



Administrative Approval Action

Case File / Name: ASR-0097-2019
615 Peace

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Peace Street, east of N.Boylan Avenue at 615 W. Peace Street.

REQUEST: Development of a 0.34 acre/14,874 sf tract zoned CX-4-UG-CU into a proposed 32,578 square foot/24 unit mixed-use structure (with 1,550 sf of ground floor retail and 31,028 sf of gross floor residential multi-family units above on floors 2-4). In addition, site also is dedicating 1,087 sf of right-of-way dedication with a net site area of .32 acres/13,787 sf. Per the zoning conditions, Z-17-17, the building has a maximum building height of 58 ft and 4 stories. The proposed structure is proposing 4 stories with a clerestory on the fourth level.

BOA-0019-2019: Variance Driveway Placement.

Z-17-17: Site Zoning Conditions.

DESIGN

ADJUSTMENT(S)/

ALTERNATES, ETC: SPR-0102-2020: DSLC - Site Permitting Review/Major [Signature Set]

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 18, 2020 by JOHN A EDWARDS AND CO.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved. O&M manual must show that columns and overhead height will not hinder maintenance/repair requirements. A design exception will be required for any structures in the easement. (UDO 9.2).



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☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Transit Easement Required
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<input checked="" type="checkbox"/>	Sidewalk Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.
2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

Stormwater

3. The maximum allocated impervious area should be identified on all maps for recording.
4. All stormwater control measures and means of transporting stormwater runoff to and from any stormwater control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Transportation

5. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:



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General

1. Comply with all conditions of Z-17-17 & BOA-0019-2019.

Engineering

2. An encroachment agreement for canopy and stormwater drainage system connection within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.
3. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

Stormwater

4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
5. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

6. A public infrastructure surety for (7) street trees w/grates shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
7. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes (4) street trees in tree pits along Peace St. and (3) street trees in tree pits along N. Boylan Ave.

The following are required prior to issuance of building occupancy permit:

General

1. All street lights and street signs required as part of the development approval are installed.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).



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4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

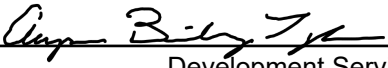
3-Year Expiration Date: April 16, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 04/16/2020
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy



VICINITY MAP

NOT TO SCALE

SITE DATA

SITE ADDRESS:	615 W. PEACE ST.
WAKE COUNTY PIN#:	1704422076
ZONING:	CX-4-UG-CU
EXISTING AREA:	14,874 SF (0.34 AC)
AREA TO BE DEDICATED:	- 1,087 SF (0.02 AC)
PROPOSED TOTAL ACREAGE:	13,787 SF (0.32 AC)
EXISTING USE:	VACANT
PROPOSED USE:	MIXED USE (MULTIFAMILY RESIDENTIAL & RETAIL)
BUILDING AREA:	13,028 (24 RESIDENTIAL UNITS & CORE) 32,578 SF
REQUIRED AMENITY AREA:	10% = 0.10 * 13,787 = 1,379 SF
AMENITY AREA PROVIDED:	1,545 SF
REQUIRED BICYCLE PARKING:	
SHORT-TERM LONG-TERM	
RESIDENTIAL 1 SPACE/20 UNITS MINIMUM 4	NONE 4 SPACES
RETAIL SALES 1 SPACE/5,000 SF MINIMUM 4	NONE 4 SPACES
PROPOSED BICYCLE PARKING:	8 SPACES
BUILDING HEIGHT:	MAXIMUM PROVIDED 58' (4 STORIES)* 58' (4 STORIES)
GROUND FLOOR ELEVATION:	REQUIRED PROVIDED 323.50 323.50
EXISTING IMPERVIOUS: (WITHIN STUDY AREA)	1,830 SF (0.04 AC)
PROPOSED IMPERVIOUS: (WITHIN STUDY AREA)	16,250 SF (0.37 AC)
PRIMARY STREET DESIGNATIONS PER TC-5A-18:	PEACE STREET BOYLAN AVENUE
PRINCIPAL BUILDING SETBACKS:	PRIMARY STREET: 5' PEACE ST: 10' AVERAGE* BOYLAN AVE: (SEE SHEET C-2)
PARKING SETBACKS:	PRIMARY STREET: 30' SIDE STREET: 10' SIDE LOT LINE: 0' OR 3' REAR LOT LINE: 0' OR 3' REAR LOT LINE: 0' OR 3'
BUILD-TO-**: (SEE SHEET C-2)	PRIMARY STREET: 0'-20' (70%) SIDE STREET: 0'-20' (35%)
*PER Z-17-17 ZONING CONDITION	
**PER-UG FRONTAGE	
NOTE: The BOA-0019-2019 APPROVAL ALLOWS A 126' VARIANCE FROM THE MINIMUM DRIVEWAY SPACING REQUIREMENTS SET FORTH IN UDO SECTION 8.3.3 C.3.C, REQUIRING AT LEAST 200' BETWEEN DRIVEWAYS. IN ORDER TO CONSTRUCT A NEW DRIVEWAY ON BOYLAN AVENUE WITH A MINIMUM SPACING OF 74' FROM THE DRIVEWAY ON THE EAST SIDE OF BOYLAN AVENUE, AS MEASURED FROM THE CENTERLINE OF EACH DRIVEWAY, AND A 30' VARIANCE FROM THE MINIMUM DISTANCE REQUIREMENTS SET FORTH IN SECTION 9.5 OF THE RALEIGH STREET DESIGN MANUAL, WHICH REQUIRES A DRIVEWAY ON A LOCAL OR MIXED-USE STREET TO BE LOCATED AT LEAST 100' FROM THE INTERSECTION WITH A LOCAL OR MIXED-USE STREET, IN ORDER TO CONSTRUCT A NEW DRIVEWAY ON BOYLAN AVENUE WITH A MINIMUM SPACING OF 70' FROM THE INTERSECTION WITH PEACE STREET, AS MEASURED FROM THE CENTERLINE OF THE NEW DRIVEWAY TO THE EDGE OF THE PEACE STREET RIGHT-OF-WAY.	

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

SOLID WASTE INSPECTIONS STATEMENT
SOLID WASTE TO BE COLLECTED IN ROLLOUT CONTAINERS IN SOLID WASTE ROOM INTERNAL TO BUILDING AND ROLLED TO STAGING AREA LOCATED WHOLLY OUTSIDE OF RIGHT-OF-WAY FOR ROLLOUT AND PICKUP BY PRIVATE HAULER ON DESIGNATED DAYS.



February 19, 2020
615 Peace Street
Attn: Mr. Steve Hess

This is a letter of support for trash and recycling services for your new facility being planned at the 615 Peace St. It is acceptable for the truck to safely service this account with trash and recycling services. We will be able to enter the trash room, remove the cans and service.

Per our discussions, we will provide 12 - 96 gallon trash carts and service 2 times per week on either M & Thursday or Tuesday and Friday. Our hours of operation are 7 am until 4 pm or the route finishes.

Since our founding in 1970, GFL Environmental has strived to achieve one all-encompassing goal: To provide a waste collection service that is so streamlined and stress-free that it falls almost entirely out of our customers' minds.

Our goal has always been to provide a level of service that is truly unmatched by anyone in the industry. From sustainable efforts, environmentally conscious decisions, and a caliber of customer support unparalleled by any service-based company, we have always aspired to be more than what we are today.

We look forward to providing waste and recycling services at your new property once it has opened.

Sincerely,

Dorcas Clifton

Dorcas Clifton
Account Manager
GFL Environmental - Raleigh
3741 Conquest Drive
Garner NC 27529
(M) 919-427-7045
(O) 919-534-2712

3741 Conquest Drive, Garner, NC 27529
Tel.: 919-662-7100 | Fax: 919-773-0503 | gflenv.com

SHEET INDEX

SHEET NUMBER	SHEET TITLE
-	Cover
C-0	RECORD MAP
C-1	EXISTING CONDITIONS- DEMOLITION PLAN
C-2	SITE PLAN
C-3	GRADING & STORMWATER MANAGEMENT PLAN
C-4	UTILITY PLAN
C-5	LANDSCAPE PLAN
A-100	FLOOR PLAN BASEMENT LEVEL
A-101	FLOOR PLAN GROUND LEVEL
A-102	FLOOR PLAN GROUND LEVEL
A-104	FLOOR PLAN FOURTH LEVEL
A-104M	FLOOR PLAN FOURTH LEVEL LOFT
A-105	ROOF PLAN LOFT
A-201	EXTERIOR ELEVATIONS
A-202	CONCEPT ELEVATIONS

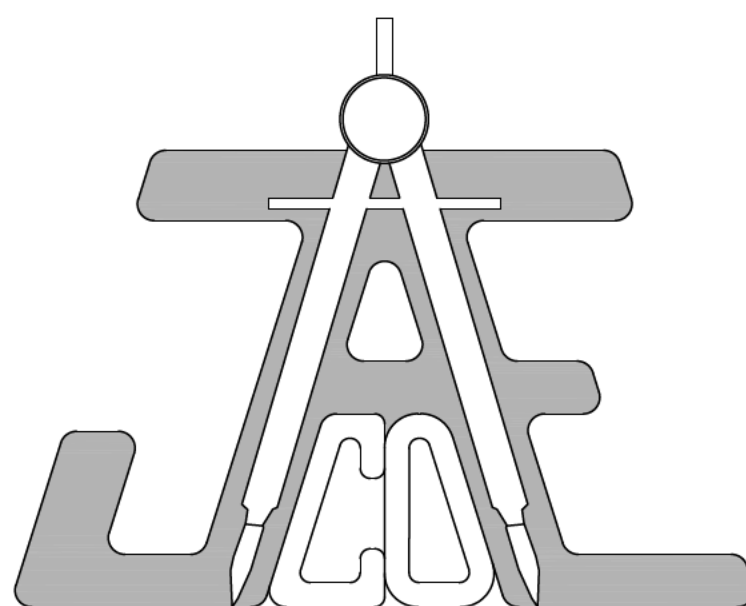
Average Curb Grade Calculations			
	High	Existing Grade	Average
Peace Street	324.80	323.50	324.20
Boylan Avenue	324.80	320.80	322.80
AVERAGE CURB GRADE 323.50			

Average Grade Calculations			
	High	Existing Grade	Proposed Grade
North elevation	324.05	315.45	323.75
East elevation	315.45	313.45	323.50
South elevation	324.05	313.45	324.00
West elevation	325.65	324.05	324.85
Average of wall planes 319.60			

Per section 15.7.A.2 (TC-17-16) of the UDO, building height is measured from the average grade to the top of the highest point of a pitched or flat roof excluding the parapet.

