



Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #: <u>ASR-0100-2019</u>		Planning Coordinator: <u>Ryan Boivin</u>
Building Type		Site Transaction History
☐ Detached ☐ Attached ☒ Apartment ☐ Townhouse	☐ General ☐ Mixed use ☐ Open lot ☐ Civic	Subdivision transaction #: _____ Sketch transaction #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Administrative Alternate #: _____
GENERAL INFORMATION		
Development name: NORTH RIDGE APARTMENTS		
Inside City limits? ☒ Yes ☐ No		
Property address(es): 6615 THE LAKES DR		
Site P.I.N.(s): 1717000300		
Please describe the scope of work. Include any additions, expansions, and change of use. Multifamily community with associated clubhouse, surface parking and utilities		
Current Property Owner/Developer Contact Name: Ron Perera		
NOTE: please attach purchase agreement when submitting this form.		
Company: Aventon Companies		Title: Managing Director
Address: 5420 Wade Park Boulevard, Suite 320, Raleigh, NC 27607		
Phone #: 919. 451. 2093		Email: rperera@aventoncompanies.com
Applicant Name: Andy Padiak		
Company: McAdams		Address: One Glenwood, Suite 201, Raleigh, NC 27603
Phone #: 919. 287. 0780		Email: Padiak@mcadamsco.com

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): PD Z-033-16-ORD	Existing gross floor area (not to be demolished): 0 SF
	Existing gross floor area to be demolished: 10,661 SF
Gross site acreage: 38.83 Acres	New gross floor area: 507,073 SF
# of parking spaces required: 464	Total sf gross (to remain and new): 507,073 SF
# of parking spaces proposed: 606	Proposed # of buildings: 11
Overlay District (if applicable): N/A	Proposed # of stories for each: 4
Existing use (UDO 6.1.4): Clubhouse/Vacant	
Proposed use (UDO 6.1.4): Apartment	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 2.49 Square Feet: _____	Proposed Impervious Surface: Acres: 12.92 Square Feet: _____
Is this a flood hazard area? ☐ Yes ☒ No	
If yes, please provide: Alluvial soils: _____ Flood stu: _____ FEMA Map Panel #: _____	
Neuse River Buffer ☒ Yes ☐ No	Wetlands ☒ Yes ☐ No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 369	Total # of hotel units: _____
# of bedroom units: 1br: 141 2br: 189 3br: 39 4br or more: _____	
# of lots: 1	Is your project a cottage court? ☐ Yes ☒ No

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate <u>ANDY PADIAC</u> to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>Matt D. Brady</u>	Date: 11-15-2019
Printed Name: Matt D. Brady	

NORTH RIDGE APARTMENTS

6615 THE LAKES DR
RALEIGH, NORTH CAROLINA 27609

ADMINISTRATIVE SITE REVIEW CITY OF RALEIGH CASE #: -- PROJECT NUMBER: AVC-19000

DATE: NOVEMBER 25, 2019

DEVELOPMENT SERVICES

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Page 1 of 2

REVISION 05.01.19

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Printed Name: Matt D. Brady	

Page 2 of 2

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SITE DATA

SITE ADDRESS:	6615 THE LAKES DR, RALEIGH, NC 27609
PARCEL PIN NUMBER:	1717000300
PREVIOUS RALEIGH CASES:	MASTER PLAN CASE #MP-4-16; REZONING CASE #Z-33-16; PRELIMINARY SUBDIVISION CASE #SUB-0050-2019
LOTS WITHIN PRELIMINARY SUBDIVISION:	LOT 1, LOT 2, LOT 3
SITE AREA:	23.07 AC (LOT 1=12.46 AC; LOT 2=4.12 AC; LOT 3=6.49 AC)
EXISTING ZONING:	PLANNED DEVELOPMENT
OVERLAY DISTRICT:	NONE APPLICABLE
WATERSHED:	CRAFTREE CREEK
FLOODPLAIN/FIRM PANEL:	NOT APPLICABLE
EXISTING USE:	VACANT; RESIDENTIAL CLUBHOUSE
PROPOSED USE:	APARTMENT; PUBLIC PARK
IMPERVIOUS AREA FOR LOTS 1 & 2	EXISTING IMPERVIOUS: 2.49 AC PROPOSED IMPERVIOUS: 12.92 AC
BLOCK PERIMETER:	PER MP-4-16 SECTION 8 MODIFICATIONS BLOCK PERIMETER STANDARDS SHALL BE SATISFIED BASED UPON THE EXISTING AND PROPOSED PUBLIC STREET NETWORK.

PARKING + BUILD-TO DATA

PROPOSED APARTMENT UNIT MIX:		SUBDISTRICT B/LOT 1: BUILDING 1,2,3 1 BEDROOM: 100 UNITS 2 BEDROOM: 148 UNITS 3 BEDROOM: 31 UNITS TOTAL UNITS: 279 UNITS	SUBDISTRICT D/LOT 2: BUILDING 4 1 BEDROOM: 41 UNITS 2 BEDROOM: 41 UNITS 3 BEDROOM: 8 UNITS TOTAL UNITS: 90 UNITS
PARKING DATA:	VEHICLE PARKING	SUBDISTRICT B/LOT 1: BUILDING 1,2,3 REQUIRED: 464 SPACES RESIDENTIAL: 489 SPACES + 28 GUEST SPACES=517 SPACES 15% ALLOWABLE REDUCTION=77 SPACES CLUBHOUSE: 24 TOTAL SPACES 35 SPACES (2,500 SF BUILDING/500 SF + 20,000 SF OUTDOOR USE AREA/1,000 SF) ALLOWABLE REDUCTION OF 33% = 11 SPACES (190 SPACES/ 572 SPACES) PROVIDED: 473 SPACES SUBDISTRICT D/LOT 1: BUILDING 4 REQUIRED: 133 SPACES RESIDENTIAL: 133 TOTAL SPACES 147 SPACES + 9 GUEST SPACES=156 SPACES 15% ALLOWABLE REDUCTION=133 SPACES PROVIDED: 133 SPACES	
		SUBDISTRICT B/LOT 1: BUILDING 1,2,3 REQUIRED: 9 TOTAL ACCESSIBLE SPACES; 2 VAN SPACES PROVIDED: 10 TOTAL ACCESSIBLE SPACES; 5 VAN SPACES	
	BIKE PARKING	SUBDISTRICT B/LOT 1: BUILDING 1,2,3 REQUIRED: 14 SHORT-TERM SPACES (0 LONG TERM) PROVIDED: 16 RACKS (SPACES)	
	BUILDING + PARKING SETBACK:	REQUIRED: 0'/100' (25%) SANDY FORKS: 121 LF (482 LF TOTAL FRONTAGE) STREET "A" NORTH: 280 LF (1,119 LF TOTAL FRONTAGE) STREET "A" SOUTH: 119 LF (474 LF TOTAL FRONTAGE) PROVIDED: 187 LF SANDY FORKS: 780 LF STREET "A" NORTH: 208 LF STREET "A" SOUTH: PARKING SETBACK: STREET: 10' SIDE LOT LINE: 3' REAR LOT LINE: 3'	
	PARKING SETBACK:	SUBDISTRICT D/LOT 3: BUILDING 4 REQUIRED: 5 TOTAL ACCESSIBLE SPACES; 1 VAN SPACES PROVIDED: 5 TOTAL ACCESSIBLE SPACES; 1 VAN SPACES SUBDISTRICT D/LOT 2: BUILDING 4 REQUIRED: 5 SHORT-TERM SPACES (0 LONG TERM) PROVIDED: 8 RACKS (SPACES)	



N.T.S.



