

Administrative Approval Action

Case File / Name: ASR-0096-2021 DSLC - East Civic Tower Ph 1 City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The site is generally located at the northwest corner of W Hargett Street and S

McDowell Street, with a common street address of 200 W Hargett Street.

REQUEST: Development of an approximately 362,396 square foot, 17 story civic building. The

subject property is approximately 0.92 acres zoned DX-20-SH.

Design Alternates (DA-5-2022) approved for relief from the minimum façade stepback requirement along W Hargett Street and along S McDowell Street. See

DA-29-2022 for full details.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of

approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 26, 2023 by SEPI

Engineering and Construction, Inc..

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☑ <u>SITE PERMITTING REVIEW</u> - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

- 1. Demonstrate compliance with UDO Section 1.5.3.C.3 (Amenity Area).
- 2. Demonstrate compliance with UDO Section 3.3.3.C (Building Massing Standards Floor Plate Size).
- 3. Demonstrate compliance with UDO Section 7.2.5.D (Mechanical Equipment).
- 4. Add the design alternate (DA-5-2022) approval document to the plan set.

Engineering

- 5. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services Development Engineering prior to concurrent review approval.
- 6. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.



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Public Utilities

7. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

- 8. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
- 9. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

☑ <u>RECORDED MAP(S)</u> - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Public Utilities

1. Infrastructure Construction Plans (spr submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

☑ <u>BUILDING PERMITS</u> - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Urban Forestry

A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees with tree pits along W Hargett Street and 4 street trees with tree pits along W S Mcdowell Street.

The following are required prior to issuance of building occupancy permit:

General



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Case File / Name: ASR-0096-2021 **DSLC - East Civic Tower Ph 1**

City of Raleigh **Development Services Department** One Exchange Plaza Raleigh, NC 27602 (919) 996-2492 currentplanning@raleighnc.gov www.raleighnc.gov

- 1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
- All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
- Final inspection of all right of way street trees by Urban Forestry Staff.

Stormwater

- As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
- 5. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: June 6, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

Signed: 06/06/2023 Date: Development Services Dir/Designee Staff Coordinator: Kasey Evans

I hereby certify this administrative decision.

PHASE 1: EAST CIVIC TOWER

200 WEST HARGETT STREET | RALEIGH, NC

ADMINISTRATIVE SITE REVIEW

ASR-0096-2021 | TRANSACTION # XXXXX

1st Submittal: October 25, 2021 2nd Submittal: February 24, 2022 3rd Submittal: September 14, 2022 A 4th Submittal: April 03, 2023



VICINITY MAP I SCALE 1980

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SHEET INDEX

 $\triangle \Delta$

mpany: SEPI Engineering & Construction, Inc. Address: 1 Glenwood Avenue, Suite 600, Raleigh NC, 27603 nor #:919.573.9947 Email: DMRer@twesystems.com. thom@prefodesign.com. Bephanie Seeb

Address: 219 Fayetteville St. Suite 801 | Raleigh NC 276

Administrative Site Review Application

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 The City of Balley frequires an approved Biglich-Day Perint for work on any public street or sidewalk and NDOT road within Railegi's Jurisdiction.

 A permit request with a TDED Plan stall be submitted to Biglich-OWy Services through

Traffic Control and Pedestrian Plan (TCPED) Notes:

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- A permit request with a TOED Pask shall be adomitted to Right of Way Services through
 the City of Rakeigh Permit and Development Portal.
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 construction shall be required to the compliant with the Public Rights of Way
 and the Manual on Uniform Traffic Control Devices (MUTCS).

Existing use (UDO 6.1.4): CIVIC Civic roperty address(es): 200 W. HARGETT STREET, RALEIGH NC, 27601

em 4/27/23

raleighnc.gos

U.D.O 7.25.D MECHANICAL EQUIPMENT SCREENING

NOTE TO REVIEWERS

DURING A VALUE MANAGEMENT EXERCISE 3 FLOORS WERE CUT OFF THE BUILDING REDUCING THE GROSS AREA FROM 422 242 SE TO 362 395 SE THIS IS REFLECTED IN THE ELEVATIONS, AMENITY AREA CALCULATIONS, REQUIRED TREE AND BENCHES. THE FOOTPRINT AND AESTHETIC OF THE BUILDING HAVE NOT CHANGED AND SHOULD NOT EFFECT THE ASR REVIEW. THE PROJECT IS PROVIDING THE SAME AMOUNT OF AMENITY SPACE, TREES, AND BENCHES WHILE THE REQUIREMENT HAS REDUCED.

Phase 1: East Civic Tower 200 West Hargett

Street Raleigh, NC 27601

Owner City of Raleigh 219 Fayetteville Street, Suite 801 Raleigh, NC 27601 919-986-3575

227 Fayetteville Street, Suite 301 Raleigh, North Carolina 27601 919-821-0805

Structural Engineer Lynch Mykins 301 N West Street, Suite 105 Raleigh, NC 27603 919-782-1833

AV / Technology SM&W

9116 Lanigan Street Charlotte, NC 28277 704-724-1045

Design Architect
Henning Larsen Architecture, PA
250 West Broadway, 2nd Floor
New York, NY 10013
646-880-8600

Mechanical / Electrical / Plumbing Engineer

Barrett, Woodyard & Associates 2301 Rexwoods Drive, Suite 108 Raleigh, NC 27607 919-747-9884

1220 North Fillmore Street, Suite 360 Arlington, VA 22201 703-243-6301

Vertical Transportation Lerch Bates 900 Circle 75 Parkway, Suite 1300 Atlanta, GA 30339 770-203-0578

Facade / Waterproofing / Roofin REJ Engineers 9121 Anson Way, Suite 100 Raleigh, NC 27615 919-845-1450

Food Service
KRM Food Service Design & Consulting

SHEET TITLE COVER

SHEET

SHEET NUMBER

G-001

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS Kasey Evans Inn approxing this document

DEVELOPMENT TYPE + SITE DATE TABLE

Henning Larsen —

MEETING MINUTES

RATIO Project Vo. 19045,000 Disputive Steer Committee Vesting

Perpose: Held at:

Partitioasts: Principle Williams - Coff Micheel Moore - Coff Har Bovers - Coff

Flincharts Nove ... Colf. Hel Brown - RKTID Blair Hinkle — CeR Ban Hom - RATIO No Greece - Coli Carriel Baumann - Renning Larse Mary Vigue - Coft

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Melly Hern — Coff Billy Stack — Coff Kristian Fraeman — Coff Greg Halley — Hermany Larsen Lais Sun - Bares no Lores

Pleas & East Club Tope

Stephanie, this will be fine. Thanks for coming down to discuss it this morning

Ryan C. Cutright

City of Raleigh

(c) 919.723.6700

Stephanie S. Seeber, PA AIA

GENERATOR DOES NOT REQUIRE EASMENT

REQUEST FOR CURB ADJUSTMENT



Justin Remetts, Plenning and Zoning Administrator, Plenning and Development

GQ:

DATE: January 26, 2021

SUBJECT: East Civio Tower, Outstanding Zoning Interpretations

Stephania

FRQM:

r sending the additional supporting information for the outstanding items from our December 29, 2020 discussion. As you keek, to outstanding issues, as described below:

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Response Based on the information you have provided, the Brids Stoll rid be integrated in draps, approximately 39° 17.8.2° x 50°, and consider of a prosest integrated in the control of the integrated in the control of the integrated provider. For extraction will see Stoll governed ordered, The disclosure of LS.2.C. provided integrated provider. For extraction will see Stoll governed ordered, The control ordered in the Control ord

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ZONING INTERPRETATIONS

Raleigh Downtown Streetscape Improvement Masterplan 1991

Elevating streetscape design to align with ECT's approach to creating an inviting front 'civic porch' & public realm



Raleigh Downtown Streetscape Improvement Masterplan 1991

Possible Section that allows for Flexibility

STREETSCAPE DIAGRAM WAS SUBMITED TO TRANSPORTATION DEPARTMENT ON OCTOBER 15, 2021. WE MILL NOT HAVE COMMENTS FROM THE TRANSPORTATION DEPARTMENT BEFORE THIS SUBMITTAL. COMMENTS WILL BE NOLUDED IN THE FRST ROUND OF COMMENTS.

SIDEWALX PRIMING
MASTER PLAN

MASTER PLAN

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STREETSCAPE STRATEGY

Raleigh Downtown Streetscape Improvement Masterplan 1991 Sidewalk Paving Level 5: Requirement for 'ceremonial streets' and existing conditions at such locations across the city



Site Plan

While based on level 6, the streetscape design at ECT focuses on unique and inviting placemaking.

The elements recommended by level 5 such as concrete paving and eltting edge are integrated into ECT's landscape design and outdoor space, creating an invitir outdoor public realm for the city that continues onto streetscape

DOPLETO

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Owner
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TranSystems
1 Glenood Avenue, Suite 600
Raleigh, NC 27803
919-789-8977

Fire Protection / Code Carolina Specialty Engineering 8000 Regency Parkway, Suite 580 Cary, NC 27518 919-424-3858

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N.C. CORPORATE SEAL F-0453

Henning Larsen — **RATIO** SHEET TITLE

COVER SHEET

SHEET NUMBER

G-002

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS

MEETING AGENDA RATIO Privatio Williams, Reilly Hans, Stephanic Sociate, Still Black. (Co-R) | Edu Lamb (RDOT) | Any Nothinghous, Hilliams Wilston Sean Bremon, Broder (Salter (MCCCT) | Box Horn, Hall Brown (MAIC) | Gree Haller, Lois Sait (New Ins Lacran) | Dienne Brosen, Frank Aurenya (Diesemport) | Den Fillber, Warty Hebsels (SEPO | David Wyatt (Bramfald & Gaeth) increduction. This most increase hability discuss the MCCCT recommended to the ECT to add a decidence turn lang on McCcccoll to enter the el-Comer audition (Shoulds).

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SAPE V ESTRAL 4IIIF ≦ mr

Cutright, Ryan < Ryan, Cutright@raileighnc.gor> Friday, February 11, 2022 3:23 PM Ban Horn Seeber, Stephanie Re: ECT | FCC Location - ActionItem:DM-J0006-01:ohrn3t From: Sent: Ye: Ce: Subjects

Please let me know is we need to do anything elec, and if someone has been (dentified to fill his position

I have attached his approval and our current Level 1 stan

BEN HORN

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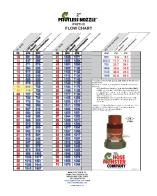
FCC LOCATION

TIA RECOMMENDATIONS

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110 S Mcdowell St

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10/12/21

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Facade / Waterproofing / Roofing REI Engineers 9121 Anson Way, Suite 100 Raleigh, NC 27615 919-845-1450

SEAL DATE



N.C. CORPORATE SEAL F-0453

RATIO

COVER SHEET

SHEET NUMBER

G-003

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS ■EPM :=

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ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS

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227 Fayetteville Street, Suite 301
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Raleigh, NC 27603
919-782-1833

Mechanical / Electrical / Plumbing Engineer Barrett, Woodyard & Associates 2301 Rexwoods Drive, Suite 108 Raleigh, NC 27807 919-747-9884

Civil Engineer TranSystems 1 Glenwood Avenue, Suite 600 Releigh, NC 27603 919-789-9977

Fire Protection / Code
Carolina Specialty Engineering
8000 Regency Parkway, Suite 580
Cary, NC 27518
919-424-3858

AV / Technology SM&W 1220 North Filmore Street, Suite 360 Artington, VA 22201 703-243-6301

Food Service
KRM Food Service Design & Consulting

9116 Lanigan Street Charlotte, NC 28277 704-724-1045

Vertical Transportation Lerch Bates 900 Circle 75 Parkway, Suite 1300 Allanta, GA 30339 770-203-0578

Facade / Waterproofing / Roofing REI Engineers 9121 Anson Way, Suite 100 Raleigh, NC 27615 919-845-1450



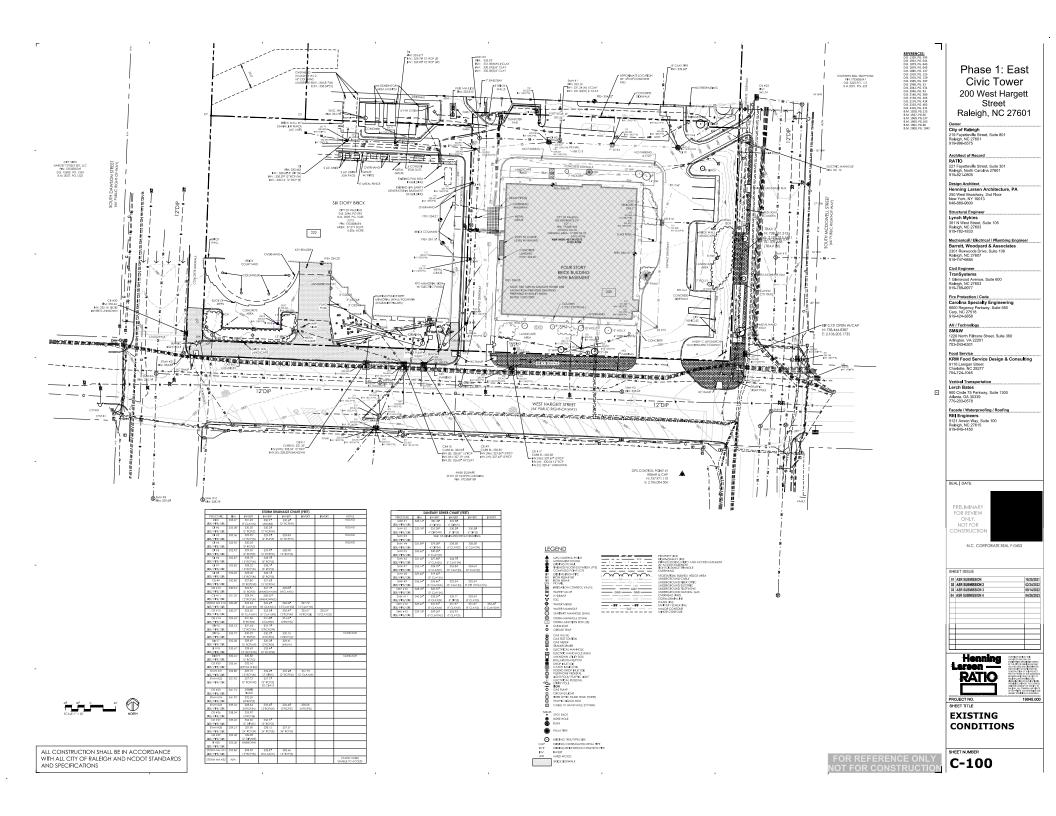
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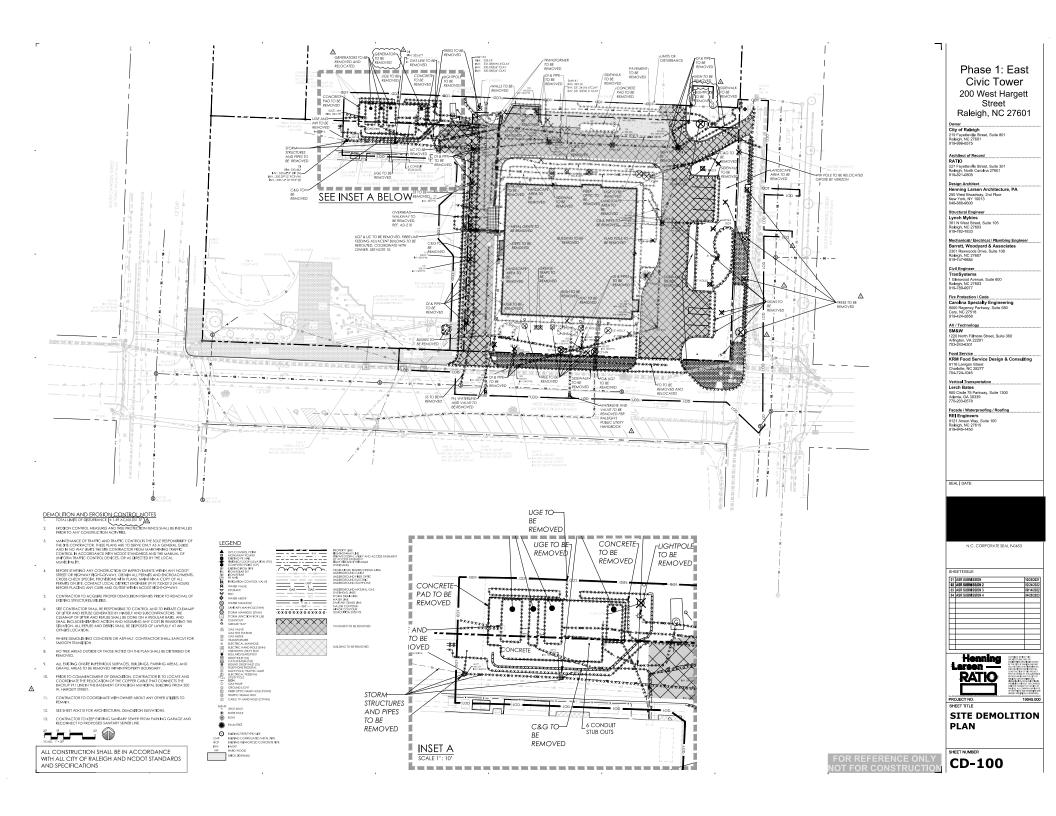
	ASR SUBMISSION	10/25/2021
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04	ASR SUBMISSION 4	04/26/202
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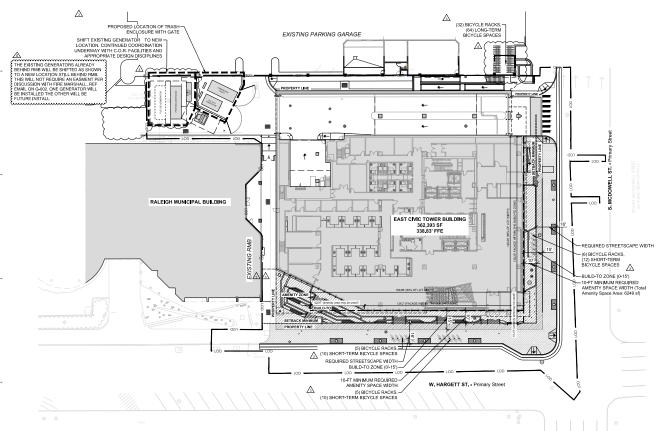


