



# Administrative Approval Action

Case File / Name: ASR-0099-2021  
DSLCL - Downtown South Central Office

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This 3.29 acre site consisting of lots 11, 12 and 13 of Downtown South (SUB-0008-2021), zoned CX-40-UL CU and within a SHOD Overlay is located north of Centerline Drive between Green Street and Rigby Streets at 201 Penmarc Drive.

**REQUEST:** Construction of a six story office building with ground floor retail and associated parking north of the building.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** SPR-0201-2022: DSLCL - Site Permitting Review/Major [Signature Set]

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated by McAdams.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Required and proposed transparency % should be shown for ALL public street facing upper floors (non Residential) demonstrating compliance to 3.2.5 F. (see sheets 201a - 204a, elevations)
2. Demonstrate compliance to the maximum allowable square footage of retail allowed (as per Z-13-20, Condition #8). Revise response to zoning conditions for condition #8 on sheet C0.01. Retail square footage appears to exceed the maximum allowable limit.

### **Public Utilities**

3. SPR-0135-2022 & SUB-0008-2021 plat (RCMP-0207-2022) must be approved & recorded prior to SPR approval for this ASR

### **Stormwater**

4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

### **Urban Forestry**

5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.



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6. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Engineering
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## Engineering

1. A pedestrian and bicycle deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

## Public Utilities

2. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

## Urban Forestry

3. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 4.6 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## General



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1. A map shall be recorded prior to or in conjunction with SPR-0135-2022 & SUB-0008-2021 plat (phase 1 & 2 RCMP) which must be approved & recorded in the Wake County Register of Deeds.
2. Demonstrate compliance with zoning conditions in REZN-0013-2020.

## Public Utilities

3. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## Stormwater

4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
5. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

## Urban Forestry

6. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).
7. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 6 street trees along Centerline Street, 13 street trees along Rigby Street and 6 street trees along Water Works Street.
8. A public infrastructure surety for 6 tree grate street trees along Centerline Street, 13 tree grate street trees along Rigby Street and 6 tree lawn street trees along Water Works Street. Surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

## *The following are required prior to issuance of building occupancy permit:*

### General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

### Stormwater

2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review



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approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** September 19, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 09/19/2022  
Development Services Dir/Designee

Staff Coordinator: Michael Walters



# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919.906.2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.6. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.6, as amended by last change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

Site Plan Tier: <input type="checkbox"/> Tier Two Site Plan <input checked="" type="checkbox"/> Tier Three Site Plan		Site Transaction History	
<b>Building Type</b> <input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse <input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed use <input type="checkbox"/> Open lot <input type="checkbox"/> Civic		Subdivision case #: SUB-0008-2021 Staging/sketch plan case #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: Z-19-20 Administrative Alternate #: _____	
<b>GENERAL INFORMATION</b>			
Development name: Central Office			
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Property address(es): 201 Penmarc Drive			
Site P.U.N.(s): 1703.40.4666			
Please describe the scope of work, include any additions, expansions, and change of use. Construction of 6 story office building with ground floor retail and associated parking north of the building.			
Current Property Owner/Developer Contact Name: MK South III LLC			
Company: MK South III LLC		Title: Steve Malik, Managing Member	
Address: c/o Kane Realty, 4321 Lassiter at North Hills Ave, Raleigh, NC 27609			
Phone #: 919-719-3573		Email: hhoobs@kanerealtycorp.com	
Applicant Name: Gray Harrell, Assistant Project Manager			
Company: McAdams		Address: One Glenwood Ave., Suite 201, Raleigh, NC 27603	
Phone #: 919.267.0728		Email: harrell@mcadamsco.com	

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DEVELOPMENT TYPE + SITE DATA TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-40-UL-CU	Existing gross floor area (not to be demolished): 0 sf Existing gross floor area to be demolished: 0
Gross site acreage: 3.29 ac	New gross floor area: 173,018
# of parking spaces required: 551 (Maximum) - TC11-21	Total of gross (to remain and new): 173,018
# of parking spaces proposed: 177	Proposed # of buildings: 1
Overlay District (if applicable): n/a	Proposed # of stories for each: 6
Existing use (UDO 6.1.4): Vacant	
Proposed use (UDO 6.1.4): Mixed Use (Office & Retail)	
STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 0 Square Feet: 0	Proposed Impervious Surface: Acres: 3.29 Square Feet: 143,312
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: n/a	
Flood study: n/a	
FEMA Map Panel #: n/a	
Nearby River Buffer: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 0	Total # of hotel units: 0
# of bedroom units: 0	# of beds: 0
# of lots: 0	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, Gray Harrell, will serve as the agent regarding this application, and will receive and respond to administrative comments, respond to plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature: [Signature] Date: 10/12/22

Printed Name: Steve Malik, Managing Member

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# DOWNTOWN SOUTH CENTRAL OFFICE

201 PENMARC DRIVE  
RALEIGH, NORTH CAROLINA, 27603  
**ADMINISTRATIVE SITE REVIEW**  
CITY OF RALEIGH CASE #: ASR-0099-2021  
PROJECT NUMBER: 2021110148  
DATE: AUGUST 31, 2022

## SITE DATA

SITE ADDRESS:	201 PENMARC DRIVE, RALEIGH, NORTH CAROLINA, 27607
PARCEL PIR NUMBER:	3.03434666
EXISTING ZONING:	CX-40-UL-CU (PREZONING CASE 17-13-20)
OVERLAY DISTRICT:	NONE
WATERSHED:	WALNUT CREEK
FLOODPLAIN/STORM PANEL:	N/A
SITE AREA:	GROSS SITE AREA: 3.29 ACRES, 143,312 SF RIGHT-OF-WAY DEDICATION: 8.00 ACRES NET SITE AREA: 3.29 ACRES, 143,312 SF
AMENITY AREA:	REQUIRED: 0.33 ACRES, 14,331 SF PROVIDED: 0.33 ACRES, 14,331 SF
TREE CONSERVATION:	TREE CONSERVATION AREA REQUIREMENTS MET FOR SITE THROUGH PRELIMINARY SUBDIVISION SUBMITTAL CASE #: SUB-0008-2021
VEHICLE PARKING:	LOTS 11, 12 AND 13 76 SPACES (1.0 PER 200 SF) LOBBY - 7,286 SF SERVICES - 14,765 SF OFFICE - 14,967 SF CIRCULATION - 91,185 SF MAXIMUM ALLOWABLE SPACES: 151 SPACES PROVIDED: 177 SPACES
BICYCLE PARKING:	LOTS 11, 12 AND 13 17 SHORT TERM, 29 LONG TERM PROVIDED: 46 SPACES
BUILD-TO-REQUIREMENTS:	PRIMARY STREET BUILD-TO (MIN/MAX): 0/200 SIDE STREET BUILD-TO (MIN/MAX): 50/200 BLDG. WIDTH IN SIDE BUILD-TO (MIN): 25% 140.75 LF OF 285.5 LF OF FRONTAGE (50% / 0'-20') 244.5 LF OF 285.5 LF OF FRONTAGE (50% / 0'-20') 82.43 LF OF 165.25 LF OF FRONTAGE (50% / 0'-20') 131.1 LF OF 165.25 LF OF FRONTAGE
BUILDING/STRUCTURE SETBACKS:	FROM PRIMARY STREET (MIN): 0' PER UDO SEC. 3.4.7 FROM SIDE STREET (MIN): 0' OR 5' FROM SIDE LOT LINE (MIN): 0' OR 5' FROM REAR LOT LINE (MIN): 0' OR 5' FROM ALLEY (MIN): 0'
PARKING SETBACKS:	FROM PRIMARY STREET (MIN): 10' FROM SIDE STREET (MIN): 0' OR 5' FROM SIDE LOT LINE (MIN): 0' OR 5' FROM REAR LOT LINE (MIN): 0' OR 5' FROM ALLEY (MIN): 0'
BUILDING HEIGHT:	MAXIMUM: 40 STORIES PROVIDED: 6 STORIES

## NOTES

- THE MINIMUM CORNER CLEARANCE FOR A DRIVEWAY FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 30 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCHANCE ON THIS MINIMUM CORNER CLEARANCE. 300% SECTION 6.2.1.0.
- WITHIN THE AREA OF A DEFINED RIGHT TRIANGLE, THERE SHALL BE NO RIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, COUPLER, BARRING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRANSVERSE WALK, IF NO CURBING EXISTS.
- CENTURINE STREET AND BIGBY STREET ARE MIXED USE STREETS; THIS, WE HAVE DESIGNATED THEM AS PRIMARY.

