

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_


Please review UDO Section 10.2.8. as amended by text change case TC-14-19 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

<b>Site Plan Tier:</b> Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>	
<b>Building Type</b>	<b>Site Transaction History</b>
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic
Subdivision case #: _____	
Scoping/sketch plan case #: _____	
Certificate of Appropriateness #: _____	
Board of Adjustment #: _____	
Zoning Case #: Z-29-19	
Administrative Alternate #: _____	
<b>GENERAL INFORMATION</b>	
Development name: EVERGREEN - ASPEN SPRING	
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Property address(es): 3801 & 3831 Pearl Rd, 5706 Rock Quarry Rd, Raleigh, NC 27610	
Site P.I.N.(s): 1732108597, 1732105490, 1732104220	
Please describe the scope of work. Include any additions, expansions, and change of use. This project includes the construction of a 3-story senior apartments / affordable housing building, a stormwater SCM, parking lot, sidewalks, and associated utilities.	
Current Property Owner/Developer Contact Name: TIMOTHY G. MORGAN <b>NOTE: please attach purchase agreement when submitting this form.</b>	
Company: ASPEN SPRING HOUSING ASSOCIATES, LLC	Title: MANAGING MEMBER
Address: 7706 SIX FORKS ROAD, SUITE 202, RALEIGH, NC 27615	
Phone #: 919.848.2041	Email: TIM@ECCMGT.COM
Applicant Name: TIMOTHY G. MORGAN	
Company: same as above	Address: same as above
Phone #: same as above	Email: same as above

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): RX-3-PL-CU	Existing gross floor area (not to be demolished): 0 SF
	Existing gross floor area to be demolished: 8090 SF
Gross site acreage: 8.02 ac (prior to R/W dedication)	New gross floor area: 93,311 SF
# of parking spaces required: 93	Total sf gross (to remain and new): 93,311 SF
# of parking spaces proposed: 101	Proposed # of buildings: 1
Overlay District (if applicable): NA	Proposed # of stories for each: 3
Existing use (UDO 6.1.4): Single Family Residential	
Proposed use (UDO 6.1.4): MULTI-FAMILY RES. SENIOR APARTMENTS AFFORDABLE HOUSING	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.48      Square Feet: 21,292 SF	Proposed Impervious Surface: Acres: 2.53 AC      Square Feet: 110,340 SF
Is this a flood hazard area?      Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: NA	
Alluvial soils: NA	
Flood study: NA	
FEMA Map Panel #: 3720173200J	
Neuse River Buffer      Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands      Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 84 senior apartments	Total # of hotel units: 0
# of bedroom units: 1br 42      2br 42      3br 0      4br or more 0	
# of lots: 3 existing lots to be recombined into 1 lot	Is your project a cottage court?      Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate Timmons Group - Rick Baker, PE to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: 	Date: 11/23/2020
Printed Name: Timothy G. Morgan	



# EVERGREEN - ASPEN SPRING ADMINISTRATIVE SITE REVIEW

CASE NO: ASR-0096-2020

TIER 3 SITE PLAN

3801 PEARL ROAD

RALEIGH, WAKE COUNTY, NORTH CAROLINA, 27610

PIN(S): 1732108597, 1732105490, 1732104220

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Subdivision case #: _____	
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### GENERAL INFORMATION

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Inside City limits? Yes ☒ No ☐  
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Site P.I.N. (s): 1732108597, 1732105490, 1732104220  
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Current Property Owner/Developer Contact Name: TIMOTHY G. MORGAN  
NOTE: please attach purchase agreement when submitting this form.

