLIC UTILITIES																		
SEWER:	CITY OF RALEIGH PUBLIC UTILITIES																		
AMENITY AREA LOT 7:	REQUIRED = 10 % OR 5,631 SF PROVIDED = 10% OR 5,634 SF = NET AREA = MINUS RIGHT-OF-WAY DEDICATION																		
TREE CONSERVATION AREA:	NOT REQUIRED - LESS THAN 2 ACRES																		
RIGHT OF WAY DEDICATION:	TOTAL AREA DEDICATED = 480 SF																		

REVISIONS:			
	12-7-2021	REVISE PER ASR COMMENTS #1	DDH
	03-18-2022	REVISE PER ASR COMMENTS #2	DDH
	06-17-2022	REVISE PER ASR COMMENTS #3	DDH
NO.	DATE	DESCRIPTION	BY

STORMWATER NARRATIVE:

THE DEVELOPMENT OF THIS SITE WILL RESULT IN THE ADDITION OF 32,890 SF OF IMPERVIOUS SURFACE AREA AND THE INSTALLATION OF STORMWATER WATER QUALITY TREATMENT DEVICES AND RUNOFF DETENTION INFRASTRUCTURE. THE WATER QUALITY TREATMENT DEVICES ARE SIZED TO PROVIDE TREATMENT OF THE DESIGN WATER QUALITY VOLUME FOR THE FIRST 1.0" OF RAINFALL IN THE POST-DEVELOPMENT CONDITION PER NCDEQ GUIDELINES. THE RUNOFF DETENTION INFRASTRUCTURE IS DESIGNED TO DETAIN AND RELEASE THE RUNOFF GENERATED BY THE 2 YEAR AND 10-YEAR, 24-HOUR STORM EVENTS AT OR BELOW PRE-DEVELOPMENT RUNOFF RATES.

PRIMARY STREET DESIGNATION

PER 1C-5A-18, THE PRIMARY STREET DESIGNATION FOR LOT 7 SHALL BE NEW BERN AVENUE AND NORTH RODGERS LANE.

NOTE:

ALL PRIVATE STORM DRAINAGE & STORMWATER MEASURES WILL BE MAINTAINED BY THE PROPERTY OWNERS ASSOCIATION

DEVELOPERS HAVE RENEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.



TRACK WEST PARTNERS
445 BISHOP ST NW
ATLANTA, GEORGIA
PHONE: (404) 913-9131
Matt@Trackwestpartners.com

ADMINISTRATIVE SITE PLAN CASE NUMBER: ASR-0094-2021
MP-1-96 & SUB-S-58-02

SITE ADDRESS: 5160 NEW BERN AVENUE
RALEIGH, NORTH CAROLINA 27610

CSD PROJECT NUMBER: TRW-2109

SHEET INDEX

- C-1 RECORD PLAT
- C-2 EXISTING CONDITIONS
- C-3 SITE PLAN
- C-3a SOLID WASTE TRUCK TURN PLAN
- C-4 GRADING & EROSION CONTROL PLAN
- C-5 UTILITY PLAN
- C-6 LANDSCAPE PLAN
- C-7 LIGHTING PLAN
- C-8 BMP STORMWATER DETAILS
- C-9 BMP STORMWATER DETAILS
- A1 ARCHITECTURAL ELEVATIONS
- A2 ARCHITECTURAL ELEVATIONS
- AS2 ARCHITECTURAL ELEVATIONS



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nc811.org or 1-800-632-4949

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Site Plan Tier:	Tier Two Site Plan ☐	Tier Three Site Plan ☒
Building Type	☐ Detached ☐ Attached ☐ Apartment ☐ Townhouse	☒ General ☐ Mixed use ☐ Open lot ☐ Civic
Site Transaction History	Subdivision case #: Scoping/sketch plan case # 0985-2021 Certificate of Appropriateness #: Board of Adjustment #: Zoning Case # Z-45-1996 Administrative Alternate #:	