## SSI TRACKING TABLE

SSI NUMBER	CITY CASE NUMBER	PROJECT NAME	SSI MEASURES INCLUDED
1	ASR-0099-2021	MULTI-FAMILY SOUTH	NONE
2	ASR-0099-2021	CENTRAL OFFICE	PLANTER BOXES, BIKERENTATION AREAS, PERMISSIBLE PARKING

\*\*ZONING CASE 2-13-20 - SSI MEASURES IMPLEMENTED TO MEET ZONING REQUIREMENT #10.

IMPERVIOUS AREA TRACKING TABLE	LOT 11	LOT 12	LOT 13
ACREAGE	1.20 AC.	1.02 AC.	1.07 AC.
MAX. IMPERVIOUS AREA	1.20 AC.	1.02 AC.	1.07 AC.



## SHEET INDEX

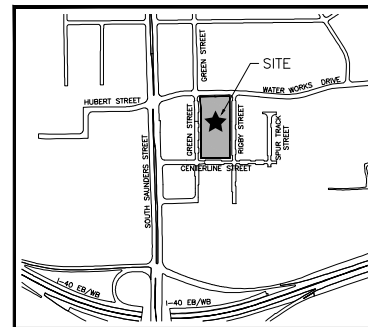
2-3	ALTA/NSPS & TOPOGRAPHIC SURVEY
3-3	ALTA/NSPS & TOPOGRAPHIC SURVEY
C0.00	PROJECT NOTES
C0.01	ZONING CONDITIONS
C0.02	TRIP GENERATION TABLE
C0.03	COMMUNITY MEETING DOCUMENTATION
C1.00	DEMOLITION PLAN
C2.00	OVERALL SITE PLAN
C2.01	SITE PLAN
C3.00	OVERALL GRADING AND STORM DRAINAGE PLAN
C3.01	GRADING AND STORM DRAINAGE PLAN
C3.02	AVERAGE GRADE PLAN
C4.00	UTILITY PLAN
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	SITE DETAILS
C8.03	WATER DETAILS
C8.04	WATER DETAILS
C8.05	SEWER DETAILS
C8.06	SEWER DETAILS
C9.00	STORMWATER SITE OVERVIEW
C9.01	STORMWATER CONTROL MEASURE 'B' PLAN VIEW
C9.02	POST DEVELOPMENT DRAINAGE AREA MAP
L2.00	TREE CONSERVATION PLAN (FOR REFERENCE ONLY - APPROVED UNDER SUB-0008-2021)
L6.00	LIGHTING PLAN
L7.00	PLANTING PLAN
L7.01	PLANTING PLAN
L7.90	PLANTING AND SOILS DETAILS
L7.91	GREEN STORMWATER INFRASTRUCTURE DETAILS

## ARCHITECTURAL SHEET INDEX

A201A	SOUTH ELEVATION
A202A	EAST ELEVATION
A203A	NORTH ELEVATION
A204A	WEST ELEVATION

## RIGHT-OF-WAY OBSTRUCTION NOTES

- STREET, LANE, AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
- A PERMIT REQUEST WITH A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN SHALL BE SUBMITTED TO [ra.trafficcontrol@raleighnc.gov](#) AT [www.raleighnc.gov](#) KEYWORD: "RIGHT-OF-WAY SERVICES".
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTOR COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE OBTAINED.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCDOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL, SIGNAGE, AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NC DOT "STANDARDS SPECIFICATION FOR ROADWAY STRUCTURES", NC DOT "ROADWAY STANDARDS DRAWING MANUAL", AND THE NC DOT SUPPLEMENT TO THE MANUAL.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. DISTINGUISHING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.



VICINITY MAP  
1" = 500'

## ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409 and the Public Utilities Department at (919) 996-5540 at least 14 days prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NC DOT STANDARDS, SPECIFICATIONS AND DETAILS.

## SOLID WASTE INSPECTION STATEMENT:

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY PRIVATE SERVICES. THE CITY OF RALEIGH'S SOLID WASTE SERVICES (SWS) WILL NOT SERVICE THIS DESIGN.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION



McADAMS

The John R. McAdams Company, Inc.  
One Glenwood Avenue  
Suite 201  
Raleigh, NC 27603  
phone 919. 828. 4300  
fax 919. 361. 2269  
license number: C-0293, C-187  
[www.mcadamsco.com](#)

