



Administrative Approval Action

Case File / Name: ASR-0099-2020
Covenant Roofing

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Rowland Road, west of Cynrow Boulevard at 1714 & 1718 Roundrock Drive.

REQUEST: Development of a 2.00 acre site for Warehouse and Distribution. Lot 235 and Lot 237 are 1 acre lots in the site. Industrial Mixed use-3 is the zoning for the site. Lot 235 will accommodate 11,870 square feet of gross floor area for the use while lot 237 at 1714 Roundrock Drive will remain vacant until a development is submitted for the parcel. However, the lots will share a driveway.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated May 28, 2021 by DON CURRY.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Demonstrate compliance with UDO Section 7.1.8.B regarding bicycle parking.
2. Demonstrate compliance with UDO Section.3.2.5.F and UDO Section 1.5.9 regarding Transparency for General Building.

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.



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<input checked="" type="checkbox"/>	Utility Placement Easement Required
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<input checked="" type="checkbox"/>	Cross Access Agreements Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Stormwater

1. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
2. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
3. The maximum allocated impervious area for all applicable lots should be identified on all maps for recording.
4. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A cross access agreement shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
2. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.



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4. A fee-in-lieu for 189 linear feet of 6 ft sidewalk shall be paid to the City of Raleigh (UDO 8.1.10).
5. A public infrastructure surety for 8 street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

Public Utilities

6. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

7. Shared stormwater facility to serve both Lots 235 & 237 requires plat recordation showing private drainage easement for drainage infrastructure serving more than 1 lot and the impervious surface allocation for each affected lot.

Urban Forestry

8. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 8 street trees along Roundrock Drive.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: July 1, 2024

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



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I hereby certify this administrative decision.

Signed: *Alysia Bailey Taylor* Date: 06/29/2021
Development Services Dir/Designee
Staff Coordinator: **Jermont Purifoy**

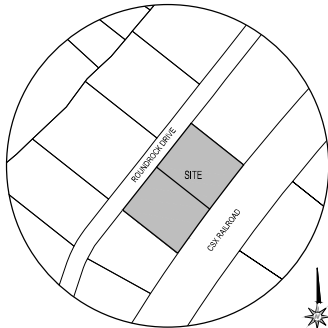
COVENANT ROOFING - PHASE 1

CITY OF RALEIGH - WAKE COUNTY, NORTH CAROLINA

ADMINISTRATIVE SITE REVIEW (ASR) PACKAGE

ADMINISTRATIVE SITE REVIEW #ASR-0099-2020

1st SUBMITTAL TO CITY OF RALEIGH: DECEMBER 03, 2020
2nd SUBMITTAL TO CITY OF RALEIGH: FEBRUARY 9, 2021
3rd SUBMITTAL TO CITY OF RALEIGH: APRIL 20, 2021
4th SUBMITTAL TO CITY OF RALEIGH: MAY 28, 2021



VICINITY MAP
SCALE: 1" = 200'

SITE INFORMATION:

LOCATION: 1718 ROUNDROCK DRIVE (LOT #235)
RALEIGH, NC 27615
COUNTY: WAKE
PARCEL #: 1727 13 1954
REID #: 904310
DEPT: 018897 / 00711
CURRENT ZONING: D-3 SHOD 2
PROPOSED ZONING: D-3 SHOD 2
GROSS ACREAGE: 12.0 AC
ROW DEDICATION: 0.01 AC
NET ACREAGE: 0.98 AC
LAND CLASS: VACANT
PROPOSED USE: WAREHOUSE & DISTRIBUTION

REQUIRED PARKING:
WAREHOUSE & DISTRIBUTION: 1 PER 600 SF OFFICE SPACE
1 PER 3,000 SF ADDITIONAL AREA
REQUIRED OFFICE SPACES: 6,480 SF / 600 = 10 SPACES
REQUIRED ADDITIONAL AREA SPACES: 3,410 SF / 3,000 = 2 SPACES

TOTAL REQUIRED PARKING: 12 SPACES

PROVIDED PARKING:
REGULAR SPACES: 25 SPACES
HANDICAP SPACES: 2 SPACES
TOTAL PROVIDED PARKING: 27 SPACES

NOTE: PROVIDED PARKING EXCEEDS 100% OF THE REQUIRED PARKING. THE MEASURE BEING USED TO MITIGATE THE ADDITIONAL IMPERVIOUS SURFACE IS:
DETAIN STORMWATER RUNOFF TO PRE-DEVELOPMENT LEVELS FOR THE 2-, 10- AND 24- YEAR STORM EVENT FOR THE PARKING AREA ABOVE THE MEDIAN.

REQUIRED BICYCLE PARKING:
WAREHOUSE & DISTRIBUTION: 1 SPACE PER 40,000 SF FLOOR AREA
(4 MINIMUM)
BUILDING SF: 11,870 SF
TOTAL REQUIRED LONG TERM BICYCLE PARKING: 1 SPACES
TOTAL PROVIDED LONG TERM BICYCLE PARKING: 1 SPACES

IMPERVIOUS AREAS:
EXISTING: 0 SF (0 AC)
PROPOSED:
PAVEMENT/SIDEWALKS: 19,007 SF
BUILDINGS: 6,000 SF
TOTAL IMPERVIOUS: 25,007 SF (0.62 AC)

AMENITY AREAS:
REQUIRED: 1 ACRE * 10% = 4,356 SF
PROPOSED: 5,508 SF

SETBACK DATA:
REQUIRED BUILDING/STRUCTURE SETBACK: 7' OR 6' SIDE SETBACK, 3' PRIMARY STREET SETBACK
7' OR 6' REAR SETBACK
PROPOSED BUILDING/STRUCTURE SETBACK: 7' SIDE SETBACK, 3' PRIMARY STREET SETBACK
7' REAR SETBACK
REQUIRED PARKING SETBACK: 7' OR 3' SIDE SETBACK, 10' PRIMARY STREET SETBACK
7' OR 3' REAR SETBACK
PROPOSED PARKING SETBACK: 7' SIDE SETBACK, 10' PRIMARY STREET SETBACK
7' REAR SETBACK