GENERAL INFORMATION

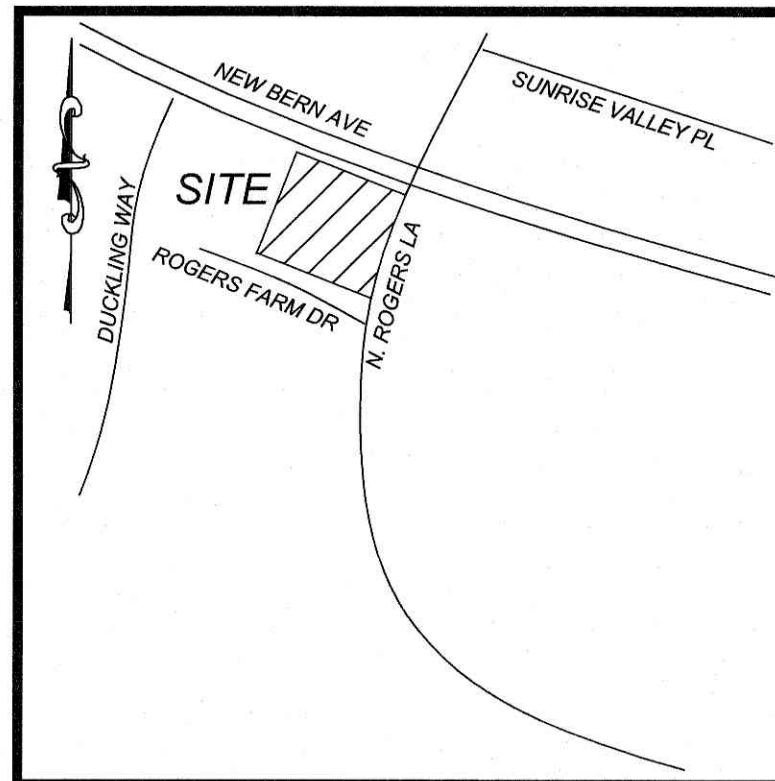
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Applicant Name: Matt Watterson, Project Manager
Company: Commercial Site Design Address: 8312 Creedmoor Road, Raleigh, NC 27613
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DEVELOPMENT TYPE • SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): P-D Planned Development	Existing gross floor area (not to be demolished): 0 Existing gross floor area to be demolished: 0
Gross site acreage: 1.29	New gross floor area: 2,501
# of parking spaces required: 26	Total sf gross (to remain and new): 2,501
# of parking spaces proposed: 34	Proposed # of buildings: 1
Overlay District (if applicable): Conditional Use	Proposed # of stories for each: 1
Existing use (UDO 6.1.4): vacant	
Proposed use (UDO 6.1.4): Eating establishment with Drive-through	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0 Square Feet: 0	Proposed Impervious Surface: Acres: 0.76 Square Feet: 32,890
Is this a flood hazard area? Yes ☐ No ☒	
If yes, please provide: N/A	
Alluvial soils: Marsh	
Flood study:	
FEMA Map Panel #: 3720173400J	
Neuse River Buffer	Yes ☐ No ☒ Wetlands Yes ☐ No ☒

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: N/A	Total # of hotel units: N/A
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes ☐ No ☐

SIGNATURE BLOCK	
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Signature:	Date: 9/1/21
Printed Name: Ralph J. Pugliano	