## CONTACT

Andy Rodak  
padak@mcadamsco.com  
Phone: 919. 475. 5514

## CLIENT

KANE REALTY CORPORATION  
4321 LASSITER AT NORTH HILLS AVE  
SUITE 250  
RALEIGH, NC 27609



## PROJECT DIRECTORY

KANE REALTY CORPORATION  
4321 LASSITER AT NORTH HILLS AVE  
SUITE 250  
RALEIGH, NC 27609

## REVISIONS

NO.	DATE	REVISION
1	08.19.2022	FINAL ASR SUBMITTAL

## ADMINISTRATIVE SITE REVIEW FOR:

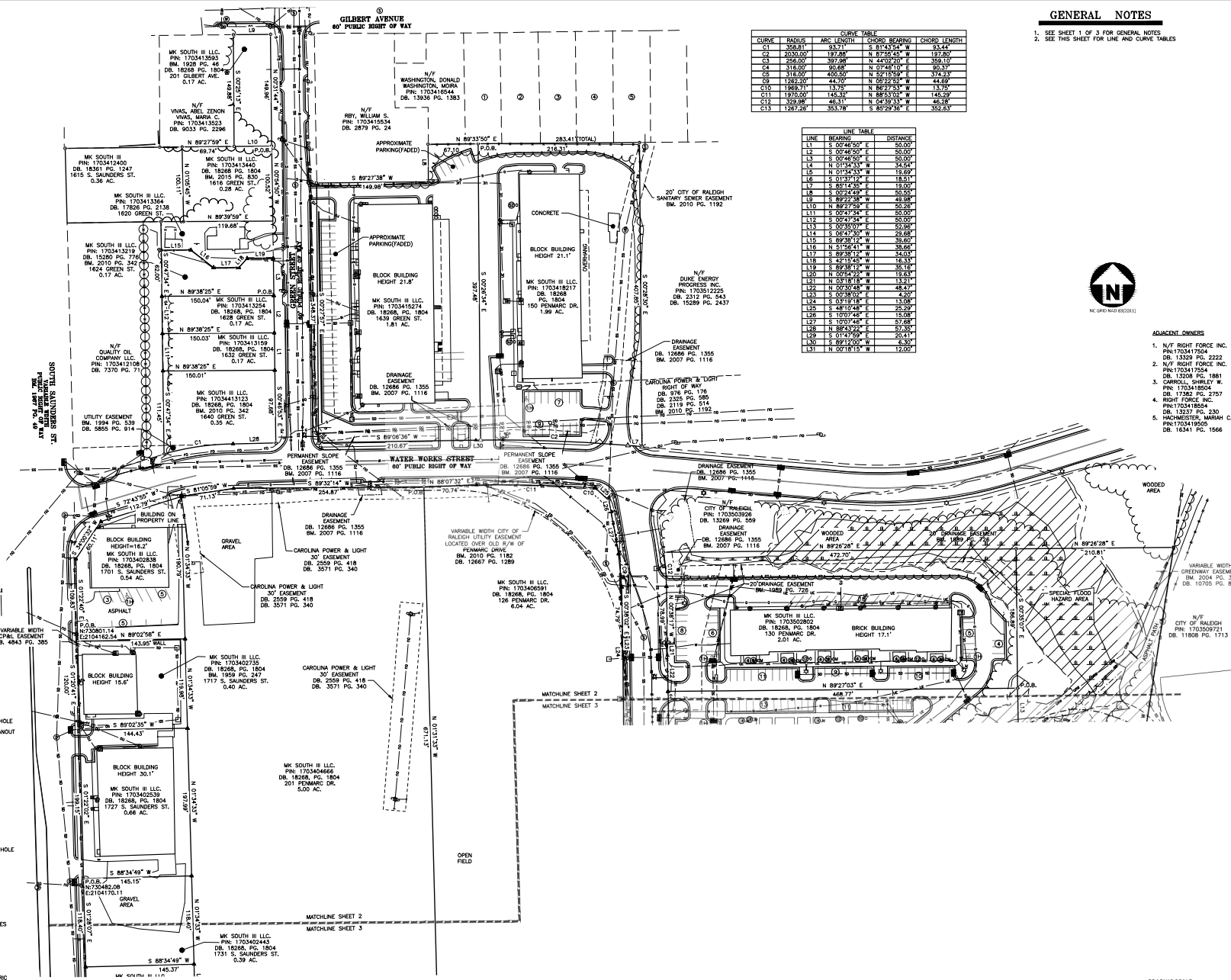
DOWNTOWN SOUTH  
CENTRAL OFFICE DRAWINGS  
RALEIGH, NORTH CAROLINA, 27603  
PROJECT NUMBER: 2021110148

# TREE LEGEND

- ASH
- BEECH
- BIRCH
- CEDAR
- CHERRY
- CRANE MYRTLE
- CYPRESS
- DODGEWOOD
- ELM
- SWEET GUM
- MISC. HARDWOOD
- HICKORY
- HOLLY
- MAGNOLIA
- MAPLE
- JAPANESE MAPLE
- RED OAK
- WHITE OAK
- OAK
- PEACH
- PEAR
- PECAN
- PERSIMMON
- PINE
- POPLAR
- REDBUD
- SYCAMORE
- WALNUT
- DOUBLE AND TRIPLE TRUNKS
- DOUBLE OAK
- TRIPLE OAK
- DIAMETER NOT SIZE OF TREE
- TYPE OF TREE
- FOR DOUBLE, 1 FOR TRIPLE

# LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- CALCULATED POINT
- BORE HOLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
- ELECTRIC BOX
- LIGHT POLE
- POWER POLE
- QUILY WIRE
- CURB INLET
- STORM DRAINAGE MANHOLE
- YARD INLET
- FIBER OPTIC MARKER
- FIBER OPTIC VAULT
- SIGN
- BOLLARD
- STORM DRAIN PIPE
- OVERHEAD UTILITY LINES
- WATER LINE
- SANITARY SEWER LINE
- TELEPHONE LINE
- GAS LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FENCE LINE
- TREE LINE
- GUARDRAIL



CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	358.81	43.71	S 87°54'54" W	53.44
C2	2030.00	187.86	N 87°58'40" W	197.80
C3	558.00	32.80	N 42°00'00" E	558.00
C4	518.00	90.88	N 07°49'10" E	90.39
C5	518.00	44.50	N 52°19'10" E	44.89
C6	518.00	44.50	N 05°22'50" E	44.89
C7	518.00	13.75	N 86°27'50" E	13.75
C8	518.00	145.35	N 88°53'10" E	145.35
C9	518.00	46.31	N 04°39'10" E	46.31
C10	518.00	35.78	S 87°52'40" E	35.78

LINE	BEARING	DISTANCE
L1	S 02°48'50" E	50.00
L2	S 02°48'50" E	50.00
L3	S 02°48'50" E	50.00
L4	N 01°54'33" W	34.54
L5	N 01°54'33" W	18.99
L6	S 01°53'19" W	18.99
L7	S 01°53'19" W	18.99
L8	S 01°53'19" W	18.99
L9	S 01°53'19" W	18.99
L10	S 01°53'19" W	18.99
L11	S 01°53'19" W	18.99
L12	S 01°53'19" W	18.99
L13	S 01°53'19" W	18.99
L14	S 01°53'19" W	18.99
L15	S 01°53'19" W	18.99
L16	S 01°53'19" W	18.99
L17	S 01°53'19" W	18.99
L18	S 01°53'19" W	18.99
L19	S 01°53'19" W	18.99
L20	S 01°53'19" W	18.99
L21	S 01°53'19" W	18.99
L22	S 01°53'19" W	18.99
L23	S 01°53'19" W	18.99
L24	S 01°53'19" W	18.99
L25	S 01°53'19" W	18.99
L26	S 01°53'19" W	18.99
L27	S 01°53'19" W	18.99
L28	S 01°53'19" W	18.99
L29	S 01°53'19" W	18.99
L30	S 01°53'19" W	18.99

# GENERAL NOTES

- SEE SHEET 1 OF 3 FOR GENERAL NOTES
- SEE THIS SHEET FOR LINE AND CURVE TABLES



- ADJACENT OWNERS
- N/7 RIGHT FORCE INC. PIN:1703417554 DB: 13329 PG. 2222
  - N/7 RIGHT FORCE INC. PIN:1703417555 DB: 13308 PG. 1881
  - CARROLL, SHIRLEY W. PIN: 1703418004 DB: 17382 PG. 2757
  - RIGHT FORCE INC. PIN:1703418004 DB: 13337 PG. 230
  - HACHESTER, MARAH C. PIN:1703418000 DB: 16341 PG. 1566

# REVISIONS

NO.	DATE	COMMENTS
1	10/05/2019	COMMENTS
2	10/08/2019	FIELD DATA
3	12/18/2020	COMMENTS
4	12/28/2020	NEW COMMENTARY

# PLAN INFORMATION

PROJECT NO. KAN19020  
 FILENAME KAN19020-AT1  
 CHECKED BY RTE  
 DRAWN BY JBT  
 SCALE 1"=60'  
 DATE 09.05.2019

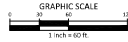
# SHEET

ALTA/NSPS LAND TITLE SURVEY  
**2-3**

**McADAMS**  
 The John R. McAdams Company, Inc.  
 2905 Meridian Parkway  
 Durham, NC 27713  
 phone 919.361.5000  
 fax 919.361.2269  
 license number: C-0293, C-187  
 www.mcadamsco.com