Company: ASPEN SPRING HOUSING ASSOCIATES, LLC Title: MANAGING MEMBER

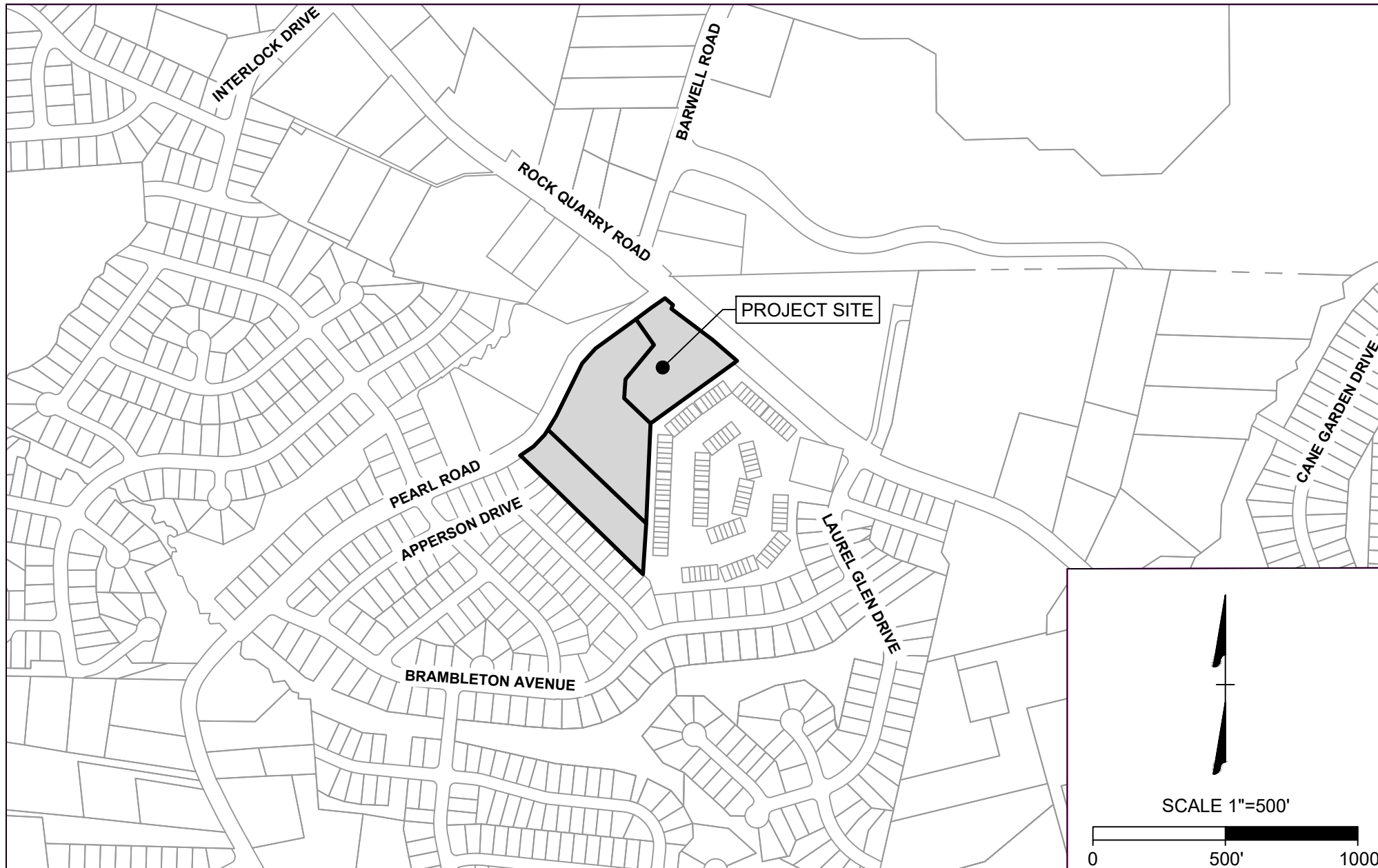
Address: 7706 SIX FORKS ROAD, SUITE 202, RALEIGH, NC 27615

Phone #: 919.848.2041 Email: TIM@ECCMG.T.COM

Applicant Name: TIMOTHY G. MORGAN  
Company: same as above Address: same as above  
Phone #: same as above Email: same as above

Page 1 of 2

REVISION 11.18.20  
raleighnc.gov



VICINITY MAP

**APPLICANT/DEVELOPER:**  
**ASPEN SPRING HOUSING ASSOCIATES, LLC**  
7706 SIX FORKS ROAD; SUITE 202  
RALEIGH, NC 27615  
**TIMOTHY G. MORGAN**  
(919) 848-2041  
TIM@ECCMG.T.COM

**SURVEYOR:**  
**ATKINSON LAND SURVEYING**  
7705 MATHERLY DRIVE  
WAKE FOREST, NC 27587  
**JAY ATKINSON**  
(919) 556-6818  
ATKINSONLANDSURVEYIN@EARTHLINK.NET

**CIVIL ENGINEER:**  
**TIMMONS GROUP**  
5410 TRINITY ROAD, STE. 102  
RALEIGH, NC 27607  
**RICK BAKER, PE**  
(984) 255-2367  
RICK.BAKER@TIMMONS.COM

**ARCHITECT:**  
**TIGHT LINES DESIGNS**  
19 W. HARGETT STREET, SUITE 501  
RALEIGH, NC 27601  
**BECKY BASCOM KELLY**  
(919) 834-3600  
BECKY@TIGHTLINESDESIGNS.COM

### RIGHT-OF-WAY OBSTRUCTION NOTES:

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TRAFFIC CONTROL AND PEDESTRIAN PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TRAFFIC CONTROL AND PEDESTRIAN PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
  - MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
  - PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
  - AMERICAN DISABILITY ACT (ADA) REQUIREMENTS;
  - RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

### GENERAL NOTES:

- SOLID WASTE MANAGEMENT WILL BE MANAGED THROUGH A PRIVATE CONTRACTOR WITH A DUMPSTER PAD AND ENCLOSURE.