TRANSPARENCY DATA:
REQUIRED GROUND STORY: 20% TRANSPARENCY
PROPOSED GROUND STORY: 27.5 SF / 974 SF = 2.8% TRANSPARENCY
REQUIRED UPPER STORY: 20% TRANSPARENCY
PROPOSED UPPER STORY: 253.8 SF / 974 SF = 26% TRANSPARENCY

Sheet List Table

C-00	COVER SHEET
C-01	CIVIL NOTES
C-02	EXISTING CONDITIONS
C-03	SITE PLAN
C-04	UTILITY PLAN
C-05	GRADING AND DRAINAGE PLAN
ESP-1.1	ELECTRICAL SITE LIGHTING PLAN
L-01	LANDSCAPE PLAN
SW-01	STORMWATER PLAN - EXIST
SW-02	STORMWATER PLAN - PROP
D-01	SITE DETAILS I
D-02	STORM DRAINAGE DETAILS I
D-03	LANDSCAPE DETAILS
D-04	STORMWATER BMP DETAILS
S-01	SEALED SURVEY
A-2.1	BUILDING ELEVATIONS

SITE INFORMATION:

LOCATION: 1714 ROUNDROCK DRIVE (LOT #237)
RALEIGH, NC 27615
COUNTY: WAKE
PARCEL #: 1727 13 1749
REID #: 904311
DEPT: 018897 / 00711
CURRENT ZONING: D-3 SHOD 2
PROPOSED ZONING: D-3 SHOD 2
GROSS ACREAGE: 12.0 AC
ROW DEDICATION: 0.01 AC
NET ACREAGE: 0.99 AC
LAND CLASS: VACANT
PROPOSED USE: VACANT (NO BUILDING), SHARED DRIVEWAY WITH LOT #235

IMPERVIOUS AREAS:
EXISTING: 0 SF (0 AC)
PROPOSED:
PAVEMENT/SIDEWALKS: 2,178 SF
BUILDINGS: 0 SF
TOTAL IMPERVIOUS: 2,178 SF (0.05 AC)

Civil Engineer:

The Curry Engineering Group, PLLC
NC License # P-0799
205 S. Fuquay Ave
Fuquay-Varina, NC 27626
919.552.0849 (o)
919.880.0857 (m)
Contact: Don Curry, PE
don@curryeng.com

Surveyor:

B.L. Scott Land Surveying
P.O. Box 12493
Raleigh, NC 27605
919.859.0464
Contact: Barry Scott

Owner:

HWP Properties LLC
3200 Gresham Lake Road Suite 113
Raleigh, NC 27615
919.796.8005
Contact: Julian Hall
shannonp@covenantroofingusa.com

Architect:

Design Development Architects
800 Salem Wood Drive Suite 102
Raleigh, NC 27615
919.848.4474
Contact: Tom Wells
tomw@designdevelopment.com

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH
CITY OF RALEIGH STANDARDS & SPECIFICATIONS

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 • Raleigh, NC 27601 • 919-996-2000

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.6. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case # _____ Planner (print): _____

Building Type	Site Transaction History
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open lot
<input type="checkbox"/> Warehouse	<input type="checkbox"/> Civic
	Administrative Alternate #:

GENERAL INFORMATION

Development name: Covenant Roofing

Inside City limits? ☒ Yes ☐ No

Property address(es): 1714 & 1718 Roundrock Drive

Site ID: 1727130749 & 1727131054

Please describe the scope of work. Include any additions, expansions, and change of use.
Covenant Roofing Company will be developing a warehouse and distribution building on 1718 Roundrock Drive. There will be a shared driveway down the center of both properties. 1714 Roundrock Drive will remain vacant at this time besides the shared driveway. The building on 1718 Roundrock Drive will be used for bulk storage and distribution for various roofing and building materials.

Current Impervious Surface: Warehouse & Distribution

NOTE: please attach purchase agreement when submitting this form.

Company: HWP Properties 3 LLC Title: Owner Representative

Address: 3200 Gresham Lake Road Suite 113, Raleigh, NC 27615

Phone: #919-848-4474 Email: tomw@designdevelopment.com

Applicant Name: Don Curry

Company: Curry Engineering, PLLC Address: 205 S. Fuquay Ave., Fuquay-Varina, NC 27626

Phone: #919-552-0849 Email: don@curryeng.com

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GOVERNING AGENCIES:

PLANNING/ZONING:
CITY OF RALEIGH
ONE EXCHANGE PLAZA SUITE 304
RALEIGH, NC 27601
919-996-2437

STORMWATER ENGINEERING

CITY OF RALEIGH
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3515 (o)
CONTACT: BEN BROWN
EMAIL: ben.brown@raleighnc.gov

SEWAGE TREATMENT & EROSION CONTROL

CITY OF RALEIGH
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3515 (o)
CONTACT: BEN BROWN
EMAIL: ben.brown@raleighnc.gov

UTILITY AGENCIES:

WATER & SEWER
CITY OF RALEIGH PUBLIC UTILITIES
ONE EXCHANGE PLAZA
RALEIGH, NC 27601
919-996-3464 (o)
CONTACT: KATHY TEW
EMAIL: kathy.tew@raleighnc.gov

NATURAL GAS
PNC ENERGY - SCANA
3516 SPRING FOREST ROAD
RALEIGH, NC 27615
919-851-7668 (o)
CONTACT: JEFF HUNTER
EMAIL: jeff.hunter@scana.com

ELECTRIC
PROGRESS ENERGY BUSINESS
9202 FAYETTEVILLE ROAD
RALEIGH, NC 27603
919-557-2611 (o)

ASR APPLICATION

DEVELOPMENT TYPE - SITE DATA TABLE

(Applicable to all developments)

SITE DATA BUILDING DATA

Zoning district (if more than one, please provide the

coverage of each): D-3 Existing gross floor area (not to be demolished):

1718 Existing gross floor area to be demolished:

1718 New gross floor area: 11,870 sq

3rd party special request(s): Total of gross (to remain and new): 11,870 sq

Proposed # of parking spaces: 27 Proposed # of buildings: 1

Proposed # of stories for each: 1

Existing use (UDO 5.1.4): Vacant Proposed use (UDO 5.1.4): Warehouse & Distribution

STORMWATER INFORMATION

Existing Impervious Surface: Acres: 0.62 Square Feet: 27,007

Proposed Impervious Surface: Acres: 0.05 Square Feet: 2,178

Is this a flood hazard area? ☐ Yes ☒ No

If yes, please provide: Flood hazard area: 0.05

Flood hazard area: FEMA Map Panel #: 220777703

Does river buffer: ☐ Yes ☒ No Wetlands: ☐ Yes ☒ No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units: Total # of hotel units:

of bedroom units: 1br ☐ 2br ☐ 3br ☐ 4br or more ☐

of lots: Is your project a cottage court? ☐ Yes ☒ No

SIGNATURE BLOCK

I hereby designate The Curry Engineering Group, PLLC to serve as my agent

regarding the application. I acknowledge that this application is subject to the filing

and to represent me in any public meeting regarding this application.