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

SHEET INDEX

C0.00	PROJECT NOTES
C1.00	EXISTING CONDITIONS
C1.01	DEMOLITION PLAN
C2.00	OVERALL SITE PLAN
C2.01	DETAILED SITE PLAN - SUBDISTRICT "B"
C2.02	DETAILED SITE PLAN - SUBDISTRICT "D"
C3.00	OVERALL GRADING AND STORM DRAINAGE PLAN
C3.01	DETAILED GRADING AND STORM DRAINAGE PLAN - SUBDISTRICT "B"
C3.02	DETAILED GRADING AND STORM DRAINAGE PLAN - SUBDISTRICT "D"
C3.03	AVERAGE GRADE PLANE CALCULATIONS
C4.00	OVERALL UTILITY PLAN
C4.01	DETAILED UTILITY PLAN - SUBDISTRICT "B"
C4.02	DETAILED UTILITY PLAN - SUBDISTRICT "D"
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C8.01	SITE DETAILS
C8.02	WATER DETAILS
C8.03	WATER DETAILS
C8.04	STORM DRAINAGE DETAILS
C8.05	SEWER DETAILS
L5.00	LANDSCAPE PLAN
L5.01	LANDSCAPE PLAN
L8.00	TREE CONSERVATION PLAN
A-21	BUILDING 1 ELEVATIONS
A-22	BUILDING 2 ELEVATIONS
A-23	BUILDING 3 ELEVATIONS
A-24	BUILDING 4 ELEVATIONS
A-25	BUILDING 5-10 & CLUBHOUSE - ELEVATIONS
A-26	BUILDINGS GARAGE & AUXILLARY - ELEVATIONS

CUMULATIVE DEVELOPMENT TRACKING TABLE

	SUBDISTRICT A (EXISTING)	SUBDISTRICT B (EX. & LOT 1)	SUBDISTRICT C (LOT 3: PARK)	SUBDISTRICT D (LOT 2 & 4)	SUBDISTRICT E (LOT 5)	TOTAL
ACREAGE	29.69 AC	18.27 AC	6.49 AC	11.03 AC	5.17 AC	70.65 AC
USE (MAXIMUM ALLOWABLE PER MP-4-16):						
RESIDENTIAL	600 UNITS	350 UNITS	0 UNITS	450 UNITS	100 UNITS	1,500 UNITS
NON-RESIDENTIAL	7,000 SF	7,000	7,000 SF	7,000 SF	7,000 SF	35,000 SF
EXISTING USES						
RESIDENTIAL	491 UNITS	108 UNITS	0 UNITS	0 UNITS	0 UNITS	600 UNITS
PROPOSED USES						
RESIDENTIAL	0 UNITS (EX.)	279 UNITS (EX.)	0 UNITS	90 UNITS	0 UNITS	600 UNITS
NON-RESIDENTIAL	+/- 4,250 SF*	0 SF*	0 SF	0 SF	0 SF	+/- 4,700 SF
TOTAL UNITS (PROPOSED & EXISTING)	491 UNITS	387 UNITS *	0 UNITS	90 UNITS	0 UNITS	968 UNITS

* EXISTING CLUBHOUSE CURRENTLY LOCATED WITHIN SUBDISTRICT 'B' IS TO BE RELOCATED TO SUBDISTRICT 'A' UNDER CITY OF RALEIGH CASE NO. ASR-0003-2019.

* PER MASTER PLAN CASE #MP-4-16 INTENSITIES CAN BE TRANSFERRED BETWEEN SUBDISTRICTS.

NOTES

- THE MINIMUM CORNER CLEARANCE FOR A DRIVEWAY FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCR OACH ON THIS MINIMUM CORNER CLEARANCE. RSDM SECTION 6.5.2.D.
- WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

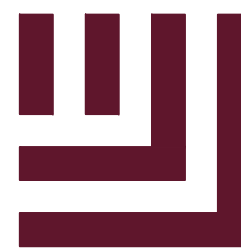
ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409 and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for Inspection, Install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



McADAMS

The John R. McAdams Company, Inc.
One Glenwood Avenue
Suite 201
Raleigh, NC 27603
phone 919. 823. 4300
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CONTACT

ANDY PADIAK
padiak@mcadamsco.com
PHONE: 919. 823. 4300

CLIENT

AVENTON COMPANIES
5420 WADE PARK BLVD. SUITE 320
RALEIGH, NORTH CAROLINA 27607



PROJECT DIRECTORY

DEVELOPER
AVENTON COMPANIES
5420 WADE PARK BLVD. SUITE 320
RALEIGH, NORTH CAROLINA 27607

LAND PLANNING, ENGINEER &
LANDSCAPE ARCHITECTURE
MCADAMS CO
ONE GLENWOOD AVE
RALEIGH, NORTH CAROLINA 27603

ARCHITECT
CLINE DESIGN ASSOCIATES
125 N HARRINGTON ST
RALEIGH, NORTH CAROLINA 27603

REVISION

NO. DATE
1

ADMINISTRATIVE SITE REVIEW FOR:

NORTH RIDGE APARTMENTS
RALEIGH, NORTH CAROLINA
PROJECT NUMBER: AVC-19000



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NORTH RIDGE APARTMENTS
ADMINISTRATIVE SITE PLAN
RALEIGH, NORTH CAROLINA, 27609

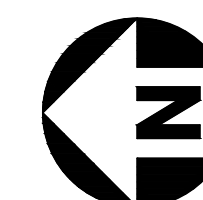
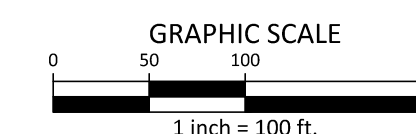
LEGEND

- | | |
|--|-------------------------|
|  | EXISTING IRON PIPE |
|  | IRON PIPE SET |
|  | CALCULATED POINT |
|  | BORE HOLE |
|  | SANITARY SEWER MANHOLE |
|  | SANITARY SEWER CLEANOUT |
|  | WATER VALVE |
|  | WATER METER |
|  | FIRE HYDRANT |
|  | TELEPHONE PEDESTAL |
|  | TELEPHONE MANHOLE |
|  | ELECTRIC BOX |
|  | LIGHT POLE |
|  | POWER POLE |
|  | GUY WIRE |
|  | CURB INLET |
|  | STORM DRAINAGE MANHOLE |
|  | YARD INLET |
|  | FIBER OPTIC MARKER |
|  | FIBER OPTIC VAULT |
|  | SIGN |
|  | BOLLARD |
|  SD  | STORM DRAIN PIPE |
|  OU  | OVERHEAD UTILITY LINES |
|  W  | WATER LINE |
|  SS  | SANITARY SEWER LINE |
|  T  | TELEPHONE LINE |
|  G  | GAS LINE |
|  UE  | UNDERGROUND ELECTRIC |
|  UT  | UNDERGROUND TELEPHONE |
|  X  | FENCE LINE |
|  | TREE LINE |
|  | GUARDRAIL |

TREE LEGEND

- | | |
|-------|----------------|
| 10 BE | BEECH |
| 6 B | BIRCH |
| 10 C | CEDAR |
| 6 CH | CHERRY |
| 8 CM | CRAPE MYRTLE |
| 4 CP | CYPRESS |
| 4 DG | DOGWOOD |
| 10 E | ELM |
| 12 G | SWEET GUM |
| 16 H | HICKORY |
| 4 HO | HOLLY |
| 10 MG | MAGNOLIA |
| 15 M | MAPLE |
| 3 JM | JAPANESE MAPLE |
| 24 WO | WHITE OAK |
| 3 O | OAK |
| 3 PEC | PEACH |
| 7 PER | PEAR |
| 18 P | PINE |

50' NEUSE RIPARIAN I
(MEASURED 50' FROM
OF BANK, EACH SIDE)



