



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____	Planner (print): _____
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Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

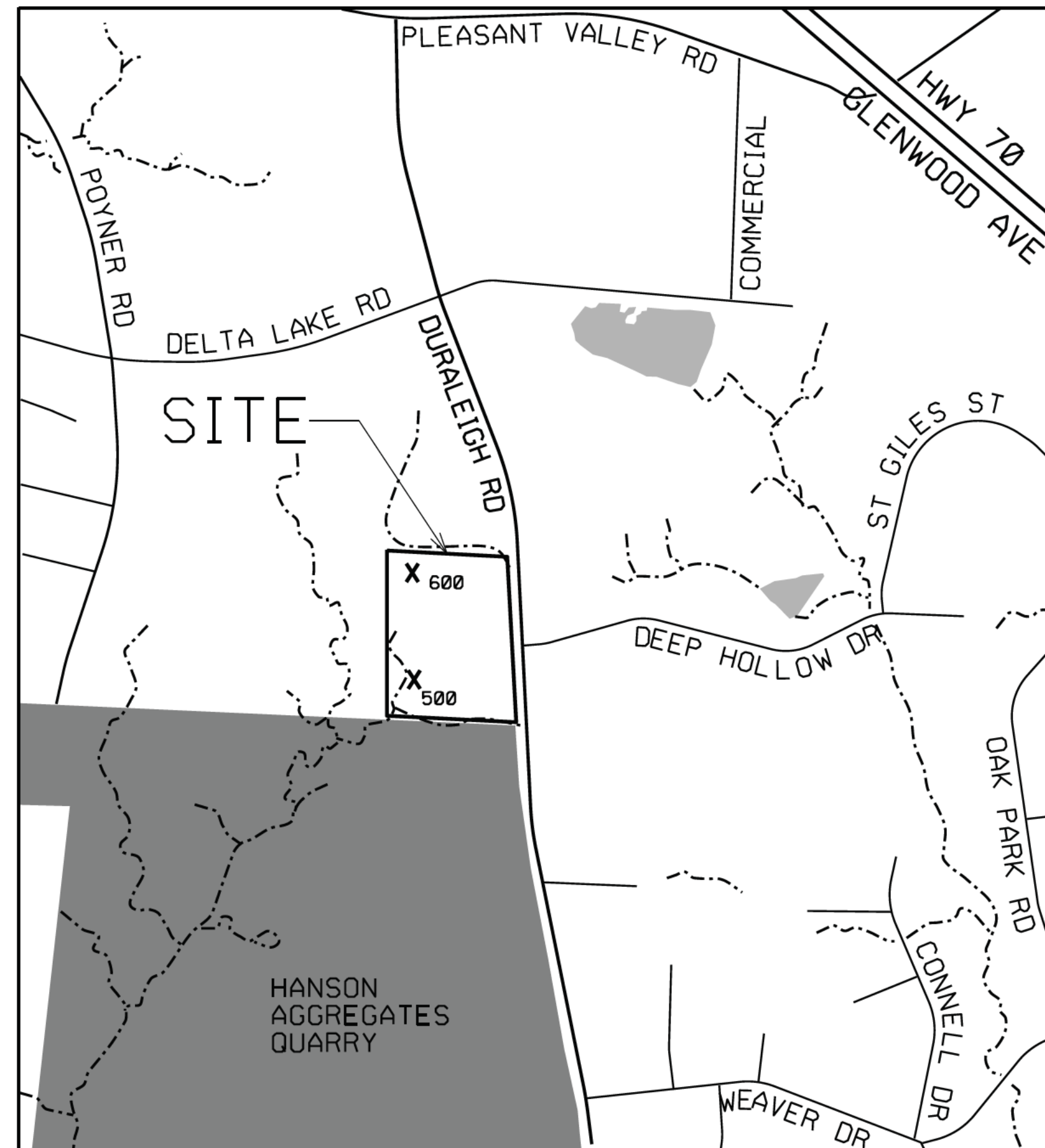
Site Plan Tier: Tier Two Site Plan <input checked="" type="checkbox"/>		Tier Three Site Plan <input type="checkbox"/>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Subdivision case #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: The Commons of Duraleigh Ridge			
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Property address(es): project address is 5 500 Duraleigh Rd, building 500 address is 5521 McNeely Drive, building 600 a ddress is 5 541 M			
Site P.I.N.(s): 0786552552			
Please describe the scope of work. Include any additions, expansions, and change of use. Site Plan Approval to construct the remaining two buildings, 500 (5521 McNeely Drive) and 600 (5541 McNeely Drive) in the existing Commons of Duraleigh Ridge with the general address of 5500 McNeely Drive.			
Current Property Owner/Developer Contact Name: Bennett M. Keasler, Jr.			
NOTE: please attach purchase agreement when submitting this form.			
Company: Duraleigh Partners, LLC		Title: Attorney	
Address: P.O. Box 27, Raleigh, North Carolina 27602			
Phone #: 704-240-0141		Email: wesley.black@theblacklawfirm.com	
Applicant Name: Bennett M. Keasler, Jr.			
Company: Keasler Design, LLC		Address: P.O.Box 27, Raleigh, North Carolina 27602	
Phone #: 919-201-8100		Email: bennetkeasler@gmail.com	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): OX-3-CU	Existing gross floor area (not to be demolished): 42,098 SF
	Existing gross floor area to be demolished: 0
Gross site acreage: 7.075	New gross floor area: 25,130 sf
# of parking spaces required: 224	Total sf gross (to remain and new): 67,228 SF
# of parking spaces proposed: 250	Proposed # of buildings: 2
Overlay District (if applicable): none	Proposed # of stories for each: 2
Existing use (UDO 6.1.4): office	
Proposed use (UDO 6.1.4): office	