Average grade is determined by calculating the average of the highest and lowest elevation along pre-development grade or improved grade (whichever is most restrictive) along each building elevation and averaging all elevations.

The more restrictive condition governs in the proposed grade calculation with an average grade of 319.6'



615 W. PEACE STREET

ADMINISTRATIVE SITE REVIEW

(ASR-0097-2019)

615 W. PEACE ST.
RALEIGH, NC 27605

11/13/19

01/14/20

02/19/20

03/18/20

PARKING CALCULATIONS

		PROP. UNITS		REQ. RED SPACES
REQUIRED PARKING				
RESIDENTIAL	ONE BEDROOM UNITS	1 SPACE/UNIT	3	1 * 3 = 3
	TWO BEDROOM UNITS	2 SPACES/UNIT	21	2 * 21 = 42
	VISITOR PARKING	1 SPACE/10 UNITS	24	24/10 = 2.4 => 3
RETAIL	GROSS FLOOR AREA	1 SPACE/300 SF	1,550 SF	1,550/300 = 5.17 => 6
	OUTDOOR DISPLAY AREA	1 SPACE/600 SF	0 SF	0/600 = 0
TOTAL				54
ALLOWED PARKING				
RESIDENTIAL (7.1.3.C.1 & 2)	FIRST 16 DWELLING UNITS	0 SPACES	16	0 * 16 = 0
	DWELLING UNITS ABOVE 16	1 SPACE/DWELLING UNIT	8	1 * 8 = 8
RETAIL (7.1.3.C.3 & 4)	FIRST 10,000 SF	0 SPACES	1,550	0 * 1,550 = 0
	AREA ABOVE 10,000 SF	1 SPACE/500 SF	0	0/500 = 0
TOTAL				8
PROVIDED PARKING = 19 SPACES (INCLUDING 2 ADA)				

OWNER:
615 Peace St, LLC
1501 11th St. NW
Suite 2
Washington, DC 20003

ARCHITECT:
New City Design Group
1304 Hillsborough St.
Raleigh, NC 27605
Phone: (919) 831-1308

CIVIL ENGINEER:
JAEKO
Consulting Engineers
NC License F-0289
333 Wade Ave., Raleigh, NC 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

DEVELOPMENT SERVICES

Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | (919) 996-2458



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO), Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #:		Planning Coordinator:	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision transaction #:	
<input type="checkbox"/> Attached	<input checked="" type="checkbox"/> Mixed use	Sketch transaction #: 800P-022-2019	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #:	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: 800B19-2019	
		Zoning Case #: 2019-2019	
		Administrative Alternate #:	
GENERAL INFORMATION			
Development name: 615 Peace			
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
Property address(es): 615 W Peace Street			
Site P.I.N.(s): 1704422076			
Please describe the scope of work. Include any additions, expansions, and changes of use. 24 apartment units with 1,550 SF of proposed retail including parking garage and associated site improvements.			
Current Property Owner/Developer Contact Name: David Gorman			
NOTE: please attach purchase agreement when submitting this form.			
Company: 615 Peace St, LLC		Title: Manager	
Address: 1501 11th St. NW, Ste 2, Washington, DC 20003			
Phone #: (202) 759-0905		Email: david@lock7.com	
Applicant Name: David Gorman, Manager			
Company: same		Address: same	
Phone #: same		Email: same	

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VERSION 05.01.19

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DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-4-UG-CU	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 0.32 ac	New gross floor area: 32,578
# of parking spaces required: 8	Total of gross (to remain and new): 32,578
# of parking spaces proposed: 19	Proposed # of buildings: 1
Overlay District (if applicable): n/a	Proposed # of stories for each: 4
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Mixed use	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0.04	Proposed Impervious Surface: Acres: 0.37
Square Feet: 1,830	Square Feet: 16,250
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, please provide: Alluvial soils: _____ Flood stu: _____ FEMA Map Panel #: _____	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

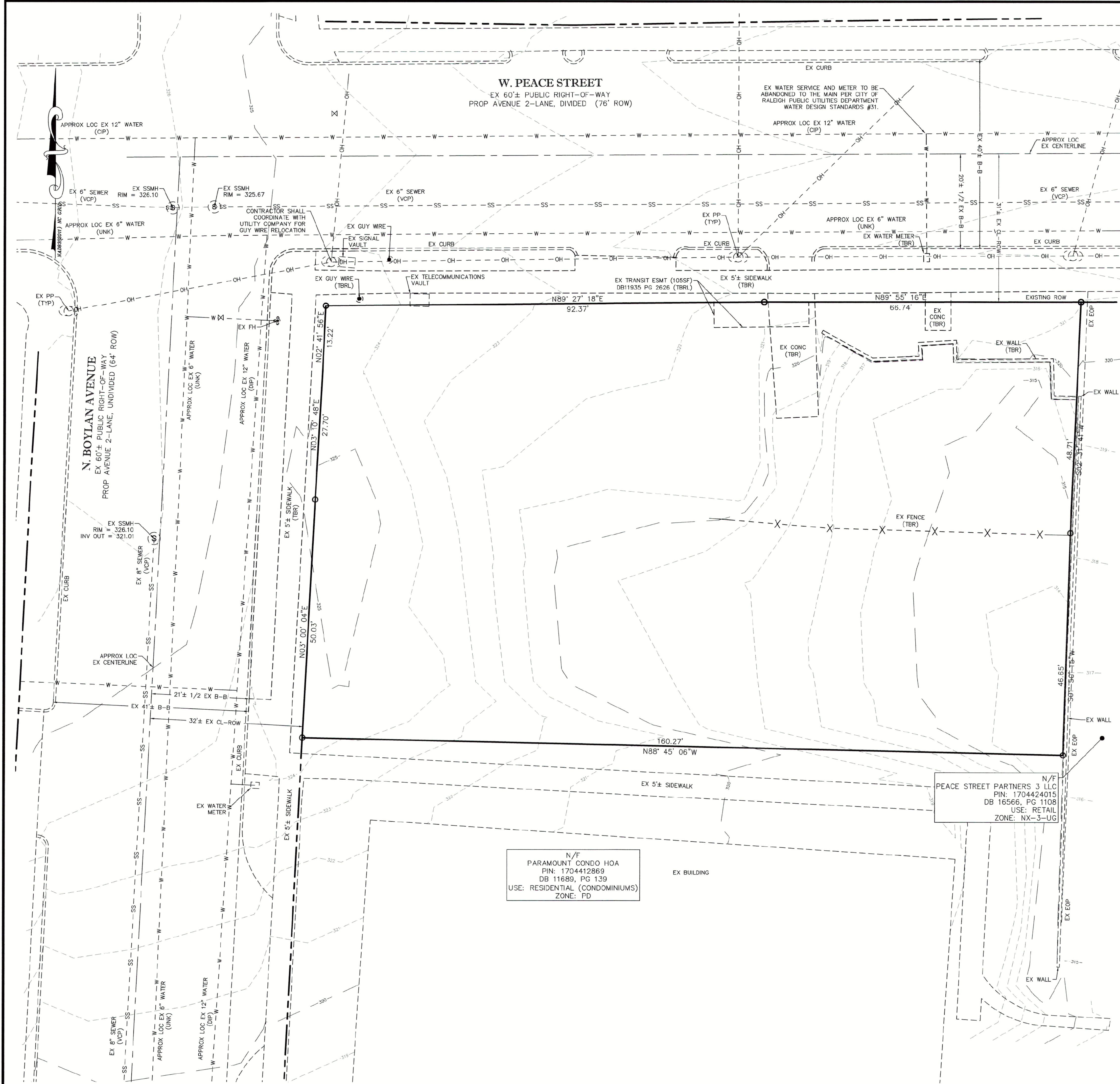
RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 24	Total # of hotel units: 0
# of bedroom units: 1br: 3 2br: 21 3br: 0 4br or more: 0	
# of lots: 1	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate <u>David Gorman</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>David Gorman</u> Manager	Date: <u>1/15/20</u>
Printed Name: <u>David Gorman</u>	