GENERAL NOTES & SYMBOLS

SHEET NUMBER









- ALL DESIGN ELEMENTS WITHIN SITE BOUNDARY ARE PROPOSED UNLESS OTHERWISE NOTED, SEE DEMOLITION PLAN FOR ADDITIONAL INFORMATION
- SITE IS CATEGORIZED AS DX DOWNTOWN MIXED USE. NO PARKING SPACES ARE REQUIRED FOR THIS SITE
 PER UDG SECTION 7.13.4 "NO VEHICLE PARKING SPACES ARE REQUIRED, HOWEVER, NO MORE THAN 2 ON-SITE
 PARKING SPACES PER DIVELLING UNIT ARE ALLOWED."
- NO TRANSITIONAL PROTECTIVE YARD IS REQUIRED FOR THIS SITE AS THE SITE ABUTS NEITHER INDUSTRIAL NOR RESIDENTIAL ZONING USES.



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UDO REQUIREMENT SUMMARY TABLE

	UDO REQUIREMENT	REQUIRED	PROPOSED	UDO SECTION	FURTHER INFORMATION
					see notes and graphics
	SETBACK	min 5' from property line	10' from property line	3.2.7 - Civic Building	this sheet
					see notes and graphics
	BUILD TO ZONE	0'- 15' from property line	15' from property line	3.4.9 C1	this sheet
		80% of primary build-to	McDowell: >100%		see notes and graphics
Λ.	BIKE RACKS		Hargett: 74%*	3.4.9 C2	this sheet
44	~~~~	10% of site area + 50 SF	$\sim\sim$		
- }		per floor above 7th story)		see notes below and
(AMENITY SPACE	(4,515 sf required)	6,249.SF . J	1.5.3	SHEET L-012
		[1] 2" caliper tree per			
		1000 SF of required			
		amenity area (4.6 trees			
		reguired)	7trees	1.5.3.C	SEE SHEET L-012
		1 UF of seating per 50 SF			
		of required amenity area			
	>SEATING	(98.3 LF required)	150 LF	1.5.3.C	SEE SHEET L-012
A RECYCON A R. R. C. A. AMERITY ADEA MAY BE HEED TO PATIETY THIS DECYMPENATIO					

AMENITY REQUIREMENT SITE GROSS ACREAGE: 40.154 SF (0.92 ACRES) REQUIREMENT: UDO SECTION 1.3.3: 10% OF SITE AREA + 50 SFFILOR ABOVE 7^{10} STORY >> CALC.40,154 SF \times 0.10 = 4.015 SF AMENITY SPACE REQUIRED GENERALLY >> CALC. 50 SF10 61.00 RS ABOVE 7^{70} = 500 ADDITIONAL SF TOTAL REQUIRED = 4,515 SF PROPOSED: TOTAL PROPOSED = 6,249 SF



SCREENING (UDO 7.2.5)

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COREENING (UDO 7.2.5)

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SETBACK REQUIREMENT

STREETSCAPE REQUIREMENT

RALEIGH UDO 8.5.2: >16' STREETSCAPE WIDTH FROM EDGE OF CURB

RALEIGH DOWNTWON STREETSCAPE MASTER PLAN: >LEVEL II OR HIGHER

THIS STREETSCAPE DESIGN ADHERES TO THE 16" WIDTH IN THE UDO SECTION 8.5.2 AND MEETS LEVEL IV DESIGN GUIDELINE IN THE DOWNTOWN STREETSCAPE MASTER PLAN WITH THE CONCRETE PANNO, STREET TREES, AND SITTING EDGE.

SHORT-TERM BIKE PARKING REQUIREMENT

SHUKH I LEKM BIKE PARKING RE

1 SPACE (AUSE OF GROSS FLOOR AREA
1 AUSE (AUSE OF GROSS FLOOR

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1.1.7.K - REQUIRED TYPES OF BICYCLE PARKING:
THE BICYCLE PACKS SPECIFIED MEET THE
REQUIREMENTS FOR 1.A. 1.B. 1.C. 1.D. 2. 8A. AND 3B.
10 REQUIRES SHORT-TERM AND LONG-TERM
FACILITIES COMPLY WITH THE RALEIGH STREET
DESIGN MANUAL.

6.24.1 - BIKE PARKING STANDARDS (CITY OF RALEIGH STREET DESIGN MANUAL)

[A.4.C] - RACKS SHOULD BE PLACED AT LEAST 48* FROM TREE GRATES.

BICYCLE SPACES PROVIDED
> 32 SHORT-TERM SPACES PROVIDED (30 REQ'D)
> 64 LONG-TERM SPACES PROVIDED (11 REO'D)

NOT FOR CONSTRUCTION

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Owner City of Raleigh 219 Fayetteville Street, Suite 801 Raleigh, NC 27601 919-996-5575

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Design Architect
Henning Larsen Architecture, PA
250 West Broadway, 2nd Floor
New York, NY 10013
645-880-964

Structural Engineer Lynch Mykins 301 N West Street, Suite 105 Raleigh, NC 27603 919-782-1833

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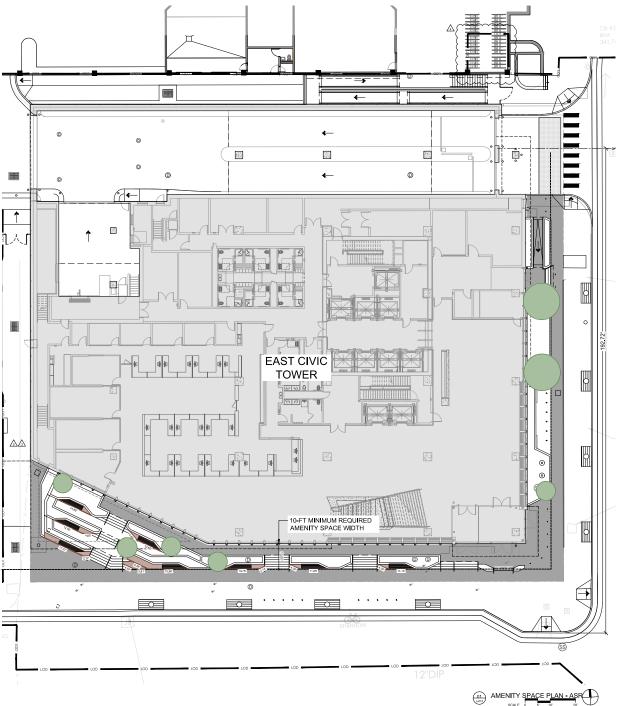
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01 ASR SUBMISSION 02 ASR SUBMISSION



OVERALL SITE PLAN -

ASR



- ALL DESIGN ELEMENTS WITHIN SITE BOUNDARY ARE PROPOSED UNLESS OTHERWISE NOTED, SEE DEMOLITION PLAN FOR ADDITIONAL INFORMATION
- 2. NO SOLID WASTE FACILITIES EXIST ON SITE.
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Amenity Zone Seating

Amenity Zone Seating Edge of Seat
 Amenity Zone 2" Trees

AMENITY REQUIREMENT

TOTAL AMENTY AREA PROVIDED: 6249 SF (Ref. L-0.11 for additional required and fusional requirements information)

REQUIREMENT: UDO SECTION 1.5.3.C: 1.F OF SEATING PER S0 SF OF REQUIRED AMENTY SPACE

>> CALC: 4,515 SF / 50 = 90.3 LF REQUIRED - 149.7 LF PROVIDED

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Phase 1: East Civic Tower 210 West Hargett Street Raleigh, NC 27601

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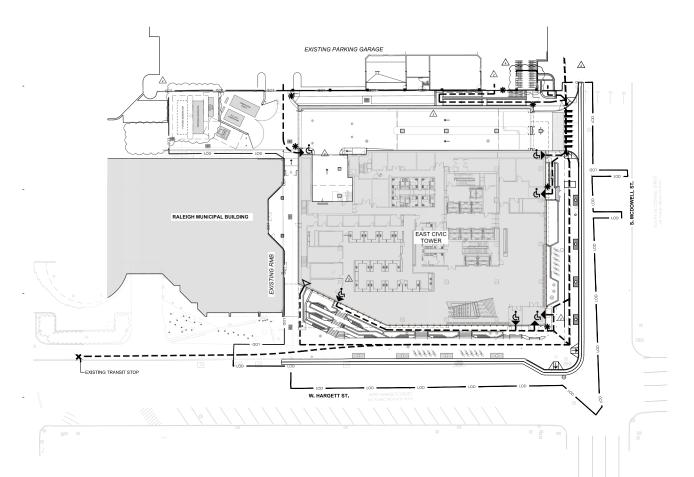
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AMENITY SPACE PLAN -ASR

L-012

NOT FOR CONSTRUCTION





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SITE ACCESSIBILITY LEGEND

ACCESSIBLE ENTRANCE

Phase 1: East Civic Tower 210 West Hargett Street Raleigh, NC 27601

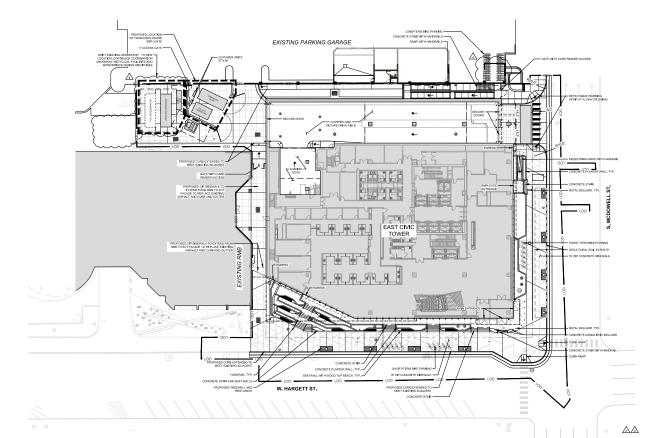
Architect of Record RATIO 227 Fayetteville Street, Suite 301 Rajaigh, North Carolina 27601 919-821-0805

Facade / Waterproofing / Ro REI Engineers 9121 Anson Way, Suite 100 Rakeigh, NC 27615 919-845-1450



SITE ACCESSIBILITY PLAN - ASR

NOT FOR CONSTRUCTION



SITE PLAN - LEVEL 1 - ASR

ADMINISTRATIVE SITE REVIEW NOTES

- ALL DESIGN ELEMENTS WITHIN SITE BOUNDARY ARE PROPOSED UNLESS OTHERWISE NOTED, SEE DEMOLITION PLAN FOR ADDITIONAL INFORMATION
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- 5. NO STREET PROTECTIVE YARD IS REQUIRED FOR THIS SITE AS THE SITE ABUTS NEITHER INDUSTRIAL NOR RESIDENTIAL ZONING USES.

SITE FEATURES PLAN GENERAL NOTES:

- 3. WORK SHOWN ON THE DRAWINGS SHALL BE BASE BID UNLESS SPECIFICALLY NOTED TO BE BY ALTERNATE BID
- 4. COORDINATE ALL WORK WITH OTHER DESIGN DISCIPLINES.
- 4 MATCH GRAPHIC REPRESENTATION SHOWN ON THE DRAWINGS UNLESS NOTED/DIMENSIONED OTHERWISE
- 5. ALL WORK SHALL COMPLY WITH FEDERAL STATE AND LOCAL REGULATIONS.
- PARTICIPATE IN ALL INDICATED PRE-INSTALLATION CONFERENCES, ACCORDING TO THE PROJECT SPECIFICATIONS, PRIOR TO COMMENCEMENT OF EACH RESPECTIVE SCOPE-OF-WORK. REFER TO THE TECHNICAL SPECIFICATIONS AND DRAWINGS FOR ADDITIONAL INFORMATION.
- THE WARK SHALL FOR SEAL HAND THE SHALL FROM THE SHA

- ALL SECTION OF A CONTROL OF THE ARE SHOWN IN A PPRODUMATE LOCATIONS BASED UPON INFORMATION, AVAILABLE AT THE TIME OF SURVEY PIECO WORK, CONTRACTOR IS RESPONSIBLE FOR EFERTIMENTS DEAT TO COLTIONS OF ALL EXISTING INFORMATION OF UTILITIES OF REPRINCIPLY OF A CONTROL OF THE AREA OF THE TIME OF THE AREA OF THE
- PROTECT VALVES, MANHOLES, UTILITY BOXES AND SIMILAR STRUCTURES NOT DESIGNATED FOR REMOVAL, AND ADJUST TO NEW FINISH ELEVATIONS CONSISTENT WITH PROPOSED GRADING WHI OR NOT NEW RIM ELEVATIONS ARE INDICATED.
- 8.4. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED OR USED BY OWNER OR OTHERS WITHOUT PRIOR APPROVAL FROM OWNER.
- 8.5. PATCH, REPAIR AND RESTORE EXISTING FINISHES, SURFACES, PAVEMENT, CURBS AND IMPROVEMENTS DAMAGED OR DISTURBED BY CONSTRUCTION TO "AS NEW CONDITION" AFTER WORK IS COMPLETE, AND AS REQUIRED TO MAIOT SURFACIONIONIG MATERIALS ON TO PROVIDE APPROPRIATE USED STATE PHIOR TO INSTALLING INTERMEDES. AREAS MOTERO TO BE PATCHED OR REPAIRED ON THE DRAWNINGS ARE GREWED FOR REFERENCE AND SHALL NOT BE INTERPRETED TO LIMIT THE SCOPE OF WORK.