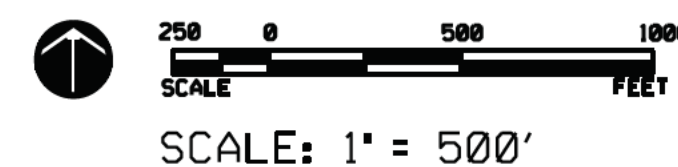
STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 2.96 Square Feet: 128,750	Proposed Impervious Surface: Acres: 3.30 Square Feet: 143,914 (total)
Is this a flood hazard area? Yes No <input checked="" type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: _____	
Neuse River Buffer Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Wellands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENT S	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes No

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate <u>Bennett M. Keasler, Jr.</u> to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>Bennett M. Keasler, Jr. for Keasler Design, LLC</u>	Date: Dec. 2, 2020
Printed Name: Bennett M. Keasler, Jr. for Keasler Design, LLC.	



VICINITY MAP



LIST OF DRAWINGS		
SEQ. NO.	DWG. NO.	TITLE
1	CO-1	COVER SHEET
2	EC-1	EXISTING CONDITIONS PLAN
3	SP-1	PROPOSED SITE PLAN
4	SP-2	GRADING
5	SP-3	STORMWATER PLAN
6	SP-4	TREE CONSERVATION
7	SP-5	PLANTING PLAN
8	SP-6	UTILITY PLAN
9	D-1	SITE DETAILS 1
10	D-2	SITE DETAILS 2
11	D-3	SITE DETAILS 3
12	D-4	SITE DETAILS 4
13	BP-1	5521 FRONT ELEVATION
14	BP-2	5541 FRONT & LEFT ELEV.

Article 7.1 of the RSDM states that development projects are required to perform a TIA if the following 4 criteria are met. These criteria are:
 A. Land Uses - This project proposes two office buildings totaling 21,053 SF ± 64,000 SF ± TIA not required
 B. Trip Generation - Based on the proposed office buildings total square footage, according to the ITE Trip Gen Manual, the buildings will generate 89 Peak Hour Trips (PM Peak: 89 (16 In / 73 Out)) ≤ 150 vehicles/hour and 234 ADT ≤ 3,000 vehicles / day ± TIA not required
 C. Site Context N/A
 D. Miscellaneous Applications N/A
 Based on the Article 7.1 criteria a TIA is not required for this project.

THE COMMONS OF DURALEIGH RIDGE

BUILDINGS 500 & 600
 5521 AND 5541 MCNEELY DR.
 RALEIGH, NORTH CAROLINA

DEVELOPER:
 DURALEIGH PARTNERS, LLC
 PO BOX 27
 RALEIGH, NC 27602

SITE DATA

ADDRESS: 5500 DURALEIGH RD., RALEIGH
 PIN #: 0786552552 ACREAGE: 7.075 AC
 ZONING: OX-3-CU
 LAND CLASS: OFFICE & RESIDENTIAL MIXED USE
 WATERSHED: CRABTREE CREEK, NEUSE RIVER BASIN

PROPOSED USE - TWO ADDITIONAL OFFICE BUILDINGS
 PROPERTY DESCRIPTION: MASTER CARD COMMONS,
 DURALEIGH RIDGE CONDOMINIUM

TOTAL SURFACE AREA FOR LOT = 308,167 SF, 7.075 ACRES
 EXISTING IMPERVIOUS SURFACE AREA FOR LOT = 128,750 SF
 PERCENT IMPERVIOUS (EXISTING COND.) FOR LOT = 41.8%
 TOTAL PROPOSED IMPERVIOUS SURFACE AREA FOR LOT = 143,914 SF
 PERCENT IMPERVIOUS (PROPOSED COND.) FOR LOT = 46.7%
 PERCENT INCREASE IN SITE DEVELOPMENT = 11.77%