### PROPERTY OWNER INFORMATION

NAME:	OWNER ADDRESS:	PIN(S):	PROPERTY ADDRESS:	EXISTING PROPERTY ACREAGE:	DEED / PAGE:
EVERGREEN CONSTRUCTION - TIMOTHY MORGAN	7706 SIX FORKS ROAD, SUITE 102 RALEIGH, NC 27615	1732-10-8597, 1732-10-5490, 1732-10-4220	5706 ROCK QUARRY ROAD RALEIGH, NC 27610	8.02 AC	DB 8768 PG 918, DB 8195 PG 1589, DB 6823 PG 80

### SITE DATA TABLE

PROJECT NAME:	EVERGREEN - ASPEN SPRING
TOWNSHIP:	ST. MARY'S
PROPERTY ZONING:	RX-3-PL-CU
EXISTING USE:	SINGLE-FAMILY RESIDENTIAL
PROPOSED USE:	RESIDENTIAL - HOUSEHOLD LIVING - MULTI-FAMILY - SENIOR APARTMENTS AFFORDABLE HOUSING
WATER SUPPLY WATER SHED:	NONE
SURFACE WATER CLASSIFICATION:	C; NSW
WATERSHED:	BIG BRANCH, WALNUT CREEK, NEUSE RIVER

### PUBLIC IMPROVEMENT QUANTITY TABLE

NUMBER OF LOT(S)	1 (PROPOSED)
LOT NUMBER(S) BY PHASE	1
NUMBER OF UNITS	84
LIVABLE BUILDINGS	1
OPEN SPACE?	0
NUMBER OF OPEN SPACE LOTS	0
PUBLIC WATER (LF)	0 LF
PUBLIC SEWER (LF)	0 LF
PUBLIC STREET (LF) - FULL	0 LF
PUBLIC STREET (LF) - PARTIAL	350 LF
PUBLIC SIDEWALK (LF)	285 LF
STREET SIGNS (LF)	0 LF
WATER SERVICE STUBS	1
SEWER SERVICE STUBS	1

### Sheet List Table

Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	ZONING CONDITIONS
C1.0	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.0.1	PRE-REALIGNMENT SITE PLAN
C2.0.2	POST-REALIGNMENT SITE PLAN
C2.1.1	FIRE APPARATUS ACCESS EXHIBIT
C2.1.2	ALTERNATE FIRE APPARATUS ACCESS EXHIBIT
C2.2.1	SOLID WASTE SERVICES ACCESS EXHIBIT
C2.2.2	ALTERNATE SOLID WASTE SERVICES ACCESS EXHIBIT
C2.3	SIGHT DISTANCE TRIANGLE EXHIBIT
C2.4	TREE CONSERVATION PLAN
C2.5	TRANSPORTATION PLAN - PEARL ROAD
C2.6	TRANSPORTATION PLAN - ROCK QUARRY
C2.7	PAVING PLAN
C3.0.1	PRE-REALIGNMENT GRADING AND STORM DRAINAGE PLAN
C3.0.2	POST-REALIGNMENT GRADING AND STORM DRAINAGE PLAN
C3.1	SCM DETAILS
C5.0	UTILITY PLAN
L6.0	LANDSCAPE PLAN
L6.1	LANDSCAPE PLAN
C7.0	NOTES AND DETAILS
C7.1	NOTES AND DETAILS
C8.0	SITE LIGHTING PLAN
A2.1	ARCHITECTURAL ELEVATIONS

### APPLICABLE ZONING EXEMPTIONS

UDO REFERENCE	EXEMPTION
UDO SEC. 3.2.3	PER TC-19-19, EFFECTIVE JUNE 17, 2021, GROUND FLOOR ELEVATION IS NO LONGER REQUIRED TO BE 2' ABOVE EXISTING CURB GRADES
UDO SEC. 8.3.5	SEE CROSS ACCESS REQUIREMENTS TABLE ON THIS SHEET

### CROSS ACCESS REQUIREMENTS

PROPERTY BOUNDARY	PROVIDED / EXEMPT
SOUTH EAST	EXEMPT PER UDO SEC. 8.3.5.D.5.a. (TC-6-19); TOWNHOUSE USE
SOUTH WEST	EXEMPT PER UDO SEC. 8.3.5.D.5.a. (TC-6-19); RESIDENTIAL ZONING DISTRICT

PRELIMINARY  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
**RALEIGH OFFICE**  
5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
TEL 919.866-4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION
REVISIONS PER CITY OF RALEIGH COMMENTS
REVISIONS PER CITY OF RALEIGH COMMENTS
REVISIONS PER CITY OF RALEIGH COMMENTS

DATE  
11/24/2020

DRAWN BY  
T. DAEKE

DESIGNED BY  
R. BAKER

CHECKED BY  
R. BAKER

SCALE  
AS SHOWN

**TIMMONS GROUP**  
NORTH CAROLINA LICENSE NO. C-1652

EVERGREEN - ASPEN SPRING

CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

COVER SHEET

JOB NO.

42601.004

SHEET NO.

C0.0

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS



Know what's below.  
Call before you dig.







CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	571.00	152.49	76.70	15°18'05"	N36°41'38"E	152.04
C3	4978.00	112.13	56.07	1°17'26"	N28°23'52"E	112.13
C21	579.00	79.36	39.74	7°51'10"	N51°57'16"E	79.29
C22	40.00	11.57	5.82	16°33'56"	N39°44'42"E	11.52

LINE TABLE		
LINE	LENGTH	BEARING
L1	130.00	N29°02'35"E
L2	8.00	S62°14'51"E
L3	42.80	N27°28'20"E
L4	134.29	N54°31'13"E
L5	73.00	N53°35'11"E
L6	37.90	N55°24'48"E
L7	6.77	S49°08'54"E
L8	51.01	S48°52'46"E
L9	43.80	S48°34'36"E
L10	46.15	S48°46'40"E
L11	46.34	S48°54'57"E
L12	44.83	S48°46'32"E
L13	46.35	S48°43'36"E
L14	45.99	S48°47'19"E
L15	30.14	S48°41'21"E
L16	380.29	S54°32'47"W
L17	569.93	S2°51'44"W
L18	627.32	N45°54'39"W
L19	26.37	N31°27'44"E

USE: SINGLE-FAMILY RESIDENTIAL  
ZONING: R-6-CU

ANNETTE C SANDERS  
PIN: 1732104020  
REID: 0284811  
DB 013151 PG 01258  
USE: SINGLE-FAMILY RESIDENTIAL  
ZONING: R-6-CU

SFR JV-1 PROPERTY LLC  
PIN: 1731194955  
REID: 0284810  
DB 017788 PG 01887  
USE: SINGLE-FAMILY RESIDENTIAL  
ZONING: R-6-CU

CAROL WIEMERT  
PIN: 1731194993  
REID: 0284905  
BM 2001 PG 00082  
USE: SINGLE-FAMILY RESIDENTIAL  
ZONING: R-6-CU

AMH 2014-2 BORROWER LLC  
PIN: 1731195839  
REID: 0284904  
DB 015793 PG 02277  
USE: SINGLE-FAMILY RESIDENTIAL  
ZONING: R-6-CU

AMH 2014-2 BORROWER LLC  
PIN: 1731195876  
REID: 0284903  
DB 010579 PG 02491  
USE: SINGLE-FAMILY RESIDENTIAL  
ZONING: R-6-CU

KIERSTEN POPE  
PIN: 1731196802  
REID: 0284902  
DB 017453 PG 02692  
USE: SINGLE-FAMILY RESIDENTIAL  
ZONING: R-6-CU

AMH NC PROPERTIES, LP  
PIN: 1731196738  
REID: 0284901  
DB 016604 PG 00429  
USE: SINGLE-FAMILY RESIDENTIAL  
ZONING: R-6-CU

EUGENIO E JR AND LUZ A VALDEZ  
PIN: 1731196775  
REID: 0284900  
DB 013159 PG 01973  
USE: SINGLE-FAMILY RESIDENTIAL  
ZONING: R-6-CU

AMH 2015-2 BORROWER LLC  
PIN: 1731197702  
REID: 0284899  
DB 016162 PG 00535  
USE: SINGLE-FAMILY RESIDENTIAL  
ZONING: R-6-CU

PEARL ROAD DRIVEWAY, PEDESTRIAN PATH, AND SIDEWALK TO BE CLOSED DURING CONSTRUCTION OF PEARL ROAD REALIGNMENT. ACCESS TO SITE WILL BE LIMITED TO ROCK QUARRY DRIVEWAY. TYPE III BARRICADES TO BE INSTALLED DURING PEARL ROAD REALIGNMENT TO RESTRICT ACCESS TO PEARL ROAD.

PEARL ROAD REALIGNMENT - TO BE DESIGNED AND CONSTRUCTED BY CITY OF RALEIGH; FILES OBTAINED ON 2021-09-03

NEAL M HALL AND RENE PEARCE  
PIN: 1732103537  
REID: 0056267  
DB 19-E PG 1290  
USE: SINGLE-FAMILY RESIDENTIAL  
ZONING: R-4

VARIABLE WIDTH EASEMENT INCLUSIVE OF 20' SLOPE EASEMENT, DRAINAGE EASEMENT, AND TEMPORARY CONSTRUCTION EASEMENT

18.5' CL TO BOC

38' CL TO RIGHT-OF-WAY

20' CITY OF RALEIGH SLOPE EASEMENT

10' PEDESTRIAN PATH

ITEMS IN GREEN TO BE CONSTRUCTED BY DEVELOPER (TYP.)