I have read, acknowledge, and affirm that this project is conforming to all application requirements

applicable with the proposed development. I acknowledge that this application is subject to the filing

and to represent me in any public meeting regarding this application.

Signature: _____ Date: _____

Printed Name: _____

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raleighnc.gov

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer and/or gas, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2400 and the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction will result in the issuance of monetary fines, and require installation of any water or sewer facilities not impacted as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

SOLID WASTE NOTES:

- SOLID WASTE WILL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL, AND PER THE CITY OF RALEIGH CODE. A COPY OF DESIGN MANUAL CAN BE FOUND: <http://www.raleighnc.gov/content/SolidWaste/Documents/SolidWasteServiceDesignManual.pdf>
- SOLID WASTE AND RECYCLING SERVICE SHALL BE PROVIDED BY A PRIVATE GARBAGE COLLECTION SERVICE.



NOT FOR CONSTRUCTION



COVENANT ROOFING - RALEIGH, NC
COVER SHEET

Curry
ENGINEERING
C-00

ROUNDROCK DRIVE

69' PUBLIC RIGHT-OF-WAY
41' BOC TO BOC
INDUSTRIAL STREET

GENERAL NOTES:

1. THIS PLAN IS NOT INTENDED FOR PLATTING OR RECORDATION.
2. THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE EXISTING FEATURES, STRUCTURES AND TOPOGRAPHY OF THE PROPERTY. THE INFORMATION SHOWN ON THIS PLAN WAS PROVIDED AND DEVELOPED BY OTHERS. CURRY ENGINEERING DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION. THIS IT HAS NOT BEEN SEALED. SURVEY INFORMATION SHOWN WITHIN THE PROPERTY BOUNDARY REPRESENTS FIELD SURVEY INFORMATION CONDUCTED IN JUNE 2020 BY B.L. SCOTT LAND SURVEYING.
3. NO TITLE OPINION ON THIS PROPERTY HAS BEEN FURNISHED.
4. AREAS COMPUTED BY THE COORDINATE METHOD.
5. THE PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS, COVENANTS, AND RESTRICTIONS OF RECORD.
6. ALL DISTANCES SHOWN ON THE SURVEY ARE HORIZONTAL GROUND DISTANCES.
7. THE PROPERTY SHOWN IS LOCATED IN FLOOD ZONE X FLOODPLAIN PER FEMA FIRM PANEL 372017200A DATED 06/20/06.
8. VERTICAL DATUM: NAVD83. HORIZONTAL DATUM: NAD83.
9. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS, DEPTHS, AND WATERVALS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION ACTIVITY ON SITE. UNDERGROUND UTILITIES ARE SHOWN BASED ON MARKINGS PROVIDED BY THE NC ONE CALL CENTER AND ABOVE GROUND EVIDENCE. EXISTING CONDITIONS SHOULD BE CONSIDERED APPROXIMATE IN NATURE. WHILE EVERY EFFORT HAS BEEN MADE TO ENSURE THE ACCURACY OF THE INFORMATION GIVEN, ACTUAL FIELD CONDITIONS MAY VARY AND SHOULD BE CONFIRMED PRIOR TO CONSTRUCTION.
10. NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

LEGEND:

---	LINES SURVEYED
---	LINES NOT SURVEYED
E.I.P. ---	EXISTING IRON PIPE
I.P.S. ---	IRON PIPE SET
C.M.S. ---	CONCRETE MONUMENT SET
E.C.M. ---	EXISTING CONCRETE MONUMENT
P.K.S. ---	P.K. NAIL SET
E.P.K. ---	EXISTING P.K. NAIL
R.O.W. ---	RIGHT OF WAY
D.B. ---	DEED BOOK
P.P. ---	POWER POLE
O.H.W. ---	OVER HEAD WIRE
R.R.S. ---	RAILROAD SPIKE
(1234) ---	ADDRESSES
W.V. ---	WATER VALVE

Surveyor:

B.L. Scott Land Surveying
P.O. Box 12493
Raleigh, NC 27605
919.859.0464
Contact: Barry Scott

CURVE DATA					
NUMBER	RADIUS	ARC DIST.	CHORD BEARING	DIST.	DELTA
C-1	5769.65	189.94	S 37°41'44" W	189.93	01°53'10"
C-2	5769.65	185.95	S 35°49'46" W	185.95	01°50'48"