Page 2 of 2

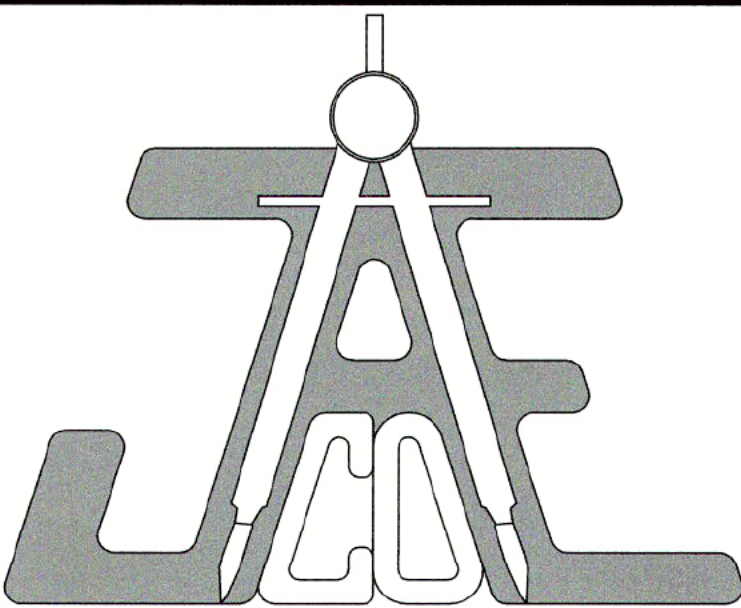
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GENERAL NOTES:

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. EXISTING WATER LINE LOCATIONS ARE SHOWN PER INFORMATION RECEIVED AT 08/28/19 SKETCH PLAN MEETING WITH THE CITY OF RALEIGH (SCOPE-0021-2019) AND ARE APPROXIMATE.
4. EXISTING WATER LINE AND SEWER LINE MATERIALS ARE SHOWN PER INFORMATION RECEIVED AT 08/28/19 SKETCH PLAN MEETING WITH THE CITY OF RALEIGH (SCOPE-0021-2019).
5. DEMOLITION INCLUDES REMOVAL OF ALL ON SITE TREES.



JAECO
Consulting Engineers and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

www.jaeco.com

PROCESS DRAWINGS

DO NOT SCALE

615 W. Peace Street
615 W. Peace Street
Raleigh, NC 27605

615 Peace St, LLC
1501 11th St. NW
Suite 2
Washington, DC 20003

ABBREVIATIONS

AC	ACRE	LOC	LOCATION
APPROX	APPROXIMATE	MH	MANHOLE
B-B	BACK OF CURB TO	N/F	NOW OR FORMERLY
BM	BOOK OF MAPS	PG	PAGE
BR	BOTTOM RISER	PP	POWER POLE
BW	BOTTOM OF WALL	PROP	PROPOSED
CIP	CAST IRON PIPE	RCP	REINFORCED
CL	CENTERLINE	ROW	RIGHT OF WAY
CONC	CONCRETE	SF	SQUARE FEET
COR	CITY OF RALEIGH	SS	SANITARY SEWER
DB	DEED BOOK	STD	STANDARD
DIP	DUCTILE IRON PIPE	SWM	STORMWATER
DTL	DETAIL		MANAGEMENT
ELEC	ELECTRIC	TBR	TO BE REMOVED
EOP	EDGE OF PAVEMENT	TBRL	TO BE RELOCATED
ESMT	EASEMENT	TR	TOP RISER
EX	EXISTING	TYP	TYPICAL
FFE	FINISHED FLOOR	TW	TOP OF WALL
FI	FIRE HYDRANT	UDO	UNIFIED DEVELOPMENT
G	GRADE		ORDINANCE
LF	LINEAR FEET	UNK	UNKNOWN
		VCP	VITRIFIED CLAY PIPE

LEGEND

EX PROPERTY LINE	---
EX ROW LINE	---
EX CENTERLINE	---
EX MAJOR CONTOUR	---XXX---
EX MINOR CONTOUR	---XXX---
EX FENCE	---X---X---
EX WATER LINE	---W---
EX SEWER LINE	---SS---
EX OVERHEAD LINE	---OH---

EXISTING CONDITIONS-
DEMOLITION PLAN

Number	Description	Date
1	PER CITY COMMENTS	1/4/2020
2	PER CITY COMMENTS	2/19/2020
3	PER CITY COMMENTS	3/18/2020

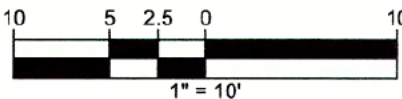
JAECO #: 071-01

DRAWING SCALE: 1" = 10'

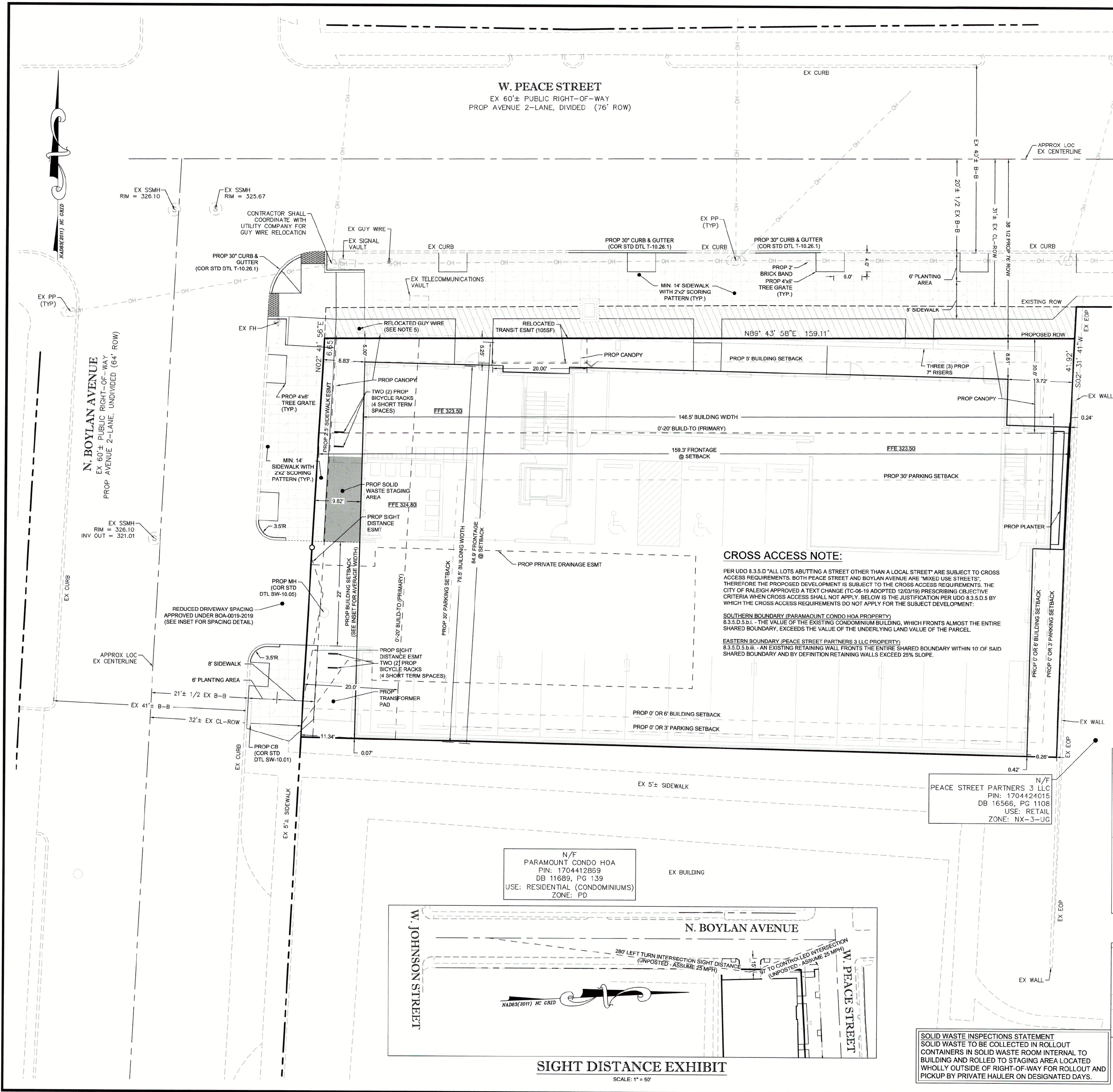
DRAWN BY: TT

CHECKED BY: JRC

DATE ISSUED: 11/13/19



C-1



GENERAL NOTES:

- 1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- 3. EXISTING WATER LINE LOCATIONS ARE SHOWN PER INFORMATION RECEIVED AT 08/28/19 SKETCH PLAN MEETING WITH THE CITY OF RALEIGH (SCOPE-0021-2019) AND ARE APPROXIMATE.
- 4. EXISTING WATER LINE AND SEWER LINE MATERIALS ARE SHOWN PER INFORMATION RECEIVED AT 08/28/19 SKETCH PLAN MEETING WITH THE CITY OF RALEIGH (SCOPE-0021-2019).
- 5. RELOCATED GUY WIRE LOCATION SCHEMATIC ONLY. COORDINATE FINAL DESIGN AND LOCATION WITH UTILITY COMPANY.