REVISIONS

NO.	DATE
-----	------

PLAN INFORMATION

PROJECT NO.	AVC-19000
FILENAME	AVC19000 - XC1
CHECKED BY	LJV
DRAWN BY	JLB
SCALE	1"=100'
DATE	11. 25. 2019

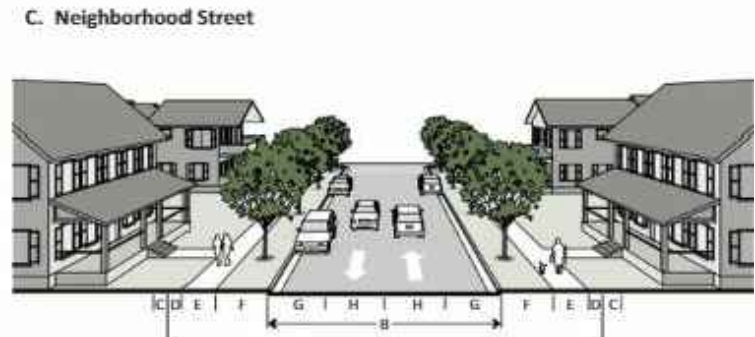
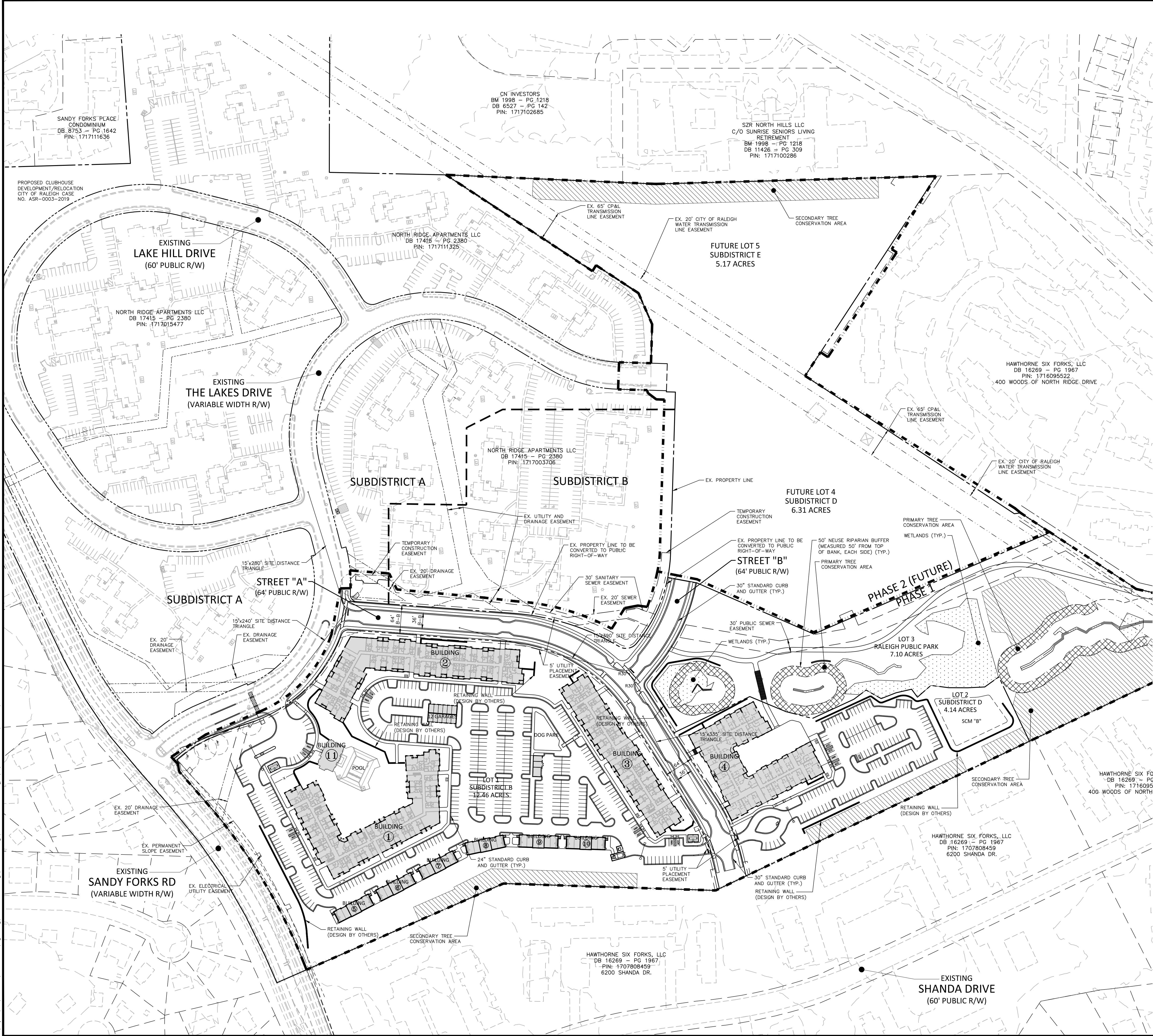
SHEET

EXISTING CONDITIONS

C1.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

\\Projects\AVC\19000\04-Production\Engineering\Construction Drawings\Current Drawings\ASR-XC1.dwg, 11/26/2019 11:21:14 AM, Balderson, Jonathan

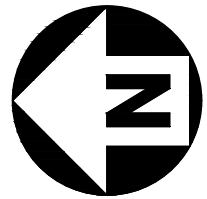
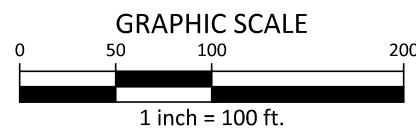


Width	
A. Right of way width	64'
B. Back of curb to back of curb	30'
Streetcrops	
C. Utility placement, easement (min)	5'
D. Maintenance strip (min)	2'
E. Sidewalk (min)	6'
F. Planting area (min)	6'
Travelway	
G. Parallel parking lane	8'
H. Travel lane	10'
General	
Walkway type	Sidewalk
Planting type	Tree lawn
Tree spacing	40' o.c. avg.
Parking type	Parallel

STREET "A" & "B" TYPICAL SECTION

SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA
- EXISTING WETLANDS



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REVISIONS

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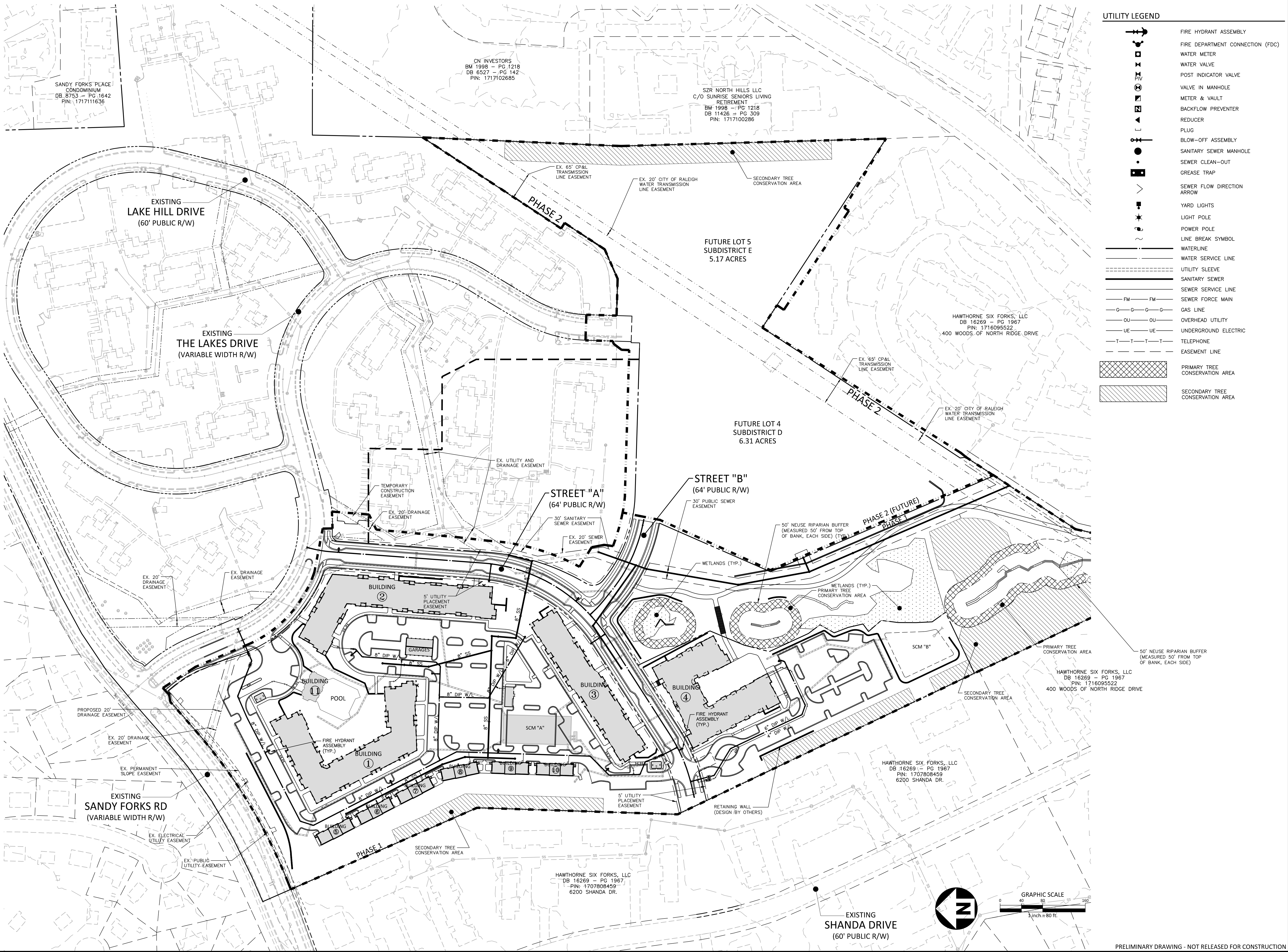
PROJECT NO. AVC-19000
FILENAME AVC19000-ASR-OAS1
CHECKED BY LJV
DRAWN BY JLB
SCALE 1"=100'
DATE 11.25.2019