PLAT REFERENCE

BOM 2011, PG. 17
BOM 2011, PG. 17
BOM 2013, PG. 960
BOM 2017, PG. 138

NOT FOR CONSTRUCTION

COVENANT ROOFING - RALEIGH, NC
EXISTING CONDITIONS

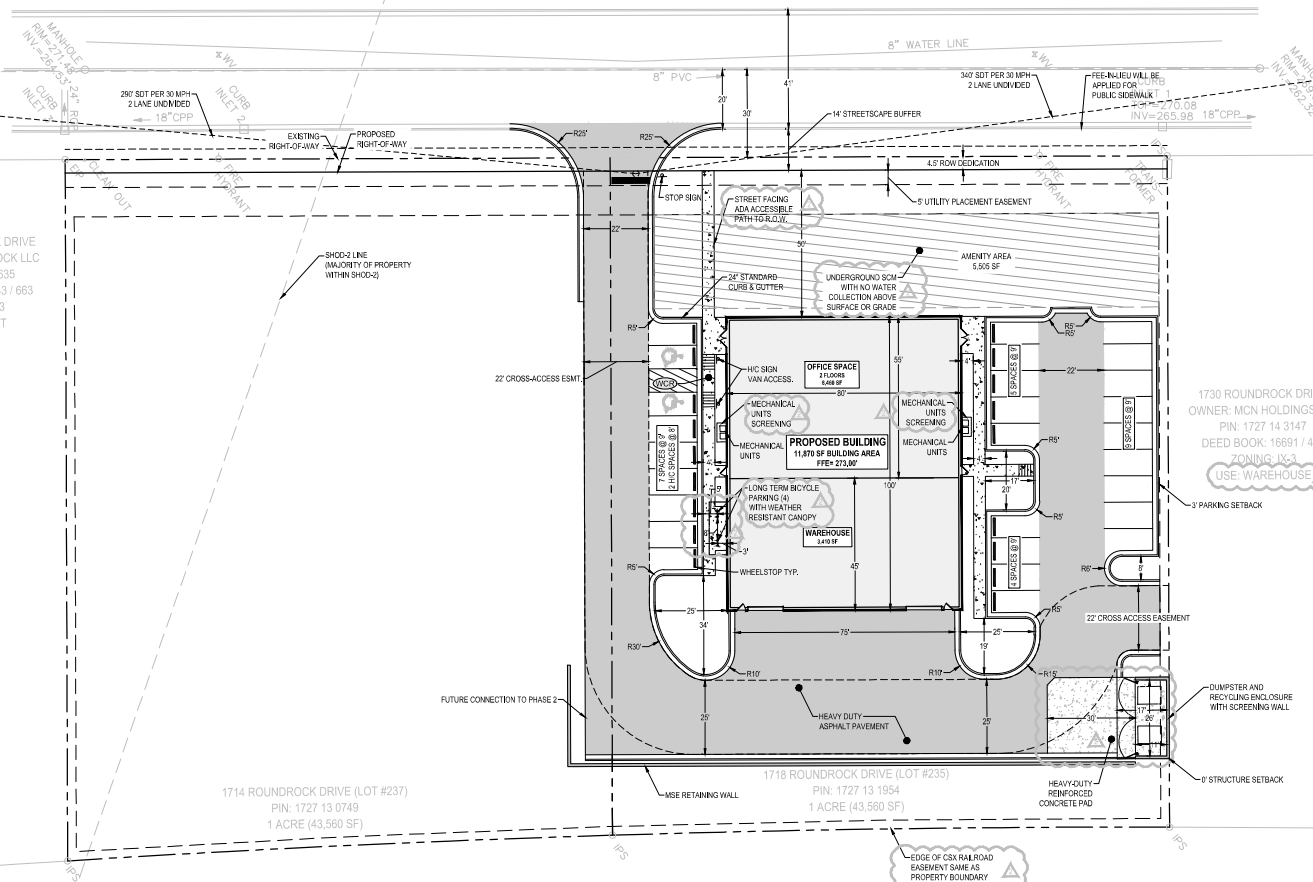
2024 RELEASED
BY THE RECORDS
OFFICE OF THE
COUNTY OF RALEIGH, NC

Curry
ENGINEERING

C-02

ROUNDRICK DRIVE

69' PUBLIC RIGHT-OF-WAY
41' BOC TO BOC
INDUSTRIAL STREET



GENERAL NOTES:

- BEFORE YOU DIG, STOP. CALL THE NC ONE-CALL CENTER AT 1-800-433-4343. ITS THE LAW. EXISTING UTILITIES ARE SHOWN FROM THE BEST AVAILABLE INFORMATION AND ARE APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE AND OTHER UTILITIES BEFORE STARTING CONSTRUCTION. NOTIFY UTILITY LOCATING COMPANY (ONE CALL @ 1-800-433-4343) OR INDIVIDUAL UTILITY OWNERS FOR UNDERGROUND LOCATIONS AT LEAST 48 HOURS IN ADVANCE.
- ALL CONSTRUCTION SHALL BE PER CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE IN FEET AND TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL SITE ELEMENTS ARE PERPENDICULAR TO EACH OTHER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, RIGHT-OF-WAYS AND UTILITIES, PUBLIC OR PRIVATE, BEFORE WORKING IN THESE AREAS.
- PROTECT ALL PROPERTY MONUMENTS AND PINS. MONUMENTS AND PINS THAT WILL BE DISTURBED DURING CONSTRUCTION SHALL BE REFERENCED AND REPLACED BY A LICENSED LAND SURVEYOR AT THE COST OF THE CONTRACTOR.
- CONTRACTOR SHALL MAINTAIN THE SITE IN SUCH A MANNER THAT WORKMEN AND THE PUBLIC WILL BE PROTECTED FROM INJURY AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL DUE TO CONSTRUCTION OPERATIONS. ALL STREET SURFACES, UTILITY POLES, CULVERTS, DITCHES, CURB AND GUTTER OR OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR IN ACCORDANCE WITH THE APPROPRIATE SPECIFICATIONS.
- IF DEPARTURES FROM THE DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREOF SHALL BE SUBMITTED IN WRITING TO THE FACILITY DESIGNER FOR REVIEW. NO DEPARTURES FROM THE CONTRACT DOCUMENTS WILL BE ALLOWED WITHOUT APPROVAL BY THE FACILITY DESIGNER.
- ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
- APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFFSITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS.
- ENTRY SIGNS SHALL BE LOCATED IN A DEDICATED EASEMENT. SIGN MUST REMAIN OUT OF SIGHT TRIANGLES AS SHOWN ON PLANS.
- ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET @ 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOINT FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE PAVED OR RESURFACED.
- ANY SPECIALTY STREET SIGNS INCLUDING POSTS SHALL BE SUBMITTED TO THE CITY OF RALEIGH FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- ALL PUBLIC AND PRIVATE EASEMENTS SHALL BE RECORDED AS PART OF THE FINAL PLAN OF THE SUBMISSION. EASEMENTS BASED ON CENTER OF UTILITY OR PIPE SHALL BE PER AS-BUILT LOCATIONS.
- ALL STRUCTURES WITHIN THE BOUNDARIES OF THE SITE REQUIRE INDIVIDUAL PERMITS FROM THE CITY OF RALEIGH, INSPECTIONS AND PERMITS DEPARTMENT, INCLUDING BUT NOT LIMITED TO:
 - PROVIDED PARKING EXCEEDS 100% OF THE REQUIRED PARKING. THE MEASURE BEING USED TO MITIGATE THE ADDITIONAL IMPERVIOUS SURFACE IS: 1. DETAIN STORMWATER RUNOFF TO PRE-DEVELOPMENT LEVELS FOR THE 2-, 10- AND 30-YEAR STORM EVENT FOR THE PARKING AREA ABOVE THE MAXIMUM.