**CLIENT**  
 KANE REALTY  
 4321 LASSITER AT NORTH HILLS AVE.,  
 SUITE 250  
 RALEIGH, NORTH CAROLINA

**PENMARC  
 ASSEMBLAGE**  
 ALTA/NSPS LAND TITLE SURVEY  
 RALEIGH, NORTH CAROLINA



# GENERAL NOTES

- SEE SHEET 1 OF 3 FOR GENERAL NOTES
- SEE THIS SHEET FOR LINE AND CURVE TABLES



**McADAMS**  
The John R. McAdams Company, Inc.  
2905 Meridian Parkway  
Durham, NC 27713

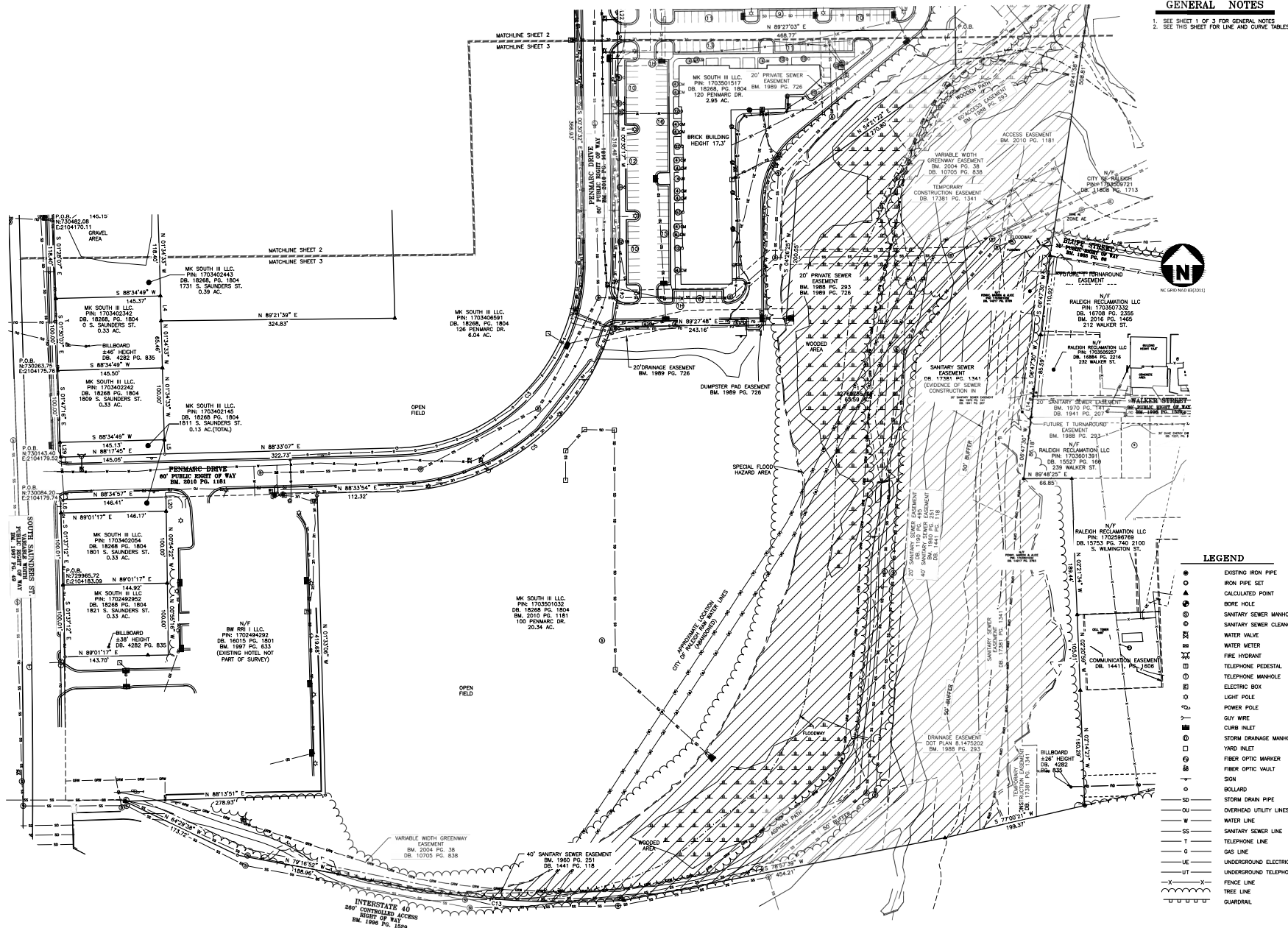
phone 919.361.5000  
fax 919.361.2269  
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www.mcadamsco.com

## CLIENT

KANE REALTY  
4321 LASSITER AT NORTH HILLS AVE.,  
SUITE 250  
RALEIGH, NORTH CAROLINA

## PENMARC ASSEMBLAGE ALTA/NSPS LAND TITLE SURVEY RALEIGH, NORTH CAROLINA



## LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- CALCULATED POINT
- BORER HOLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
- ELECTRIC BOX
- LIGHT POLE
- POWER POLE
- GYL WIRE
- CURB INLET
- STORM DRAINAGE MANHOLE
- YARD INLET
- FIBER OPTIC MARKER
- FIBER OPTIC VAULT
- SON
- BOLLARD
- STORM DRAIN PIPE
- OVERHEAD UTILITY LINES
- W
- SS
- T
- G
- UE
- UT
- X
- X
- GUARDRAIL