CONSTRUCTION NOTES:

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- 2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- 4. PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT (919) 998-2409 TO SET UP THE MEETING.
- 5. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- 6. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- 7. THE CONTRACTOR SHALL REPAIR ANY DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- 8. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- 9. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROVAGS), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

TRANSPORTATION NOTES:

- 1. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50 FEET OF ALL RESIDENTIAL OR RESIDENTIAL COLLECTOR INTERSECTIONS. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL OTHER STREET INTERSECTIONS.
- 2. HANDICAPPED RAMPS TO BE CONSTRUCTED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH ENGINEERING STANDARD DETAIL T-20.01.2.
- 3. SIGHT TRIANGLES TO BE LOCATED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. AREAS WHERE SIGHT TRIANGLE ARE LOCATED OUTSIDE THE RIGHT-OF-WAY SHALL BE RECORDED AS SIGHT EASEMENTS. FINAL LAYOUT OF SIGHT TRIANGLES TO BE APPROVED WITH CONSTRUCTION DRAWINGS.
- 4. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF 2 FEET AND 8 FEET ABOVE THE CURB LINE ELEVATION, OR NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
- 5. ALL STREET SECTIONS SHALL MEET OR EXCEED SPECIFICATIONS DETAILED IN CITY OF RALEIGH ENGINEERING STANDARDS T-10.10, T-10.12, AND T-10.14 AS NOTED.
- 6. ALL STREETS AND RIGHT-OF-WAYS WITHIN AND ADJACENT TO THE PROJECT ARE CONSISTENT WITH THE RALEIGH COMPREHENSIVE PLAN WITH REGARD TO PROPOSED ROADWAY LOCATIONS AND RIGHT-OF-WAY REQUIREMENTS.
- 7. UNLESS OTHERWISE SHOWN, TURNOUT RADII TO BE MINIMUM OF 35' AT ALL PUBLIC STREET INTERSECTIONS AND DRIVEWAY TURNOUTS TO BE A MINIMUM OF 28'.

BUILD-TO CALCULATION

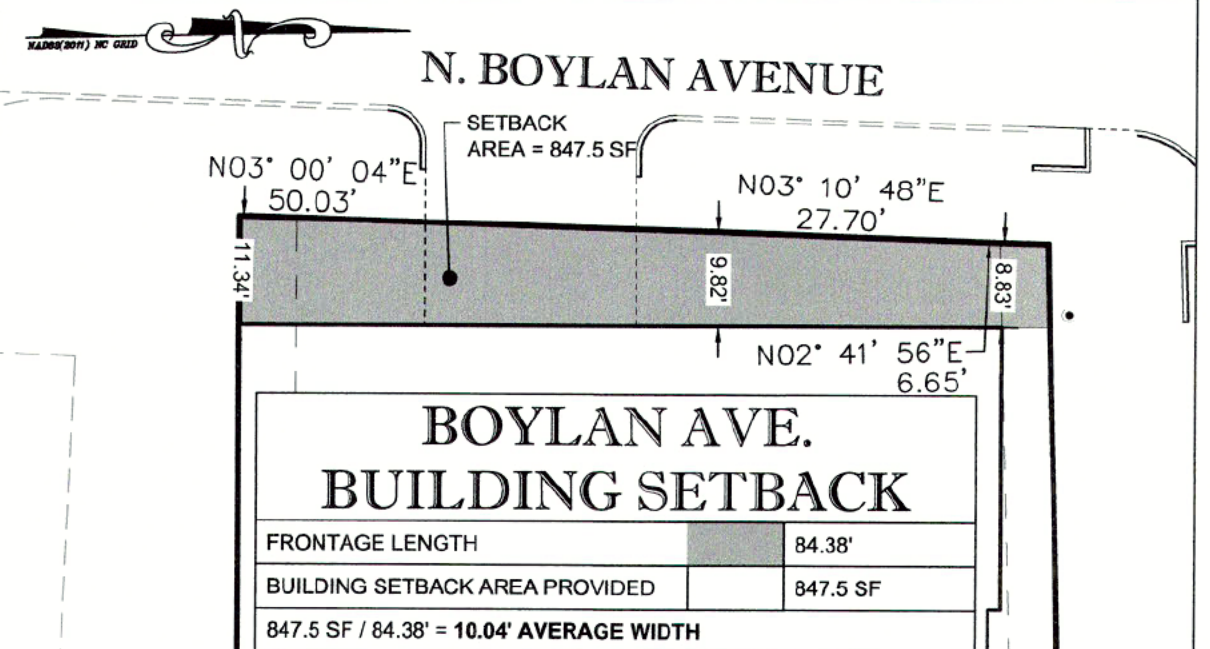
PEACE STREET (PRIMARY)		
FRONTAGE LENGTH AT SETBACK	159.3'	
70% REQUIRED BUILDING	111.5'	
PROVIDED	146.5' (92%)	
BOYLAN AVENUE (PRIMARY)		
FRONTAGE LENGTH AT SETBACK	84.9'	
70% REQUIRED BUILDING	59.4'	
PROVIDED	79.5' (94%)	

CROSS ACCESS NOTE:

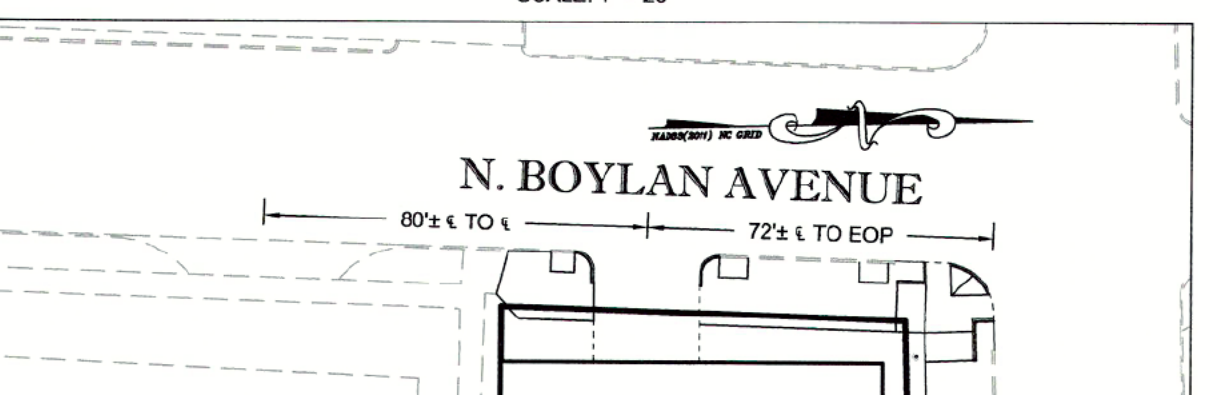
PER UDO 8.3.5.D "ALL LOTS ABUTTING A STREET OTHER THAN A LOCAL STREET" ARE SUBJECT TO CROSS ACCESS REQUIREMENTS. BOTH PEACE STREET AND BOYLAN AVENUE ARE "MIXED USE STREETS". THEREFORE THE PROPOSED DEVELOPMENT IS SUBJECT TO THE CROSS ACCESS REQUIREMENTS. THE CITY OF RALEIGH APPROVED A TEXT CHANGE (TO-06-19 ADOPTED 12/03/19) PRESCRIBING OBJECTIVE CRITERIA WHEN CROSS ACCESS SHALL NOT APPLY. BELOW IS THE JUSTIFICATION PER UDO 8.3.5.D.5 BY WHICH THE CROSS ACCESS REQUIREMENTS DO NOT APPLY FOR THE SUBJECT DEVELOPMENT.

SOUTHERN BOUNDARY (PARAMOUNT CONDO HOA PROPERTY)
8.3.5.D.5.i - THE VALUE OF THE EXISTING CONDOMINIUM BUILDING, WHICH FRONTS ALMOST THE ENTIRE SHARED BOUNDARY, EXCEEDS THE VALUE OF THE UNDERLYING LAND VALUE OF THE PARCEL.

EASTERN BOUNDARY (PEACE STREET PARTNERS 3 LLC PROPERTY)
8.3.5.D.5.ii - AN EXISTING RETAINING WALL FRONTS THE ENTIRE SHARED BOUNDARY WITHIN 10' OF SAID SHARED BOUNDARY AND BY DEFINITION RETAINING WALLS EXCEED 25% SLOPE.



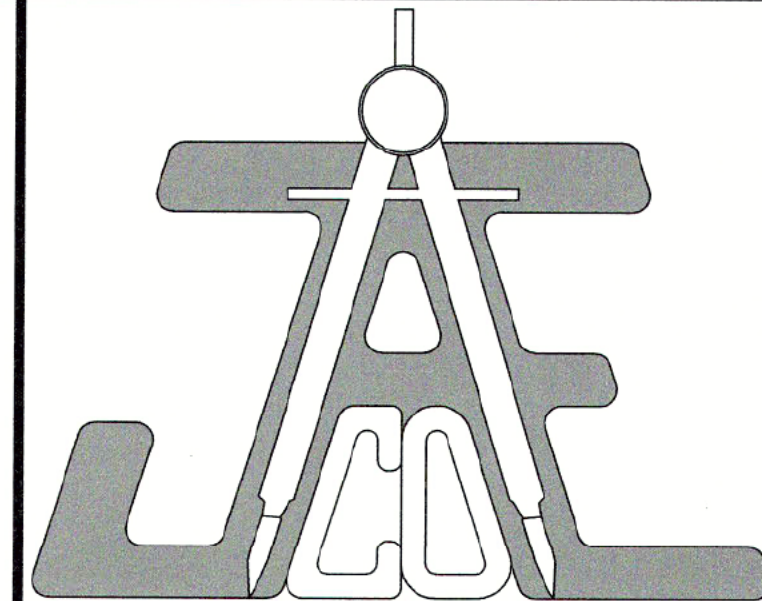
Z-17-17 SETBACK EXHIBIT



DRIVEWAY SPACING EXHIBIT

SIGHT DISTANCE EXHIBIT

SOLID WASTE INSPECTIONS STATEMENT
SOLID WASTE TO BE COLLECTED IN ROLLOUT CONTAINERS IN SOLID WASTE ROOM INTERNAL TO BUILDING AND ROLLED TO STAGING AREA LOCATED WHOLLY OUTSIDE OF RIGHT-OF-WAY FOR ROLLOUT AND PICKUP BY PRIVATE HAULER ON DESIGNATED DAYS.