EXISTING OFFICE BUILDINGS -
 BUILDING 100 - 5540 MCNEELY DR - 9,373 SF
 BUILDING 200 - 5520 MCNEELY DR - 12,457 SF
 BUILDING 300 - 5500 MCNEELY DR - 6,951 SF
 BUILDING 400 - 5501 MCNEELY DR - 4,556 SF
 BUILDING 700 - 5561 MCNEELY DR - 8,761 SF
 PROPOSED USE - TWO ADDITIONAL OFFICE BUILDINGS
 BUILDING 500 - 5521 MCNEELY DR - 16,595 SF
 BUILDING 600 - 5541 MCNEELY DR - 8,535 SF
 TOTAL OFFICE USE = 67,228 SF
 PARKING REQUIRED -
 1 SPACE / 400 SF = 168 (AS PER UDO REQ.)
 1 SPACE / 300 SF = 224 (AS PER CONDO REQ.)
 TOTAL HANDICAP SPACES REQUIRED - 5 STANDARD, 2 VAN
 PARKING PROVIDED -
 248 SPACES - INCLUDING HANDICAP SPACES - 7 STANDARD, 2 VAN
 BIKE PARKING - 1 SPACE / 10,000 SF = 7 SPACES SHORT TERM REQ.
 1 SPACE / 5,000 SF = 14 SPACES LONG TERM REQ.
 BIKE PARKING PROVIDED - 7 SHORT TERM, 14 LONG TERM

AREAS OF DISTURBANCE -
 5521 - 19,875 SF, 5541 - 10,110 SF
 TOTAL DISTURBANCE AREA = 29,985 SF (9.73% OF SITE)

ORDINANCE NO. (1985) 686 ZC 175
 Effective: 12-3-851
 Z-150-85: Duraleigh Road, west side, opposite Deep Hollow Drive, being Parcels 10A, 10 and 23, Tax Map 376, rezoned to Office and Institutional Conditional Use with conditions as follows:

The property shall be developed and used for general office, purposes as described in Raleigh Code Section 10-2033 (d) and related service facilities permitted by Raleigh Code Section 10-2033(f). Other uses normally permitted in the O&I-1 district such as residential, government buildings, etc shall not be permitted.

Buildings constructed shall not exceed 30 feet in height above finished ground elevation.

PROJECT SITE CONTAINS FIVE EXISTING OFFICE BUILDINGS. TWO ADDITIONAL BUILDINGS ARE BEING PROPOSED FOR GENERAL OFFICE USE. BUILDINGS ARE PROPOSED TO BE UNDER 30' IN HEIGHT:
 5521 MCNEELY DR - 29'-10" TO FINISHED GRADE
 5541 MCNEELY DR - 26' TO FINISHED GRADE

APPROVAL FOR ORIGINAL FIVE BUILDINGS WAS PROVIDED IN 1986 - UNDER NUMBER:
 DURALEIGH PROFESSIONAL CENTER, PA-43-86

NOTE: ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH &/OR NCCOD STANDARDS AND SPECIFICATIONS.

SOLID WASTE COLLECTION FOR THE TWO ADDITIONAL BUILDINGS IS TO BE PROVIDED BY THE TWO EXISTING DUMPSTERS CURRENTLY SERVICING THE EXISTING FIVE BUILDINGS. THESE ARE PRIVATE COLLECTION.

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Site Plan Tier: Tier Two Site Plan Tier Three Site Plan

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GENERAL INFORMATION

Development name: The Commons of Duraleigh Ridge

Inside City limits? Yes No

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Address: P.O. Box 27, Raleigh, North Carolina 27602

Phone #: 704-240-0141 Email: wesley.black@theblacklawfirm.com

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Phone #: 919-201-8100 Email: bennttie.asler@gmail.com

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# of parking spaces proposed: 250	Total sq gross (to remain and new): 67,228 SF
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STORMWATER INFORMATION	
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Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
Neuse River Buffer Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units:	Total # of hotel units:
# of bedroom units: 1br 2br 3br 4br or more	
# of lots:	Is your project a cottage court? Yes <input type="checkbox"/> No <input type="checkbox"/>

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Signature: *Bennett M. Keasler, Jr.* Date: Dec. 2, 2020

Printed Name: Bennett M. Keasler, Jr. for Keasler Design, LLC

William C. River, PE
 2708 SCOTTSDALE LANE
 RALEIGH, NORTH CAROLINA 27613
 TELEPHONE: (919) 880-0217
 EMAIL: wj_river@ahnc.com
 © COPYRIGHT, 2020
 ALL RIGHTS RESERVED



ALISON A. POCKAT, ASLA
 LANDSCAPE ARCHITECT
 LAND PLANNER
 (919) 363-4415
 106 STEEPBANK DRIVE
 CARY, NC 27518

DESIGNED:
 DRAWN: AAP
 APPROVED:

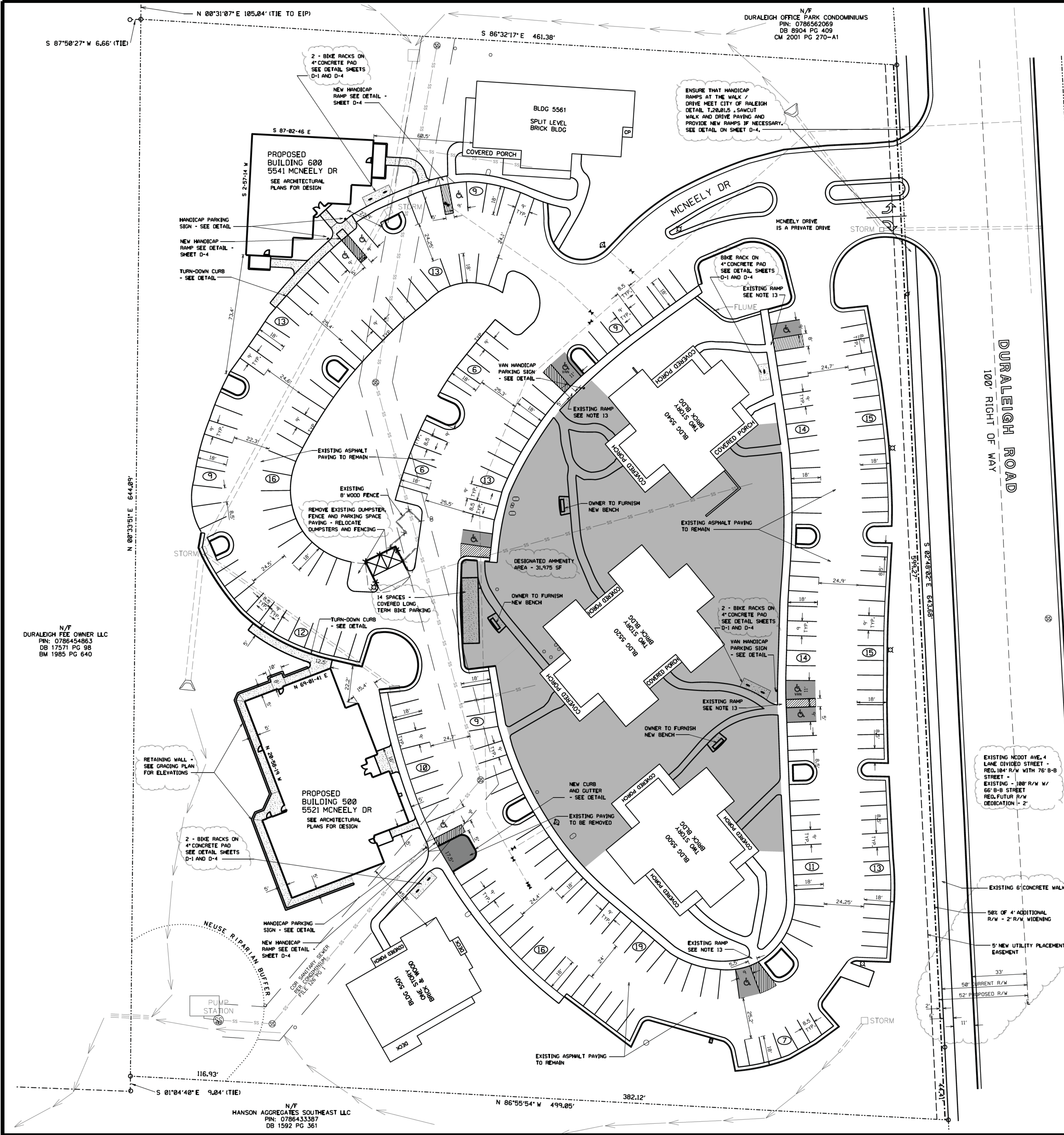
THE COMMONS OF DURALEIGH RIDGE
 BUILDINGS 500 & 600
 5500 DURALEIGH RD., RALEIGH, NC
 DURALEIGH PARTNERS, LLC
 PO BOX 27
 RALEIGH, NC 27602