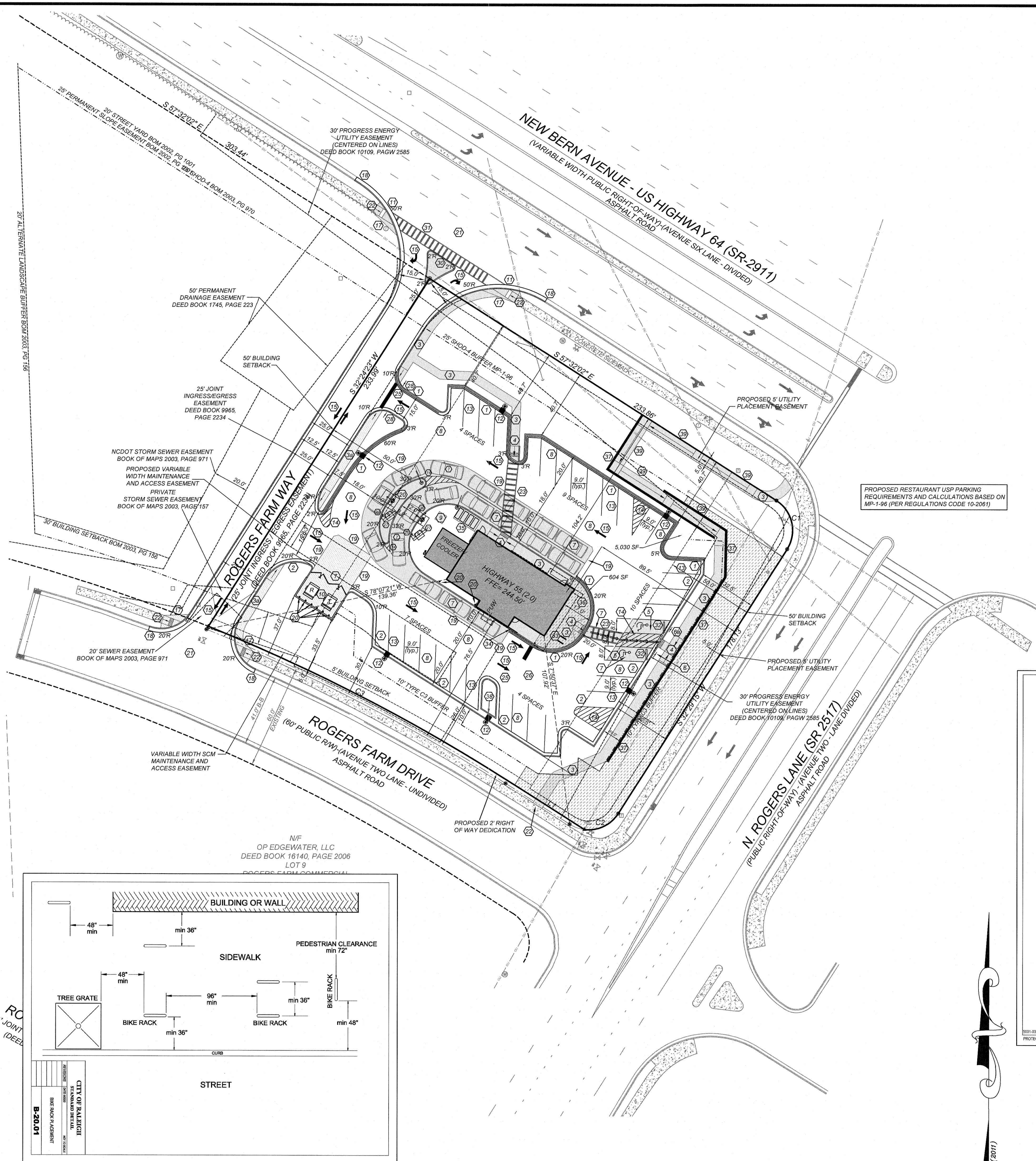


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VICINITY MAP
NTS

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	BEARING	CHORD	TANGENT
C1	31.40'	20.00'	89.94°	N12°33'31"E	28.27'	19.98'
C2	22.35'	20.00'	64.02°	N62°33'02"E	21.20'	12.50'
C3	191.45'	1032.00'	10.63°	N62°53'54"W	191.18'	96.00'

LINE TABLE		
LINE	DIRECTION	LENGTH
L1	N 57°35'11" W	51.95'



SITE KEYNOTES:

- CONSTRUCT 2.0' CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT 2.0' CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET
- CONSTRUCT NON-ADA COMPLIANT CONCRETE SIDEWALK REQUIRED BY CITY
- ADA RAMP: PROVIDE MINIMUM 5' x 5' LANDING (2% MAXIMUM SLOPE IN ANY DIRECTION) AT TOPS AND BOTTOMS OF ALL RAMP RUNS. RAMP RUNS SHALL NOT EXCEED 30' OF RISE BETWEEN LANDINGS. SEE DETAIL.
- HANDICAP PARKING STALL
- INSTALL HANDICAP PARKING SIGN PER DETAIL SHEET
- INSTALL "VAN ACCESSIBLE" HANDICAP PARKING SIGN PER DETAIL SHEET
- CONCRETE PAVEMENT PER DETAIL SHEET
- ASPHALT PAVEMENT PER DETAIL SHEET
- TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECIFICATIONS, (COORDINATE SIZE AND LOCATION WITH UTILITY COMPANY)
- CONSTRUCT DUMPSTER PAD, MINIMUM 8" CONCRETE WITH 6" ABC BASE, AND TRASH ENCLOSURE WITH GATES. SEE ARCHITECTURAL SHEETS FOR DETAIL. MATERIALS TO MATCH BUILDING. SOLID WASTE SERVICE WILL BE PROVIDED BY A PRIVATE CONTRACTOR/HAULER.
- NC DOT CURB PER NC DOT STANDARDS AND SPECIFICATIONS
- POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
- PAINT 4" WIDE STRIPE, WHITE
- PAINT 4" WIDE STRIPE @ 45°, 2 FEET APART
- PAINT TRAFFIC ARROWS PER DETAIL SHEET
- SITE IDENTIFICATION SIGN
- NC DOT ADA RAMP PER NC DOT STANDARDS AND SPECIFICATIONS
- MATCH EXISTING CURB & GUTTER
- ASPHALT/CONCRETE TRANSITION PER DETAIL
- INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
- MATCH EXISTING ASPHALT PAVEMENT
- MATCH EXISTING CONCRETE SIDEWALK
- PAINT CROSSWALK PER DETAIL SHEET
- LOADING RAMP
- PAINT 24" STOP BAR PER NC DOT STANDARDS
- PAINT "DO NOT ENTER" PER NC DOT STANDARDS
- MENU BOARD, COORDINATE WITH OWNER
- INSTALL "STOP" AND "DO NOT ENTER" SIGN PER NC DOT AND MUTCD STANDARDS
- TURNDOWN CURB PER DETAIL SHEET
- CONCRETE MEDIAN PER NC DOT AND MUTCD STANDARDS
- CROSSWALK PER NC DOT AND MUTCD STANDARDS
- CONCRETE WHEEL STOP PER DETAIL SHEET
- INSTALL (2) U-RACKS FOR SHORT TERM BIKE PARKING PER CITY DETAIL B-20.01, 36" APART AND 36" CLEAR FROM BACK OF CURB WITH 6' PEDESTRIAN CLEARANCE
- HANDRAIL, COORDINATE WITH ARCHITECT
- INSTALL (4) BIKE LOCKER FOR LONG TERM BIKE PARKING. SEE DETAIL SHEET
- OUTDOOR SEATING TO BE PERMITTED SEPARATELY
- RETAINING WALL DESIGN BY STRUCTURAL ENGINEER
- CONCRETE FLUME, SEE DETAIL SHEET
- ADA RAMP WITH HANDRAIL AND PEDESTRIAN RAIL PER DETAIL SHEET



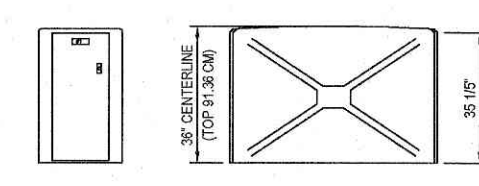
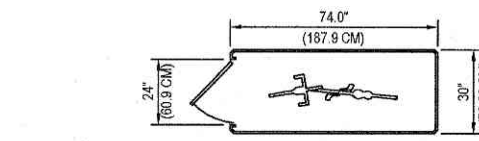
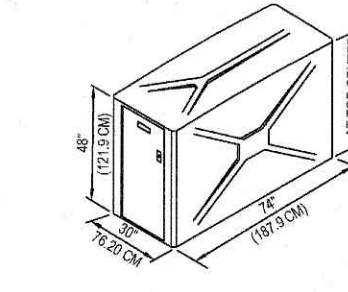
VELODOME SHELTERS
30 ANN ST
CLIFTON, NJ 07013
TOLL FREE: 1-888-966-8050
PHONE: (973) 264-9100
www.velodomeshelters.com

SELECT DESIRED COLOR:

☐ TAN
☐ MEDIUM GREY

SELECT DESIRED LOCK:

☐ PORT LOCK 7 PIN TUMBLER POP OUT 1" HANDLE
LOCKS WITH THREE KEYS AND REMOVABLE LOCK
CYLINDER. INTERNAL LOCKING MECHANISM CONSISTS OF
THREE PLATED HARDENED STEEL CAMS CONTROLLING AN
EXTENDED ALUMINUM LOCKING BAR WHICH ENGAGES
THE DOOR FRAME OVER THREE FOOT SPAN
☐ HEAVY DUTY STAINLESS STEEL PADLOCK HANDLE
WILL ACCOMMODATE HIGH SECURITY PADLOCKS.
PADLOCK NOT INCLUDED.