SITE LEGEND

	CONC. CURB & GUTTER
	MINIMUM BUILDING SETBACK LINE
	PARKING SETBACK LINE
	UTILITY EASEMENT
	CONCRETE SIDEWALK / HEAVY-DUTY CONCRETE PAVEMENT
	WHEELSTOP
	HANDICAP PARK
	WHEELCHAIR RAMP
	SEONAGE
	SITE LIGHTING
	HEAVY-DUTY ASPHALT PAVEMENT
	BUILDING FOOTPRINT

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

10/10/2024 10:10 AM
Tappe, Kenneth <shane.tappe@raleighnc.gov>
RE: 1718 Roundrock Drive - Dumpster Location
Good afternoon,
Thank you for providing that extra detail sheet. The proposed site plan meets the requirements of the solid waste design manual. You have approval to move forward in the site planning process. Please let me know if you have any questions.
Thank you,
Shane Tappe
City of Raleigh
Solid Waste Services
Code Compliance Officer
(919) 999-9999



SCALE: 1" = 20' FT
SCALE IN FEET
HORIZONTAL



NOT FOR CONSTRUCTION

COVENANT ROOFING - RALEIGH, NC

SITE PLAN

1718 Roundrock Drive
1718 Roundrock Drive

Curry
ENGINEERING

C-03

THIS PLAN AND SPECIFICATIONS ARE THE PROPERTY OF CURRY ENGINEERING. NO PART OF THIS PLAN OR SPECIFICATIONS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM CURRY ENGINEERING.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS & SPECIFICATIONS

ROUNDROCK DRIVE

69' PUBLIC RIGHT-OF-WAY
41' BOC TO BOC
INDUSTRIAL STREET

1710 ROUNDROCK DRIVE
OWNER: ROUNDROCK LLC
PIN: 1727 03 9635
DEED BOOK: 13643 / 663
ZONING: IX-3
USE: VACANT

1730 ROUNDROCK DRIVE
OWNER: MCN HOLDINGS LL
PIN: 1727 14 3147
DEED BOOK: 16691 / 479
ZONING: IX-3
USE: WAREHOUSE

1714 ROUNDROCK DRIVE (LOT #237)
PIN: 1727 13 0749
1 ACRE (43,560 SF)

1716 ROUNDROCK DRIVE (LOT #235)
PIN: 1727 13 1954
1 ACRE (43,560 SF)

CSX RAIL ROAD

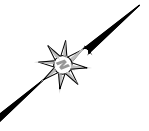
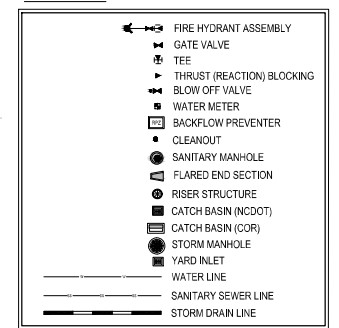
CITY OF RALEIGH PUBLIC UTILITIES NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORP-UD-HANDBOOK, CURRENT EDITION).
- MAINTAIN APPROPRIATE COVER & SEPARATION ON UTILITIES. UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, PERIODIC SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/or SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE MINIMUM ALLOWED IS THE WATER MAIN & A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & ROP STORM DRAIN CROSSINGS. MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & ROP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DP MATERIALS & A CONCRETE CIRCLE HAVING 6" MIN. CLEARANCE PER CORP-UD-DETAILS W411 & W45.
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORP-UD HANDBOOK PROCEDURE.
- INSTALL 4" PVC" SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINING LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED PRIOR TO CONSTRUCTION. PERMITS FOR ANY PROGRAM BUFFER, WETLAND & ROP FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NC DOT ROAD ENCHANCEMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TRENCHES WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORP-UD PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TM BEASLEY AT (919) 996-2334 OR TMBEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS SET FORTH IN APPENDIX OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA (APPROVAL LIST). THE DEVICES SHALL BE INSTALLED AND TESTED BOTH INITIAL AND PERIODIC TESTING THEREAFTER IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM WHEN MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- PUBLIC FIRE HYDRANTS SHALL BE PAINTED YELLOW IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

GENERAL NOTES:

- PRIVATE UTILITIES (POWER, TELEPHONE, NATURAL GAS, CABLE TV) ARE NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THOSE UTILITIES WHEN INSTALLING PUBLIC UTILITIES.
- WATER METERS OUTSIDE OF RIGHT OF WAY SHALL HAVE A CITY OF RALEIGH PUBLIC WATER LINE EASEMENT THAT EXTENDS 7' PAST THE METER.