DATE	REVISIONS
12-12-20	RALEIGH COMMENTS

SCALE:
 DATE: NOV. 16, 2020

SHEET NO.:
 COVER SHEET
 CO-1

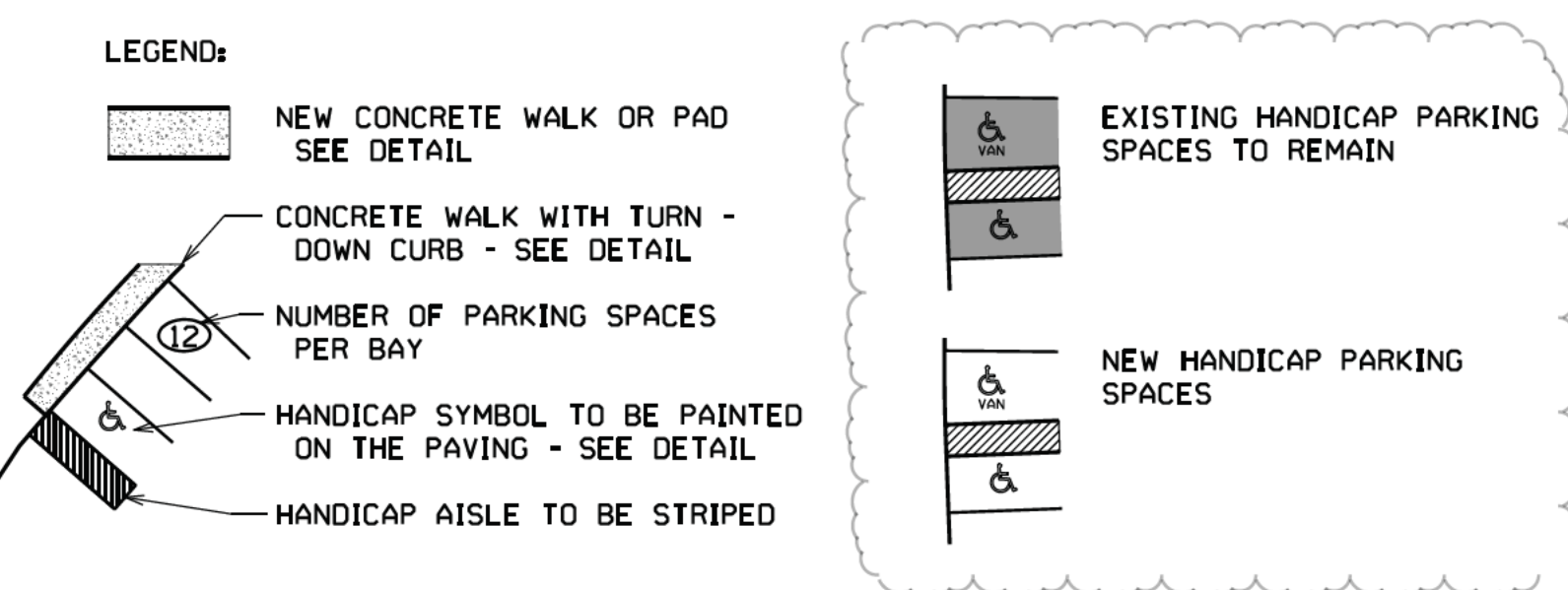
RALEIGH CASE NUMBER: ASR-0098-2020



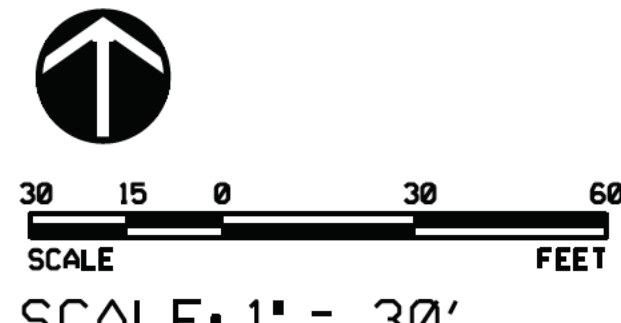
- STAKING NOTES:**
1. WRITTEN DIMENSIONS PREVAIL OVER GRAPHIC. DO NOT SCALE DRAWINGS UNLESS OTHERWISE NOTED.
 2. TYPICAL RADIUS FOR PAVING: DRIVE / CURB RADIUS - 5'
 3. DIMENSIONS ARE MEASURED TO THE BACK OF CURB, EDGE OF PAVING AND THE OUTSIDE FACE OF BUILDING.
 4. THE SURVEYOR SHALL CHECK THE BUILDING LAYOUT FOR THE PROPER SETBACK FROM THE PROPERTY LINES, EASEMENTS, AND SETBACKS. UPON THE DISCOVERY OF ANY DISCREPANCY, THE CONTRACTOR MUST NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
 5. SEE THE ARCHITECTURAL PLAN FOR THE EXACT BUILDING DIMENSIONS.
 6. THE CONTRACTOR SHALL MAINTAIN A CLEAR PATH OF TRAVEL ON ALL ROADWAYS AND DRIVEWAYS.
 7. THE CONTRACTOR SHALL PROTECT ALL EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE BY CONSTRUCTION OPERATIONS. DAMAGE TO ANY ITEMS SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 8. THE CONTRACTOR SHALL SAW CUT EXISTING PAVEMENT TO INSTALL NEW WORK AND PATCH TO MATCH EXISTING PAVING AS REQUIRED.
 9. CONSTRUCTION PERSONNEL VEHICLE PARKING SHALL BE AT A LOCATION DESIGNATED BY THE OWNER.
 10. THE CONTRACTOR SHALL MAINTAIN SITE CLEAN AND CLEAR OF ALL WASTE CONSTRUCTION DEBRIS.
 11. CONTRACTOR'S STAGING AREA LOCATION SHALL BE DESIGNATED BY THE OWNER. THIS AREA SHALL BE ENCLOSED BY TEMPORARY FENCING AND MAINTAINED IN A NEAT CLEAN MANNER.
 12. CONTRACTOR SHALL PROVIDE PROFESSIONALLY PAINTED SIGNS TO REDIRECT VEHICULAR AND PEDESTRIAN TRAFFIC DISRUPTED BY CONSTRUCTION OPERATIONS.
 13. AT EXISTING HANDICAP RAMPS ALONG EXISTING WALKS, SAW CUT OLD RAMPS AND REPLACE WITH NEW RETROFIT HANDICAP RAMP AS PER THE DETAIL SHOWN ON SHEET D-4.

- ASPHALT PAVING NOTES:**
1. IN AREAS WHERE THE EXISTING ASPHALT IS SPIDER WEB CRACKED, CUT OUT DAMAGED ASPHALT, RESTORE DAMAGED OR MISSING SUB-BASE AND REPLACE ASPHALT.
 2. THOROUGHLY CLEAN ASPHALT AND ABRASIVE THE EXISTING STRIPING - REMOVE 90% OF STRIPING. PROVIDE A SEAL COAT TO THE ENTIRE PARKING LOT AT A RATE OF .09 - .15 GAL / SY.
 3. PROVIDE 4' WIDE PARKING STALL STRIPING USING SOLID LINES WITH WHITE PAINT - METHYL METHACRYLATE - CONFORM TO AASHTO M 248, TYPE F. STRIPING TO BE PROVIDED AS PER DIMENSIONING AND GRAPHIC AS SEEN ON THIS PLAN.