SHEET

OVERALL SUBDIVISION
PLAN

C2.00

X:\Projects\AVC\AVC-19000\04-Production\Drawings\Construction Drawings\AVC19000-04R-001.dwg, 11/26/2019 12:20:07 PM, Balderson, Jonathan



UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- LINE BREAK SYMBOL
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE
- PRIMARY TREE CONSERVATION AREA
- SECONDARY TREE CONSERVATION AREA

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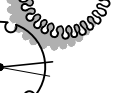
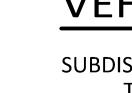
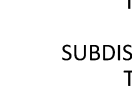
REVISIONS	
NO.	DATE

PLAN INFORMATION	
PROJECT NO.	AVC-19000
FILENAME	AVC19000-04U1
CHECKED BY	LJV
DRAWN BY	JLB
SCALE	1"=80'
DATE	11. 25. 2019

OVERALL UTILITY PLAN
C4.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

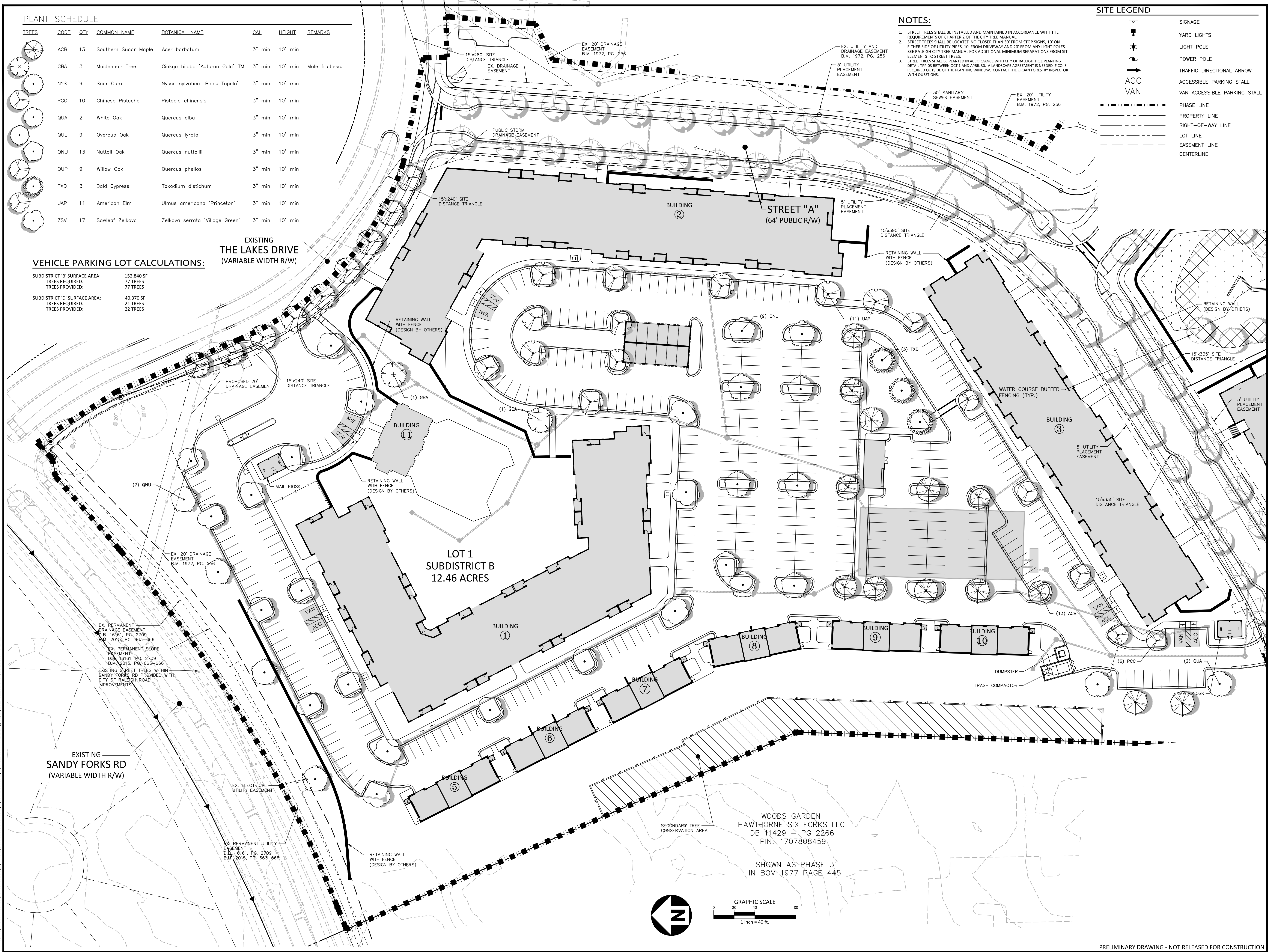
PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT	REMARKS
	ACB	13	Southern Sugar Maple	Acer barbatum	3" min	10' min	
	GBA	3	Maidenhair Tree	Ginkgo biloba 'Autumn Gold' TM	3" min	10' min	Male fruitless.
	NYS	9	Sour Gum	Nyssa sylvatica 'Black Tupelo'	3" min	10' min	
	PCC	10	Chinese Pistache	Pistacia chinensis	3" min	10' min	
	QUA	2	White Oak	Quercus alba	3" min	10' min	
	QUL	9	Overcup Oak	Quercus lyrata	3" min	10' min	
	QNU	13	Nuttall Oak	Quercus nuttallii	3" min	10' min	
	QUP	9	Willow Oak	Quercus phellos	3" min	10' min	
	TXD	3	Bald Cypress	Taxodium distichum	3" min	10' min	
	UAP	11	American Elm	Ulmus americana 'Princeton'	3" min	10' min	
	ZSV	17	Sawleaf Zelkova	Zelkova serrata 'Village Green'	3" min	10' min	

VEHICLE PARKING LOT CALCULATIONS:

SUBDISTRICT 'B' SURFACE AREA:	152,840 SF
TREES REQUIRED:	77 TREES
TREES PROVIDED:	77 TREES
SUBDISTRICT 'D' SURFACE AREA:	40,370 SF
TREES REQUIRED:	21 TREES
TREES PROVIDED:	22 TREES

EXISTING
THE LAKES DRIVE
(VARIABLE WIDTH R/W)



McADAMS
The John R. McAdams Company, Inc.
One Glenwood Avenue
Suite 201
Raleigh, NC 27603
phone 919. 823. 4300
fax 919. 361. 2269
license number: C-0293, C-187
www.mcadamsco.com

CLIENT
AVENTON COMPANIES
5420 WADE PARK BOULEVARD, SUITE 320
RALEIGH, NORTH CAROLINA, 27607

**NORTH RIDGE APARTMENTS
ADMINISTRATIVE SITE PLAN**
RALEIGH, NORTH CAROLINA, 27609

REVISIONS

NO.	DATE
-----	------

PLAN INFORMATION

PROJECT NO.	AVC-19000
FILENAME	AVC19000-LS1
CHECKED BY	
DRAWN BY	1"=40'
SCALE	
DATE	11.25.2019
SHEET	

LANDSCAPE PLAN

L5.00



The John R. McAdams Company, Inc.
One Glenwood Avenue
Suite 201
Raleigh, NC 27603
phone 919. 823. 4300
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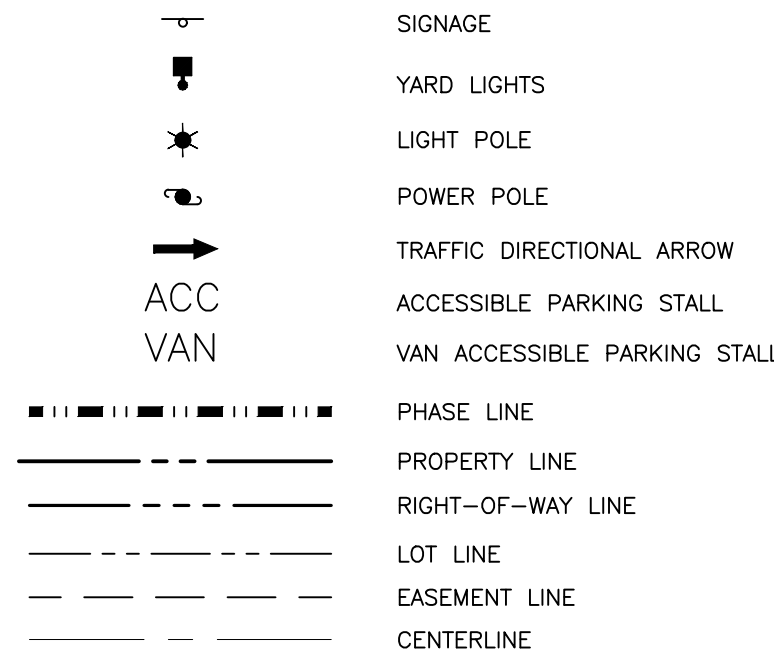
CLIENT