UTILITY LEGEND



SCALE: 1" = 20' FT
SCALE IN FEET
HORIZONTAL



NOT FOR CONSTRUCTION

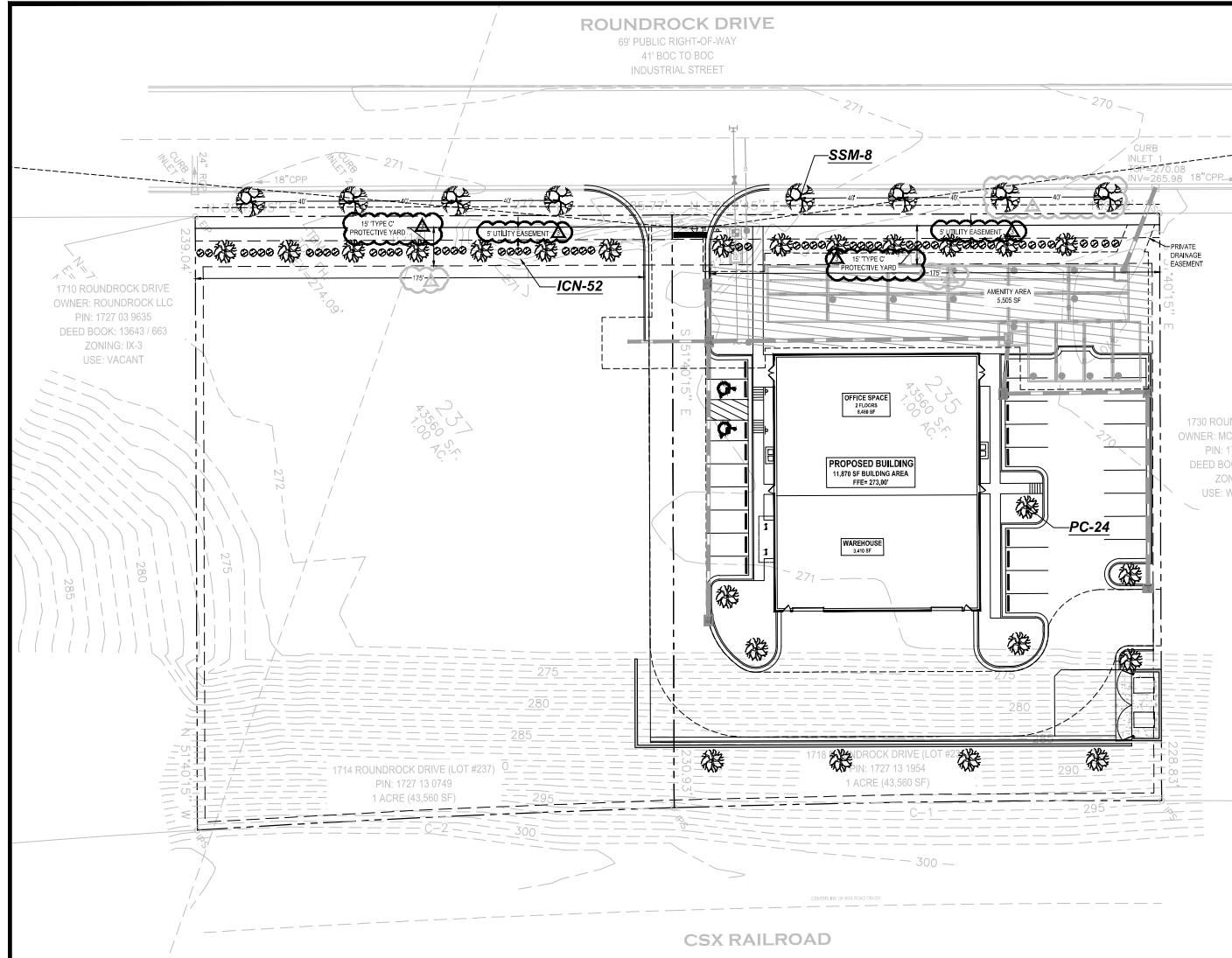
COVENANT ROOFING - RALEIGH, NC

UTILITY PLAN

1714 ROUNDROCK DRIVE
PIN: 1727 13 0749
1 ACRE (43,560 SF)

Curry
ENGINEERING
C-04

THIS PLAN IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION. ANY CHANGES TO THIS PLAN MUST BE APPROVED BY THE DESIGNER. THE DESIGNER ASSUMES NO LIABILITY FOR THE ACCURACY OF THIS PLAN. THE USER ASSUMES ALL LIABILITY FOR THE USE OF THIS PLAN.



PLANT SCHEDULE									
TYPE	USE	QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COMMENTS		
LOT	BUFFER / PARK	24	PC	PISTACHIA CHINENSIS	CHINESE PISTACHE	3" CAL, 10' HEIGHT	SHADE		
LOT	STREET	8	SSM	ACER FLORIDANUM	SOUTHERN SUGAR MAPLE	3" CAL, 10' HEIGHT	SHADE		
ES	BUFFER	52	ICN	ILEX CORNUTA 'NEEDLEPOINT'	NEEDLEPOINT HOLLY	3 GAL, 6' HEIGHT	SHRUB		