- SITE LIGHTING NOTES:**
1. ALL PARKING IS EXISTING AND NO ADDITIONAL PARKING LOT AREA IS BEING PROPOSED. THE EXISTING PARKING LOTS ARE CURRENTLY SERVICED BY LIGHTING WITH FIXTURES ON POLES THROUGHOUT THE SITE. IN ADDITION LIGHTING IS FIXED ON THE EXISTING STRUCTURES AND WILL BE FIXED ON THE TWO PROPOSED STRUCTURES.

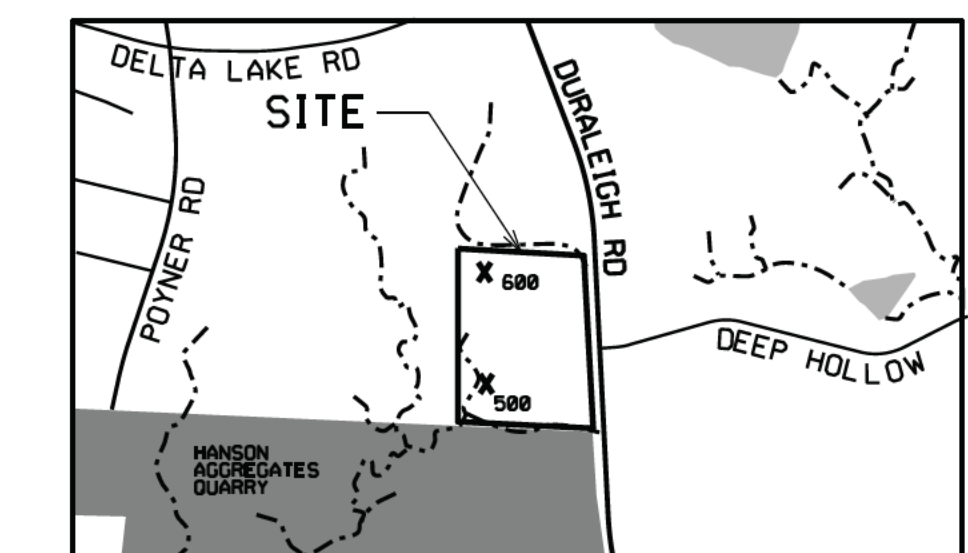


PRELIMINARY DESIGN - NOT FOR CONSTRUCTION



NOTE:

BOUNDARY AND SITE ELEMENT INFORMATION IS BASED ON A SURVEY ENTITLED 'EXISTING CONDITIONS' COMMONS OF DURALEIGH RIDGE, MCNEELY DRIVE, PIN # 0786-55-2552, BY CHARLES R. PIRATZKY, L-2813, RWK, PA, 101 W MAIN ST SUITE 202, GARNER, NC 27529, PHONE NUMBER: 919 779-4854 AND DATED OCT. 9, 2020. TOPOGRAPHY IS TAKEN FROM WAKE COUNTY GIS FOR THE EXISTING BUILDINGS AND PARKING AND SURVEYED SHOTS FOR THE AREAS EFFECTED BY PROPOSED STRUCTURES. TREE LOCATIONS ARE BASED ON SITE OBSERVATION BY ALISON A. POCKAT, ASLA



SITE DATA:

5500 DURALEIGH RD., RALEIGH
 PIN # 0786552552
 ZONING: OX-3-CU
 TOTAL SITE AREA = 308,167 SF - 7.075 AC
 CURRENT USE: OFFICE
 EXISTING IMPERVIOUS SURFACE AREA = 128,750 SF - 2.96 AC
 PROPOSED USE: OFFICE
 EXISTING OFFICE BUILDINGS FIVE BUILDINGS - 42,098 SF
 TWO ADDITIONAL OFFICE BUILDINGS - 25,130 SF
 TOTAL SQUARE FOOTAGE = 67,228 OFFICE
 PARKING REQ. = 1/300 SF = 224 SPACES
 (PER PROPERTY OWNER ASSOCIATION DOCUMENTS)
 PARKING PROVIDED = 248 SPACES
 (INCLUDING 5 HANDICAP AND 2 VAN)
 PROPOSED IMPERVIOUS SURFACE AREA = 143,914 SF