- CONTRACTOR IS RESPONSIBLE FOR COSTS ASSOCIATED WITH DISCONNECTING, REMOVING OR RELOCATING EXISTING UTILITIES, CONNECTING TO EXISTING UTILITIES AND COORDINATION AND INSTALLATION, ASSOCIATED WITH NEW UTILITIES, REFER TO CIVIL, AND MEP DRAWINGS FOR ADDITIONAL INFORMATION AND COORDINATE AS REQUIRED.
- 9.2. REMOVE EXISTING STRUCTURES, IMPROVEMENTS, TREES, PLANTING MATERIAL, FENCING, ETC. WITHIN WORK LIMITS ACCORDING TO THE SITE REMOVALS DOCUMENT(S) AND PROPERLY DISPOSE OF OFF SITE. ULBESS DIRECTED OTHERWISE. BURNING ON SITE IS PROHIBITED, REFER TO CIVIL DRAWINGS FOR ACCITICNAL INFORMATION AND COORDINATE AS REQUIRED.

10. SITE LAYOUT:

- 10.1 REFER DIMENSION AND LAYOUT QUESTIONS TO LANDSCAPE ARCHITECT FOR INTERPRETATION
- 10.2. THE LANDSCAPE ARCHITECT'S ELECTRONIC DESIGN DATA FILE(S) MAY BE MADE AVAILABLE TO THE SUCCESSFUL BIODER(S) FOR LAYOUT PURPOSES UPON REQUEST AND RECEIPT OF A SIGNED "WAIVER OF CLAMS FOR USE OF ELECTRONIC DATA FORM.
- 10.3. ALL DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO SURVEY BASE LINES, PROPERTY LINES OR BUILDING LINES UNESS NOTED OTHERWISE. DIMENSIONS GIVEN ARE NOT EXACT AND ARE ONLY TO AID THE CONTRACTOR.
- 10.5. ALL RADII ARE TO EDGE-OF-PAVEMENT OR FACE-OF-CURB UNLESS NOTED OTHERWISE. ALL RADII ARE 510" UNLESS NOTED OTHERWISE.
- 11. GRADING AND DRAINAGE: PROVIDE POSITIVE SURFACE DRAINAGE ON ALL SURFACES, WITHOUT PONDING, DURING CONSTRUCTION AND FOLLOWING COMPLETION. TEST FOR AND CORRECT ANY PONDING CONDITIONS. PROVIDE SMOOTH TRANSITIONS BETWEEN NEW AREAS AND EXISTING FEATURES.

- 12.1 TAKE PARTICULAR CARE WHEN EXCAVATING NEAR AND APOUND EXISTING UTILITY LINES AND EQUIPMENT SO AS NOT TO CAUSE DAMAGE. VERBY COVER REQUIREMENTS WITH APPLICABLE LITE ITY COMPANY, WHEN EXCAVATING AROUND OR OVER DESTING UTILITIES. NOTIFY UTILITY COMPANY SO THAT REPRESENTATIVE MAY BE PRESENT TO DISSENVE AND INSTRUCT DURING WORK.
- 12.2. TAKE PARTICULAR CARE WHEN EXCAVATING AROUND EXISTING TREES AND PLANTING MATERIALS SO AS NOT TO DISTURB OR DAMAGE EXISTING ROOT SYSTEMS.

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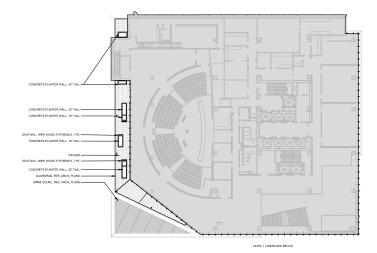
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SITE PLAN - LEVEL 1 -ASR

L-201

NOT FOR CONSTRUCTION



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- ALL DESIGN ELEMENTS WITHIN SITE BOUNDARY ARE PROPOSED UNLESS OTHERWISE NOTED, SEE DEMOLITION PLAN FOR ADDITIONAL INFORMATION
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- 5. NO STREET PROTECTIVE YARD IS REQUIRED FOR THIS SITE AS THE SITE ABUTS NEITHER INDUSTRIAL NOR RESIDENTIAL ZONING LISES.

SITE FEATURES PLAN GENERAL NOTES:

- 3. WORK SHOWN ON THE DRAWINGS SHALL BE BASE BID UNLESS SPECIFICALLY NOTED TO BE BY ALTERNATE BID
- 4. COORDINATE ALL WORK WITH OTHER DESIGN DISCIPLINES.
- EXISTING AND PROPOSED UTILITIES THAT ARE SHOWN ARE FOR REFERENCE ONLY. REFER TO THE SITE SURVEY FOR EXISTING UTILITIES AND VERIFY IN THE FIELD. REFER TO THE SITE ELECTRICAL PLAN FOR PROPOSED LIGHTING AND OUTLETS.
- 4 MATCH GRAPHIC REPRESENTATION SHOWN ON THE DRAWINGS UNLESS NOTED/DIMENSIONED OTHERWISE
- 5. ALL WORK SHALL COMPLY WITH FEDERAL STATE AND LOCAL REGULATIONS.
- PARTICIPATE IN ALL INDICATED PRE-INSTALLATION CONFERENCES, ACCORDING TO THE PROJECT SPECIFICATIONS, PRIDR TO COMMENCEMENT OF EACH RESPECTIVE SCOPE-OF-WORK. REFER TO THE TECHNICAL SPECIFICATIONS AND DRAWINGS FOR ADDITIONAL INFORMATION.
- THE WORK SHALL FOR SEAL WITH SEASON CONTROL AND THEE PROTECTION MEASURES AND CONSTRUCTION FLOWER SHALL SHALL

8. SITE SURVEY AND EXISTING CONDITIONS:

- ALL SOFTE TWO EXPERIENCE OF THE ARE SHOWN IN APPROXIMATE LOCATIONS BASED UPON INCOMATION AVAILABLE AT THE TIME OF SURVEY HELD WORK, CONTRACTIONS BRESOVORIES FOR REPORT OF THE AVAILABLE AT THE TIME OF SURVEY HELD WORK, CONTRACTIONS BRESOVORIES FOR HER ACKNO BOARDE DONE TO THE WORK THE COURSE OF EXPLORATION, CANTON AND CONSTRUCTION. TO HAVE EXISTING UNDESTRUCTION OF THE SLOCATED AND IDENTIFIED, CONTACT 811 (WWW.XCSI.10).
- 8.2. PROTECT EXISTING SURFACES TO REMAIN THAT ARE NOT INCLUDED IN SCOPE-OF-WORK BUT THAT ARE WITHIN AREAS OF CONSTRUCTION ACTIVITY.
- 8.3. PROTECT VALVES, MANHOLES, UTLITY BOXES AND SIMILAR STRUCTURES NOT DESIGNATED FOR REMOVAL, AND ADJUST TO NEW PRISH ELEVATIONS CONSISTENT WITH PROPOSED GRADING WHETHER OR NOT NEW RIM ELEVATIONS ARE INDICATED.
- 8.4. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED OR USED BY OWNER OR OTHERS WITHOUT PRIOR APPROVAL FROM OWNER.
- 8.5. PATCH, REPAIR AND RESTORE EXISTING FINISHES, SURFACES, PAVEMENT, CURBS AND IMPROVEMENTS DAMAGED OR DISTURBED BY CONSTRUCTION TO "AS NEW CONDITION" AFTER WORK IS COMPLETE, AND AS REQUIRED TO MAIOT SURFACIONIONIG MATERIALS ON TO PROVIDE APPROPRIATE USED STATE PHIOR TO INSTALLING INTERMEDES. AREAS MOTERO TO BE PATCHED OR REPAIRED ON THE DRAWNINGS ARE GREWED FOR REFERENCE AND SHALL NOT BE INTERPRETED TO LIMIT THE SCOPE OF WORK.

- 9.1. CONTRACTOR IS RESPONSIBLE FOR COSTS ASSOCIATED WITH DISCONNECTING, REMOVING OR RELOCATING SENSITING UTILITIES, CONNECTING TO EXISTING UTILITIES AND COOKDINATION AND INSTALLATION ASSOCIATED WITH NEW UTILITIES, REFER TO CIMIL AND MEP DRAWINGS FOR ADDITIONAL INFORMATION AND COORDINATE AS REQUIRED.
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- 10.3. ALL DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO SURVEY BASE LINES, PROPERTY LINES OR BUILDING LINES UNESS NOTED OTHERWISE. DIMENSIONS GIVEN ARE NOT EXACT AND ARE ONLY TO AID THE CONTRACTOR.
- 10.4. CONTRACTOR SHALL VERIFY ALL VERTICAL AND HORIZONTAL DIMENSIONS AND FIELD CONDITIONS PRIOR TO STARTING WORK, AND IS RESPONSIBLE FOR ALL FIELD DIMENSIONS, IF ANY DISCREPANCIES ARE FOUND BETWEEN CONTRACT DOCUMENTS AND ACTUAL FIELD DIMENSIONS OR CONDITIONS, NOTIFY LANDSCAPE ARCHITECT INMEDIATIELY.
- 10.5. ALL RADII ARE TO EDGE OF PAVEMENT OR FACE-OF-CURB UNLESS NOTED OTHERWISE. ALL RADII ARE 510" UNLESS NOTED OTHERWISE.
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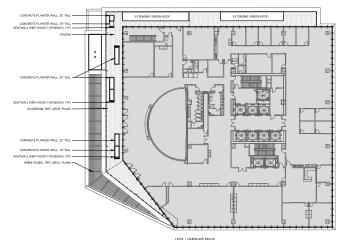
/ertical Transportation erch Bates

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	ASR SUBMISSION 2	(2/24)
	ASR SUBMISSION 3	09/14/2
04	ASR SUBMISSION 4	04/26/2
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SITE PLAN - LEVEL 2 -ASR



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SITE FEATURES PLAN GENERAL NOTES:

- 3. WORK SHOWN ON THE DRAWINGS SHALL BE BASE BID UNLESS SPECIFICALLY NOTED TO BE BY ALTERNATE BID.
- 4. COORDINATE ALL WORK WITH OTHER DESIGN DISCIPLINES.
- EXISTING AND PROPOSED UTILITIES THAT ARE SHOWN ARE FOR REFERENCE ONLY, REFER TO THE SITE SURVEY FOR EXISTING UTILITIES AND VERIFY IN THE FIELD, REFER TO THE SITE ELECTRICAL PLAN FOR PROPOSED LIGHTING AND OUTLETS.
- 4 MATCH GRAPHIC REPRESENTATION SHOWN ON THE DRAWINGS UNLESS NOTED/DIMENSIONED OTHERWISE
- 5. ALL WORK SHALL COMPLY WITH FEDERAL STATE AND LOCAL REGULATIONS.
- PARTICIPATE IN ALL INDICATED PRE-INSTALLATION CONFERENCES, ACCORDING TO THE PROJECT SPECIFICATIONS, PRIDR TO COMMENCEMENT OF EACH RESPECTIVE SCOPE-OF-WORK. REFER TO THE TECHNICAL SPECIFICATIONS AND DRAWINGS FOR ADDITIONAL INFORMATION.
- THE WORK SHALL FOR SEAL WITH SEASON CONTROL AND THEE PROTECTION MEASURES AND CONSTRUCTION FLOWER SHALL SHALL

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- 8.3. PROTECT VALVES, MANHOLES, UTLITY BOXES AND SIMILAR STRUCTURES NOT DESIGNATED FOR REMOVAL, AND ADJUST TO NEW PRISH ELEVATIONS CONSISTENT WITH PROPOSED GRADING WHETHER OR NOT NEW RIM ELEVATIONS ARE INDICATED.
- 8.4. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED OR USED BY OWNER OR OTHERS WITHOUT PRIOR APPROVAL FROM OWNER.
- 8.5. PATCH, REPAIR AND RESTORE EXISTING FINISHES, SURFACES, PAVEMENT, CURBS AND INPROVEMENTS DAMAGED OR DISTURBED BY CONSTRUCTION TO "AS NEW CONDITION" AFFER WORK IS COMPLETE, AND AS REQUIRED TO MAYOR'S ARROWNING MATERIALS OF TO PROVIDE APPROPRIATE SUBSTRATE REPORT TO INSTALLING NEW PRISHESS. AREAS NOTED TO BE PATCHED OR REPAIRED ON THE DRAWNING ARE ORDEN TOR REPRESENCE AND SWILL ON THE INTERPRETED TO JUST IN THE SOCK OF WORK.

- 9.1. CONTRACTOR IS RESPONSIBLE FOR COSTS ASSOCIATED WITH DISCONNECTING, REMOVING OR RELOCATING PENSITIVIS UTILITIES, CONNECTING TO EXISTING UTILITIES, AND COORDINATION AND INSTALLATION ASSOCIATED WITH NEW YITH. ITEMS. REFER TO CMIL, AND MEP DRAWINGS FOR ADDITIONAL INFORMATION AND COORDINATE AS REQUIRED.
- 9.2. REMOVE EXISTING STRUCTURES, IMPROVEMENTS, TREES, PLANTING MATERIAL, FENCING, ETC. WITHIN WORK LIMITS ACCORDING TO THE SITE REMOVALS DOCUMENT(S) AND PROPERLY DISPOSE OF OFF SITE. ULBESS DIRECTED OTHERWISE. BURNING ON SITE IS PROHIBITED, REFER TO CIVIL DRAWINGS FOR ACCITICNAL INFORMATION AND COORDINATE AS REQUIRED.

10. SITE LAYOUT:

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- 10.2. THE LANDSCAPE ARCHITECT'S ELECTRONIC DESIGN DATA FILE(S) MAY BE MADE AVAILABLE TO THE SUCCESSFUL BIODER(S) FOR LAYOUT PURPOSES UPON REQUEST AND RECEIPT OF A SIGNED "VIANVER OF CLAMAS FOR USE OF ELECTRONIC DATA" FORM.
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- 10.5. ALL RADII ARE TO EDGE OF PAVEMENT OR FACE-OF-CURB UNLESS NOTED OTHERWISE. ALL RADII ARE 510" UNLESS NOTED OTHERWISE.
- 11. GRADING AND DRAINAGE: PROVIDE POSITIVE SUBFACE DRAINAGE ON ALL SURFACES, WITHOUT PONDING, DURING CONSTRUCTION AND FOLLOWING COMPLETION. TEST FOR AND CORRECT ANY PONDING CONCITIONS. PROVIDE SMOOTH TRANSITIONS BETWEEN NEW AREAS AND EXISTING FEATURES.

- 12.1 TAKE PARTICULAR CARE WHEN EXCAVATING NEAR AND APOUND EXISTING UTILITY LINES AND EQUIPMENT SO AS NOT TO CAUSE DAMAGE. VERBY COVER REQUIREMENTS WITH APPLICABLE LITE ITY COMPANY, WHEN EXCAVATING AROUND OR OVER DESTING UTILITIES. NOTIFY UTILITY COMPANY SO THAT REPRESENTATIVE MAY BE PRESENT TO DISSENVE AND INSTRUCT DURING WORK.
- 12.2. TAKE PARTICULAR CARE WHEN EXCAVATING AROUND EXISTING TREES AND PLANTING MATERIALS SO AS NOT TO DISTURB OR DAMAGE EXISTING ROOT SYSTEMS.