AVENTON COMPANIES
5420 WADE PARK BOULEVARD, SUITE 320
RALEIGH, NORTH CAROLINA, 27607

NORTH RIDGE APARTMENTS
ADMINISTRATIVE SITE PLAN
RALEIGH, NORTH CAROLINA, 27609

WOODS GARDEN
ASSOCIATES-LLC, ETAL
DB 11429 - PG 2261
PIN: 1716095522
HAWTHORNE SIX FORKS, LLC
DB 16269 - PG 1967
PIN: 1716095522
400 WOODS OF NORTH RIDGE DRIVE
SHOWN AS PHASE 3
IN BOM 1977 PAGE 445

SITE LEGEND



REVISIONS

NO.	DATE
-----	------

PLAN INFORMATION

PROJECT NO.	AVC-19000
FILENAME	AVC19000-LS
CHECKED BY	
DRAWN BY	
SCALE	1"=40'
DATE	11. 25. 2019

SHEET

LANDSCAPE PLAN

L5.01

FUTURE LOT 4
SUBDISTRICT D
6.31 ACRES

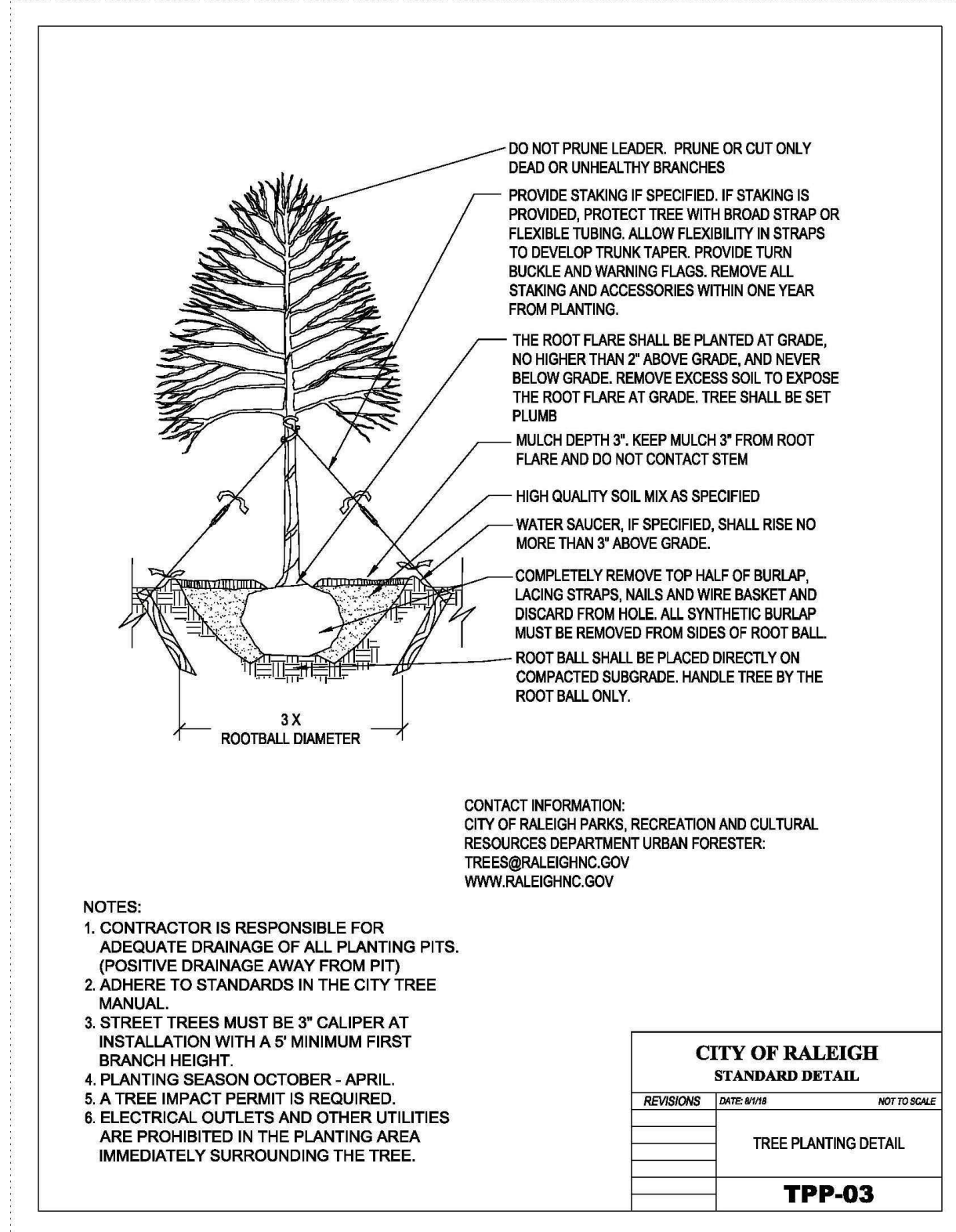
LOT 3
RALEIGH PUBLIC PARK
7.10 ACRES

LOT 2
SUBDISTRICT D
4.14 ACRES

STREET "A"
(64' PUBLIC R/W)

PLANT SCHEDULE

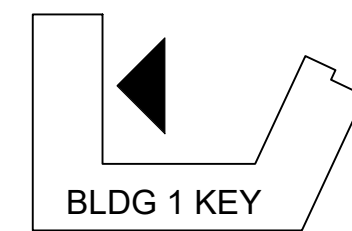
TREES	CODE	COMMON NAME	BOTANICAL NAME
	ACB	Southern Sugar Maple	<i>Acer barbatum</i>
	NYS2	Sour Gum	<i>Nyssa sylvatica</i>
	NYS	Sour Gum	<i>Nyssa sylvatica</i> 'Black Tupelo'
	QUL	Overcup Oak	<i>Quercus lyrata</i>
	QNU	Nuttall Oak	<i>Quercus nuttallii</i>
	QUP	Willow Oak	<i>Quercus phellos</i>
	TXD	Bald Cypress	<i>Taxodium distichum</i>
	UAP	American Elm	<i>Ulmus americana</i> 'Princeton'
SHRUBS	CODE	COMMON NAME	BOTANICAL NAME
	MYC	Wax Myrtle	<i>Myrica cerifera</i>
	RHAR	Fragrant Sumac	<i>Rhus aromatica</i>



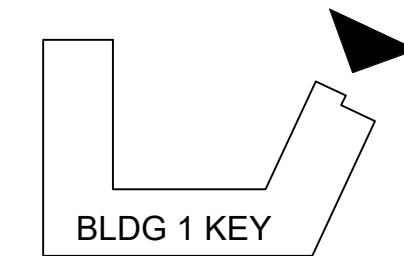
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