SITE AMENITY AREA -
 REQ. = 10% OF TOTAL SITE OF 30,817 SF
 AREA PROVIDED = 31,975 SF

N/F DURALEIGH FEE OWNER LLC
 PIN: 0786454863
 DB 17571 PG 98
 BM 1985 PG 640

N/F HANSON AGGREGATES SOUTHEAST LLC
 PIN: 0786433387
 DB 1592 PG 361

William C. River, PE
 2708 SCOTTSDALE LANE
 RALEIGH, NORTH CAROLINA 27613
 TELEPHONE: (919) 880-4217
 EMAIL: bill_river@hanco.com
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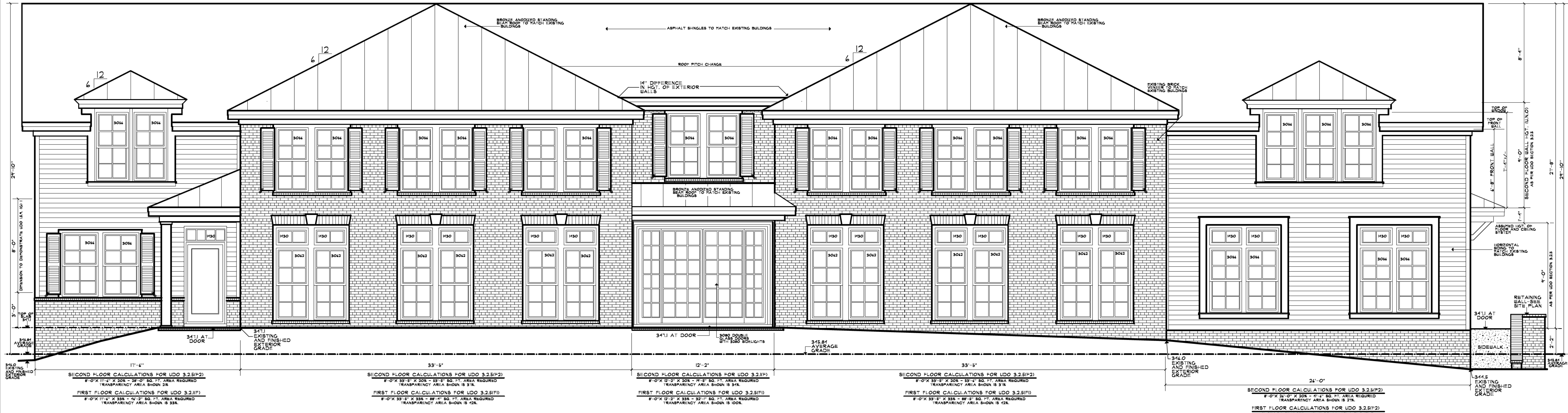
ALISON A. POCKAT, ASLA
 LANDSCAPE ARCHITECT
 LAND PLANNER
 (919) 363-4415
 106 STEEPBANK DRIVE
 CARY, NC 27518

DESIGNED: [Signature]
DRAWN: AAP
APPROVED: [Signature]

THE COMMONS OF DURALEIGH RIDGE
 BUILDINGS 500 & 600
 5500 DURALEIGH RD., RALEIGH, NC
 DURALEIGH PARTNERS, LLC
 PO BOX 27
 RALEIGH, NC 27602

12-12-21 RALEIGH COMMENTS

SCALE: DATE: NOV. 16, 2020
 SHEET NO.: PROPOSED SITE PLAN SP-1
 SEQUENCE NO. 3 OF 14

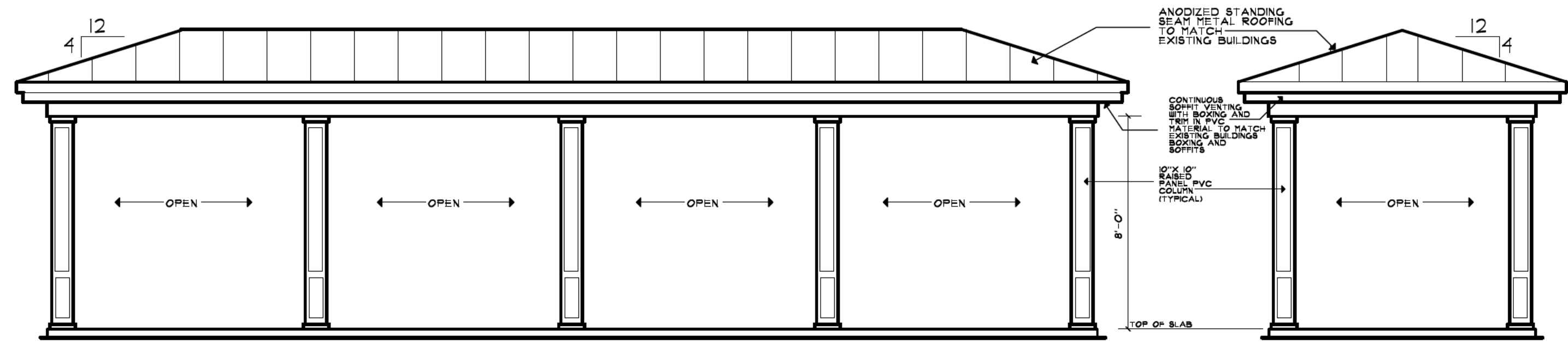


5521 MCNEELY DRIVE FRONT ELEVATION

SCALE: 1/4"=1'-0"

AVERAGE GRADE CALCULATIONS		
ELEVATION VIEW	EXISTING GRADES	AVERAGE GRADE
FRONT	LEFT: 345.0 RIGHT: 344.5	344.75
RIGHT	344.5	345.8
REAR	341.1	342.4
LEFT	345.7	342.4
OVERALL AVERAGE GRADE		345.84