3-STORY - 84 UNITS SENIOR APARTMENTS

ABBINGTON RIDGE TOWNHOME ASSN INC  
PIN: 1731291743  
REID: 0331001  
DB 015024 PG 01858  
USE: MULTI-FAMILY RESIDENTIAL  
ZONING: R-6-CU

#### SITE LAYOUT KEYNOTES

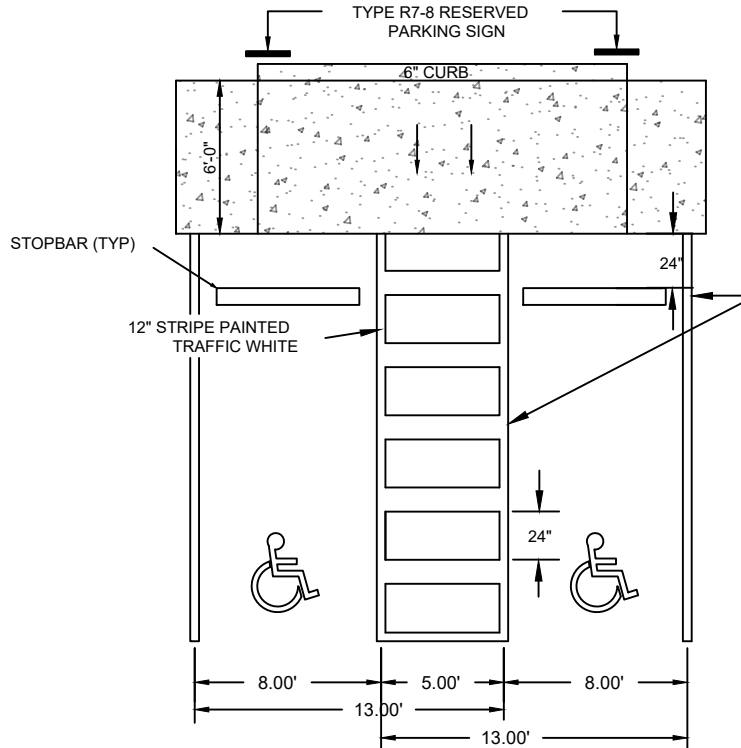
NUMBER	DESCRIPTION
S01	PROPOSED RIGHT-OF-WAY (TYP.)
S02	PROPOSED BUILDING ENTRANCE
S03	PROPOSED AMENITY AREA (EACH AREA IS AT LEAST 10' IN WIDTH AND LENGTH)
S04	VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT
S05	EXISTING ROAD CENTERLINE
S07	4" THICK CONCRETE SIDEWALK; 6" WIDE TYP. UNLESS OTHERWISE NOTED
S08	24" FLUSH CURB
S09	30" CONCRETE CURB & GUTTER (TYP.) (PUBLIC RIGHT-OF-WAY ONLY)
S10	FULL ACCESS DRIVEWAY
S11	EXISTING RIGHT-OF-WAY
S12	PARKING STALL STRIPING (PER LOCAL CODES; TYP.)
S13	ADA VAN ACCESSIBLE PARKING SPACE STRIPING AND SYMBOL OF ACCESSIBILITY
S14	LIGHT POLE BASE TO BE NO CLOSER THAN 50' TO PROPERTY LINE; REFER TO LIGHTING PLAN (TYP.)
S15	PROPOSED LOCATION OF TRANSFORMER (TO BE COORDINATED WITH SERVICE PROVIDER)
S16	PROPOSED WATER METER(S) AND BACKFLOW(S)
S19	24" CONCRETE CURB & GUTTER (PRIVATE PROPERTY ONLY)
S20	3" CURB RADIUS (TYP. UNLESS OTHERWISE NOTED)
S21	ADA ACCESSIBILITY SIGN (TYP.)
S22	EXISTING PROPERTY LINE (TYP.)

#### HATCH LEGEND

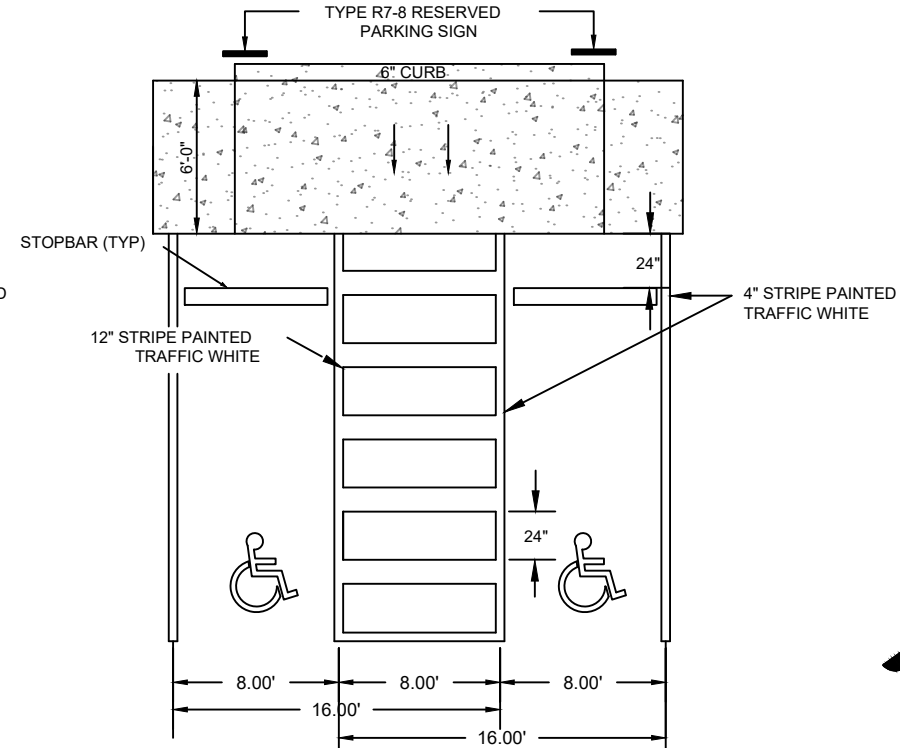
PROPOSED VARIABLE WIDTH EASEMENT INCLUSIVE OF 20' SLOPE EASEMENT, OVERHEAD UTILITY EASEMENT, DRAINAGE EASEMENT, AND TEMPORARY CONSTRUCTION EASEMENT