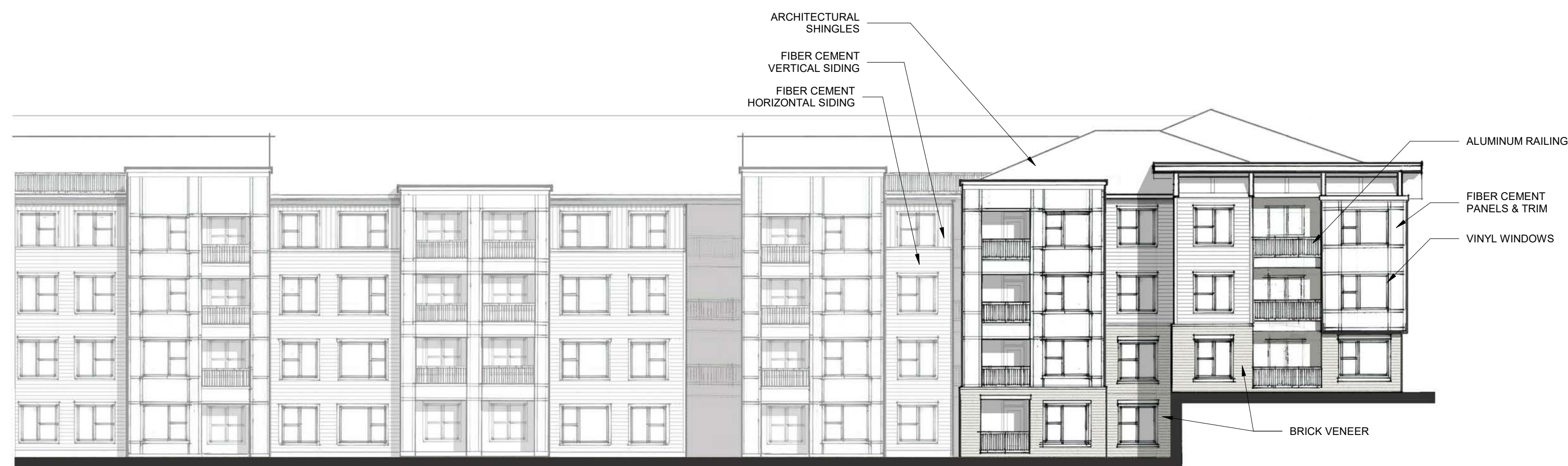
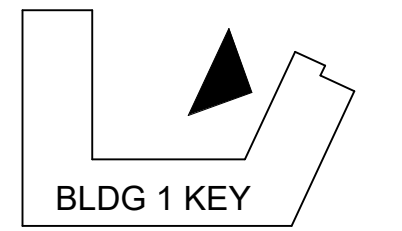
COURTYARD WEST ELEVATION



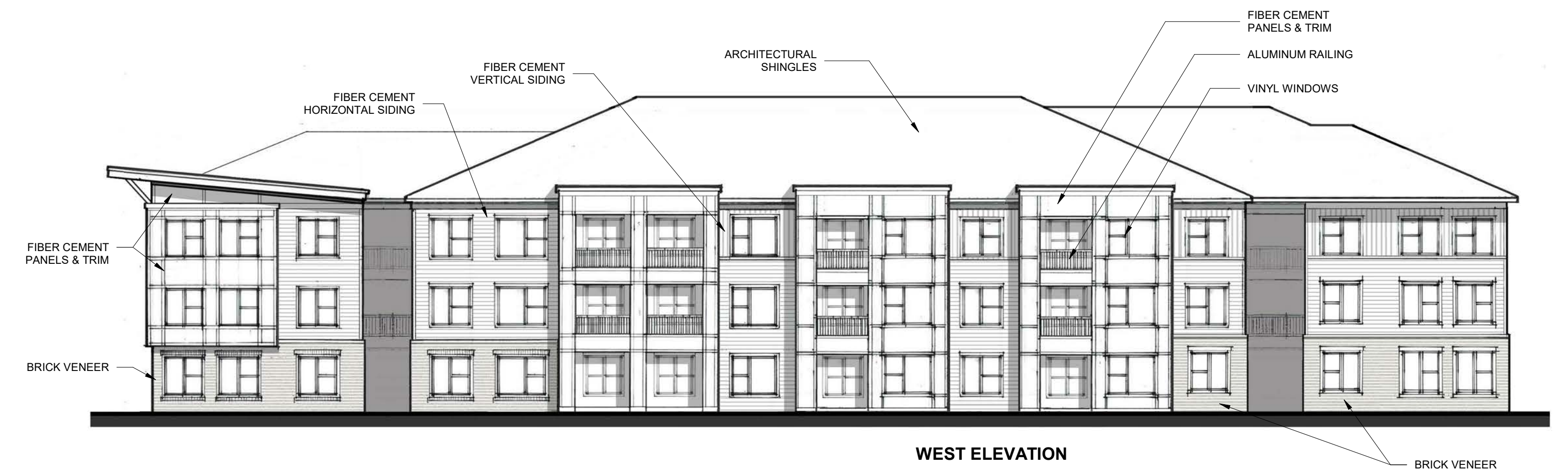
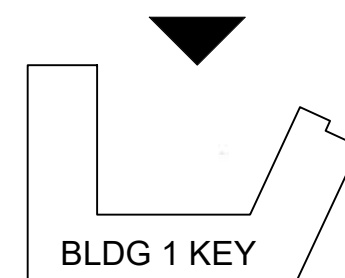
NORTH (END) ELEVATION



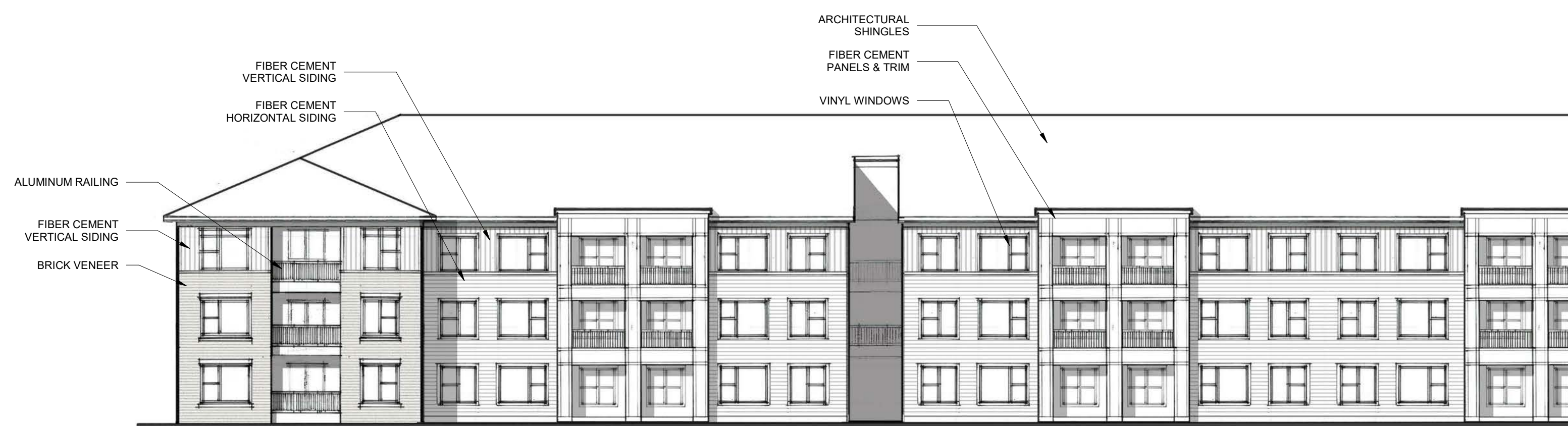
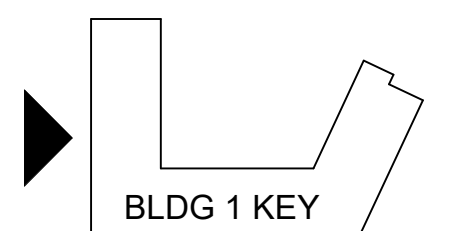
COURTYARD EAST ELEVATION