SPECIFICATIONS

CAPACITY: 1 LOCKER BIKE
DOOR WIDTH: 30" (8.00")
SETBACK: 12" (3.00")

NOTES

1. SEE MANUFACTURER FOR COLOR AND SECURITY OPTIONS.

2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

3. DO NOT SCALE DRAWING.

4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.

5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MAY BE REVISED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

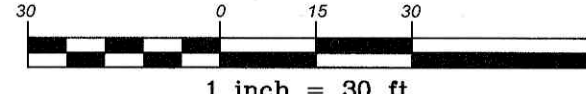
6. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT: www.cadetail.com/800-966-8050 AND ENTER REFERENCE NUMBER 3001-025.

300 SERIES BICYCLE LOCKERS

MODEL 301, 1 DOOR, 1 BIKE CAPACITY, NO ASSEMBLY ONE PRICE DESIGN

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GRAPHIC SCALE



SITE LEGEND

- SPILL CURB
- HANDICAP RAMP
- HANDICAP STALL
- CONCRETE
- PROPERTY LINE
- SIGN
- BOLLARD
- EX. FIRE HYDRANT
- FENCE
- POLE MOUNTED AREA LIGHT
- PROPERTY CORNER
- FINISH FLOOR ELEVATION
- AMENITY AREA (6,013 SF OR 10.7 % OF AMENITY AREA IS ADA COMPLIANT)

REVISIONS		DATE	DESCRIPTION
1	12-7-2021		REVISE PER ASP COMMENTS #1
2	03-29-2022		REVISE PER ASP COMMENTS #2
3	06-17-2022		REVISE PER ASP COMMENTS #3

COMMERCIAL
SITE DESIGN

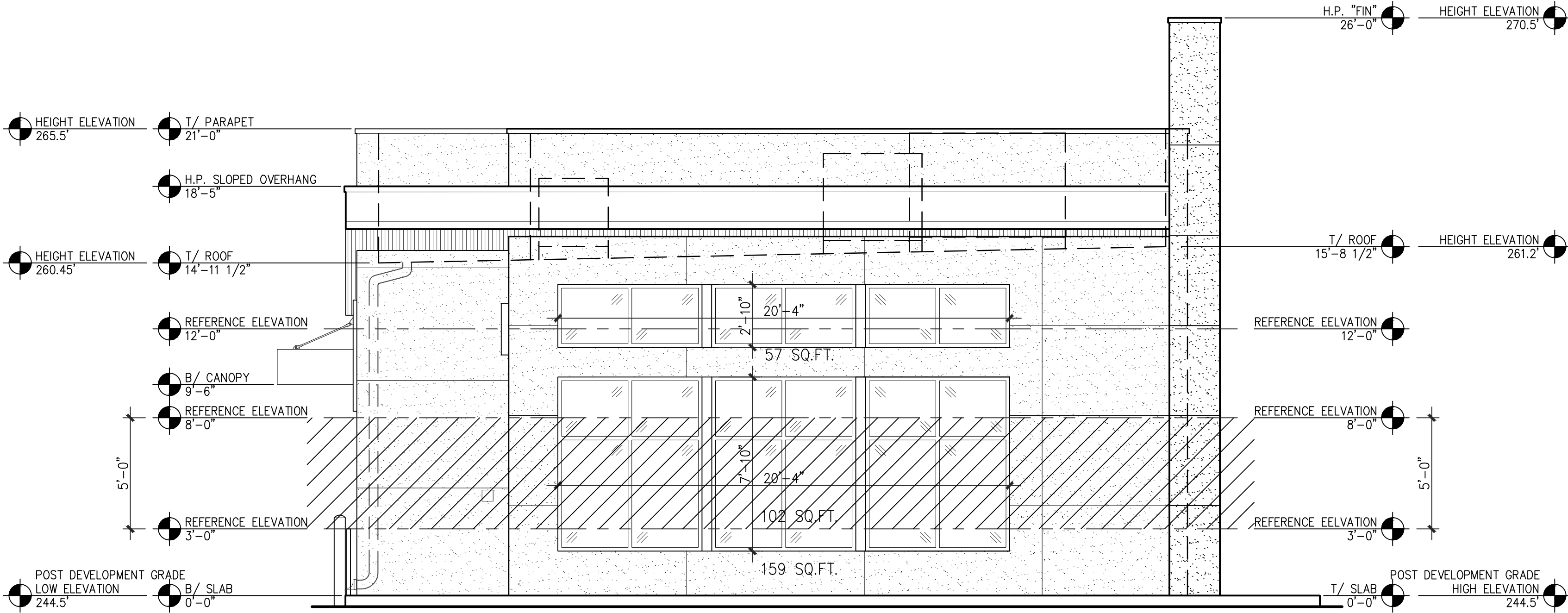
882 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27603
(919) 848-4021, FAX: (919) 848-2741
WWW.CSDESIGN.COM