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PROGRESS DRAWINGS

DO NOT JCTION

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ABBREVIATIONS

AC	ACRE	LOC	LOCATION
APPROX	APPROXIMATE	MH	MANHOLE
B-B	BACK OF CURB TO	NF	NOW OR FORMERLY
BM	BOOK OF MAPS	PG	PAGE
BR	BOTTOM RISER	PP	POWER POLE
CB	CORNER	PROP	PROPOSED
CIP	CAST IRON PIPE	RCP	REINFORCED CONCRETE PIPE
CL	CENTERLINE	ROW	RIGHT OF WAY
CONC	CONCRETE	SF	SQUARE FEET
COR	CITY OF RALEIGH	SS	SANITARY SEWER
DB	DEED BOOK	STD	STANDARD
DIP	DUCTILE IRON PIPE	SWM	STORMWATER MANAGEMENT
DTL	DETAIL	TR	TO BE REMOVED TO BE RELOCATED
ELEC	ELECTRIC	TBR	TOP RISER
EOP	EDGE OF PAVEMENT	TBL	TYPICAL
ESMT	EASEMENT	TR	TOP RISER
EX	EXISTING	TW	TOP OF WALL
FFE	FINISHED FLOOR ELEVATION	UD	UNIFIED DEVELOPMENT
FG	FIRE HYDRANT	UNK	UNKNOWN
LF	LINEAR FEET	VCP	VITRIFIED CLAY PIPE

LEGEND

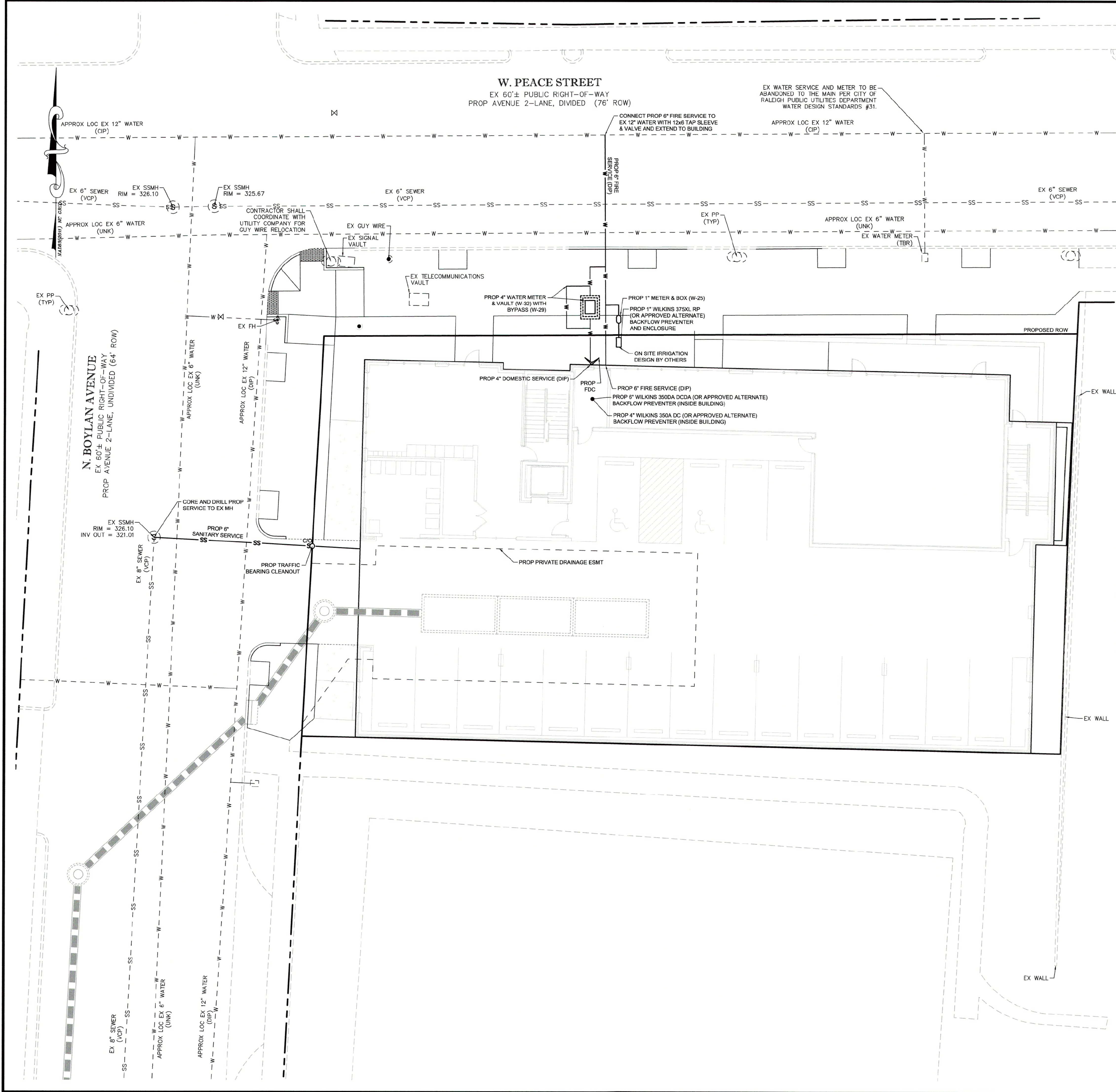
PROP PROPERTY LINE	---
PROP ESMT	---
PROP SETBACK	---
PROP CURB	---
PROPOSED DEDICATION AREA (1.087 SF OR 0.02 AC.)	---
PROPOSED CONCRETE	---
PROPOSED DETECTABLE WARNING STRIP	---
PROPOSED SOLID WASTE STAGING AREA	---

SITE PLAN

Revisions

Number	Description	Date
1	PER CITY COMMENTS	1/4/2020
2	PER CITY COMMENTS	2/19/2020
3	PER CITY COMMENTS	3/18/2020

JAECO # 071-01
DRAWING SCALE: AS SHOWN
DRAWN BY: TT
CHECKED BY: JRC
DATE ISSUED: 11/13/19

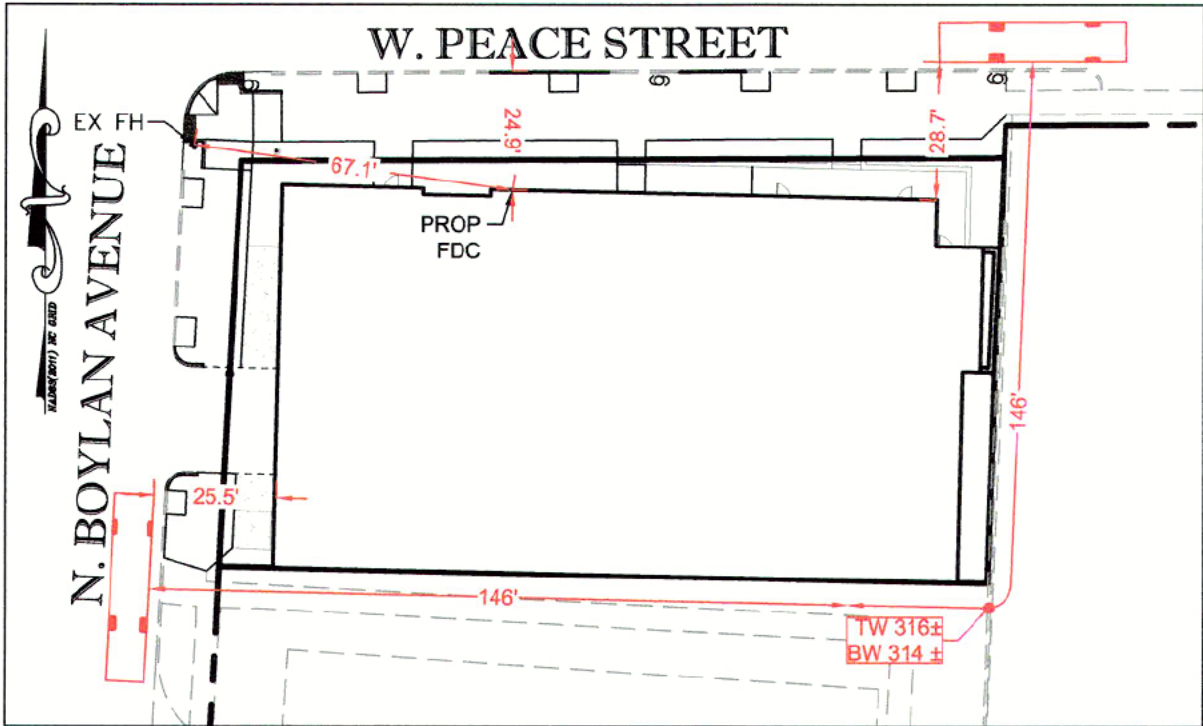


GENERAL NOTES:

- 1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND /OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- 3. EXISTING WATER LINE LOCATIONS ARE SHOWN PER INFORMATION RECEIVED AT 08/28/19 SKETCH PLAN MEETING WITH THE CITY OF RALEIGH (SCOPE-0021-2019) AND ARE APPROXIMATE.
- 4. EXISTING WATER LINE AND SEWER LINE MATERIALS ARE SHOWN PER INFORMATION RECEIVED AT 08/28/19 SKETCH PLAN MEETING WITH THE CITY OF RALEIGH (SCOPE-0021-2019).