## REVISIONS

NO.	DATE	COMMENTS
1	10.05.2019	COMMENTS
2	10.08.2019	FIELD DATA
3	11.28.2020	COMMENTS
4	12.28.2020	NEW COMMENTARY

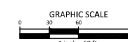
## PLAN INFORMATION

PROJECT NO. KAN19020  
FILENAME KAN19020-AT1  
CHECKED BY RTE  
DRAWN BY JBT  
SCALE 1"=60'  
DATE 09.05.2019

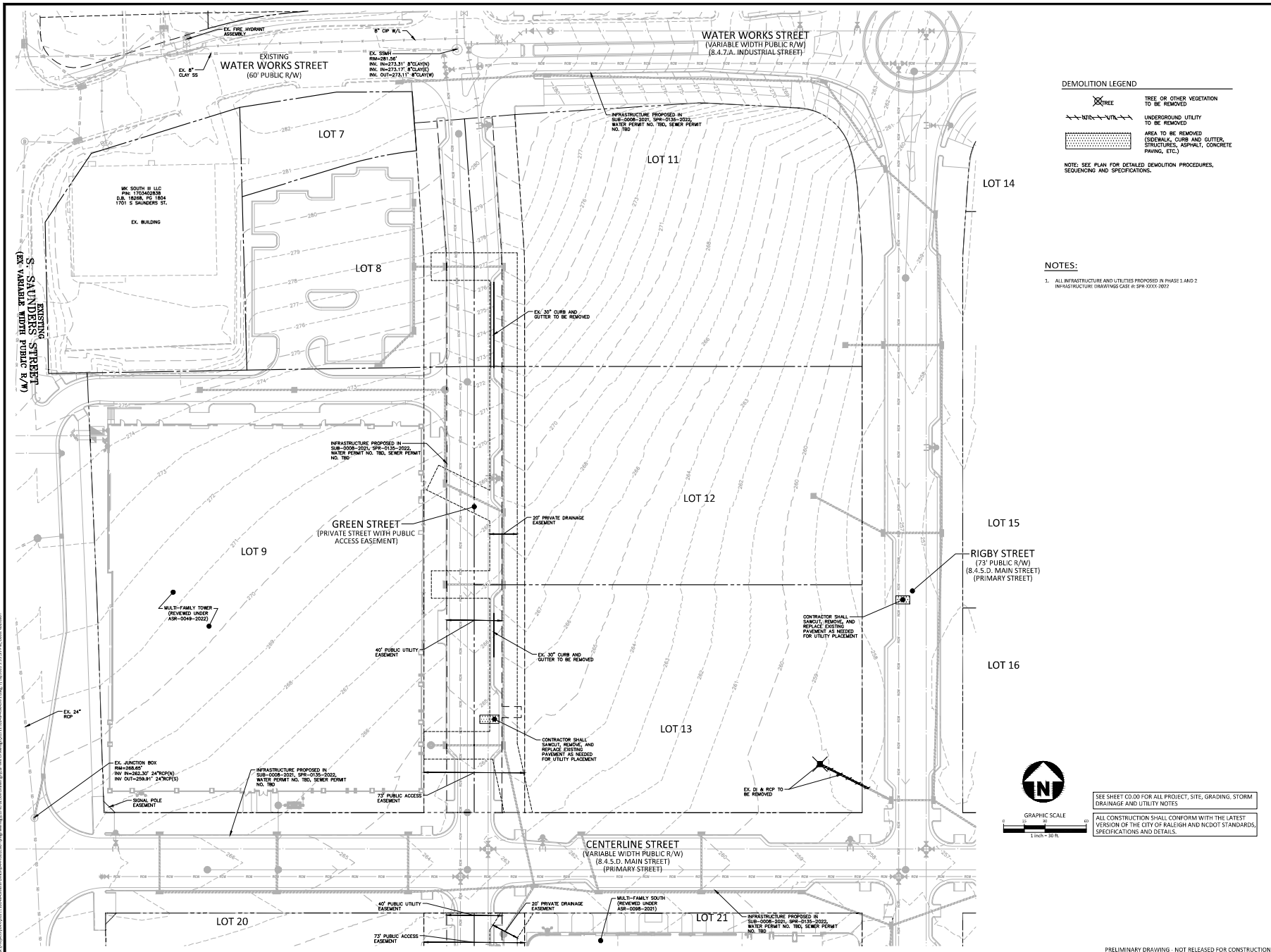
## SHEET

ALTA/NSPS LAND  
TITLE SURVEY

**3-3**







**McADAMS**  
The John R. McAdams Company, Inc.  
One Glenwood Avenue  
Suite 203  
Raleigh, NC 27603  
phone 919. 823. 4300  
fax 919. 361. 2269  
license number: C-0293, C-187  
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**CLIENT**  
KANE REALTY CORPORATION  
4321 LASSITER AT NORTH HILLS AVE SUITE  
250 RALEIGH, NC 27609

**KANE**  
REALTY CORPORATION

**CENTRAL OFFICE**  
**ADMINISTRATIVE SITE REVIEW**  
**201 PENMAR DRIVE**  
RALEIGH, NORTH CAROLINA, 27603

**REVISIONS**

NO.	DATE	REVISION
1	02.25.2022	REVIEWED PER CITY COMMENTS
2	06.01.2022	REVIEWED PER CITY COMMENTS
3	07.19.2022	REVIEWED PER CITY COMMENTS