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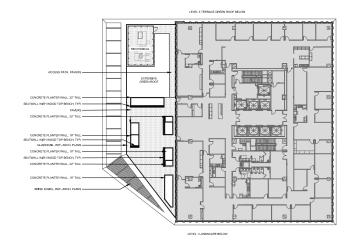
01 ASR SUBMISSION 02 ASR SUBMISSION 2 03 ASR SUBMISSION 3 04 ASR SUBMISSION 4

09/14/2022 04/26/2023



NOT FOR CONSTRUCTION

SITE PLAN - LEVEL 3 -ASR



ΔΔ



- ALL DESIGN ELEMENTS WITHIN SITE BOUNDARY ARE PROPOSED UNLESS OTHERWISE NOTED, SEE DEMOLITION PLAN FOR ADDITIONAL INFORMATION
- 2. NO SOLID WASTE FACILITIES EXIST ON SITE.
- SITE IS CATEGORIZED AS DX DOWNTOWN MIXED USE, NO PARKING SPACES ARE REQUIRED FOR THIS SITE
 PER UDO SECTION 7.1.3.4 "NO VEHICLE PARKING SPACES ARE REQUIRED, HOWEVER, NO MORE THAN 2 ON-SITE
 PARKING SPACES PER DWELLING UNIT ARE ALLOWED."
- NO TRANSITIONAL PROTECTIVE YARD IS REQUIRED FOR THIS SITE AS THE SITE ABUTS NEITHER INDUSTRIAL NOR RESIDENTIAL ZONING USES.
- 5. NO STREET PROTECTIVE YARD IS REQUIRED FOR THIS SITE AS THE SITE ABUTS NEITHER INDUSTRIAL NOR RESIDENTIAL ZONING LISES.

SITE FEATURES PLAN GENERAL NOTES:

- 3. WORK SHOWN ON THE DRAWINGS SHALL BE BASE BID UNLESS SPECIFICALLY NOTED TO BE BY ALTERNATE BID
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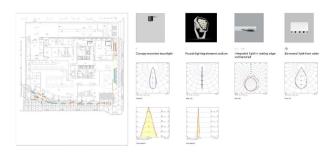
Facade / Waterproofing / Roofing REI Engineers 9121 Anson Way, Suite 100 Raisign, NC 27615 919-845-1450

01 ASR SUBWISSION 02 ASR SUBWISSION 3 03 ASR SUBWISSION 3 04 ASR SUBWISSION 4 09/14/2022 04/26/2023



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SITE PLAN - LEVEL 4 -ASR



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Sidewalk - Light from pedium

BCH entrance - Canopy lighting FOH podium area - Facade lighting

B. All wall pack fixtures must be full cutoff fixtures. C. Only lighting used to accent architectural features, landscaping or art may be directed upward, provided that the fluture is located, aimed or shielded to minimize light spli into the night sky.

Sec. 7.4.4. Design and Installation Requirements All light fixtures shall meet the following requirements:

B. Lighting must not be oriented so as to direct glare or excessive illumination onto adjacent properties, streets or sidewalks.

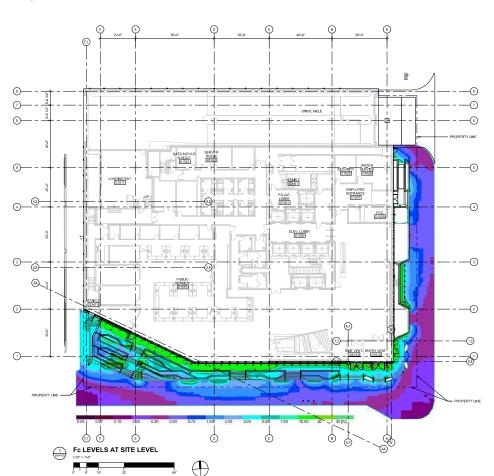
A. Flood light fixtures must either be aimed down at least 45 degrees from vertice or the front of the fixture shielded so that no portion of the light bulb extends below the bottom edge of the shield.

A. Lighting fixtures shall be selected, located, aimed and shielded so that direct illumination is focused exclusively on the building facade, plantings and other intended site features and away from adjoining properties and the street right of larger.

C. Service connections for all freestanding lighting fixtures must be installed underground.

SITE LIGHTING UDO COMPLIANCE

2 EXTERIOR LIGHTING TYPES



Civic Tower 200 West Hargett Street

Phase 1: East

Raleigh, NC 27601 Owner
City of Raleigh
219 Fayetteville Street, Suite 801
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919-998-5575

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RATIO
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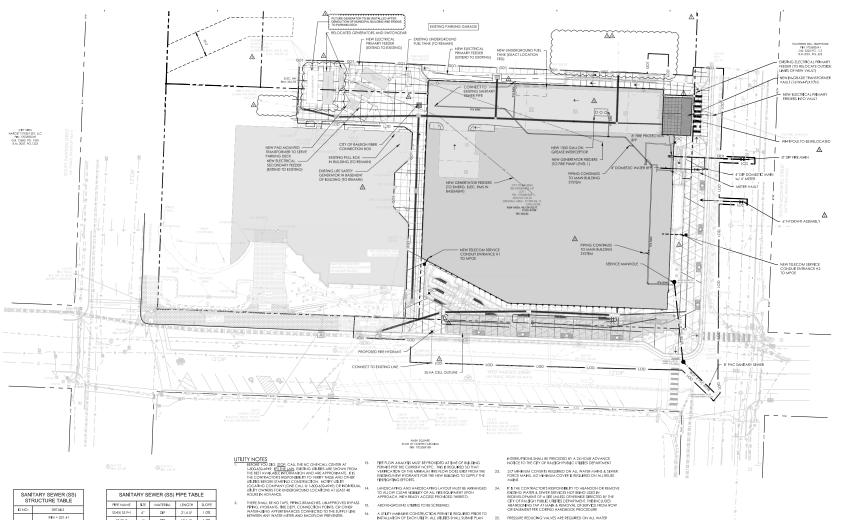
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	ASR SUBMISSION 1	10/25/202
	ASR SUBMISSION 2	02/24/202
	ASR SUBMISSION 3	09/14/202
34	ASR SUBMISSION 4	04/26/20
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SHEET TITLE SITE LIGHTING PLAN

AS-100

NOT FOR CONSTRUCTION



SANITARY SEWER (SS) STRUCTURE TABLE				
DNO.	DETAILS			
SSMH 1	RIM = 331.41 INV IN = 329.30 (SS-2) INV OUT = 329.30 (EX SS P-1)			
SSMH 2	RJM = 331.63 INV IN = 329.40 (SS-3) INV OUT = 329.40 (SS-2)			
SSMH 3	RJM = 333.24 INV IN = 330.10 (SS-4) INV OUT = 330.05 (SS-3)			
SSMH 4	RIM = 333.37 INV IN = 330.82 (SS-5) INV OUT = 330.82 (SS-4)			
SSMH 5	RIM = 333.27 INV OUT = 331.30 (\$5-5)			
SSMH EX	RIM = 331.98 INV IN = 329.08 (EX SS P-1)			

PIPE NAME	SIZE	MATERIAL	LENGTH	SLOP
SS-EX SS P-1	6"	DIP	21.4 LF	1.0%
SS-SS-2	6"	DIP	10.1 LF	1.0%
55-55-3	6"	DIP	98.7 LF	0.7%
SS-SS-4	6"	DIP	77.0 LF	0.9%
SS-SS-S	4"	DIP	71.9 LF	0.7%

ANY UTILITY CONSTRUCTION SHALL CONFORM TO $\underline{\text{CITY OF RALEIGH}}$ STANDARDS & SPECIFICATIONS.

BACKFLOW PREVENTER PERMIT REQUIRED FOR PROJECT.
BACKFLOW PREVENTER INSTALLER MUST CONTACT CITY OF PAUBICH
CROSS-CONNECTION CONTROL DEPARTMENT OF MATER
MANAGEMENT 91-998-2432 TO DEMAY PERMIT AND
INSTALLATION REQUIREMENTS PRIOR TO INITIATING WORK.

ALL FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS MUST BE PROVIDED WITH 5" DIAMETER STORE CONNECTIONS.

RRE DEPARTMENT CONNECTIONS MUST BE ORIENTED 45° TOWARD

ALL ONSITE HER HYDRANTS OUTSIDE CITY OF RALEIGH EASEMENT (CORWLE) SHALL BE CONSIDERED PRIVATE AND OWNERS RESPONSIBILITY TO MAINTAIN AND TEST.

PROVIDE FIRE PLANS EXAMINER ONE COPY OF UTILITY CONSTRUCTION DRAWINGS SHOWING UNDERCROUND PRING LAYOUT AND ALL REK APPURTENANCES. PERMIT FOR INSTALLATION OF PRIVATE FIRE PHORAMICS), MIST BE ESUBLE BY THE PLANS EXAMINER PRIOR TO INSTALLATION OF SAID HYDRAMI(S).

THE HYDRANTS SHALL BE NO MORE THAN 400' FROM A BUILDING OR HOUSE ALONG AN APPROVED APPARATUS ACCESS ROAD, AS MEASURED BY AN APPROVED ROUTE AROUND THE BUILDING OR HOUSE, IENFORCED AT TIME OF BUILDING PLAN SUBMITTAL), AS REQUIRED BY THE CURRENT NOTPOL

FOR FIRE APPARATUS LOCATIONS, 150 FEET TO ALL PORTIONS OF THE EXTERIOR WALL OF THE HIST FLOOR OF THE BUILDING FROM THE APPARATUS ROAD SURFACE. IS REQUIRED FER THE CURRENT NOFPC.

APPARATIS ACCESS FOADS SHALL BE DESIGNED AND MANTANED TO SUPPORT 80.000 I.B. WITH A POINT LOAD OF 75 PM, AND SHALL BE SUPPACED TO PROVIDE ALL WEATHER DRIVING CAPABLITIES, AS REQUIRED BY THE CURRENT NETPO. DESIGN MUST SEE SEALED BY AN ENGINEER SHOWING CALCULATIONS AND ROAD CONSTRUCTION DELAILS.

A UTLITY MAINLINE CONSTRUCTION PERMIT IS REQUIRED PRIOR TO INSTALLATION OF EACH UTLITY, ALL UTLITES SHALL SUBMIT PLAN DRAWINGS AND APPLICATIONS TO THE CITY ENGINEERING CIVISION. SANITARY SEWER SERVICES SHALL BE 1.0% MINIMUM SLOPE.

ANY NECESSARY FELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN BJOR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION

PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING SO PEL BACKWATER VALVES ARE REQUIRED ON ALL SANTARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0" ABOVE THE NEXT UPSTREAM MANHOLE

ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECTS MUST BE OBTAINED FROM NODED, USACE, AND/OR FEMA FOR ANY REMAINS BUFFER, WETLAND AND/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.

RESPICEMENT PROBLED CORRECTION DEVICES ARE REQUESTED AND DEVICES ARE REQUESTED AND DEVICES ARE REQUESTED AND DEVICES ARE REQUESTED AND DEVICES OF THE RELIA SECURITIES AND DEVICES ARE REQUESTED AND DEVICES ARE RECOVERED AND DEVICES AND DEVICES ARE RECOVERED AND DEVICES ARE RECOVERED AND DEVICES AND DEVICES

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SEAL DATE



City of Raleigh Public

Utilities Department

Preliminary approval only. Does not constitute construction approval for any proposed water or sewer main extensions. Valid only with signature a City of Raleigh Review Officer. This electronic approval may not be edited once issued. Any modification to this approval once issued will





SITE UTILITY **PLAN**

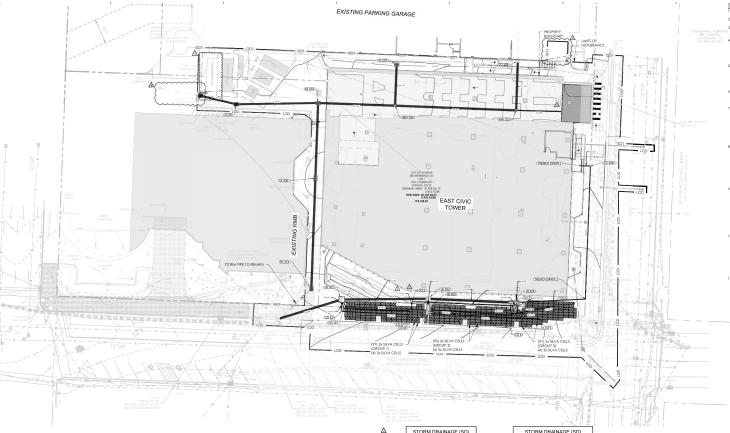
SHEET NUMBER

C-500



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS

CONTRACTOR SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEISH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY



STO	DRMWATER NOTES
1.	ALL DRAIN INLET GRATES SHALL BE 2×2
	popular and provide the second popular second second

- ROOF LEADERS INSTALLED WITHIN PAVEMENT SHALL BE SDR 32 PVC
- 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANTARY SEWER & STORM SEWER FACILITIES, UNLESS DIF MATERIAL IS SPECIFIED FOR SANTARY SEWER
- MARITAN 18" VIN. VERTICAL SERABATIONAL AL LIVATEMENT SEVEN BEACH CROSS SOCIAL SERVICES AS SERABATION AT ALL MARITANN A ECO STORM DEACH CROSSINGS: MARITANN 18" VIN. VERTICAL SERVARION AT ALL SANIARY SEVER & ECO STORM DRAIN CROSSINGS, WHERE ACQUITE SERABATION CANHOTO SE ACHIEVE SEVEN DE MARITANIS SA CONCRETE CRADLE HAVING 6" MAY CLEARANCE (PER CORPUD DETALS WHILL & EVEN SEVEN S
- UPON COMPLETON OF A PROJECT, AND BEFORE A CERTIFICATE OF OCCUPANCY SHALL BE GRANIED, THE APPLICANT SHALL CERTIFI THAT THE COMPLETED PROJECT IS IN ACCORDANCE WITH THE APPROVED STORWARTER MANAGEMENT FANS AND DESIGN, AND SHALL SIBBOT ACTUAL "A-BULL" PLANS FOR ALL STORWARDER MANAGEMENT FACILITIES OR PRACTICES AFTER FINAL CONSTRUCTION IS COMMETTED.
- AT A MINIMUM. THE STORMWATER DESIGN DETAILS FOR THIS PROJECT SHALL BE GOVERNED BY THE MINIMUM STANDARDS OF THE MOST RECENT EDITION OF THE CITY OF RALEIGH STORMWATER MANUAL AND INCIDED STORMWATER DESIGN MANUAL DESIGN GUIDELINES.
- FRAL DERON CALCULATION FOR THE STORMWATER CONTROL MEASURE[S] (SCM[S])
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N.C. CORPORATE SEAL F-0453

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01	ASR SUBMISSION	10/25/2021
		02/24/2022
		09/14/2022
04	ASR SUBMISSION 4	04/26/2023
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STORM DRAINAGE **PLAN**

SHEET NUMBER

C-501

STORM DRAINAGE (SD) STRUCTURE TABLE СВ 9

> CB 9A CB 17 C8 17A INV OUT

CO 2 СОЗ CO8 INV OUT COS INV OUT INV OUT CO 109 INV IN INV IN = 329.83 (SD P-25) INV OUT = 329.78 (SD P-24) RIM = 334.24 INV OUT = 330.08 [SD P-D125

RIM = 332.44 INV IN = 328.17 (SD P-102) INV OUT = 328.07 (SD P-8)