STANDARD UTILITY NOTES (as applicable):

- 1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition)
- 2. Utility separation requirements:
 - a. A distance of 100' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well
 - b. When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director. All distances are measured from outside diameter to outside diameter
 - c. Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications
 - d. 5.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer
 - e. Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49)
 - f. All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required
- 3. Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction
- 4. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department
- 5. 3.0' minimum cover is required on all water mains & sewer force mains. 4.0' minimum cover is required on all reuse mains
- 6. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure
- 7. Install 3/4" copper* water services with meters located at ROW or within a 2'x2' Watertight Easement immediately adjacent. NOTE: It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure
- 8. Install 4" PVC* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum
- 9. Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole
- 10. All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction
- 11. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction
- 12. Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Steven Calverly at (919) 996-2334 or steven.calverly@raleighnc.gov for more information
- 13. Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information



FIRE COVERAGE EXHIBIT
SCALE: 1" = 40'

BACKFLOW NOTE:

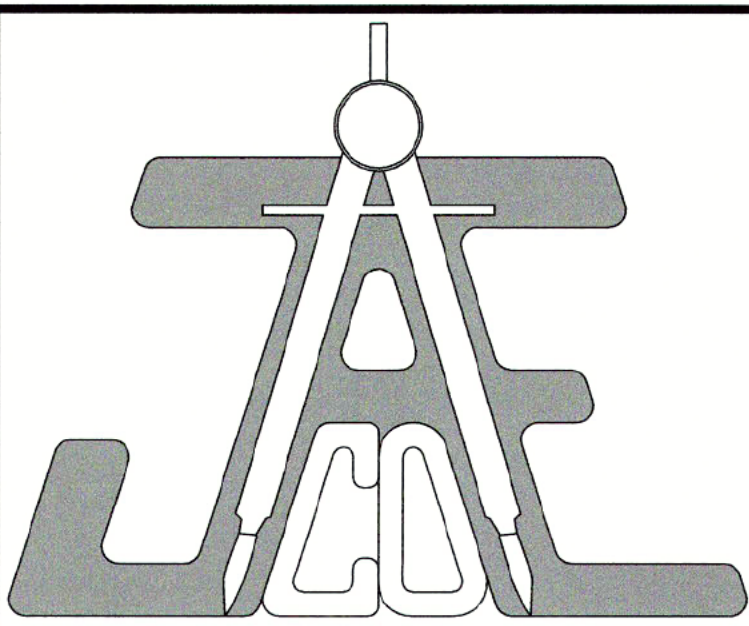
BACKFLOW DEVICE SHALL BE NO MORE THAN 50' IN PIPING FROM THE BACK OF THE WATER METER.

ATTENTION CONTRACTORS:

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in those plans, is responsible for contacting the PUBLIC WORKS DEPARTMENT at (919) 996-2409, and the PUBLIC UTILITIES DEPARTMENT at (919) 996-2540 at least twenty-four hours prior to beginning any of their construction.

FAILURE to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

FAILURE to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other violation of CITY OF RALEIGH STANDARDS will result in a Fine and Possible Exclusion from future work in the CITY OF RALEIGH.



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PROGRESS DRAWINGS

DO NOT UCTION

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ABBREVIATIONS

AC	ACRE	LDC	LOCATION
APPROX	APPROXIMATE	MH	MANHOLE
B-S	BACK OF CURB TO	N/F	NOW OR FORMERLY
B-M	BOOK OF MAPS	PG	PAGE
BR	BOTTOM RISER	PP	POWER POLE
BW	BOTTOM OF WALL	PROP	PROPOSED
CIP	CAST IRON PIPE	RCP	REINFORCED
CL	CENTERLINE	ROW	RIGHT OF WAY
CONC	CONCRETE	SF	SQUARE FEET
COR	CITY OF RALEIGH	SS	SANITARY SEWER
DB	DEED BOOK	STD	STANDARD
DIP	DUCTILE IRON PIPE	SWM	STORMWATER
DTL	DETAIL	TBR	TO BE REMOVED
ELEC	ELECTRIC	TBRL	TO BE RELOCATED
EOP	EDGE OF PAVEMENT	TR	TOP RISER
ESMT	EASEMENT	TYP	TYPICAL
EX	EXISTING	TW	TOP OF WALL
FFE	FINISHED FLOOR ELEVATION	UDO	UNIFIED DEVELOPMENT
FH	FIRE HYDRANT	UNK	UNKNOWN
G	GRADE	VCP	VITRIFIED CLAY PIPE
LF	LINEAR FEET		

LEGEND

PROP WATER LINE	— W —
PROP SEWER LINE	— SS —
EX WATER LINE	- - - - W - - - -
EX SEWER LINE	- - - - SS - - - -

UTILITY PLAN

Revisions		
Number	Description	Date
1	PER CITY COMMENTS	1/4/2020
2	PER CITY COMMENTS	2/19/2020
3	PER CITY COMMENTS	3/18/2020

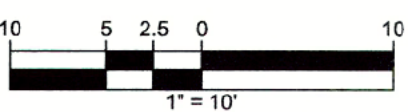
JAECO #: 071-01

DRAWING SCALE: 1" = 10'

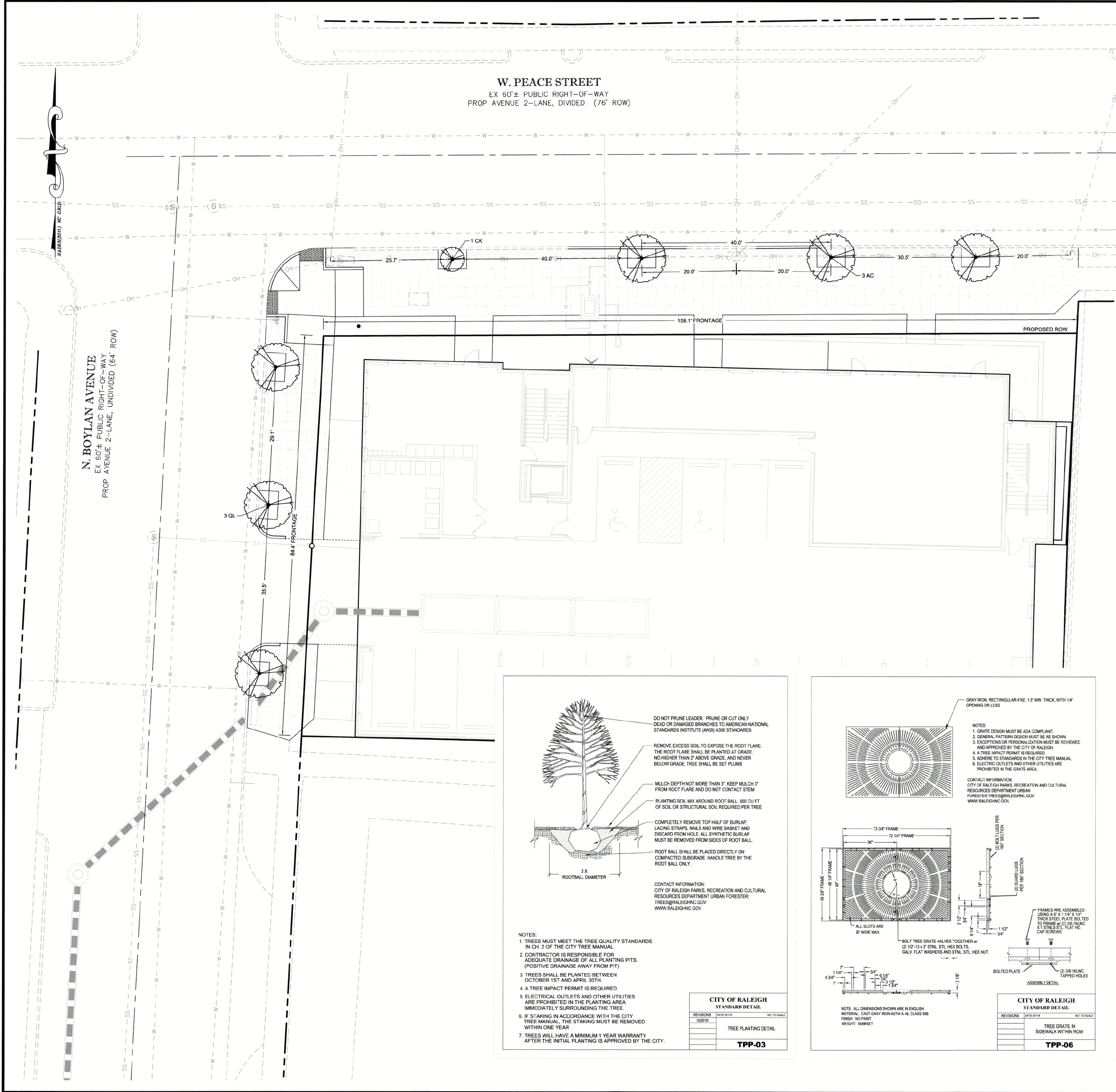
DRAWN BY: TT

CHECKED BY: JRC

DATE ISSUED: 11/13/19



C-4



GENERAL NOTES:

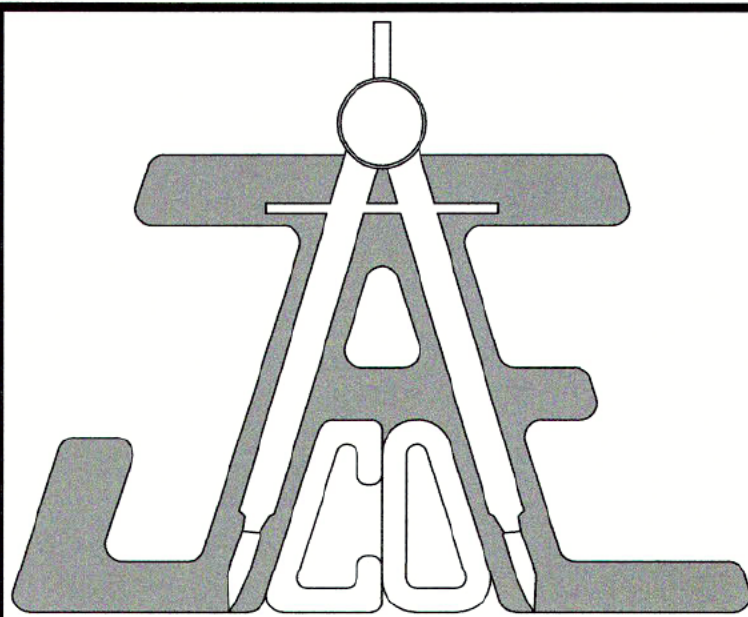
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STREET PLANTINGS

PEACE STREET - PROP AVENUE TWO-LANE, DIVIDED, -UG FRONTAGE (MIXED USE STREETSCAPE)			
STREET TREES REQUIRED (40' O.C. AVERAGE) PER CITY OF RALEIGH "PEACE STREET WEST STREETSCAPE" PLAN DATED 2/4/15.	4		
STREET TREES PROVIDED	4*		
*THREE (3) ACER CAMPESTRE "EVELYN" PROVIDED PER STREETSCAPE PLAN AND ONE (1) CORNUS KOUSA PROVIDED AT THE CORNER OF PEACE AND BOYLAN IN LIEU OF THE FRINGE TREE SPECIFIED ON THE STREETSCAPE PLAN DUE TO SUSCEPTIBILITY TO ASH BORER.			
BOYLAN AVENUE - PROP AVENUE TWO-LANE, UNDIVIDED, -UG FRONTAGE (MIXED USE STREETSCAPE)			
RIGHT-OF-WAY FRONTAGE LENGTH	84.4'		
SHADE TREES REQUIRED (40' O.C. AVERAGE)	84.4/40 = 2.11		
SHADE TREES PROVIDED	3		

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	REMARKS
AC	3	ACER CAMPESTRE "EVELYN"	QUEEN ELIZABETH MAPLE	B&B	3" CAL. MIN.	10' MIN. HEIGHT
CK	1	CORNUS KOUSA	KOUSA DOGWOOD	B&B	1.5" CAL. MIN.	6' MIN. HEIGHT
QL	3	QUERCUS LYRATA "HIGHTOWER"	OVERCUP OAK	B&B	3" CAL. MIN.	10' MIN. HEIGHT



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PROCESS DRAWINGS

DO NOT CONSTRUCTION

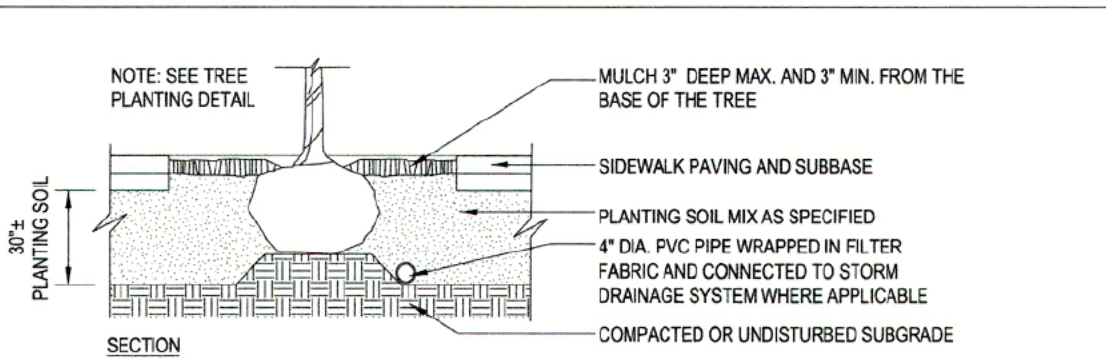
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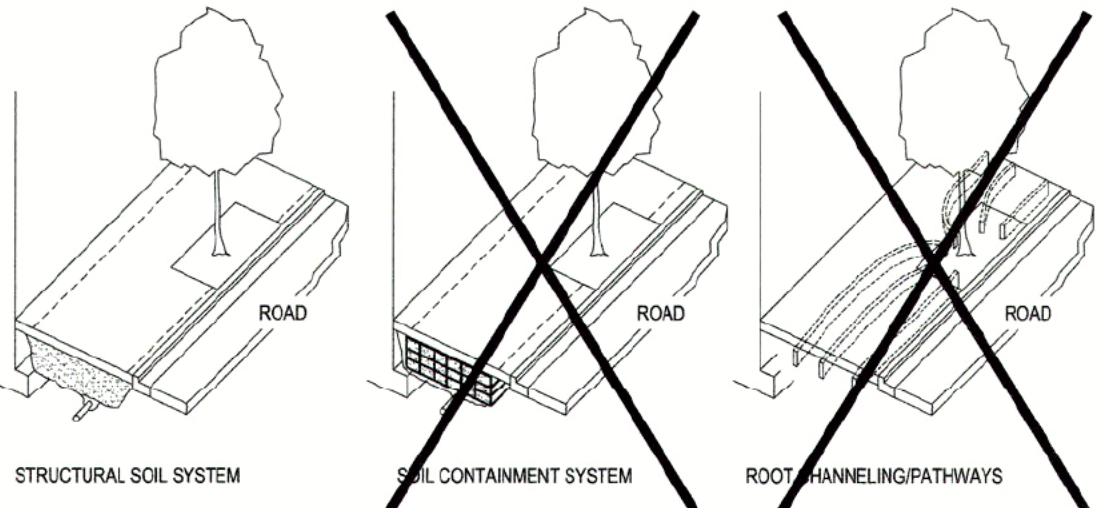
ABBREVIATIONS

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B-B	BACK OF CURB TO BACK OF CURB	N/F	NOW OR FORMERLY
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EH	ELEVATION		DEVELOPMENT
GF	GRADE	UNK	ORDNANCE UNKNOWN
LF	LINEAR FEET	VCP	VITRIFIED CLAY PIPE