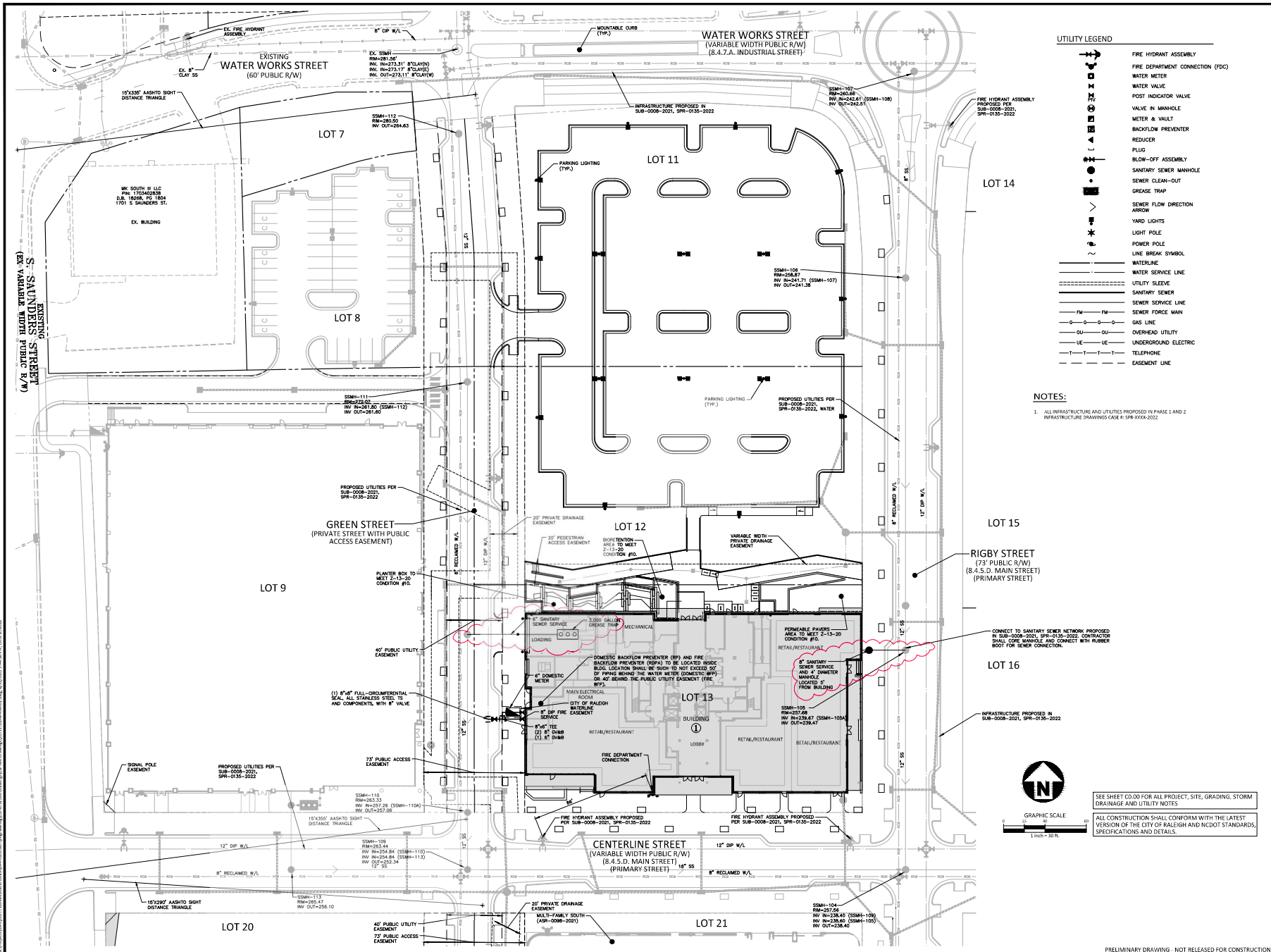
**PLAN INFORMATION**

PROJECT NO.	2021110148
FILENAME	2021110148-DM1
CHECKED BY	CGH
DRAWN BY	CDR
SCALE	1"=30'
DATE	11.10.2021

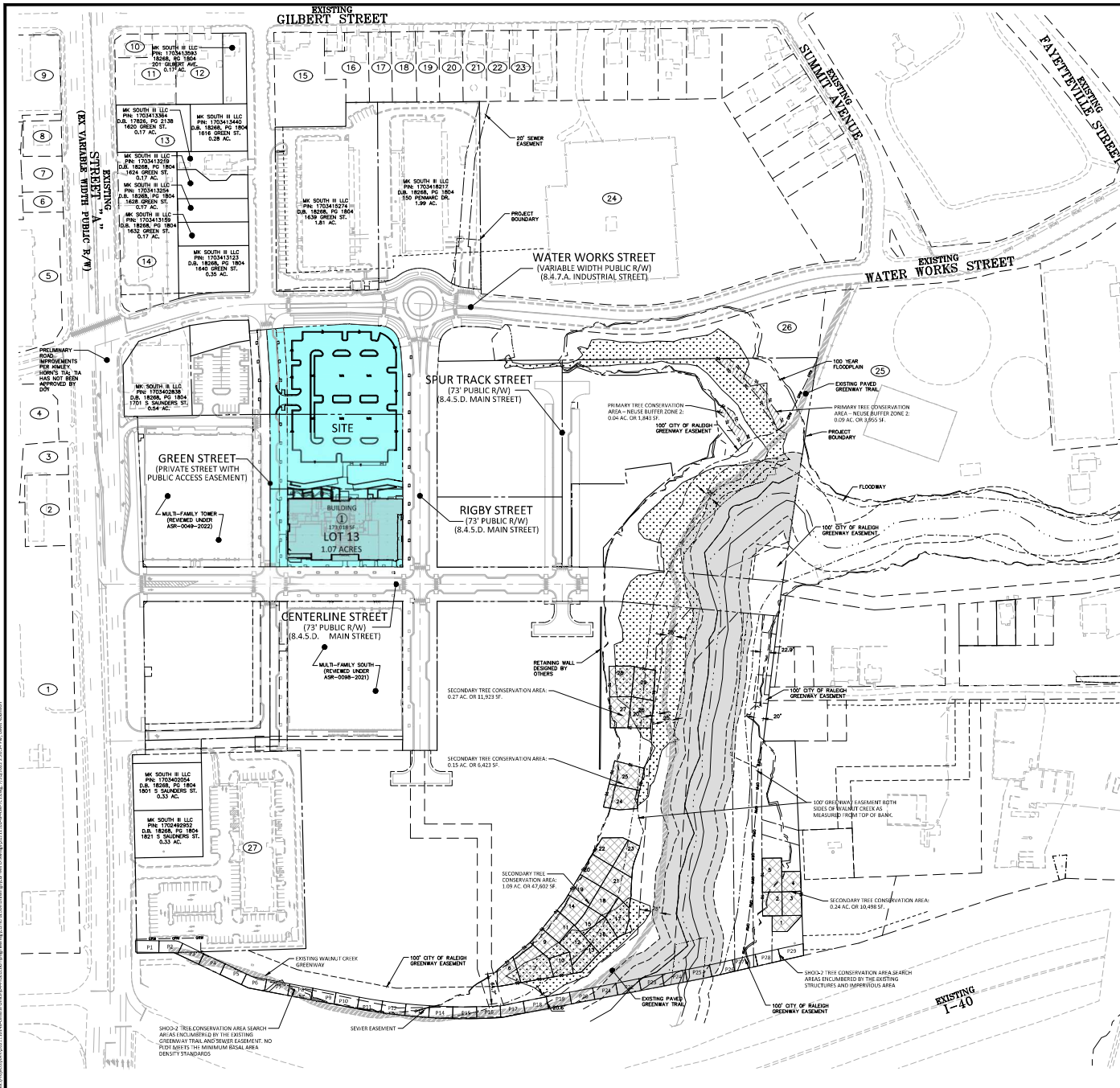
**DEMOLITION PLAN**  
**C1.00**











#### TREE CONSERVATION CALCULATIONS:

GROSS SITE AREA: 48.53 ACRES  
BUILT-UP AREA: 7.54 ACRES  
NET SITE AREA: 40.99 ACRES

TREE CONSERVATION REQUIRED: 4.099 ACRES (10%)  
TREE CONSERVATION PROVIDED: 4.8 ACRES (11.7%)

PRIMARY TREE CONSERVATION AREA - SHOD-2: NO QUALIFYING AREAS  
PRIMARY TREE CONSERVATION AREA - NEUSE BUFFER ZONE 2: 0.13 AC. OR 5,788 SF.  
PRIMARY TREE CONSERVATION AREA - THROUGHGREEN: NO QUALIFYING AREAS

GREENWAY TREE CONSERVATION AREA: 2.83 AC.  
SECONDARY TREE CONSERVATION AREA: 1.66 AC. OR 71,355 SF.

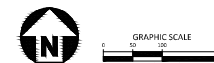
#### GREENWAY TREE CONSERVATION:

WALKWAY ONLY GREENWAY (100' GREENWAY EASEMENT BOTH SIDES OF THE STREAM)  
• AN AREA 20' WIDE BASED ON THE EXISTING GREENWAY TRAIL ALIGNMENT HAS BEEN EXCLUDED AS GREENWAY TREE CONSERVATION.  
• EXISTING AND PROPOSED SEWER, WATER AND CITY OF UTILITY EASEMENTS HAVE BEEN REMOVED FROM THE GREENWAY TREE CONSERVATION AREA CALCULATIONS.

GROSS WALKWAY ONLY GREENWAY EASEMENT ACRES: 7.73 AC.  
LESS AREA WITHIN EASEMENTS, 20' TRAIL CORRIDOR, ETC.: 4.88 AC.  
TOTAL PROPOSED GREENWAY TREE CONSERVATION AREA: 2.83 AC.

#### TREE CONSERVATION NOTES:

- ANY 2022 (NO FORMER UTILITY EASEMENTS) IN THE AREA OF THE PROPOSED TREE CONSERVATION AREA MUST BE ABANDONED. WATER LINES AND STORM DRAINAGE PIPES MUST REMAIN IN PLACE WITHIN THE PROPOSED TREE CONSERVATION AREA.
- WITHIN EACH 16-FOOT LINEAR INCORPORATION OF GREENWAY TREE CONSERVATION AREAS THAT DO NOT CONTAIN TREES, A MINIMUM OF 2 SHADE TREES MUST BE PLANTED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. PLANTED SHADE TREES MUST BE AT LEAST 18 GALLON CONTAINER SIZE AND TREE OF CIRCUMFERENCE AT TIME OF PLANTING. SEE LANDSCAPE PLANS FOR ADDITIONAL GREENWAY TREE CONSERVATION SHADE TREE LOCATIONS.