RIM = 330.85 N = 327.73 (SD P-9) I = 327.86 (SD P-17) IT = 327.63 (SD P-10)	DI 102	RIM = 333.88 INV IN = 328.71 (SD P-103) INV OUT = 328.61 (SD P-102)
RIM = 330.85 N = 327.86 (SD P-8) = 327.73 (SD P-300) UT = 327.74 ISD P-9)	DI 103	RIM = 333.35 INV IN = 329.10 (SD P-104) INV IN = 329.39 (SD P-24) INV OUT = 329.00 (SD P-103)
FIM = 332.38	DI 107	RIM = 333.19 INV OUT = 330.70 (SD P-107)
= 329.41 (SD P-17A) IT = 329.41 (SD P-17)		RIM = 332.19 INV IN = 328.10 (SD P-302)
RIM = 332.38 F = 329.41 (SD P-17A)	JB 301	INV IN = 328.11 [SD P-EOP1] INV IN = 328.11 [SD P-EOP2] INV IN = 328.04 [SD P-UD-4]
RIM = 333.98 = 333.50 (SD P-DP 1) = 333.40 (SD P-DP 2)		INV IN = 328.04 SD P-UD 2 INV OUT = 328.00 (SD P-300)
RIM = 333.46 = 332.50 (SD P-DP 2) = 331.00 (SD P-DP 3)	JB 302	RIM = 338,39 INV IN = 328,54 (SD P-303) INV IN = 328,52 (SD P-305) INV OUT = 328,44 (SD P-302)
RIM = 333.48 = 333.50 SD P-DP 4) = 332.90 (SD P-DP 5)	MH 104	RM = 332.46 INV IN = 329.51 (SD P-105) INV IN = 330.52 (SD P-107) INV OUT = 329.41 (SD P-104)
RIM = 333.71 = 328.34 (SD P-UD 1)		RIM = 339.52
RIM = 333.64 = 328.36 (SD P-UD 3)	MH 105	INV IN = 331.10 (SD P-106) INV IN = 334.00 (SD P-200) INV OUT = 329.99 (SD P-105)
RIM = 333.78 T = 331.30 (SD P-106)	Trench Drain 1	RIM = 337.54 INV OUT = 337.00 (SD P-109)
RIM = 336.25 = 335.71 (SD P-108)	Trench Drain 2	RIM = 337.04 INV OUT = 336.50 (SD P-108)
RIM = 333.68 I = 329.83 (SD P-25)		

DETAILS

STORM DRAINAGE (SD) PIPE TABLE

RCP CLASS III

RCP CLASS III

2' RCP CLASS III 65.3 LF 0.59%

12' RCP CLASS | 29.0 LF 0.86%

15" RCP CLASS III 96.4 LF 0.50%

RCP CLASS III 39.4 LF

RCP CLASS III 32.6 LF

8' SCH 40 PVC 34.7 LF 0.50%

6" SCH 40 PVC 56.8 LF 1.51%

5" RCP CLASS III 68.4 LF 0.50%

15" RCP CLASS II 8.6 LF 0.50%

4" PVC Pipe 0.8 LF 0.50%

4" PVC Pipe 81.9 LF 1.09%

15' RCP CLASS III 52.7 LF 0.50%

A" SCH 40 PVC 105.9 LF

SCH 40 PVC

15" RCP CLASS III

15" RCP CLASS III

5" RCP CLASS III

24

25

102

103

105

107

108

109

202

300

303

305

DP I

200

4.0 LF 0.18%

4.2 LF 0.00%

0.50%

0.56%

0.75%

7.0 LF 5.69%

68.7 LF 0.50%

STORM DRAINAGE (SD) PIPE TABLE

PVC Pipe

PVC Pipe

PVC Pipe

PVC Pipe 54.1 LF

PVC Pipe 9.5 LF

PVC Pipe

MATERIAL LENGTH SLOPE

SCH 40 PVC 3.3 LF 0.00%

SCH 40 PVC 6.3 LF 0.00%

1.5 LF 0.50%

52.9 LF 0.50%

5.2 LF

4.7 LF 3.86%

7.4 LF

PVC Pipe 63.6 LF 0.50%

PVC Pipe 88.4 LF 0.50%

SCH 40 PVC 5.9 LF 3.38%

PIPE NAME SIZE

DP 3

DP 5

DP 6

EOP1

EOP2

EOP5 EOP6

RD I

UD 1

UD 2

UD 3

UD 4

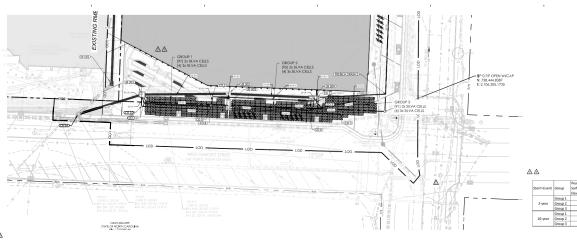
UD 5

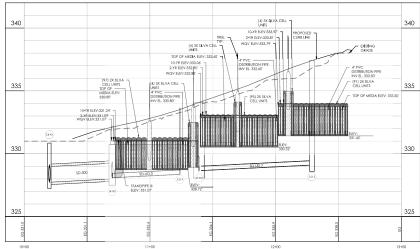
UD 6

UD 7

Δ

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS





SCM PLAN & PROFILE SCALE: h:: 1"=20" v:: 1"=2"

GUIDANCE ON THE MDC

MDC 1, BUA IN THE CONTRIBUTING DRAINAGE AREA. THE CONTRIBUTING DRAINAGE AREA TO THE SILVA CELL SYSTEM SHALL HAVE A BUA FRACTION OF 75% OR GREATER.

MDC 2. SEPARATION FROM THE SHIMT. THE LOWEST POINT OF THE SILVA CELL SYSTEM SHALL BE A MINIMUM OF TWO FEET ABOVE THE SHIMT. HOWEVER, THE SEPARATION MAY BE REDUCED TO NO LESS THAN ONE FOOTE THE APPLICANT PROVIDES A HYDROGEOLOGIC EVALUATION PREPARED BY A LICENSED PROFESSIONAL.

MDC. 4. STORAGE OF THE DESIGN VOLUME. STORAGE OF THE DESIGN VOLUME SHALL OCCUR ABOVE THE FLITE MEDM SUBFACE (IP TP 6/) AND WITHIN THE AGGREGATE LAYES ABOVE THE SLYA CELL DECKS (IP TO 12"). THE MAXIMUM TOTAL DEPTH OF STORAGE ABOVE THE TOP OF THE FLITE MEDIA SURFACE IS 18 INCHES.

MDC 6. R.OW DISTRIBUTION. INFLUENT STORMWATER SHALL BE EVENLY DISTRIBUTED OVER THE SURFACE OF THE MEDIA THROUGH THE USE OF DISTRIBUTION PIPES FROM TREE WELLS OR CATCH BASINS OR VA. DIRECT INFLIENTATION THROUGH A PERMEABLE PAVEMENT.





MDC 8, TREE SELECTION , SELECTION OF TREES SHALL CONSIDER ECO-REGIONAL LOCATION (MOUNTAINS, PIEDMONT AND COASTAL PLAIN), HARDINESS UNDER WET AND DRY CONDITIONS AND SUITABILITY IN THE URBAN ENVIRONMENT.

MDC 9, MEDIA DEPTH. THE MINIMUM DEPTH OF THE MEDIA SHALL BE 25 INCHES.

NDC 10, MEDIA MIC. THE MEDIA SHALL BE HOMOGENEOUS SCIL MIC WITH APPROXIMATE VOLUMES OF: 75 TO 85 FERCENT MEDIUM TO COASSE WASHED AND (ASTIM CSSS), AASHED MIPS, OR THE SOURVALEHI], 10 PERCENT UNES BILT AND CLAY), AND 3 TO 10 PERCENT ORGANIC MATTER BUCH AS PHE BARK FRESI.

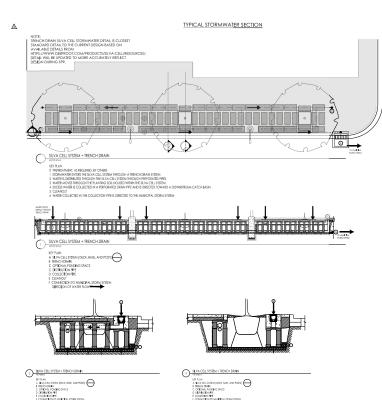
MDC 13. PAVEMENT AGGREGATES. AGGREGATES USED ABOVE THE SILVA CELL DECKS AS BEDDING, BASE OR SUB-BASE LAYERS SHALL BE DOUBLE WASHED AND FREE OF FINE PARTICLES AND DEBIS AT THE THE TIME OF INSTALLATION.

MDC 14, MONIFORING OF MEDIA. THE MEDIA CONTAINED WITHIN THE 9LYA CELL UNITS SHALL BE MANTAINED IN A MANNER THAT RESULTS IN A DRAWDOWN OF AT LEAST ONE DICH FOR HOURS AT THE PLANTING SURFACE. AT LEAST TWO EMPERIENT PORTS AND MONIFORMOR WELLS SHALL BE PASTALLED TO MEASURE INTERNAL DRAWDOWN RATE AND INSPECTINE SOLD MEASURE SWITCHOOL PROVIDED AND PROVIDED.

MOC IS CLEAP-OUT FIES. A MANAGEMENT OF OCE CLEAR-OUT FIE HAN IE PROVIDED ON EACH IN-DEEDNAH LINE AND DETREUTION LINE IF INCLUDED IN THE DESCIN, CLEAR OUT THE SHALL IS CLEAR OUT THE SHALL IN THE SHALL IS CLEAR OUT THE SHALL IN THE SHALL IS CLEAR OUT THE SHALL IS CLEAR OUT THE SHALL IN THE SHALL IN THE SHALL IS CLEAR OUT THE SHALL IN THE SHALL IS CLEAR OUT THE SHALL IN THE SHALL IS CLEAR OUT THE SHALL IN THE SHALL IN THE SHALL IS CLEAR OUT THE SHALL IN THE

MDC 16, BYPASS, A CATCH BASIN OR OVERFLOW INLET SHALL BE USED DOWNSLOPE OF ANY INLETS IN THE RIGHT-OF-WAY TO ENSURE BYPASS OR OVERFLOWS WILL NOT CREATE FLOODING.

MDC 17, MAINTENANCE, MAINTENANCE SHALL BE PERFORMED PER THE SILVA CELL OPERATION AND MAINTENANCE MANUAL, SEE SIA REPORT



Phase 1: East Civic Tower 200 West Hargett Street Raleigh, NC 27601

Owner

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Releigh, NC 27601
919-996-5675

Architect of Record RATIO

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Henning Larsen Architecture, PA
250 West Broadway, 2nd Floor
New York, NY 10013
646-880-9600

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Fire Protection / Code Carolina Specialty Engineering 8000 Regency Parkway, Suite 580 Cary, NC 27518 919-424-3858

AV / Technology SM&W

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Vertical Transportation Lerch Bates 900 Circle 75 Parkway, Suite 1300 Atlanta, GA 30339 770-203-0578

Facade / Waterproofing / Roofing REI Engineers 9121 Anson Way, Suite 100 Raleigh, NC 27615 919-845-1450





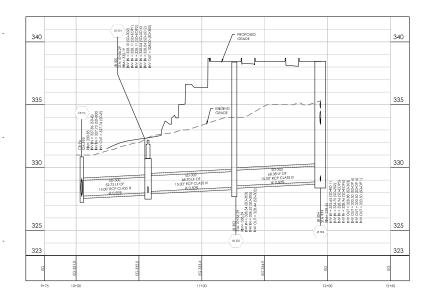
STORMWATER CONTROL **MEASURE PLAN**

SHEET NUMBER

C-502

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS

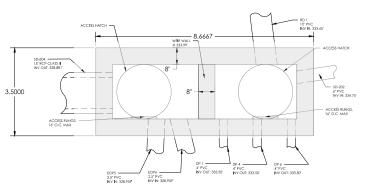




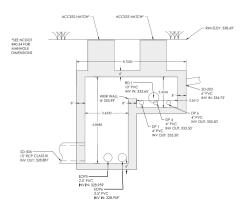
SCM BY-PASS PLAN & PROFILE SCALE: h: 1"=20" v: 1"=2"



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NODOT STANDARDS AND SPECIFICATIONS



<u>PLAN</u> SCM BY-PASS STRUCTURE: JB 304



SECTION

SCM BY-PASS STRUCTURE: JB 304 SCALE: 1"=2"0"

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

CIT OF MALISIN - NAMA SUPPORTED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with to be considered to reject control for the proposed proposed proposed to the proposed proposed

City of Raleigh Development Approval _

Phase 1: East Civic Tower 200 West Hargett Street Raleigh, NC 27601

Owner
City of Raleigh
219 Fayetteville Street, Suite 801
Raleigh, NC 27601
919-996-5675

Architect of Record
RATIO
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Raleigh, North Carolina 27601
919-821-0805

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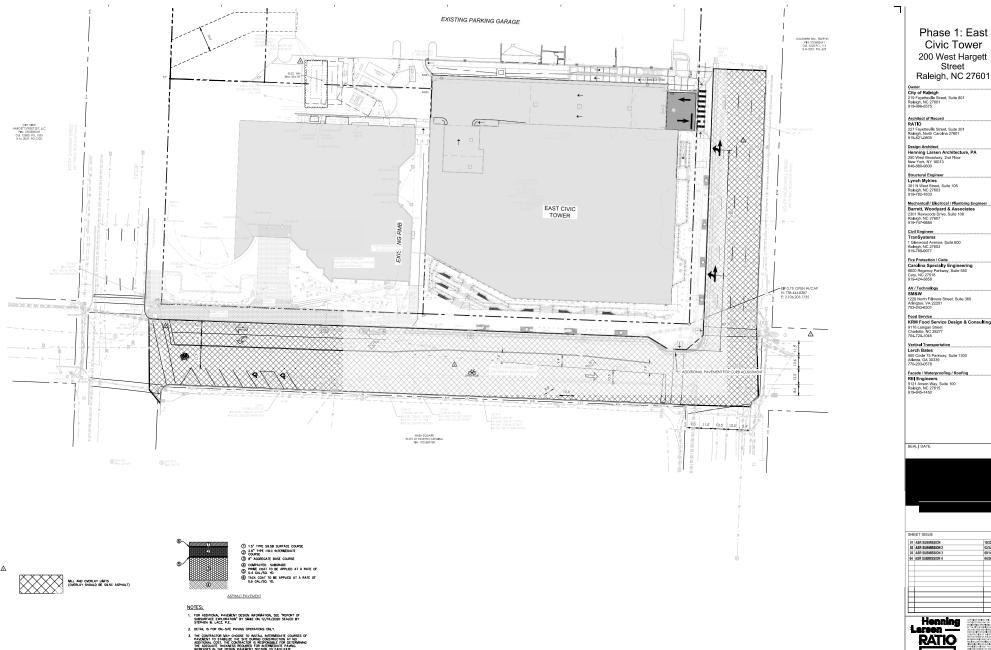




STORMWATER CONTROL **MEASURE DETAILS**

SHEET NUMBER

SHEET TITLE



THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING PAYEMENT DURNO ALL PHASES OF WORK. THE FINAL SURFACE OF PAYEMENT SHALL BE FIRE OF ALL DEFECTS OR DAMAGE.

7. IF WORE THAN 24 HOURS HAS PASSED BETWEEN PAYEMENT OF ASPHALT LIFTS, APPLY TACK COAT AT RECOMMENDED RATE.

8. PRIOR TO PLACEMENT OF STONE, SUBCRADE SHALL BE PROOFROLLED AND YIELDING AREAS REPAIRED AS DIRECTED BY THE GEOTECHNICAL ENGINEER.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NODOT STANDARDS AND SPECIFICATIONS

COAT SURFACES OF CONCRETE CURB, SLABS, SIDEWALK, AND DRAINAGE STRUCTURES WITH TACK COAT TO PROVIDE BOND WITH ASPHALT PAYING.