- NOTES:
- LANDSCAPING SHALL COMPLY WITH THE CITY OF RALEIGH LANDSCAPING ORDINANCE.
 - NO PERMIT FOR THE CONSTRUCTION, RECONSTRUCTION, EXTENSION, REPAIR, OR ALTERATION OF ANY BUILDING, STRUCTURE, OR USE OF LAND AND NO BUILDING OR LAND OR ANY PART OF AN BUILDING OR LAND, MAY BE OCCUPIED OR USED UNTIL LANDSCAPING HAS BEEN APPROVED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UDO.
 - LANDSCAPING SHALL NOT OBSTRUCT THE VIEWS OF MOTORISTS USING ANY STREET, DRIVEWAY, PARKING AREA, OR THE APPROACH TO ANY STREET INTERSECTION. ALL LANDSCAPING INSTALLATIONS MUST COMPLY WITH THE SIGN TRIANGLE REQUIREMENTS OF THE RALEIGH STREET DESIGN MANUAL.
 - PRIOR TO CONSTRUCTION, TREE PROTECTION FENCING MUST BE INSTALLED AROUND ALL AREAS NOTED AS TREE CONSERVATION AREAS.
 - TREES CANNOT BE PLANTED WITH A TREE CONSERVATION AREA OR THE CRITICAL ROOT ZONE OF AN EXISTING TREE AND MUST BE PLANTED AT LEAST 15 FEET FROM ANY OTHER TREE AND NO FURTHER THAN 50 FEET FROM ANY TREE MEASURED TREE TRUNK TO TREE TRUNK.
 - NO REQUIRED LANDSCAPING OR SCREENING SHALL BE PLANTED INSIDE UTILITY AND DRAINAGE EASEMENTS, EXCLUDING OVERHEAD EASEMENTS, WITHOUT THE CONSENT OF THE CITY AND THE EASEMENT HOLDER. THE OWNER OR TENANT IS RESPONSIBLE FOR MAINTAINING ALL REQUIRED LANDSCAPING IN GOOD HEALTH. ANY DEAD, UNHEALTHY, OR MISSING LANDSCAPING MUST BE REPLACED WITH LANDSCAPING THAT CONFORMS TO THE UDO WITHIN 30 DAYS (OR WITHIN 180 DAYS WHERE WEATHER CONCERNS WOULD JEOPARDIZE THE HEALTH OF PLANT MATERIALS). IN THE EVENT THAT REQUIRED LANDSCAPE IS SEVERELY DAMAGED DUE TO AN UNUSUAL WEATHER OCCURRENCE OR OTHER ACT OF NATURE, THE OWNER OR TENANT MAY HAVE 2 YEARS TO REPLACE THE REQUIRED LANDSCAPE.
 - THE CONTRACTOR SHALL MAINTAIN OR PROVIDE POSTING DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND WITHIN PLANTING BEDS.
 - THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING UNLESS OTHERWISE DIRECTED BY THE OWNER. THE PLAN SHALL SUPERSEDE THE PLANT SCHEDULE IF THERE ARE DISCREPANCIES BETWEEN THE TWO.
 - ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE USDA FOR NURSERY STOCK. SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON D.C. ALL PLANT MATERIAL SHALL BE OF THE HIGHEST QUALITY AVAILABLE. TREES SHALL HAVE STRAIGHT TRUNKS AND FULL HEADS APPROPRIATE FOR GENUS AND SPECIES. SHRUBS SHALL BE LOW BRANCHED AND FULL EXCEPT AS SPECIFIED. ALL MATERIAL OF THE SAME TYPE BE MATCHED IN HEIGHT, SPREAD, AND FORM. ANY PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT.
 - ALL PLANTS SHALL BE AT THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE ORIGINAL GRADES BEFORE DIGGING. THE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM OF 4" IN 4' TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND LAWN AREAS.
 - INSTALL A MINIMUM OF 3" DEPTH OF TRIPLE SHREDED HARDWOOD MULCH AS APPROVED BY THE OWNER. ALL PLANT MATERIAL IS SUBJECT TO APPROVAL OF THE OWNER.
 - ALL TREES LOCATED ADJACENT TO WALKS AND DRIVES SHALL HAVE A MINIMUM OF 6' CLEARANCE HEIGHT TO THE FIRST BRANCHING.
 - ALL TREES SHALL BE PLACED A MINIMUM OF 3' FROM SIDEWALKS, CURBS, AND HARDSCAPE, AND A MINIMUM OF 5' FROM FIRE HYDRANTS AND OTHER UTILITIES, UNLESS NOTED OTHERWISE ON THE PLAN.
 - ALL PLANTS SHALL BE INSTALLED PER GENERALLY ACCEPTABLE PLANTING STANDARDS.
 - ALL PLANTS AND STAKES SHALL BE SET PLUMB, UNLESS OTHERWISE SPECIFIED.
 - ALL PLANTING BED EDGES TO BE SMOOTH FLOWING ARCHES, UNLESS OTHERWISE SPECIFIED. BED EDGES SHALL BE SMOOTH, CONSISTENT, TRENCHED 3 TO 4 INCHES DEEP AND "V" SHAPED. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE BED EDGE AND PLANTING BED.
 - LAWN TO BE FESCUE SOED AND APPROVED BY OWNER.
 - NO TEMPORARY OR PERMANENT ENCROACHMENTS INCLUDING BUT NOT LIMITED TO CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

LEGEND:

- NEEDLEPOINT HOLLY (ICN)
- CHINESE PISTACHE (PC)
- SOUTHERN SUGAR MAPLE (SSM)

LANDSCAPING CALCULATIONS (LOT #235):

LANDSCAPE REQUIREMENTS:

UDO 7.1.7 - VEHICLE PARKING LOT LANDSCAPE
REQUIRED: 1 SHADE TREE PER 1,000 SF OF PARKING LOT.
8 ISLANDS x 8 SHADE TREES
18,119 SF (PARKING LOT) / 2,000 SF = 9 SHADE TREES
PROVIDED: 10 SHADE TREES

UDO 7.2.4.8 - STREET PROTECTIVE VARD TYPE C2
REQUIRED: 4 SHADE TREES & 15 SHRUBS PER 100'
175' / 100' = 1.75 x 4 = 7 SHADE TREES
175' / 100' = 1.75 x 15 = 26 SHRUBS
PROVIDED: 7 SHADE TREES & 26 SHRUBS

LANDSCAPING CALCULATIONS (LOT #237):

UDO 7.2.4.8 - STREET PROTECTIVE VARD TYPE C2
REQUIRED: 4 SHADE TREES & 15 SHRUBS PER 100'
175' / 100' = 1.75 x 4 = 7 SHADE TREES
175' / 100' = 1.75 x 15 = 26 SHRUBS
PROVIDED: 7 SHADE TREES & 26 SHRUBS

LANDSCAPING CALCULATIONS (STREET TREES):

UDO 8.1.2 - TREE PLANTING
REQUIRED: SHADE TREE PLANTED AT 40' ON CENTER SPACING
PROVIDED: 8 SHADE TREES PLANTED AT 40' ON CENTER SPACING

BEFORE YOU DO CALL TOLL FREE 1-800-532-4849

NOT FOR CONSTRUCTION

SCALE: 1" = 20' FT

SCALE IN FEET HORIZONTAL

PRELIMINARY

DO NOT USE FOR CONSTRUCTION



designdevelopment
ARCHITECTS

800 Salem Woods
Drive
Suite 102
Raleigh, NC 27615
919.848.4474

COVENANT ROOFING

1718 ROUNDROCK DR
RALEIGH, NC 27615

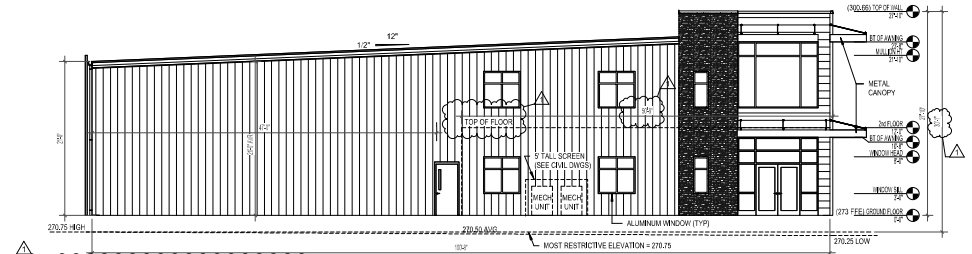
No.	Description	Date
1	City Comment	4/7/21