#### SITE LAYOUT NOTES:

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
- AT LEAST 72 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-632-4949) TO HAVE EXISTING UTILITIES LOCATED.
- PARKING SPACES ARE 8.5' WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8.0' WIDE MINIMUM WITH 8.0' VAN ACCESS AND 5.0' STANDARD ACCESS AISLES.
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
- CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ALL CURB AND GUTTER ONSITE SHALL BE 24" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
- TRANSITION FROM 30" TO 24" CURB AND GUTTER IS TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY.
- ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER CITY OF RALEIGH OR NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH THE RALEIGH STREET DESIGN MANUAL. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHTY (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.



ACCESSIBLE PARKING DETAIL (NON-VAN)



STANDARD FOR VAN ACCESSIBLE PARKING DETAIL

S23	PROPOSED FENCE; REFER TO DETAIL
S24	EXISTING WALL
S25	PEDESTRIAN CROSSWALK (TYP.)
S26	TAPER 30" CURB TO 24" CURB
S27	FLUSH SIDEWALK
S28	SIDEWALK RAMP @ 8.33% MAXIMUM (TYPICAL - PER ADA AND LOCAL CODES)
S29	BUILDING; REFER TO ARCHITECTURAL PLANS
S30	DUMPSTER ENCLOSURE; REFER TO DETAIL AND ARCH PLANS
S31	BUILDING PRIMARY ENTRANCE
S32	CONCRETE ADA STALL (TYP.)
S33	HVAC CONCRETE PAD (TYP.)
S35	RIGHT IN / RIGHT OUT DRIVEWAY
S36	ROAD WIDENING
S37	10' X 70' NCDOT SIGHT DISTANCE TRIANGLE (TYP.)
S38	PROPOSED UNDERGROUND SCM LOCATION
S39	PROPOSED MONUMENT SIGN
S40	EXISTING EDGE OF PAVEMENT
S41	BICYCLE RACK (TYP.)
S42	PROPOSED RETAINING WALL TO BE DESIGNED BY OTHERS; 42" HIGH PEDESTRIAN SAFETY RAIL REQUIRED BY CODE ATOP WALL WHEREVER WALL HEIGHT EXCEEDS 30"
S43	DRIVEWAY ENTRANCE FOR AT&T ACCESS
S44	TYPE 1A BARRICADE; REFER TO DETAIL
S45	TYPE 1B BARRICADE; REFER TO DETAIL

SCALE 1"=40'

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION  
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH, WAKE COUNTY, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