NOTES: 1) SEE GRADING PLAN FOR PERIMETER SPOT ELEVATIONS
2) AVERAGE GRADE ELEVATIONS SHOWN ARE POST DEVELOPMENT AVERAGES AS PER I.R.1, TC-4-201

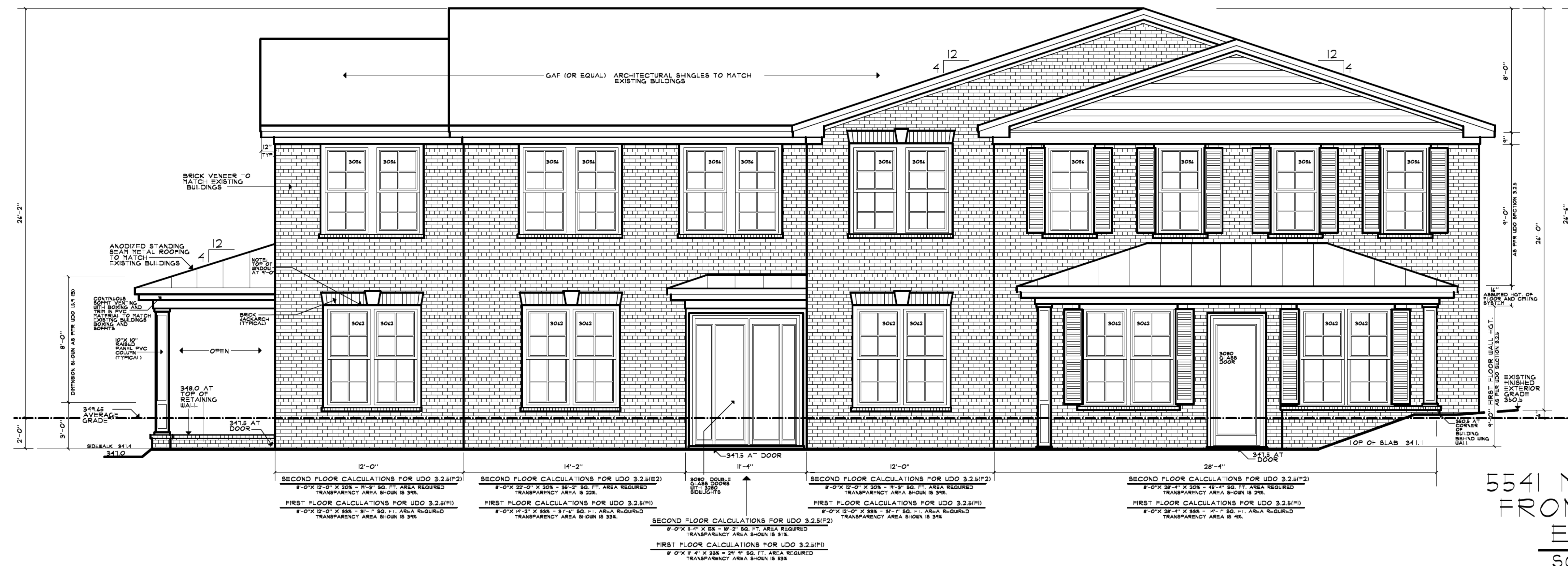


ELEVATION OF BIKE SHED FROM PARKING LOT
SCALE: 1/4"=1'-0"

SIDE ELEVATION OF BIKE SHED
SCALE: 1/4"=1'-0"

THE COMMONS OF DURALEIGH RIDGE
OFFICE CONDOMINIUMS
5500 MCNEELY DRIVE RALEIGH, NORTH CAROLINA.

BLDG.# 500	BUILDING ADDRESS 5521 MCNEELY DRIVE	BP-1
03.31.2021	RALEIGH, NORTH CAROLINA 27612	13 OF 14



5541 MCNEELY DRIVE
FRONT AND RIGHT
ELEVATION
SCALE: 1/4"=1'-0"

AVERAGE GRADE CALCULATIONS			
ELEVATION VIEW	EXISTING GRADES	AVERAGE GRADE	
FRONT	341.1	350.3	348.7
RIGHT	352.2	350.3	351.25
REAR	349.0	352.2	350.4
LEFT	349.0	347.1	348.05
OVERALL AVERAGE GRADE			348.65

NOTES: 1) SEE GRADING PLAN FOR PERMETER SPOT ELEVATIONS
2) AVERAGE GRADE ELEVATIONS SHOWN ARE POST DEVELOPMENT AVERAGES AS PER (13.1, TC-1-20)



5541 MCNEELY DRIVE
FRONT AND LEFT
ELEVATION
SCALE: 1/4"=1'-0"

THE COMMONS OF DURALEIGH RIDGE
OFFICE CONDOMINIUMS
5500 MCNEELY DRIVE RALEIGH, NORTH CAROLINA.

BLDG.# 600	BUILDING ADDRESS 5541 MCNEELY DRIVE	BP-2
03.31.2021	RALEIGH, NORTH CAROLINA 27612	14 OF 14