#### REVISIONS

NO.	DATE	REVISION
1	02.25.2022	REVISED PER CITY COMMENTS
2	06.01.2022	REVISED PER CITY COMMENTS
3	07.19.2022	REVISED PER CITY COMMENTS

#### PLAN INFORMATION

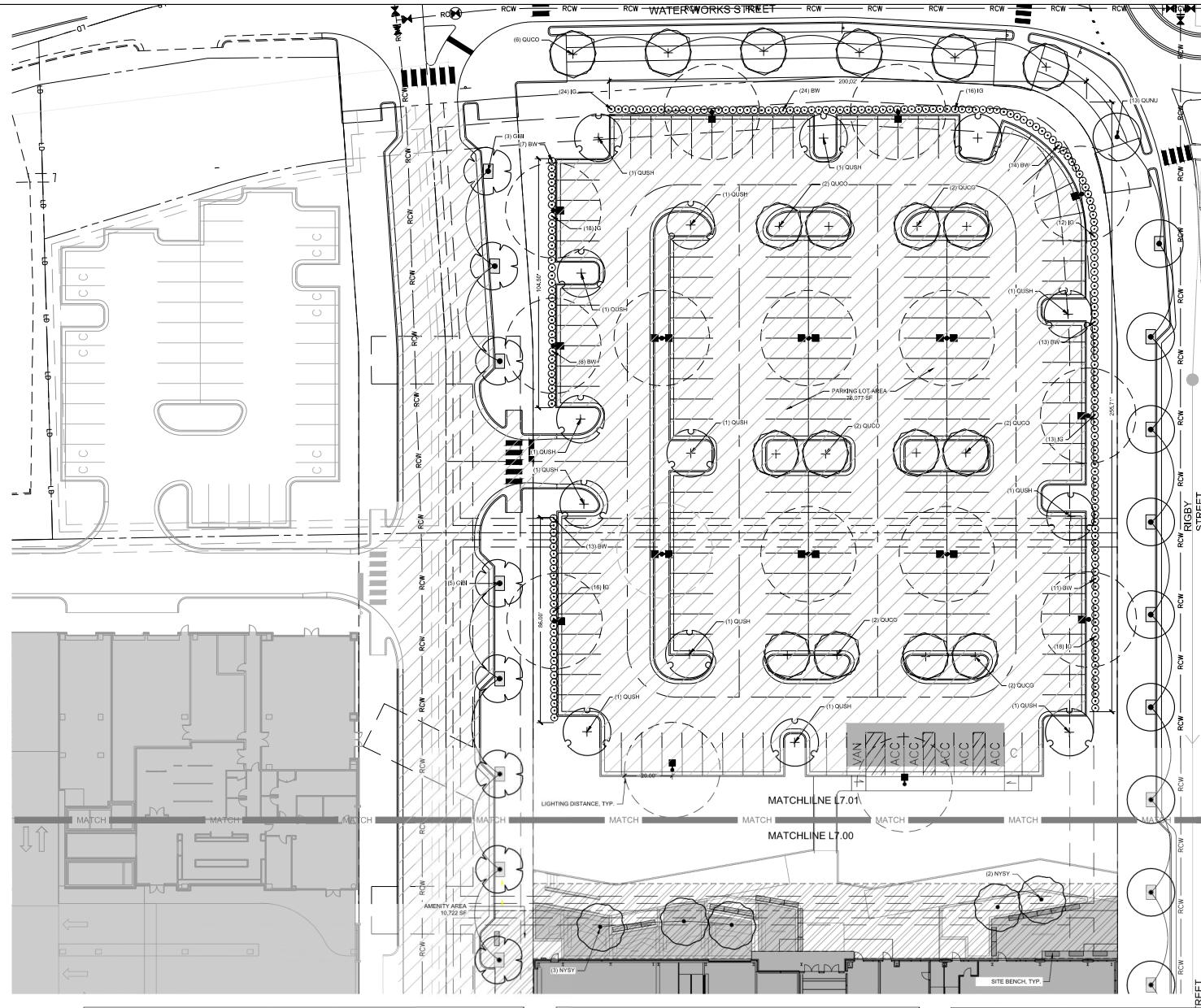
PROJECT NO. 2021110148  
FILENAME 2021110148-TC1  
CHECKED BY CGH  
DRAWN BY CDR  
SCALE 1" = 100'  
DATE 11.10.2021  
SHEET

#### TREE CONSERVATION PLAN

# L2.00







**LANDSCAPE NOTES:**

1. SEE SHEET L7.00

**PLANTING NOTES**

1. SEE SHEET 7.00

**LEGEND**

PARKING AREA

20' RADIUS LIGHTING DISTANCE

AMENITY AREA

6 FT SITE BENCH

**STEWART**

225 S. WEST ST., #1100  
RALEIGH, NC 27603  
731.380.8750

FIRM LICENSE # C-1051  
www.stewartnc.com  
PROJECT # L21059

**Client:**

KANE REALTY CORPORATION  
4321 LASKOTER AT NORTH HILLS AVE SUITE  
250 RALEIGH, NC 27609

**Consultants:**

MCADAMS  
ONE GLENWOOD AVENUE SUITE 201  
RALEIGH, NC 27603  
PHONE #919.823.4300

DUDA PAVNE ARCHITECTS PA  
DURHAM, NC 27603  
PHONE #919.823.4300

CLINE DESIGN ASSOCIATES  
RALEIGH, NC 27603  
PHONE #919.833.6413

**Vicinity map:**

**Scale:**

0 10 20 40

SCALE: 1" = 20'

**Project:**

**CENTRAL OFFICE**

**Issued for:**

**ADMINISTRATIVE SITE REVIEW**

No.	Date	Description
1.	11.08.2021	1ST SUBMITTAL
2.	12.25.2022	2ND SUBMITTAL
3.	06.01.2022	3RD SUBMITTAL
4.	07.29.2022	4TH SUBMITTAL

**Title:**

**PLANTING PLAN**

**Project number:** L21059 **Sheet #:** L7.01

**Issued Date:** 06.01.2022

**Drawn by:** SW

**Approved by:** CR

AMENITY AREA REQUIREMENTS					
LOT	TOTAL SITE AREA (SF)	TOTAL GROUND FLOOR AMENITY AREA REQUIRED(SF)	TOTAL GROUND FLOOR AMENITY AREA PROVIDED(SF)	TREE REQUIRED	TREE PROVIDED
CENTRAL OFFICE	143,312	14,331	14,382	14	14
CALCULATIONS		143,312*10%-14,331		14,331/1000=14	14,331/1000=14

STREET TREE CALCULATIONS				
STREET	FRONTAGE	SPACING	REQ. TREES	PROVIDED TREES
CENTERLINE STREET	245	40'	6	6
RIGGBY STREET	527 (160' on office lot)	40'	13	13
WATERWORKS STREET	252'	40'	6	6

\* GREEN STREET IS A PRIVATE STREET AND THEREFORE STREET TREES ARE NOT REQUIRED.

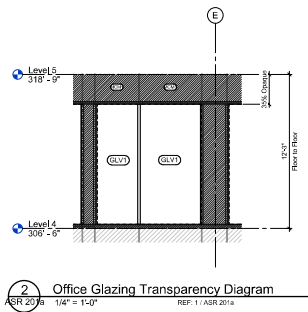
PERIMETER ISLANDS REQUIREMENTS			
LOT	TOTAL LINEAR FEET	SHRUB REQUIRED	SHRUB PROVIDED
	646	194	207

TREE COVERAGE REQUIREMENTS		
LOT	TOTAL PARKING AREA (SF)	TREES PROVIDED
	75077	25

**Centerline St.  
67% Avg Transparency**

	Total wall area	Area of walls	Area of openings
Level 1 - South Elevation	3,680 SF	854 SF	2,546 SF
Office L2-L3 - South Elevation	2,997 SF	1,086 SF	1,929 SF
Office Level 4-L6 - South Elevation	2,997 SF	1,086 SF	1,929 SF



**1 South Elevation - ASR**  
ASR 201a 1/8" = 1'-0" REF: 1/ASR 101a

FOR REVIEW PURPOSES ONLY

**Downtown South Central Office**  
Centerline Street, Raleigh

**Issue Log**

Issue	Date	Description

**Building Permit Set**  
Issue Date: 07/25/2024  
Project Number: 22-102  
South Elevation ASR



**Downtown South Central Office**  
Centerline Street, Raleigh

Key Findings

### Building Permit Set

Issue Date:	07/28/202
Project Number:	2210

### East Elevation ASR

### East Elevation ASR

### East Elevation ASR

5/27/2022 1:09:42 PM

FOR REVIEW PURPOSES ONLY

**Downtown South Central Office**  
Centerline Street, Raleigh

Key Points

[illegible]