TYPICAL ASPHALT PAVEMENT SECTIONS

Owner
City of Raleigh
219 Fayetteville Street, Suite 801
Raleigh, NC 27601
919-996-5675 Architect of Record
RATIO
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Street

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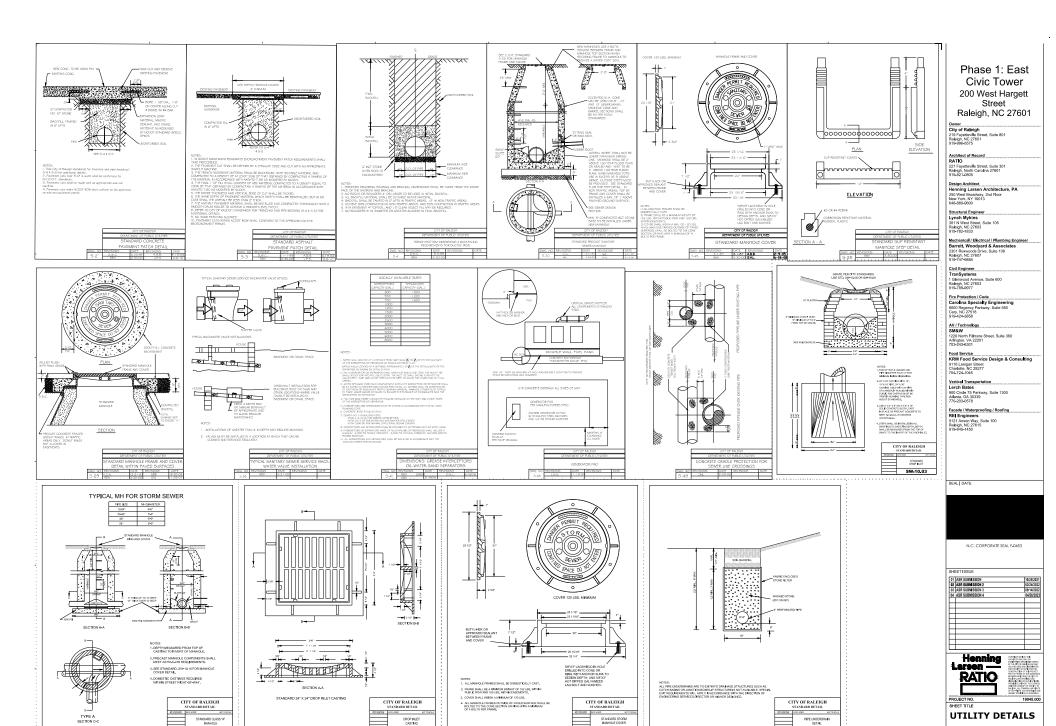
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01	ASR SUBMISSION	10/25/2021
02	ASR SUBMISSION 2	02/24/2022
03	ASR SUBMISSION 3	09/14/2022
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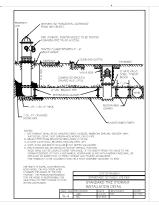
SIGNING & PAVEMENT MARKINGS

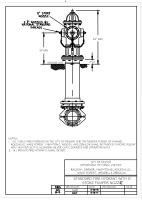
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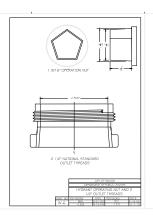
NOT FOR CONSTRUCTION

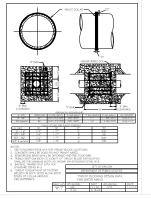


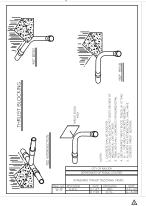
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NODOT STANDARDS AND SPECIFICATIONS SHEET NUMBER

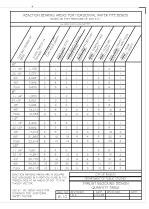


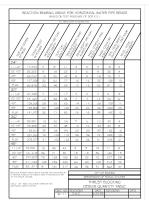


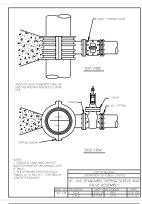


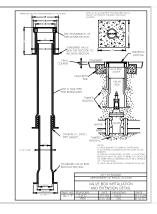


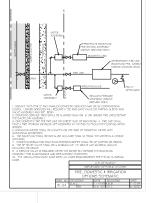


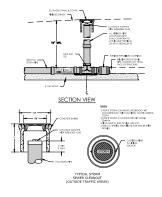


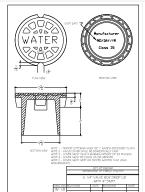


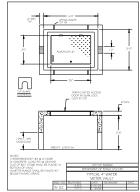


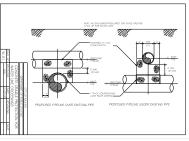












ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS Henning
Letson

RATIO

RATIO

PROJECT NO.

SHEET TILE

SHEET TITLE
UTILITY DETAILS

C-601

Phase 1: East Civic Tower 200 West Hargett Street Raleigh, NC 27601

Owner
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919-996-5675
Architect of Record

Architect of Record
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Raileigh, North Carolina 27601
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New York, NY 10013 646-880-6600 Structural Engineer Lynch Mykins 301 N West Street, Suite 105 Raleigh, NC 27603 919-782-1833

919-762-1833

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919-747-9884

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Carolina Specialty Engineering
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SEAL | DATE

N.C. CORPORATE SEAL F-0453

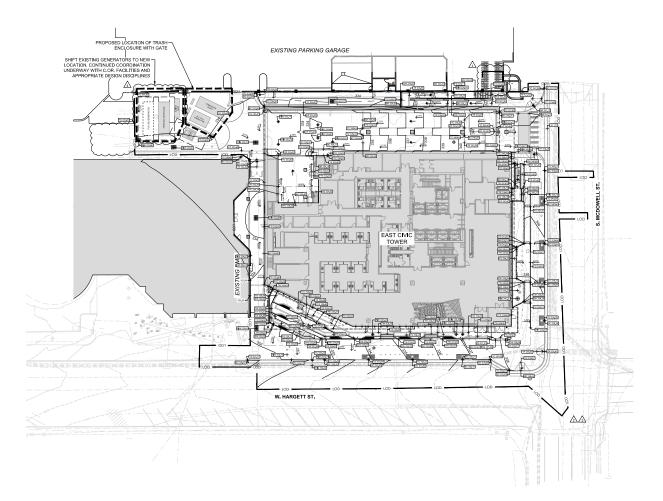
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ASR SUBMISSION 10252821

ASR SUBMISSION 2 02241022

ASR SUBMISSION 3 (6914002)

ASR SUBMISSION 4 04201202





- 1. NO STORMWATER PONDS OR BIORETENTION FACILITIES EXIST WITHIN THE SITE BOUNDARY.
- 2. NO STREAM BUFFERS EXIST WITHIN THE SITE BOUNDARY.
- 3. SEE CML DRAWINGS FOR ALL STORMWATER CALCULATIONS.
- ALL EXISTING TREES ARE TO BE REMOVED. NO TREE PROTECTION FENCING WITHIN SITE BOUNDARY IS REQUIRED.

SITE GRADING PLAN GENERAL NOTES:

- 1. COORDINATE ALL WORK WITH OTHER DESIGN DISCIPLINES.
- CONTRACTOR SHALL VERIFY ALL VERTICAL AND HORIZONTAL DIMENSIONS AND FIELD CONDITIONS PRIOR TO STARTING WORK, CONTRACTOR R RESPONSIBLE FOR ALL FIELD DIMENSIONS, IF CONTRACTOR FINDS ANY DISCREPANCIES ENTERNO CONTRACTO COLUMENTS AND ACTUAL FIELD DIMENSIONS OR CONDITIONS, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT MANEDIATELY.
- PARTICIPATE IN THE PRE-INSTALLATION CONFERENCE FOR THE GRADING AND DRAINAGE SCOPE OF THE WORK, ACCORDING TO THE PROJECT SPECIFICATIONS, PRIOR TO COMMENCEMENT.

- 6. WHERE NEW PAVED SURFACES ADJOIN EXISTING PAVED SURFACES, MEET EXISTING GRADE,
- DRAINAGE DESIGN SHOWN IS CONCEPTUAL, PLEASE SEE CIVIL DRAWINGS FOR MORE COMPLETE AND DETAILED STORMWATER DRAINAGE DESIGN.
- 8. CURB RAMPS SHALL COMPLY WITH CURB RAMP DRAWING INDEX & GENERAL NOTES (REF:
- 9. SPOT ELEVATIONS ARE DENOTED AS FOLLOWS:

SPOT ELEVATION - EXISTING: O00.000 TP -SPOT ELEVATION - PROPOSED 000.00 TP

Phase 1: East Civic Tower 210 West Hargett Street Raleigh, NC 27601

Architect of Record RATIO

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Civil Engineer SEPI 1 Glenwood Avenue, Suite 600 Raleigh, NC 27603 919-789-9977

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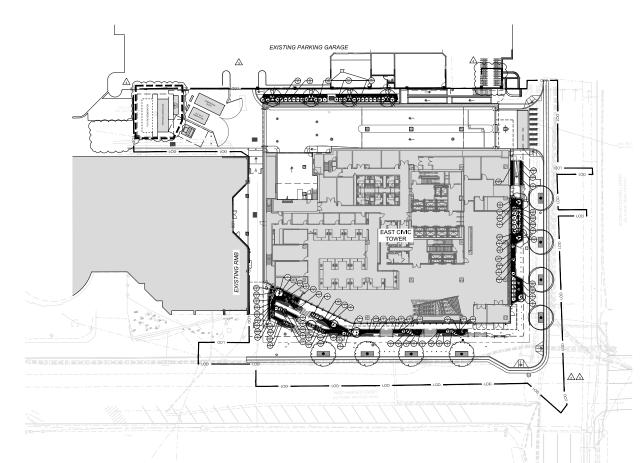
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GRADING PLAN - ASR

L-401

NOT FOR CONSTRUCTION



GENERAL NOTES | SITE PLANTING PLANS:

- 1. PARTICIPATE IN THE PRE-INSTALLATION CONFERENCE FOR THE PLANTING SCOPE OF WORK, ACCORDING TO THE
- 2. MATCH GRAPHIC REPRESENTATION SHOWN UNLESS NOTED / DIMENSIONED OTHERWISE.
- EXISTING AND PROPOSED UTILITIES THAT ARE SHOWN ARE FOR REFERENCE ONLY. REFER TO THE SITE SURVEY
 FOR EXISTING UTILITIES AND VERIFY IN THE FIELD. REFER TO THE SITE ELECTRICAL PLAN FOR PROPOSED
 LIGHTING AND OUTLET.
 - COMMENCEMENT OF PLANTING SCOPE CONSTITUTES ACCEPTANCE OF SITE CONDITIONS. ENSURE THAT NECESSARY AND SPECIFIED PLANTING CONDITIONS HAVE BEEN ACHIEVED PRIOR TO LANDSCAPE INSTALLATION.
- 5. FOR INSTURBED AREAS WITHIN OR INMEDIATELY ADJACENT TO RIGHT-OF-WAY, INSTALL SPECIFIED TURFORASS SEED AT OBSTRUEDED AREAS NOT OTHERWISE IDENTIFIED FOR FLANT MATERIAL. IF DISTURBED AREA WAS PREVIOUSLY A PLANTED AREA, RESTORE BY FINISH GRADING AND INSTALLING 2 DEPTH GRADING MALCH FOR INSTINBED.
- 5. INSTALL SPECIFIED TURFGRASS SEED AT DISTURBED AREAS NOT OTHERWISE IDENTIFIED FOR PLANT MATERIAL.
- 6. PROVIDE 2" ORGANIC MULCH AT ALL PLANTING AREAS.
- PROPOSED TREES, GROUNDCOVERS, GRASSES AND PERENNIALS SHALL BE INSTALLED PER XX (00 UNLESS OTHERWISE INDICATED ON PLANS.
- INTERPLANT BUILBS BETWEEN CONTAINER STOCK. CONFIRM FINAL BUILB LAYOUT WITH LANDSCAPE ARCHITECT
 PRIOR TO INSTALLATION.

PLANT SCHEDULE LEVEL I

ΔA

	PLANT S	PLANT SCHEDULE LEVEL I							
	TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER		
_	\mathcal{A}	AL	4	Amelanchier laevis	Allegheny Serviceberry	7" Ht. / 1.6" Cal.	B8B		
Ò	7	CE	2	Cercis canadensis 'Ace of Hearts'	Ace of Hearts Eastern Redbud	10" Ht. / 3" Cat	B&B		
**	\odot	на	5	Hamamelis virginiana Multi-stem	Common Witch Hazel	6" Ht. / 1.5" Cal.	B&B		
(.)_	QP	4	Quercus phelios	Willow Oak	3" Cal. / 14"-10" Ht.	B&B		
	(\cdot)	QS	4	Quercus shumardi	Shumard Oak	3" Cal. / 14"-10" Ht.	B8B		
	SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER		
	\odot	FG	17	Fothergilla gardenii	Dwarf Fothergita	7 gal			
	0000	IR	8	lex verticilata 'Red Sprite'	Red Sprite Winterberry	3 gal.			
	\odot	IN	34	Lex vomitoria "Nana"	Dwarf Yaupon Holly	3 gal.			
	\odot	IS	4	Itea virginica 'Sprich' TM	Little Henry Sweetspire	3 gal.			
	GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER		
	@	CAR	219	Carex appallachica	Appalachian Sedge	1 gal.			
	0	CP	257	Carex pensylvanica	Pennsylvania Sedge	1 gel.			
	Θ	PAV	26	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	3 gal.			
	0	SCH	47	Schizachyrium scoparium	Little Bluestern	1 gal.			
	*	SH	62	Sporobolus heterolepis	Prairie Dropseed	1 gal.			
	PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER		
	0	ANV	14	Anemone virginiana	Tall Anemone	1 gal.			
	*	CAN	60	Coreopsis auriculata 'Nana'	Dwarf Tickseed	1 gel.			
	€3	cov	12	Coreopsis vertici lata	Tickseed	1 gal.			
	•	ECH	30	Echinacea purpurea	Coneflower	1 gal.			
	₩-	EUD	10	Eurybia divaricata	White Wood Aster	1 gaj.			
	+	US	29	Liatris spicata	Blazing Star	1 gat			
	0	RUD	30	Rudbeckia hirta	Black-eyed Susan	1 gat			
	0	SP	46	Symphyotrichum patens	Late Purple Aster	1 gal			

Phase 1: East Civic Tower 210 West Hargett Street Raleigh, NC 27601

City of Raleigh 219 Fayetteville Street, Suite 801 Raleigh, NC 27601

Architect of Record
RATIO
227 Favetteville Street Suite 301

27 Fayetteville Street, Suite 301 lajeigh, North Carolina 27601 19-821-0805

Design Architect
Henning Larsen Architecture, PA
250 West Broadway, 2nd Floor
New York, NY 10013

New York, NY 10013 646-880-9600

ynch Mykins 01 N West Street, Suite 105

eigh, NC 27603 9-782-1833

18tt, Woodyard & Associates 1 Rexwoods Drive, Suite 108 1igh, NC 27607 747-9884

Glenwood Avenue, Suite 600 ialeigh, NC 27603 19-789-9977

Fire Protection / Code

Carolina Specialty Engineering
8000 Regency Parkway, Sulte 590
Cary, NC 27518

AV / Technology SM&W 1220 North Fillmore Street Suite

Arlington, VA 22201 703-243-6301

9116 Lanigan Street Charlotte, NC 28277 704-724-1045

Lerch Bates 900 Circle 75 Parkway, Suite 1300 Alfanta, GA 30339

Facade / Waterproofing / Roofing REI Engineers 9121 Anson Way, Suite 100 Ralagh, NC 27615 918-945-1450

-845-1450

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SHI	EETISSUE	
	ASR SUBMISSION	10/25/20
	ASR SUBMISSION 2	02/24/20
	ASR SUBMISSION 3	09/14/20
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HEET TITLE

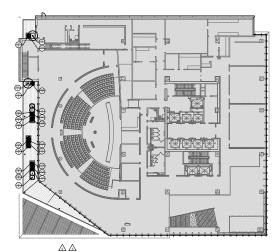
LANDSCAPE PLAN -LEVEL 1 - ASR

SHEET NUMBER

L-501

LANDSCAPE PLAN - LEVEL 1 - ASP

FOR REFERENCE ONLY NOT FOR CONSTRUCTION



GENERAL NOTES | SITE PLANTING PLANS:

- PARTICIPATE IN THE PRE-INSTALLATION CONFERENCE FOR THE PLANTING SCOPE OF WORK, ACCORDING TO THE PROJECT SPECIFICATIONS, PRIOR TO COMMENCEMENT.
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- COMMERCEMENT OF PLANTING SCOPE CONSTITUTES ACCEPTANCE OF SITE CONDITIONS. ENSURE THAT NECESSARY AND SPECIFIED PLANTING CONDITIONS HAVE BEEN ACHIEVED PRIOR TO LANDSCAPE INSTALLATION.
- FOR DISTURBED AREAS WITHIN OR MACEDIATES HAVE BEEN ACHEVED PRIOR TO LANDICACE BISTALATION.
 FOR DISTURBED AREAS WITHIN OR MACEDIATES JOURNACHT OR ROSH-TO-FAWN, INSTALL SPECEPED TURFORASS
 SEED AT DISTURBED AREAS NOT OTHERWISE DISTURBED OR FLANT MATERIAL. IF DISTURBED AREA WAS
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PLANT SCHEDULE LEVEL 2

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
\odot	на	Hamamelis virginiana	Common Witch Hazel	7 gal.	888	2		Multi-stem
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
\odot	IS	Itea virginica 'Sprich' TM	Little Henry Sweetspire	3 gal.		4		
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
0	CP	Carex pensylvanica	Pennsylvania Sedge	1 gal.		13		
0	SCH	Schizachyrium scoperium	Little Bluestern	1 gal.		10		
*	SH	Sporobolus heterolepis	Prairie Dropseed	1 gal.		12		
PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
*	CAN	Coreopsis auriculata 'Nana'	Dwarf Tickseed	1 gal		12		
₩	cov	Coreopsis vertici lata	Tickseed	1 gal		2		
0	ECH	Echinacea purpurea	Coneflower	1 gal		7		
+	LIS	Liatris spicata	Blazing Star	1 gal		6		
•	RUD	Rudbeckia hirta	Black-eyed Susan	1 gat		6		

ΔΔ

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219 Fayetteville Street, Suite 801
Raleigh, NC 27601
919-996-5575

Architect of Record RATIO 227 Fayetteville Street, Suite 301 Raleigh, North Carolina 27601 919-821-0805

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Civil Engineer SEPI 1 Glenwood Avenue, Suite 600 Raleigh, NC 27603 919-789-9977

AV / Technology SM&W 1220 North Fillmore Street, Suite 380 Arlington, VA 22201 703-243-8301

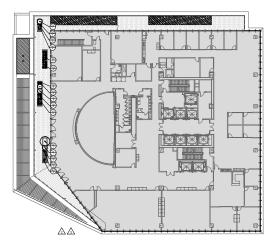
Food Service KRM Food Service Design & Consulting 9116 Lanigan Street Charlotte, NC 28277 704-724-1045

Facade / Waterproofing / Roofins REI Engineers 9121 Anson Way, Suite 100 Railaigh, NC 27615 919-845-1450

01 ASR SUBMISSION 02 ASR SUBMISSION 2 03 ASR SUBMISSION 3 04 ASR SUBMISSION 4



LANDSCAPE PLAN -LEVEL 2 - ASR



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PLANT SCHEDULE LEVEL 3

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
\odot	на	Hamamelis virginiana	Common Witch Hazel	7 gal.	B&B	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
()	FG	Fothergilla gardenii	Dwarf Fothergilla	7 gal.		
Õ	IS	ltea virginica 'Sprich' TM	Little Henry Sweetspire	3 gal.		
GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
0	PAV	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	3 gal.		
0	SCH	Schizachyrium sooparium	Little Bluestern	1 gal.		
*	SH	Sporobolus heterolepis	Prairie Dropseed	1 gal.		
PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
*	CAN	Coreopsis auriculata 'Nana'	Dwarf Tickseed	1 gal.		
•	ECH	Echinacea purpurea	Coneflower	1 gal		
+	LIS	Liatris spicata	Blazing Star	1 gal.		
0	RUD	Rudbeckia hirta	Black-eyed Susan	1 gal.		
0	SP	Symphyotrichum patens	Late Purple Aster	1 gat		
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	AS CA2 CE3 PB	GREENROOF MIX - PART SHADE Allum schoenoprasum Carex appelachica Carex abumaa Phox divariosts 'Blue Moon'	Common Chives Appelachian Sedge Bristleleaf Sedge Blue Moon Woodland Phlox	=	Plug Plug Plug Plug	736 st 736 st 184 st 184 st 184 st
	AM2 AB2 ES MD2 SL4	GREENROOF MIX - SUN Achiljas x 'Moonshine' Amboris tabernsemontana 'Blue Ice' Eragnesis speciabilis Monarda didyma Schizachynum scoparium	Moonshine Yarrow Blue toe Eastern Bluestar Purple Lovegrass Bee Balm Little Bluestern	:-	Plug Plug Plug Plug Plug	272 st 54 st 54 st 54 st 54 st 54 st

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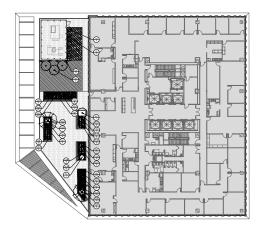
Facade / Waterproofing / Roofins REI Engineers 9121 Anson Way, Suite 100 Railaigh, NC 27615 919-845-1450