SITE DATA TABLE	
PROJECT NAME:	EVERGREEN - ASPEN SPRING
APPLICANT/ PROPERTY OWNER:	EVERGREEN CONSTRUCTION TIMOTHY MORGAN 7706 SIX FORKS ROAD, SUITE 202 RALEIGH, NC 27615
PROPERTY ADDRESS:	5706 ROCK QUARRY, RALEIGH, NC 27610
PIN:	1732-10-8597; 1732-10-5490; 1732-10-4220
DEED REFERENCE:	DB 8768 PG 918; DB 8195 PG 1589; DB 6823 PG 80
PLAT REFERENCE:	BM 1998 PG 1986; BM 1998 PG 1986; BM 1996 PG 0009
TOWNSHIP:	ST. MARY'S
EXISTING TRACT SIZE:	8.02 AC
PROPOSED RIGHT-OF-WAY DEDICATION:	25,284 SF = 0.58 AC
PROPOSED TRACT SIZE:	324,236 SF = 7.44 AC
EXISTING TRACT ZONING:	MAXIMUM LIMITED PARKING, CONDITIONAL USE
EXISTING LAND USE:	SINGLE-FAMILY RESIDENTIAL
PROPOSED LAND USE:	RESIDENTIAL - HOUSEHOLD LIVING - MULTI-FAMILY - SENIOR APARTMENTS AFFORDABLE HOUSING
RALEIGH FUTURE LAND USE:	MODERATE DENSITY RESIDENTIAL
WATER SHED:	BIG BRANCH, WALNUT CREEK, NEUSE RIVER
WATER SUPPLY WATERSHED:	NONE
SURFACE WATER CLASSIFICATION:	C; NSW
BUILDING/STRUCTURE SETBACKS:	
FRONT (FROM PRIMARY STREET):	5' MIN
SIDE LOT LINE:	0' OR 6' MIN
REAR LOT LINE:	0' OR 6' MIN
PARKING SETBACKS:	
FRONT (FROM PRIMARY STREET):	10' MIN
SIDE LOT LINE:	0' OR 3' MIN
REAR LOT LINE:	0' OR 3' MIN
PROPOSED BUILDING INFORMATION:	
PROPOSED DWELLING UNITS:	1-BR UNITS: 42 UNITS 2-BR UNITS: 42 UNITS TOTAL: 84 UNITS
PROPOSED BUILDING FLOOR AREA:	93,311 SF
PROPOSED BUILDING CONSTRUCTION TYPE:	V-A
MAX ALLOWED PRINCIPAL BUILDING HEIGHT:	3-STORIES, 50 FEET MAX
PROPOSED BUILDING HEIGHT:	3-STORIES, 46'-1" FEET
PARKING SUMMARY:	
MIN AUTO PARKING REQUIRED:	RESIDENTIAL HOUSEHOLD MULTI-UNIT LIVING (AFFORDABLE HOUSING PARKING REDUCTION): 1 SPACE PER UNIT (84) UNITS REQUIRES (84x1)= 84 84 MINIMUM AUTO PARKING SPACES
AUTO PARKING PROPOSED:	99 SPACES (INCLUDES 10 STANDARD HC + 3 VAN HC)
MIN SHORT-TERM BICYCLE PARKING REQUIRED:	1 SPACE PER 20 UNITS, MINIMUM 4 84 / 20 = 4.2 5 MINIMUM BICYCLE PARKING SPACES
SHORT-TERM BICYCLE PARKING PROVIDED:	6 SPACES
MIN LONG-TERM BICYCLE PARKING REQUIRED:	0 REQUIRED
LONG-TERM BICYCLE PARKING PROVIDED:	0 PROVIDED
IMPERVIOUS SURFACE SUMMARY:	
EXISTING ON-SITE IMPERVIOUS:	21,292 SF = 0.48 AC = 6.0%
PROPOSED ON-SITE IMPERVIOUS:	110,340 SF = 2.53 AC = 34.0% (INCLUDES 0.25 AC IMPERVIOUS CONTINGENCY)
SECONDARY TREE CONSERVATION AREA:	
MIN REQUIRED:	34,936 SF = 10%
PROPOSED:	38,026 SF = 10.9%
OUTDOOR AMENITY AREA:	
MIN REQUIRED:	34,936 SF = 10%
PROPOSED:	34,973 SF = 10.01%
BUILD-TO REQUIREMENTS (-PL FRONTAGE):	
BUILD-TO REQUIREMENTS (-PL FRONTAGE):	MIN REQUIRED BUILD-TO: 5'-0"
MAX REQUIRED BUILD-TO:	100'-0"
MIN BUILDING WIDTH IN BUILD-TO:	50%
PRIMARY STREET(S):	PEARL ROAD ROCK QUARRY
SECONDARY STREET(S):	NONE
BUILDING WIDTH IN PRIMARY BUILD-TO AREA ALONG PEARL ROAD:	344.4' OF TOTAL BUILDING WIDTH
PROPERTY WIDTH FRONTAGE ALONG PEARL ROAD:	863' RIGHT-OF-WAY
PEARL ROAD BUILD-TO % (50% MIN):	344.4' / (863' RIGHT-OF-WAY) = 39.8% 344.4' / (863' RIGHT-OF-WAY - 51' OF PRIVATE UTILITY EASEMENT - 150' OF TCA WIDTH) = 52.42%
BUILDING WIDTH IN PRIMARY BUILD-TO AREA ALONG ROCK QUARRY:	218.9' OF TOTAL BUILDING WIDTH
PROPERTY WIDTH FRONTAGE ALONG ROCK QUARRY:	361' RIGHT-OF-WAY
ROCK QUARRY BUILD-TO % (50% MIN):	218.9' / (361' RIGHT-OF-WAY) = 60.61%

PRELIMINARY  
NOT FOR  
CONSTRUCTION

THIS DRAWING PREPARED AT THE  
RALEIGH OFFICE  
5410 Trinity Road, Suite 102 | Raleigh, NC 27607  
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YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	
DATE	REVISIONS PER CITY OF RALEIGH COMMENTS
03/15/2021	REVISIONS PER CITY OF RALEIGH COMMENTS
06/24/2021	REVISIONS PER CITY OF RALEIGH COMMENTS
09/10/2021	REVISIONS PER CITY OF RALEIGH COMMENTS

DATE  
11/24/2020

DRAWN BY  
T. DAEKE

DESIGNED BY  
R. BAKER

CHECKED BY  
R. BAKER

SCALE  
AS SHOWN

TIMMONS GROUP . . . . .  
NORTH CAROLINA LICENSE NO. C-1652

EVERGREEN - ASPEN SPRING

CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA

POST-REALIGNMENT SITE PLAN

JOB NO.