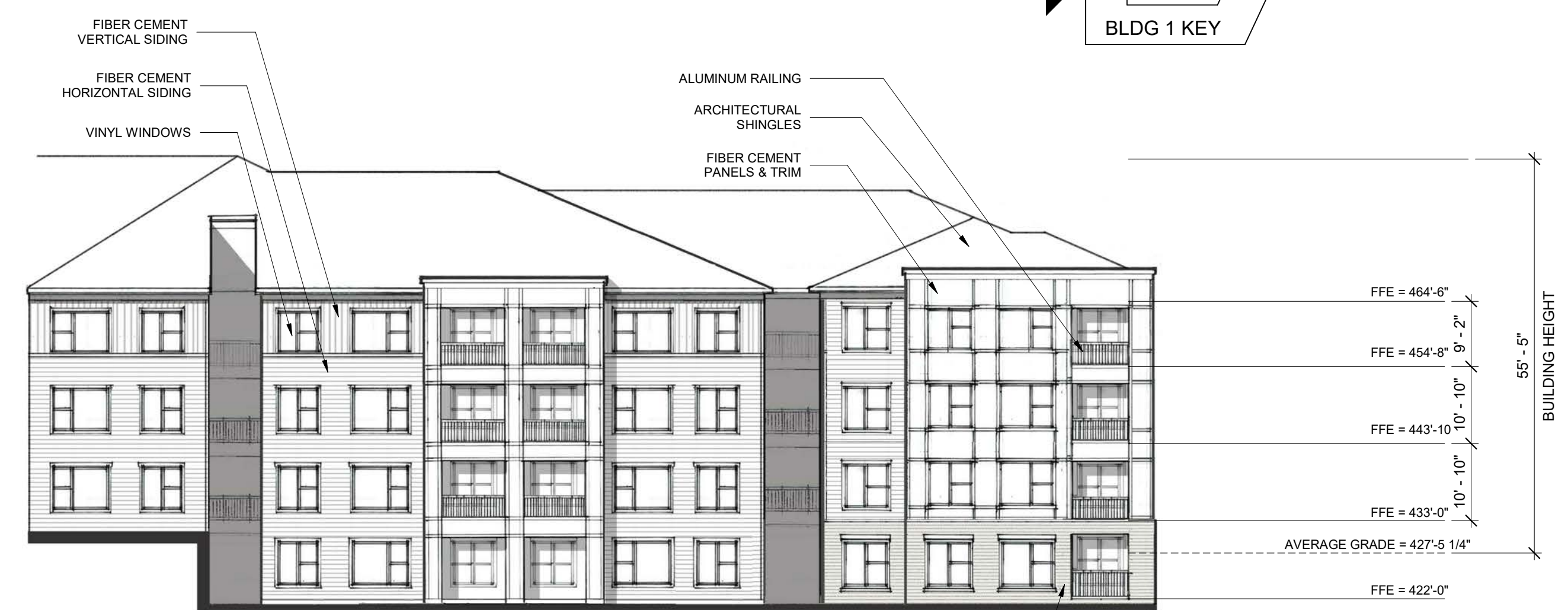
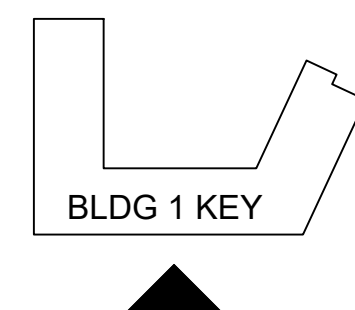
NORTH ELEVATION



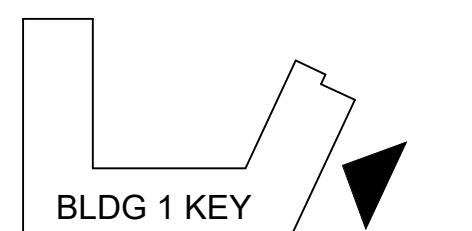
WEST ELEVATION



SOUTH ELEVATION

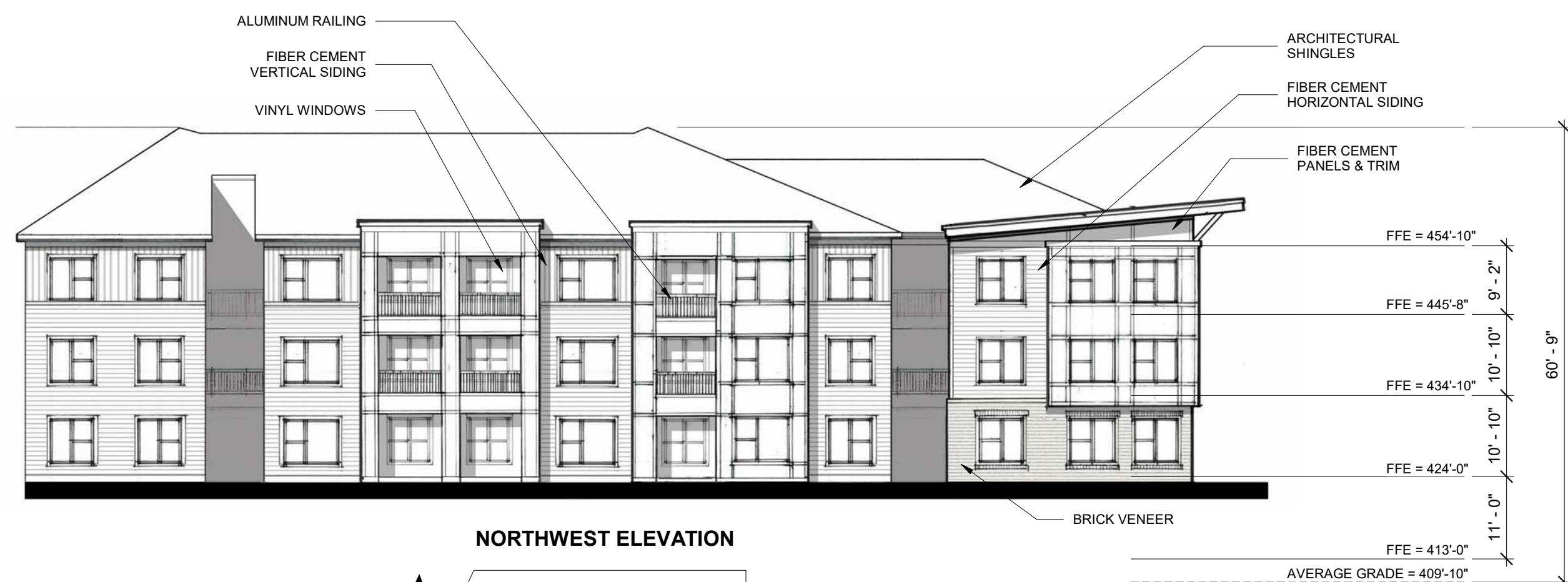
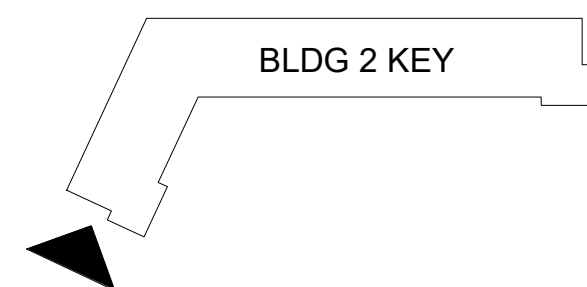