CLIENT:

TRACK WEST PARTNERS
445 BISHOP ST NW
ATLANTA, GA 30318
PHONE: (404) 913-9131
Matt@Trackwestpartners.com

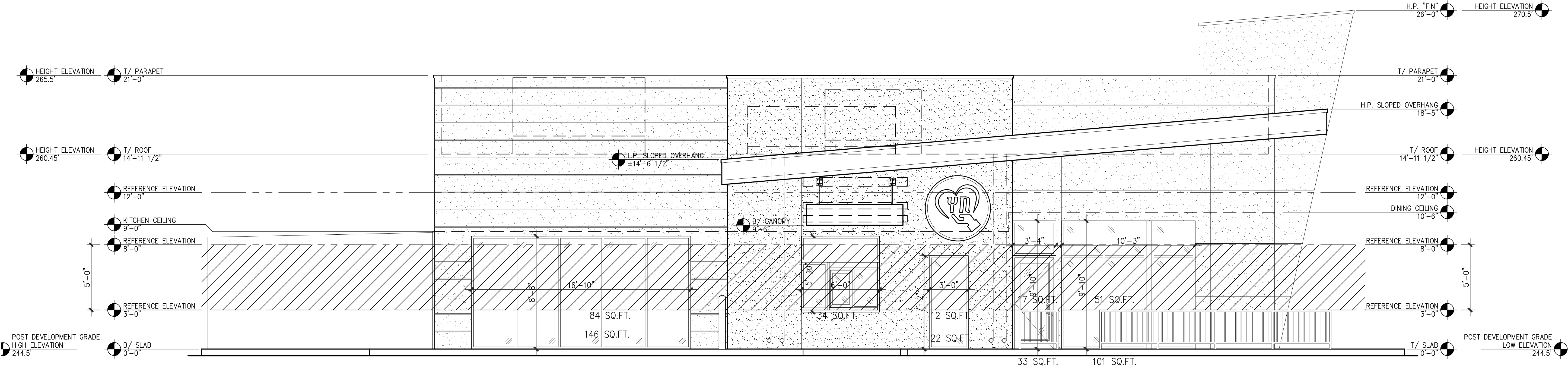
PROJECT NO. TRW-2109
FILENAME: TRW2109-SP
DRAWN BY: DDH
SCALE: 1" = 30'
DATE: 08-25-2021
SHEET NO. C-3

UDO, 19TH SUPPLEMENT
SEC 1.5.9. TRANSPARENCY:
B. GENERAL REQUIREMENTS
4. GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 80% AND EXTERNAL RELECTANCE OF LESS THAN 15%. GLASS ON UPPER STORIES MAY HAVE ANY LEVEL OF TRANSPARENCY AND EXTERNAL REFLECTANCE.



1 EAST ELEVATION - N. ROGER'S FARM LANE
A201 SCALE: 1/4" = 1'-0"

TRANSPARENCY CALCULATIONS					
ELEVATION	S.F. OF WALL (BETWEEN 0' AND 12')	TRANSPARENCY REQUIRED	TRANSPARENCY PROVIDED (BETWEEN 0' AND 12')	3' TO 8' TRANSPARENCY REQ.	GLAZING AREA PROVIDED BETWEEN 3'&8'
EAST ELEVATION N. ROGER'S FARM LANE	466 SQ.FT.	155 S.F. (33%)	217 SQ. FT.	78 S.F. (50% OF 33%)	142 SQ. FT.