42601.004

SHEET NO.

C2.0.2

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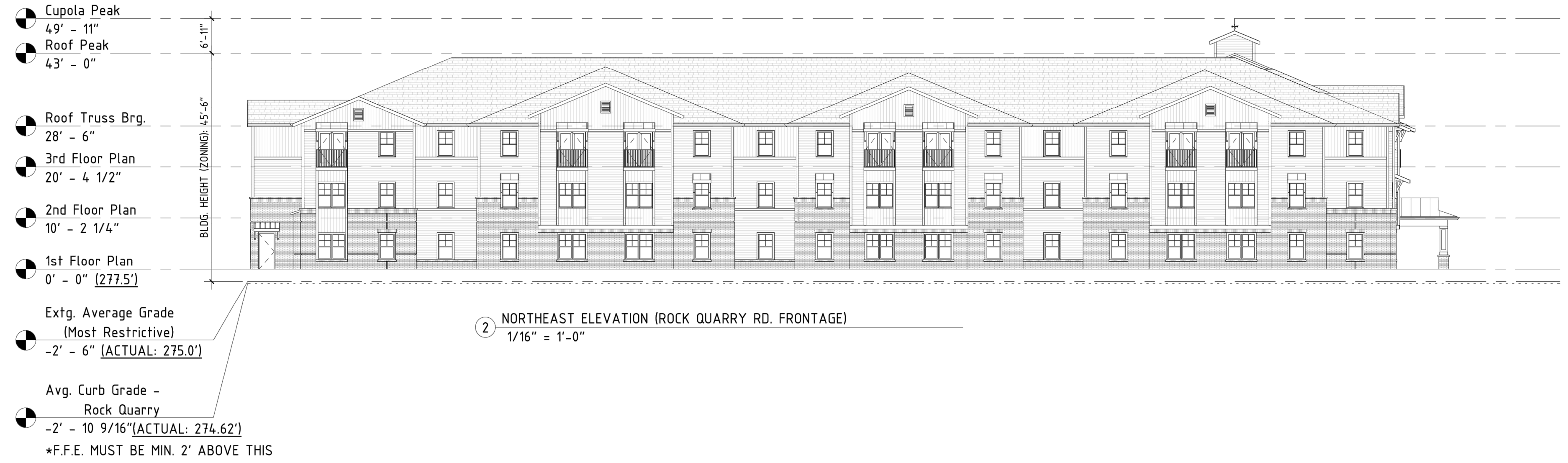


ELEVATION NOTES

- 1. MASONRY CONTROL JOINTS TO BE PROVIDED AT ALL INSIDE CORNERS, AS WELL AS WHERE INDICATED ON ELEVATIONS.
- 2. MINIMUM THICKNESS OF ALL VINYL SIDING TO BE .044".
- 3. SOFFITS TO BE PRE-FINISHED HARDIE COLORPLUS OR EQUAL.
- 4. ROOFER TO INSTALL PERMA BOOTS "WEATHERWOOD" AT ALL PLUMBING VENT ROOF PENETRATIONS.
- 5. SEE ROOF PLAN ON A110 FOR DOWNSPOUT LOCATIONS.
- 6. ALL VINYL SIDING TO HAVE A FLAME SPREAD VALUE OF 20 OR LESS.
- 7. ALL TRIM TO BE WHITE. TRIM TO BE PAINTED FIBER CEMENT, MIRATEC, OR PVC. SEE A4.1 AND A4.2 FOR JAMB DETAILS.
- 8. ALL WORK TO COMPLY WITH THE NCHFA'S 2020 GAP.
- 9. STREET NUMBERS TO BE POSTED ON THE BUILDING AND VISIBLE FROM THE ROADWAY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. NUMBERS SHALL BE A MINIMUM STROKE WIDTH OF 0.75 INCHES.

NOTATION LEGEND

M.C.J. = MASONRY CONTROL JOINT  
F.O.M = FACE OF MANSONRY



AVERAGE GRADE ANALYSIS						
PER CITY OF RALEIGH UDO SEC. 1.5.7.B.2 & TC-17-16						
ELEVATION	EXISTING GROUND (EG)			FINISHED GRADE (FG)		
	HIGH POINT	LOW POINT	AVG. GRADE	HIGH POINT	LOW POINT	AVG. GRADE
NORTH	272.50	268.20	270.35	277.50	277.50	277.50
SOUTH	281.40	275.00	278.20	277.50	277.50	277.50
EAST	281.40	268.40	274.90	277.50	277.50	277.50
WEST	280.60	272.50	276.55	277.50	277.50	277.50
	EXISTING AVG. GRADE*			FINISHED AVG. GRADE		
	275.00			277.50		

\*MOST RESTRICTIVE