PROJECT #:	200042
DATE:	Issue Date

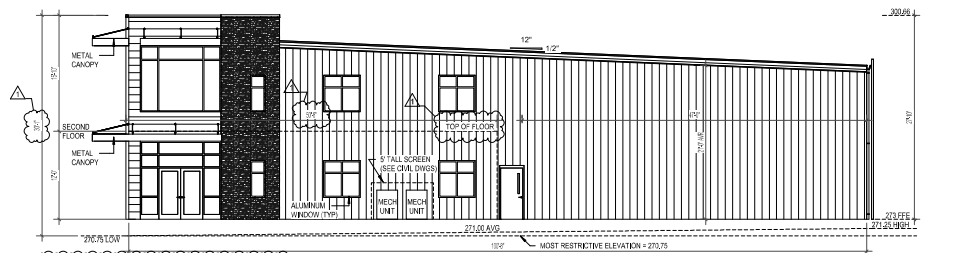
EXTERIOR ELEVATION

A2.1 COR

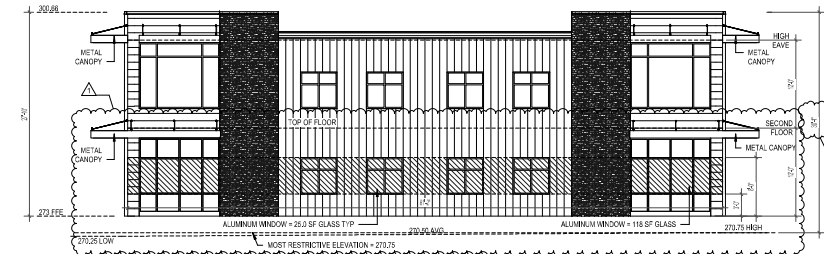
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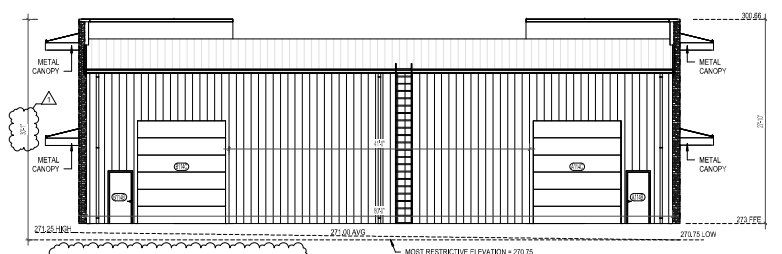
1 EAST ELEVATION - COR
1/8" = 1'-0"



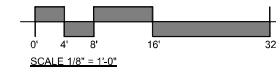
2 WEST ELEVATION - COR



3 NORTH ELEVATION / STREET FRONT - COR



4 SOUTH ELEVATION - COR



NOTE:
GLASS SHALL BE CONSIDERED TRANSPARENT
WHERE IT HAS A TRANSPARENCY HIGHER THAN 80%
AND EXTERNAL REFLECTANCE OF LESS THAN 15%.
GLASS ON UPPER STORIES MAY HAVE ANY LEVEL OF
TRANSPARENCY AND EXTERNAL REFLECTANCE.

NORTH STREET FRONT CALC'S

TOTAL SECOND FLOOR AREA = 974 sqft

TOTAL SECOND FLOOR TRANSPARENCY = 268 sqft - PROVIDED

TOTAL REQUIRED TRANSPARENCY = 194.8 sqft

TOTAL GROUND FLOOR AREA = 974 sqft

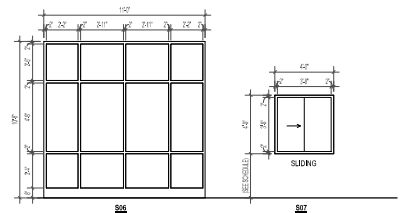
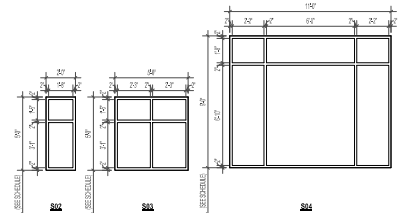
TOTAL GROUND FLOOR TRANSPARENCY = 334.74 sqft - PROVIDED

TOTAL GROUND FLOOR REQUIRED TRANSPARENCY = 195 sqft

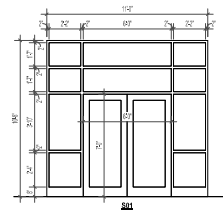
TOTAL GROUND FLOOR TRANSPARENCY 3/4" = 210 sqft - PROVIDED

TOTAL GROUND FLOOR TRANSPARENCY 3/4" = REQUIRED 97.5 sqft

Project #		Project Name		Location	Alt	Date	Unit/hrs	Description
Project #		Project Name		Location	Alt	Date	Unit/hrs	Description
Energy Demand Calculations (See Appendix A)								
Building #	Area (sq ft)	Peak Heating	Average	Peak Cooling	Average	Peak Night	Average	
Industrial (1)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (2)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (3)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (4)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (5)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (6)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (7)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (8)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (9)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (10)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (11)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (12)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (13)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (14)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (15)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (16)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (17)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (18)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (19)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (20)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (21)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (22)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (23)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (24)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (25)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (26)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (27)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (28)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (29)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (30)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (31)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (32)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (33)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (34)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (35)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	
Industrial (36)	235,250	21,720	27,210	22,230	27,210	27,210	27,210	



ELEVATIONS - STOREFRONT



ELEVATIONS - STOREFRONT WITH LEAFS
1/4" = 1'-0"