01 ASR SUBMISSION 02 ASR SUBMISSION 2 03 ASR SUBMISSION 3 04 ASR SUBMISSION 4



LANDSCAPE PLAN -LEVEL 3 - ASR





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PLANT SCHEDULE LEVEL 4

	TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
	A	CV2	Chionanthus virginicus	White Fringetree	10° Ht.	B&B	
(\mathcal{F}	на	Hamamelis virginiana	Common Witch Hazel	5' Ht.	B&B	
	SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
	0	FG	Fothergilla gardenii	Dwarf Fothergilla	7 gal		
	\odot	ID	Holum floridanum 'JCJC' TM	Miss Scarlett Florida Anise	7 gat		
	GRASSES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
	0	SCH	Schizachyrium scoparium	Little Bluestern	1 gal.		
	*	SH	Sporobolus heterolepis	Prairie Dropseed	1 gal.		
	PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
	*	CAN	Coreopsis auriculata 'Nana'	Dwarf Tickseed	1 gal.		
	€\$	cov	Coreopsis verticilata	Tickseed	1 gal.		
	•	ECH	Echinacea purpuréa	Coneflower	1 gal.		
	+	LIS	Liatris spicata	Blazing Star	1 gal.		
	\odot	RUD	Rudbeckia hirta	Black-eyed Susan	1 gal.		
	0	SP	Symphyotrichum petens	Late Purple Aster	1 gal.		
	VINE/ESPALIER	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	
		GS	Gelsemium sempervirens	Carolina Jessamine	3 gat		
	~~~	TE	Trachelospermum jasminoides	Star Jasmine Trellis			
	GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
		AS GAZ CE3 PB	GREENROOF MIX - PART SHADE Allium schoenoprasum Carex appalachica Carex eburnea Phlox divaricata 'Blue Moon'	Common Chives Appalachian Sedge Bristleleaf Sedge Blue Moon Woodland Phlox	=	Plug Plug Plug Plug	313 sf 313 sf 78 sf 78 sf 78 sf
		AM2 AB2 ES MD2 SL4	GREENROOF MIX - SUN Achilles x "Moonshine" Amsonia tabornaemontana "Blue loe" Eragnosis speciabilis Monarda didyma Schitzechyrium scoperium	Moonshine Yarrow Blue Ice Eastern Bluestar Purple Lovegrass Boe Balm Little Bluestern	=======================================	Plug Plug Plug Plug Plug	828 sf 166 sf 166 sf 166 sf 166 sf 166 sf

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## Phase 1: East Civic Tower 210 West Hargett Street Raleigh, NC 27601

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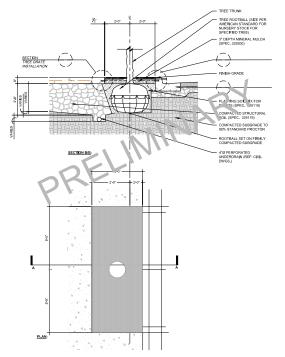
LANDSCAPE PLAN -LEVEL 4 - ASR

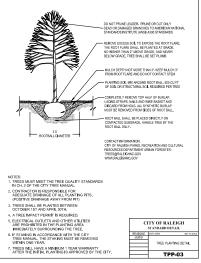
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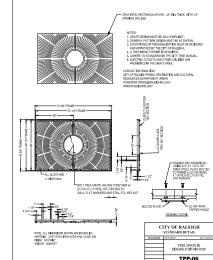


## **ASR NOTES**

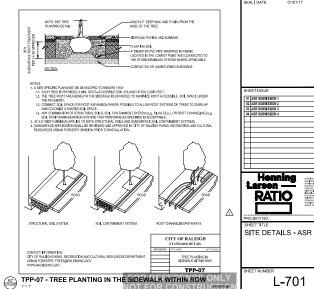
- 1) CITY OF RALEIGH STANDARD DETAILS SHOWN FOR REFERENCE AS AS REQUESTED.
- 2) TREE GRATE CUSTOM DETAILS DEVELOPED TO BEST FIT THE UNIQUE CONDITIONS OF THE SITE AND STREETSCAPE DESIGN INTENT. SPECIFICATIONS AND REFINED CUSTOM DETAILS WILL BE PROVIDED AS THE PROJECT PROCEEDS.
- 3) PLEASE REFER TO CIVIL SHEET C-502 FOR REFINED TREE PLANTING IN SILVA-CELL SYSTEM.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.







D7 TPP-06 - TREE GRATE IN SIDEWALK WITHIN ROW



RATIO 227 Fayetteville Street, Suite 301 Raleigh, North Carolina 27601 919-821-0805 Mechanical / Electrical / Plumbing Engi Barrett, Woodyard & Associates 2301 Rexwoods Drive, Suite 108 Ralaigh, NC 27607 919-747-8884 1 Glenwood Avenue, Suite 600 Raleigh, NC 27603 919-789-9977 1220 North Fillmore Street, Suite 360 Arlington, VA 22201 703-243-6301 Food Service KRM Food Service Design & Consulting 9116 Lanigan Street Charlotte, NC 28277 704-724-1045 Facade / Waterproofing / Roofin REI Engineers 9121 Anson Way, Suite 100 Raleigh, NC 27615 919-845-1450 **RATIO** 

L-701

Phase 1: East Civic Tower 210 West Hargett Street Raleigh, NC 27601

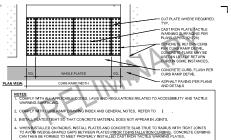
/2" GFRC PANEL INSTALLED IN BETWEEN FINE

DETAIL | WASTE ENCLOSURE WALL

## **ASR NOTES**

- 1) CITY OF RALEIGH STANDARD DETAILS SHOWN FOR REFERENCE AS AS REQUESTED.
- 2) CURB RAMP CUSTOM DETAILS DEVELOPED TO BEST FIT THE UNIQUE CONDITIONS OF THE SITE, AS THE STANDARD DETAILS FOR CURB RAMPS PROVIDED FOR THE CITY OF RALEIGH DO NOT MATCH THE PARTICULAR CONDITIONS ON HARGETT AND MCDOWELL STREETS. THE CIRCLED RAMP IN THE COR DETAIL SHOWN, T-20.01-3, IS THE CLOSET MATCH, HAVING WALKABLE SURFACE ON EITHER SIDE OF THE RAMP, HOWEVER, T-20.01.3 DOES NOT ACCOUNT FOR THE NECESSARY SPACING OF THE RAMPS FROM EACH OTHER (THIS DETAIL ASSUMES A TIGHT RADIUS AT THE INTERSECTION).

# SIDEWALK (SEE PLANS) SIDEWALK (SEE PLANS) ISOLATION JOINT -- ISOL I N JOINT (REF: ) - TACTILE \ ARNING \ "REACING, IF APPLICABLE (SEE PLANS FOR TYPE) SECTION VIEW 'B B' - CONCRETE CURB, FLUSH (REF: ) - ISOLATION JOINT ISOLATION JOINT - CONCRETE PAVING TOOLED RAMP GROOVES APPLICABLE (SEE PLANS FOR TYPE) PLAN VIEW: NOTES: 1. SEE DIVISION 32 OF THE SPECIFICATIONS FOR ADDITIONAL INFORMATION. CONCRETE PAVING JOINTS: SEE A6/L-701 FOR JOINT DETAILS.



WHEN PLATES MUST BE CUT TO FIT THE ALLOCATED SPACE FOR TACTILE WARNING SURFACING, PLATES OF WHOLE SIZE SHALL BE CENTERED IN THE SPACE WITH TWO (2) CUT PLATES OF EQUAL SIZE FITTING OUT EACH END AS A PAPICABLE. CUT PLATES SHALL NOT BE INSTALLED IN THE CENTER OF AN INSTALLATION.

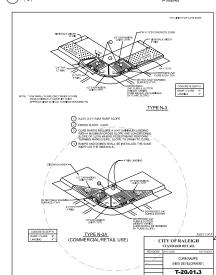
CAST IRON TACTILE WARNING PLATE APPLICATION DETAIL | TACTILE WARNING SURFACING - ASR

#### CITY OF RALEIGH CURB RAMPS

- CITY OF RALEIGH STANDARD CURB RAMPS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) AND PUBLIC RIGHT OF WAY ACCESS GUIDELINES
- CURB RAMPS SHALL BE PROMDED AT LOCATIONS AS SHOWN ON THE PLANS. OR AS DIRECTED BY THE BURGHEER. SIDEWALK ACCESS RAMPS SHALL BE LOCATED AS INDICATED IN THE DETAIL, HOWEVER, THE LOCATION MAY BE ADJUSTED IN COORDINATION WITH THE CITY OF RALEIGH WHERE EASTING LIGHT POLES, FIRE HYDRAMTS, DROP INLETS, ETC. AFFECT I PLACEMENT.
- DOUBLE WHEELCHAIR RAMPS ARE TO BE INSTALLED AT ALL PUBLIC STREET INTERSECTIONS WHERE SIDEWALK IS REQUIRED.
- THE WALKING SURFACE SHALL BE SLIP RESISTANT. THE COLOR FOR THE DETECTABLE WARNING AREA SHALL BE YELLOW FOR CONTRAST.
- NO SLOPE ON THE SIDEWALK ACCESS RAMP SHALL EXCEED 1"FT (12:1) IN RELATIONSHIP TO THE GRADE OF THE STREET.
- IN NO CASE SHALL THE WIDTH OF THE SIDEWALK ACCESS RAMP BE LESS THAN 48" ALL RAMPS SHALL BE INSTALLED THE SAME WIDTH AS THE SIDEWALK.
- 7. USE CLASS A (3000 PSI) CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH



D7 T-20.01.8 - CURB RAMP NOTES



T-20.01.3 - CURB RAMPS (NEW DEVELOPMENT)

NOT FOR CONSTRUCTION

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Henning Larsen Architecture, PA 250 West Broadway, 2nd Floor New York, NY 10013

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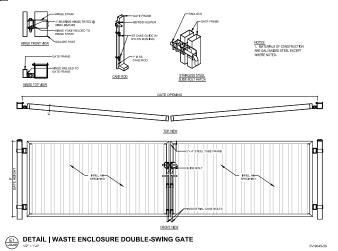
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AT ASP SUBWISSIN

**RATIO** 

SITE DETAILS - ASR

L-702

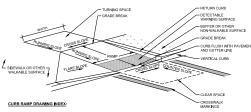


#### CURB RAMP GENERAL NOTES:

- . ALL SLOPES ARE ABSOLUTE RATHER THAN RELATIVE TO THE SIDEWALK OR ROADWAY GRADE, SLOPES AT LEAST 0.50% LESS THAN THE MAXIMUM ARE PREFERRED.
- RAMP OR BLENDED TRANSITION: A RAMP OR BLENDED TRANSITION SHALL BE USED TO LOWER OR RAISE THE SIDEWALK TO CONNECT
  WITH THE STREET OR HIGHWAY.
- 4. FLARED SIDE: A FLARED SIDE SHALL BE USED ADJACENT TO A WALKABLE SURFACE. A FLARED SIDE MAY BE USED ADJACENT TO A NON-WALKABLE SURFACE. A FLARED SIDE SHALL HAVE A MAXIMUM SLOPE OF 10.00% MEASURED PARALLEL TO THE BACK OF CURB
- 6. CLEAR SPACE: A CLEAR SPACE SHALL BE PROVIDED BEYOND THE BOTTOM GRADE BREAK OF A CURB RAMP WHOLLY CONTAINED WITHIN THE CROSSWALK AND WHOLLY OUTSIDE THE PARALLEL VEHICULAR TRAVEL PATH. THE CLEAR SPACE SHALL HAVE A MINIMUM CLEAR DIMENSION OF 470 x 4-07.
- 8. RUNNING SLOPE: THE RUNNING SLOPE OF A RAMP, BLENDED TRANSITION, OR TURNING PADIFECTION OF PEDESTRIAN TRAVEL.
- 8.4. A TURNING SPACE SHALL HAVE * AXIM. * RUNNING LOP OF 2,00%.

13. CURB RAMPS SHALL BE PLACED WITHIN THE MARKED CROSSWALK AREA.

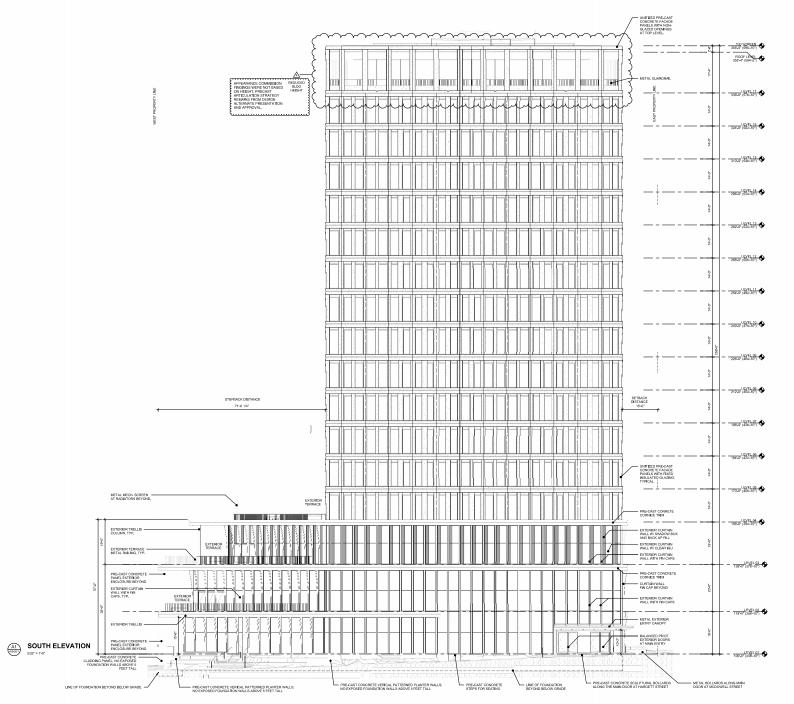
- 9. WIDTH: UNLESS OTHERWISE NO. TD, MIP" IUM. 10TH O" A HAMP, BLENDED TRANSITION, OR TURNING SPACE, EXCLUDING FLARED SIDES OR RETURN CURB, SHY __B, "20".
- SO BROOKED REFERENCE AS USES IN MAIN, THE MAIN BETTOM OF A PAUM BILLINGED THAN BETTOM OF THINNING SPACE, SHALL BE PRIFED THAN TO THE ME TO THE THE THAN BETTOM OF THE THINNING THAN BETTOM THE STAND THAN BETTOM THOSE OF THE THE OFFICE AS THE THAN BETTOM THE STAND FOR THE OFFICE AS THE THAN BETTOM THAN BETTOM THAN BETTOM THE OFFICE AS THE THAN BETTOM THAN
- 11.1.THE MAXIMUM CROSS SLOPE AT A PEDESTRIAN CROSSING WITHOUT YIELD OR STOP CONTROL SHALL BE 5.00% 11.2.THE MAXIMUM CROSS SLOPE AT A PEDESTRIAN STREET CROSSING WITH YIELD OR STOP CONTROL SHALL BE 2.00%.
- 11.3 THE MAXIMUM CROSS SLOPE AT A MID-RLOCK CROSSING SHALL BE THE ESTABLISHED GRADE OF THE ADJACENT ROADWAY 12, OBJECTS SUCH AS A UTILITY COVER, VAULT FRAME, AND GRATING SHALL BE PLACED OUTSIDE THE CURB RAMP



CURB RAMP DRAWING INDEX & GENERAL NOTES - ASR

DETAIL | PERPENDICULAR CURB RAMP-ASR

PERPENDICULAR CURB RAMP W/ ADJACENT WALKABLE SURFACE



### Phase 1: East Civic Tower 200 West Hargett Street Raleigh, NC 27601

Owner
City of Raleigh
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919-998-5575

Architect of Record
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Facade / Waterproofing / Ros REI Engineers 9121 Anson Way, Suite 100 Raleigh, NC 27615 919-845-1450

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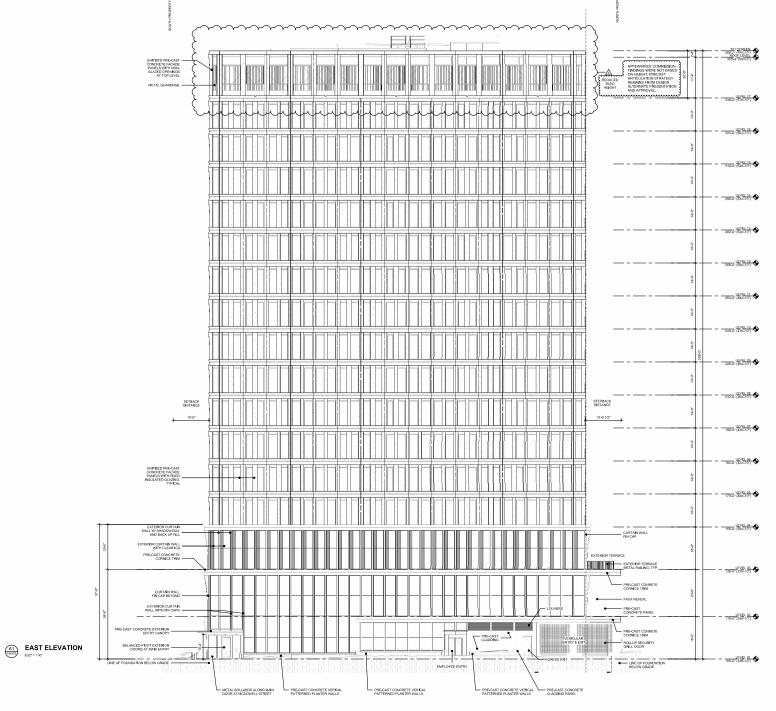
1 ASR SUBMISSION 1
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SOUTH ELEVATION

AS-201

NOT FOR CONSTRUCTION



Phase 1: East Civic Tower 200 West Hargett Street Raleigh, NC 27601

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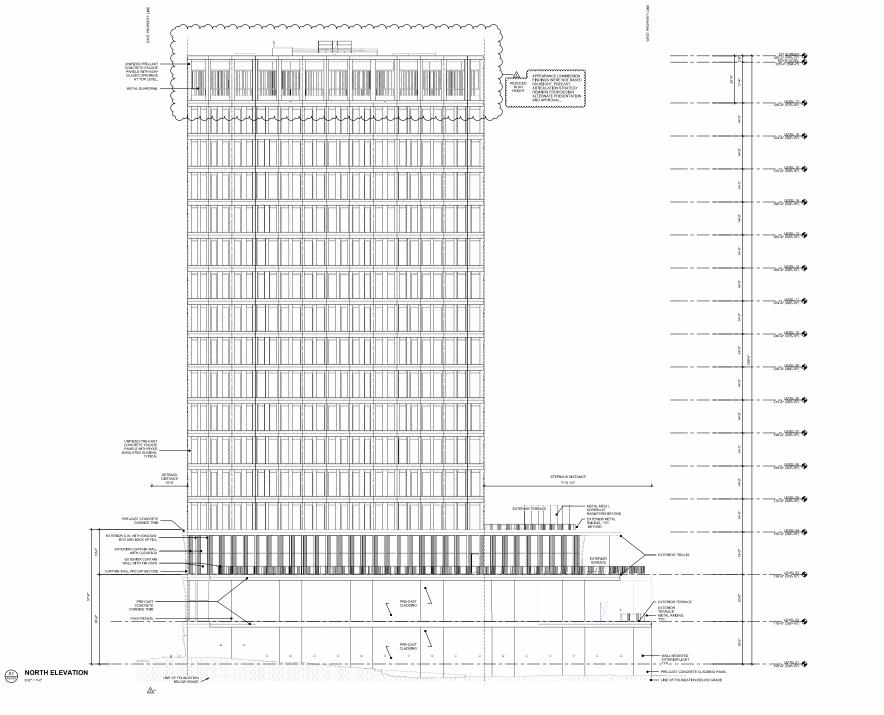
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SHEET TITLE EAST ELEVATION

AS-202 NOT FOR CONSTRUCTION



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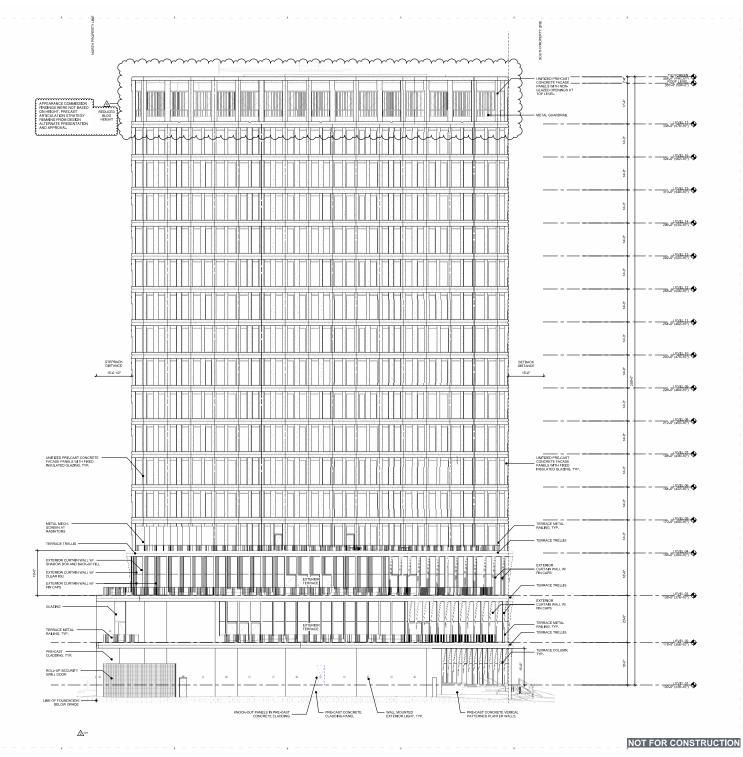
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SHEET TITLE NORTH ELEVATION



(A5 203) WEST ELEVATION 3/3/2" = 1"-0"

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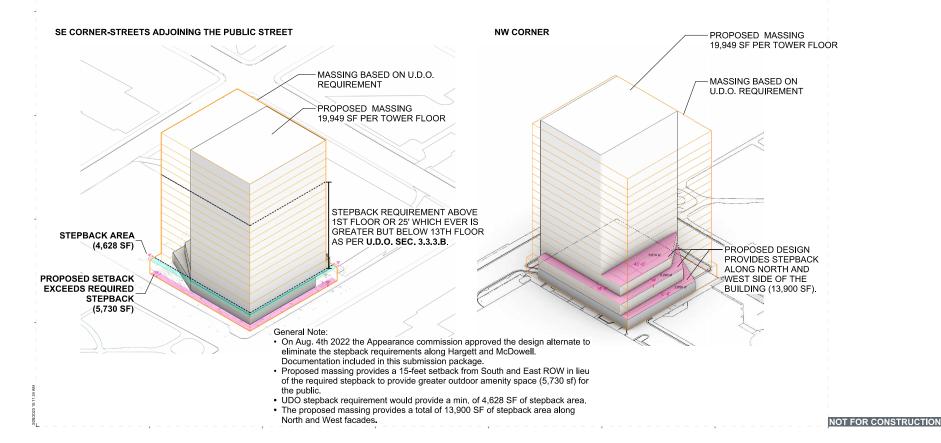
WEST ELEVATION

#### U.D.O. 3.3.3. BUILDING MASSING STANDARDS Sec. 3.3.3. Building Massing Standards 4. The building uses other architectural treatments to mitigate v crease light at pedestrian level, and visually reduce the scale of th A. Intent s. The building does not cause undue shadow impacts on public The linters of the Sounding massing regulations is to manage the impact of tail buildings located mean the public hight of-ways. Stephacks are intended to avoid a carryon effect by providing access to light and air at street level, and mitigating wind impacts. The massing regulations also produce a consistent street wall and visually reduce the perceived scale of a building. Buildings of 13 or more stories are required to place a stepback above the 1st floor or 15°, whichever is greater, but below the 13th floor 1. The stepback is only required on building faces adjoining the public street. 2. The depth of a required stepback may be reduced by c feet if the cornice line of the stepback matches the cornice line of an adjacent building. C. Floor Plate Size Above the 12th story, buildings are allowed 30,000 square feet of buildable area per story. The total amount of allowable square footage above the 12th story is thus defined a 30,000 square feet nutsiplied by the number of floors above 12 thus defined as 30,000 square feet nutsiplied by the number of floors above 12 thus defined as 30 mail and 10 mail and 10 more of the 10 miles when the 10 miles of exceed the number of floors allowed by the underlying zoning district D. Design Alternate Findings The Planning Commission or Appearance Commission performing the quasijudicial duties of the Planning Commission (as designated by the City Council), after conducting a duly noticed quasi-judicial evidentiary hearing in accordance with Sec. 10.2.17, shall approve an alternate building massing standard, if all of the following findings are satisfied: 1. The approved alternate is consistent with the intent of the building massing 30,000 sf 30,000 sf 2. The approved alternate uses an architectural base distinguishable from the · re upproved alternate uses an architectural base distinguishable from the building above that enhances the pedestrian environment through a change in material, fenestration, ornamentation, rhythm, or other sculpting of the base.

* Building separation is m

If the approved alternate proposes a building setback behind the sidewalk
in lieu of a required stepback, the resulting open space includes pedestrian
amenities such as seating areas, trees and landscaping or outdoor dining.

Part 10: Unified Development Ordic City of Raleigh, North Carolina



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U.D.O. 3.3.3 BUILDING MASSING STANDARDS COMPLIANCE

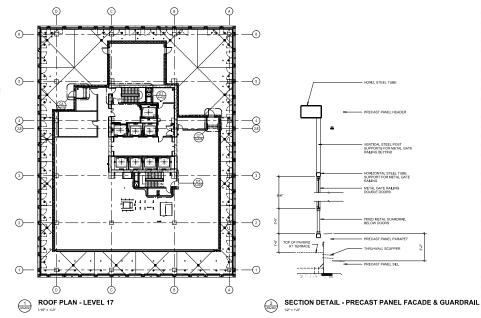
#### U.D.O.

#### 7.2.5.D MECHANICAL EQUIPMENT

2. ROOF-MOUNTED EQUIPMENT A. ROOF-MOUNTED EQUIPMENT SHALL BE SCREENED FROM GROUND LEVEL VIEW FROM ADJACENT PROPERTY OR ADJACENT PUBLIC STREET RIGHT-OF-WAY (NOT INCLUDING AN

B. NEW BUILDINGS SHALL PROVIDE A PARAPET WALL OR OTHER ARCHITECTURAL ELEMENT THAT SCREENS ROOF-MOUNTED EQUIPMENT FROM VIEW.

#### 14' ROOF LEVEL METAL SCREEN ALONG W,N,E FACADES



#### STREET LEVEL VIEWS









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