2 SOUTH ELEVATION - ROGER'S FARM DRIVE
A201 SCALE: 1/4" = 1'-0"

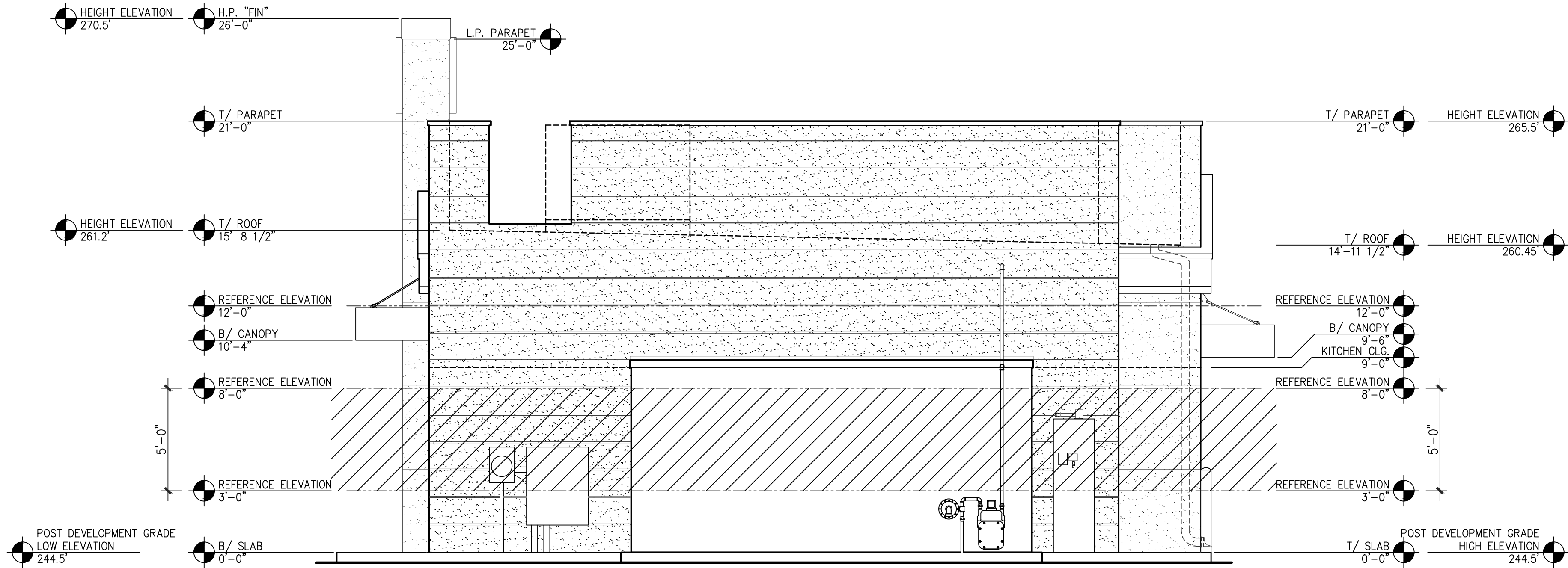
TRANSPARENCY CALCULATIONS					
ELEVATION	S.F. OF WALL (BETWEEN 0' AND 12')	TRANSPARENCY REQUIRED	TRANSPARENCY PROVIDED (BETWEEN 0' AND 12')	3' TO 8' TRANSPARENCY REQ.	GLAZING AREA PROVIDED BETWEEN 3'&8'
SOUTH ELEVATION ROGER'S FARM DRIVE	947 SQ.FT.	315 S.F. (33%)	336 SQ. FT.	158 S.F. (50% OF 33%)	181 SQ. FT.