LEGEND

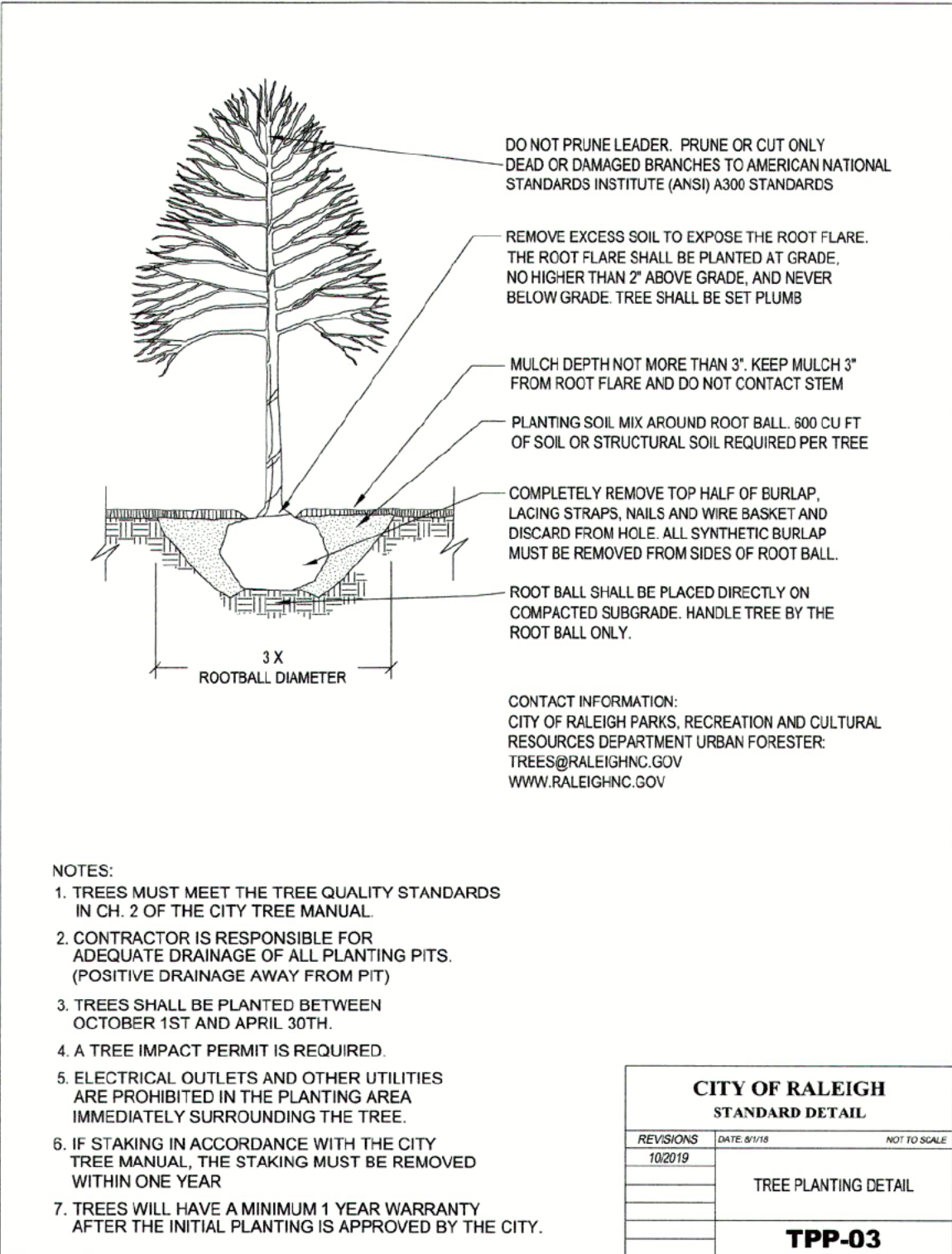


- NOTES:
1. A SITE SPECIFIC PLAN MUST BE DEVELOPED TO ENSURE THAT:
 - 1.1. EACH TREE IS PROVIDED A MIN. ROOT-ACCESSIBLE SOIL VOLUME OF 600 CUBIC FEET.
 - 1.2. THE TREE ROOT AREA BENEATH THE SIDEWALK IS EXPANDED TO MAXIMIZE ROOT ACCESSIBLE SOIL SPACE UNDER THE PAVEMENT.
 - 1.3. CONNECT SOIL SPACE FOR ROOT EXPANSION WHERE POSSIBLE TO ALLOW ROOT SYSTEMS OF TREES TO OVERLAP AND COLONIZE A SHARED SOIL SPACE.
 - 1.4. ANY COMBINATION OF STRUCTURAL SOILS, SOIL CONTAINMENT SYSTEM (e.g., SILVA CELL), OR ROOT CHANNELING (e.g., SOIL STRIP DRAINAGE/EROSION CONTROL SYSTEM) THAT PERFORMS AS SPECIFIED IS ACCEPTABLE.
 2. 42" X 8" WIDTH MINIMUM APPLIES TO BOTH STRUCTURAL SOILS AND SUBSURFACE SOIL CONTAINMENT SYSTEMS.
 3. SUBSURFACE APPLICATION SHALL BE REVIEWED AND APPROVED BY CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES URBAN FORESTRY DIVISION PRIOR TO INSTALLATION.



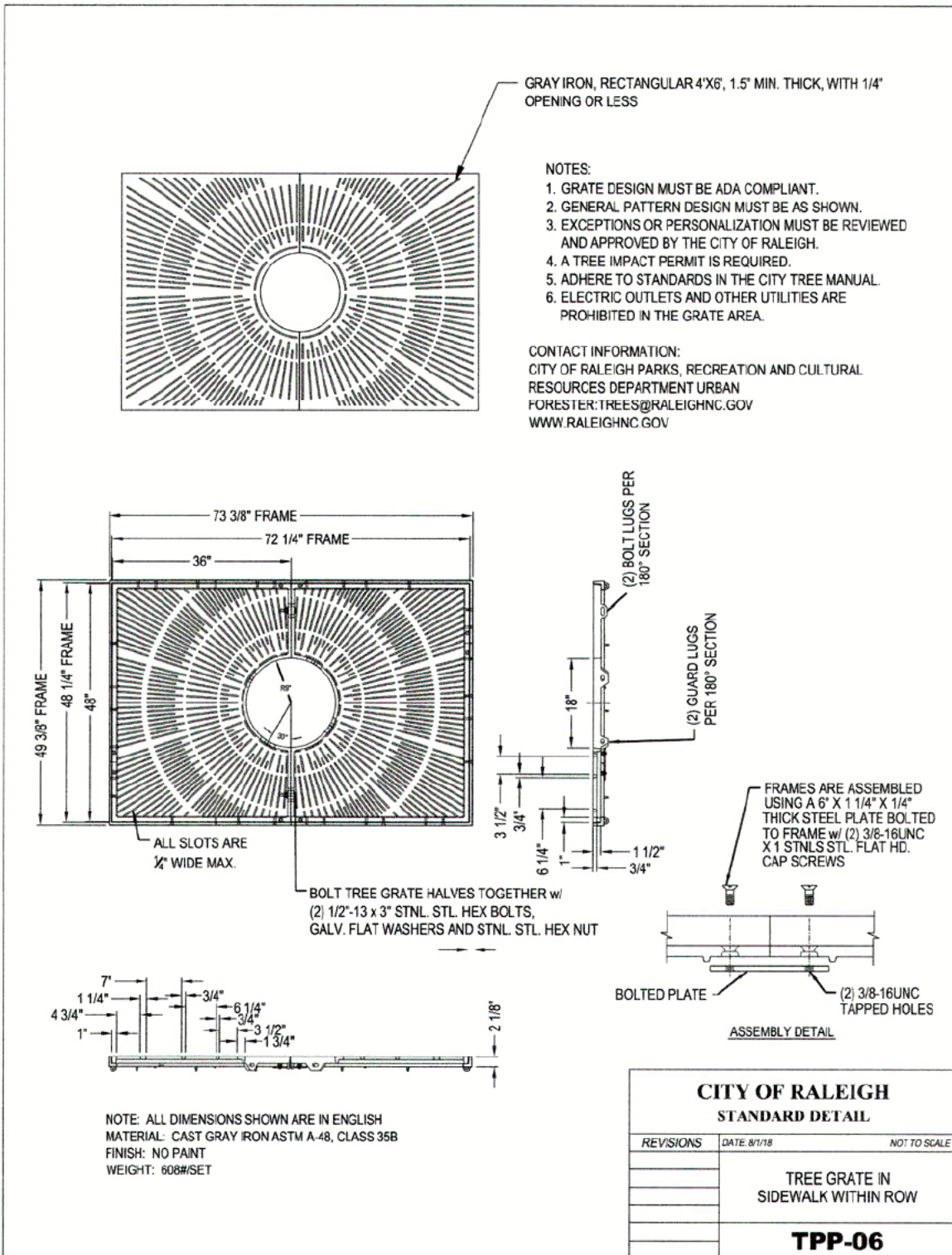
CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT
URBAN FORESTRY: TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV

REVISIONS	DATE	BY	NOT TO SCALE
TREE PLANTING IN SIDEWALK WITHIN ROW			
TPP-07			



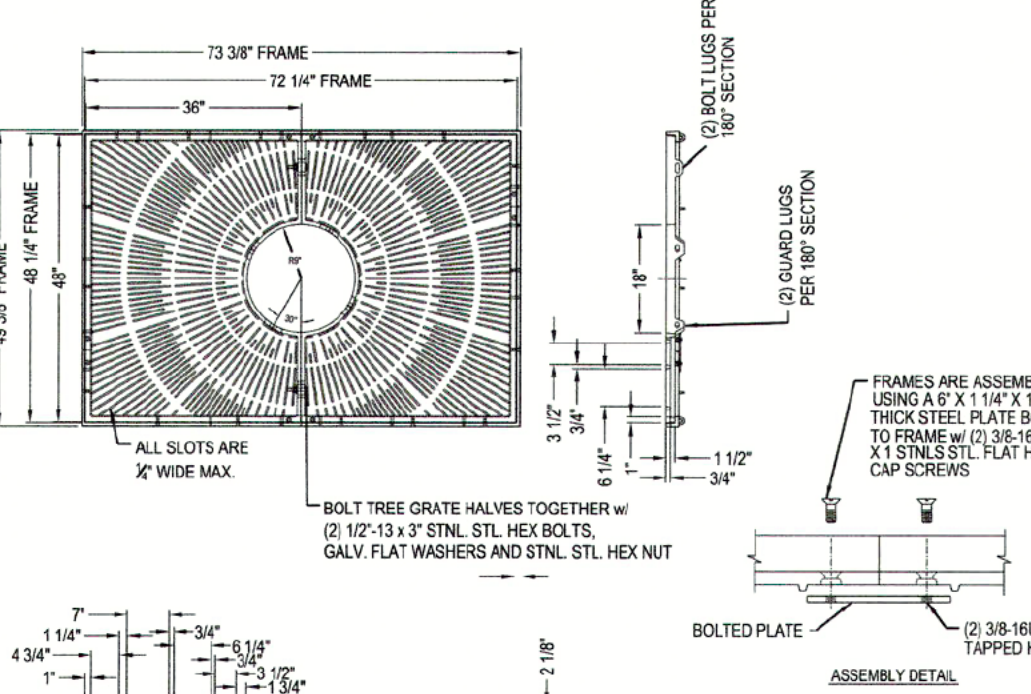
- NOTES:
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT).
 3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 4. A TREE IMPACT PERMIT IS REQUIRED.
 5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

REVISIONS	DATE	BY	NOT TO SCALE
TREE PLANTING DETAIL			
TPP-03			



- NOTES:
1. GRATE DESIGN MUST BE ADA COMPLIANT.
 2. GENERAL PATTERN DESIGN MUST BE AS SHOWN.
 3. EXCEPTIONS OR PERSONALIZATION MUST BE REVIEWED AND APPROVED BY THE CITY OF RALEIGH.
 4. A TREE IMPACT PERMIT IS REQUIRED.
 5. ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
 6. ELECTRIC OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE GRATE AREA.

CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTRY: TREES@RALEIGHNC.GOV
WWW.RALEIGHNC.GOV



REVISIONS	DATE	BY	NOT TO SCALE
TREE GRATE IN SIDEWALK WITHIN ROW			
TPP-06			

LANDSCAPE PLAN

Number	Description	Date
1	PER CITY COMMENTS	1/4/2020
2	PER CITY COMMENTS	2/19/2020
3	PER CITY COMMENTS	3/18/2020

JAECO # 071-01

DRAWING SCALE: AS SHOWN

DRAWN BY: TT

CHECKED BY: JRC

DATE ISSUED: 11/13/19

C-5