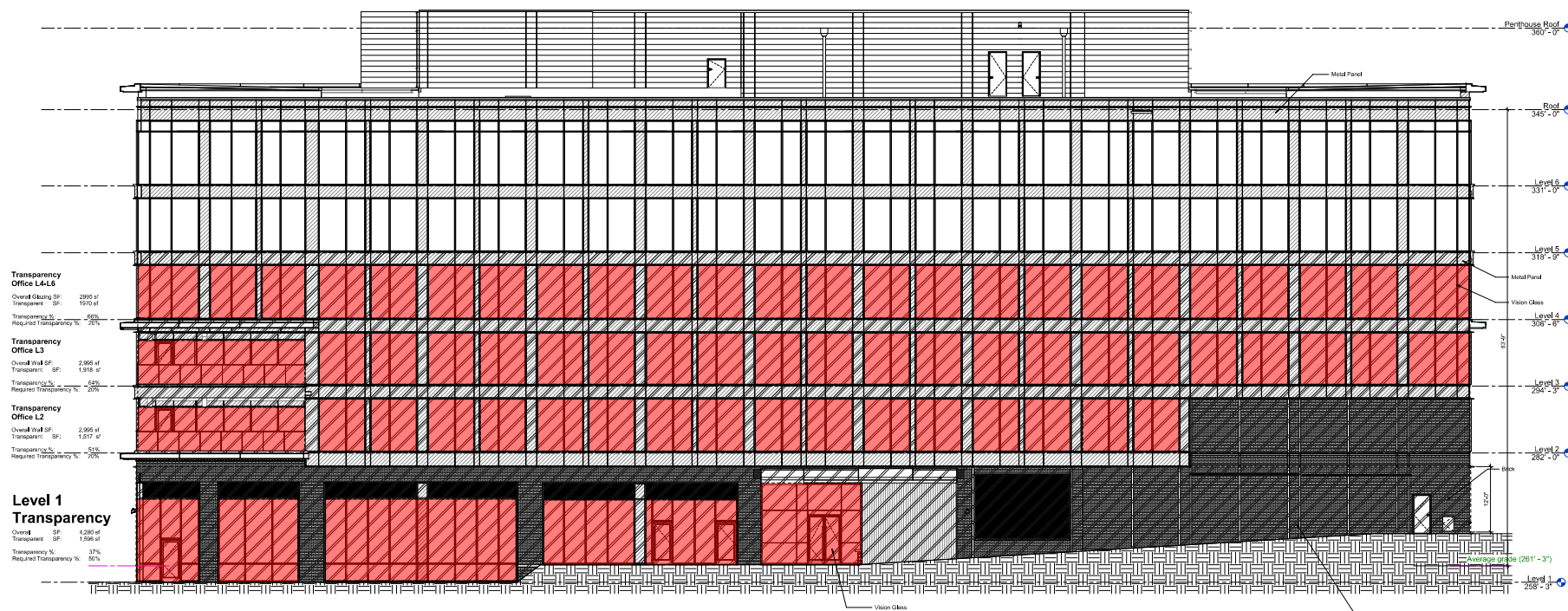
### Building Permit Set

Issue Date:	07/28/2022
Project Number:	22102

North Elevation ASR

**ASR 203a**

	Total wall area	Area of walls	Area of openings
Level 1 - North Elevation	4,280 SF	2,900 SF	1,386 SF
Level 2 - North Elevation	2,056 SF	1,468 SF	1,517 SF
Level 3 - North Elevation	2,965 SF	1,951 SF	1,018 SF
L4 + L5 - North Elevation	2,905 SF	1,045 SF	1,870 SF



1 North Elevation - ASR  
ASR 203a 1/8" = 1'-0" REF: 1 / ASR 101a



**Downtown South Central Office**  
Centerline Street, Raleigh

Key Findings

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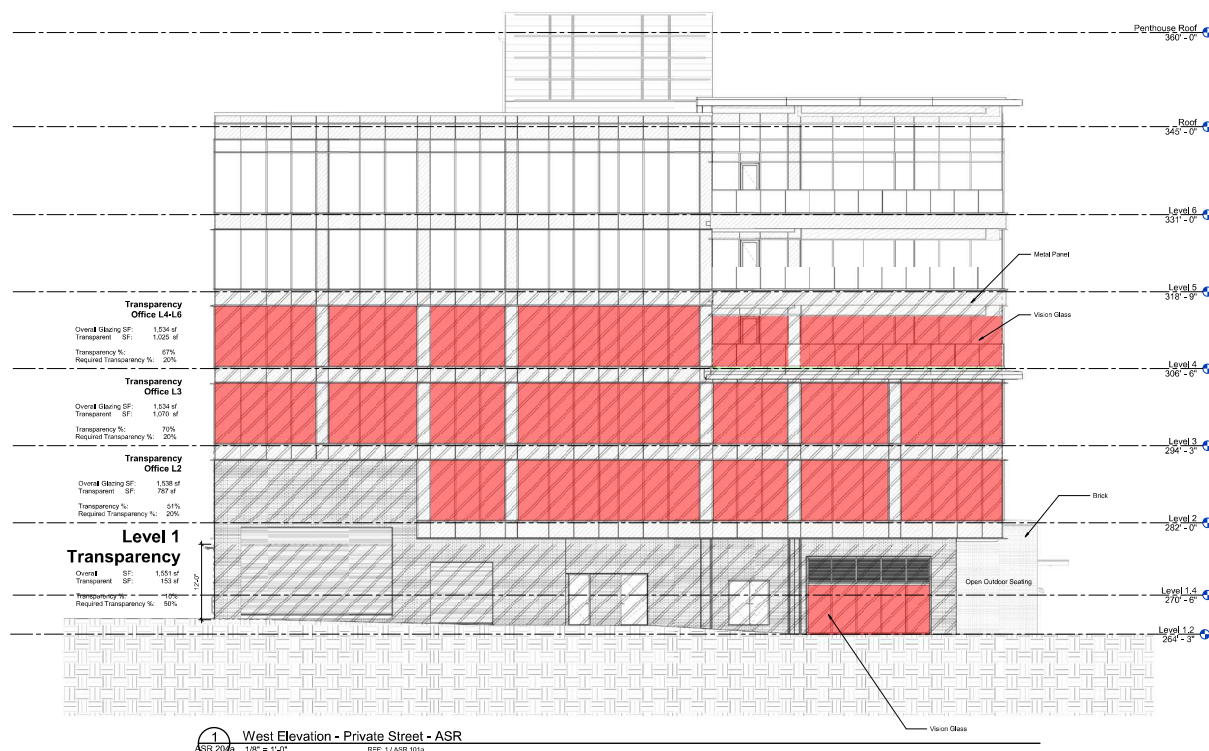
[illegible]

Issue Date:	07/28/2022
Project Number:	22102

West Elevation ASR

ASR 204a

	Total wall area	Area of walls	Area of openings
Level 1 - North Elevation	1,551 SF	1,373 SF	153 SF
Level 2 - North Elevation	1,138 SF	751 SF	787 SF
Level 3 - North Elevation	1,534 SF	494 SF	1,070 SF
L4 - L6 - North Elevation	1,534 SF	504 SF	1,025 SF



1 West Elevation - Private Street - ASR  
ASR 201a 1/8" = 1'-0" REF: 1 / ASR 101a