PRELIMINARY NOT FOR
CONSTRUCTION

PROJECT: **HIGHWAY 55**
30 PROTOTYPE
- EAST RALEIGH, NORTH CAROLINA
DRAWING: EXTERIOR ELEVATIONS

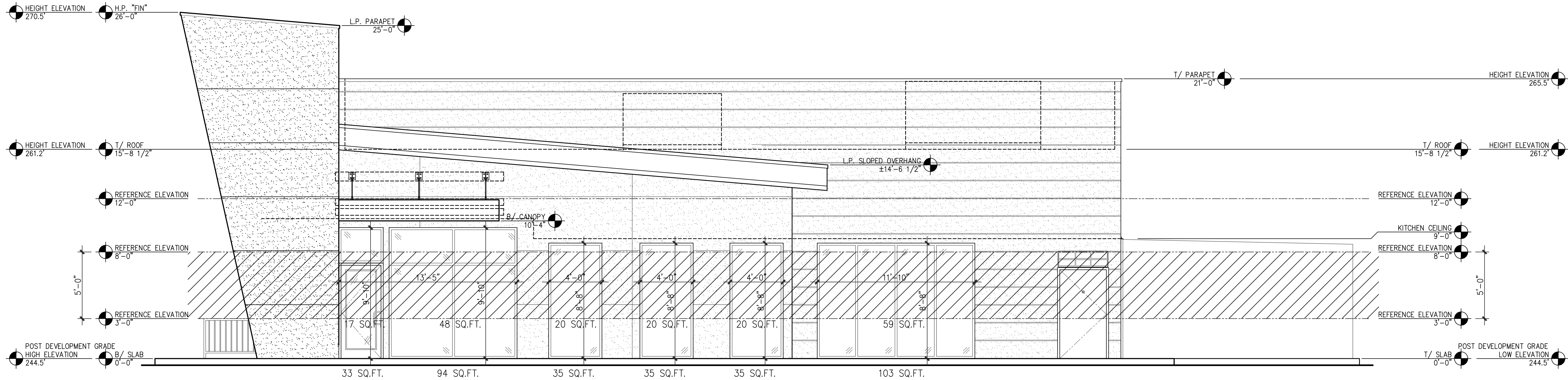
Revisions	
THRU ADDENDUM "A"	REVISION DATE
PROJECT DATE	02/07/2022
Drawn By	CDK
Checked By	GRL
Sheet No.	A201

UDO, 19TH SUPPLEMENT
SEC 1.5.9, TRANSPARENCY:
B. GENERAL REQUIREMENTS
4. GLASS SHALL BE CONSIDERED TRANSPARENT WHERE IT HAS A TRANSPARENCY HIGHER THAN 80% AND EXTERNAL RELECTANCE OF LESS THAN 15%. GLASS ON UPPER STORIES MAY HAVE ANY LEVEL OF TRANSPARENCY AND EXTERNAL REFLECTANCE.



1 WEST ELEVATION - ROGER'S FARM WAY
SCALE: 1/4" = 1'-0"

TRANSPARENCY CALCULATIONS					
ELEVATION	S.F. OF WALL (BETWEEN 0' AND 12')	TRANSPARENCY REQUIRED	TRANSPARENCY PROVIDED (BETWEEN 0' AND 12')	3' TO 8' TRANSPARENCY REQ.	GLAZING AREA PROVIDED BETWEEN 3'&8'
WEST ELEVATION ROGER'S FARM WAY	466 SQ. FT.	N/A	0 SQ. FT.	N/A	0 SQ. FT.



2 NORTH ELEVATION - NEW BERN AVENUE
SCALE: 1/4" = 1'-0"

TRANSPARENCY CALCULATIONS					
ELEVATION	S.F. OF WALL (BETWEEN 0' AND 12')	TRANSPARENCY REQUIRED	TRANSPARENCY PROVIDED (BETWEEN 0' AND 12')	3' TO 8' TRANSPARENCY REQ.	GLAZING AREA PROVIDED BETWEEN 3'&8'
NORTH ELEVATION NEW BERN AVENUE	947 SQ. FT.	315 S.F. (33%)	334 SQ. FT.	158 S.F. (50% OF 33%)	183 SQ. FT.

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT: **HIGHWAY 55**
30 PROTOTYPE
EAST RALEIGH, NORTH CAROLINA

DRAWING: EXTERIOR ELEVATIONS

Revisions	
THRU ADDENDUM	"A"
REVISION DATE	
PROJECT DATE	02/07/2022
Drawn By	CDK
Checked By	GRL
Sheet No.	A202