EAST ELEVATION

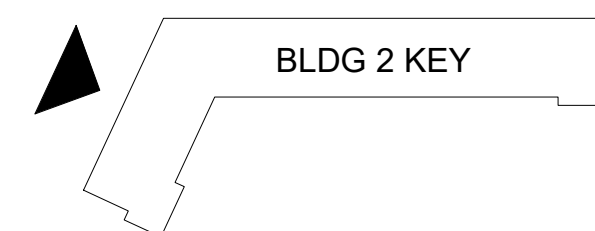




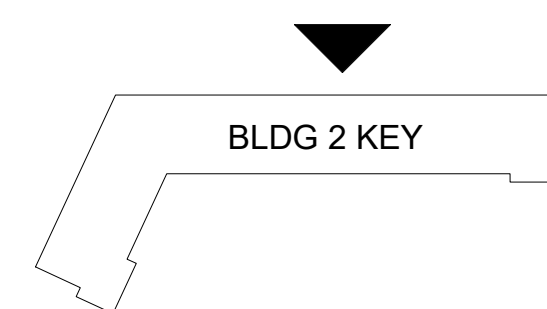
WEST END ELEVATION



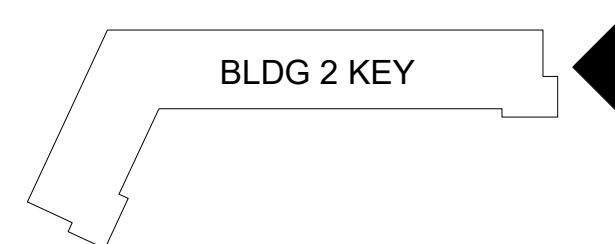
NORTHWEST ELEVATION



NORTH ELEVATION



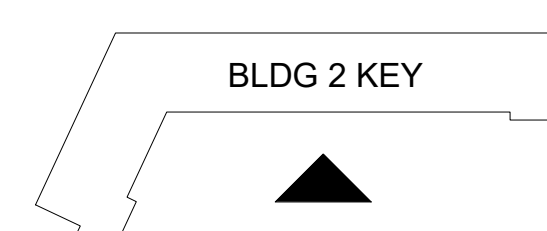
EAST END ELEVATION

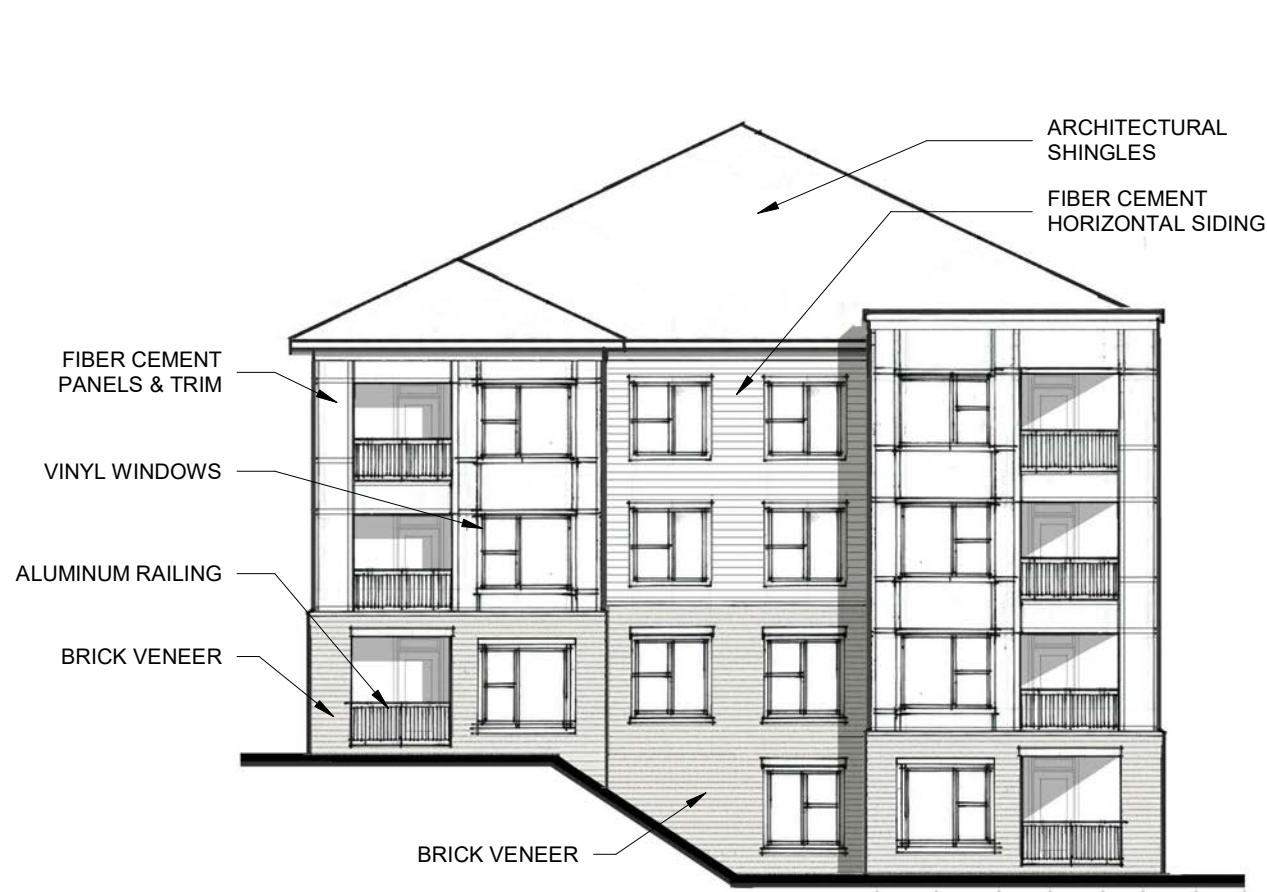


SOUTHWEST ELEVATION



SOUTH ELEVATION

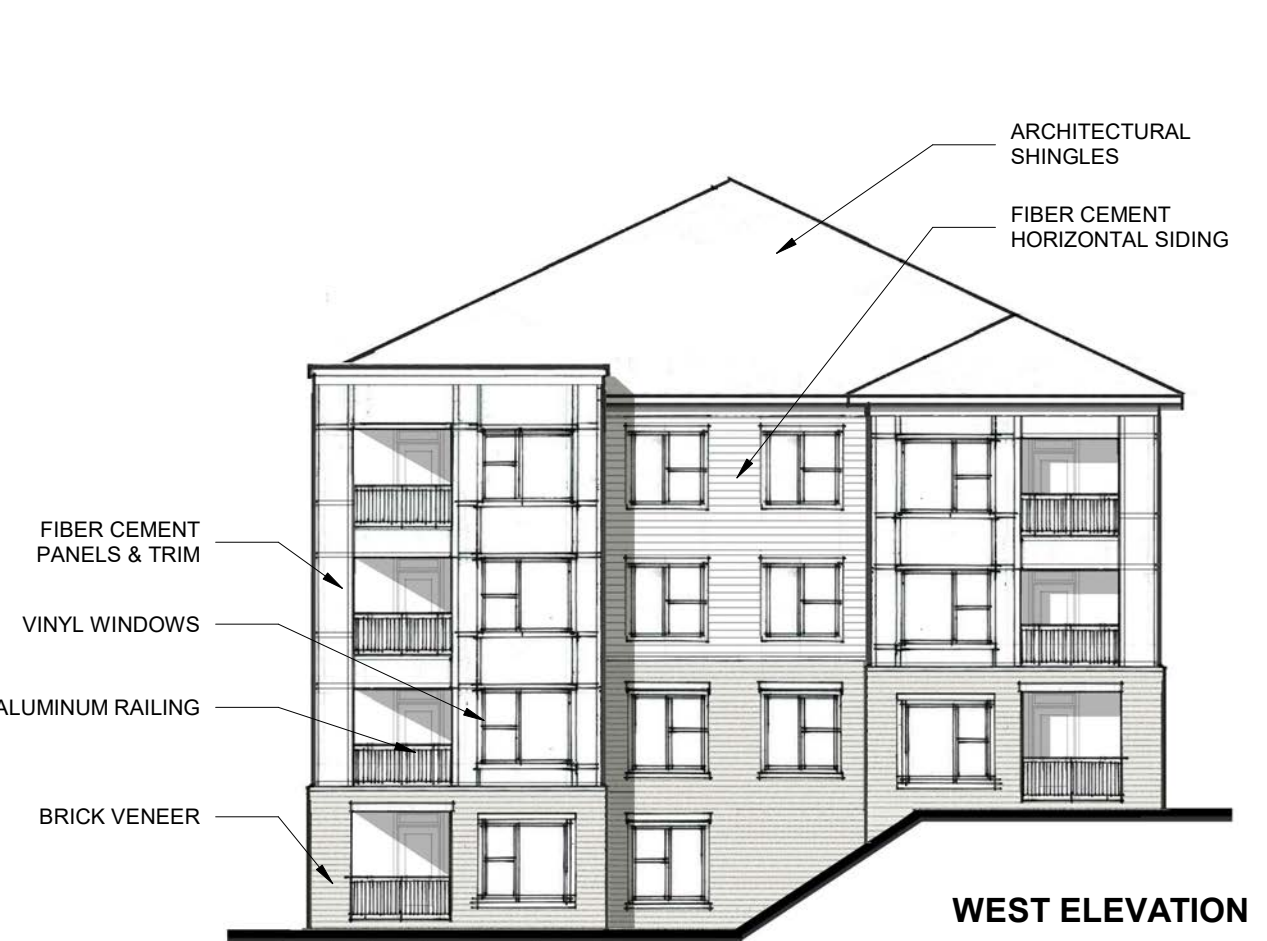
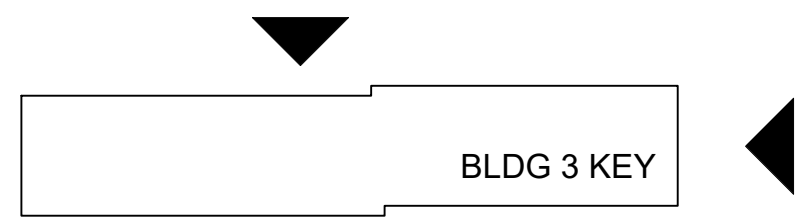




EAST ELEVATION



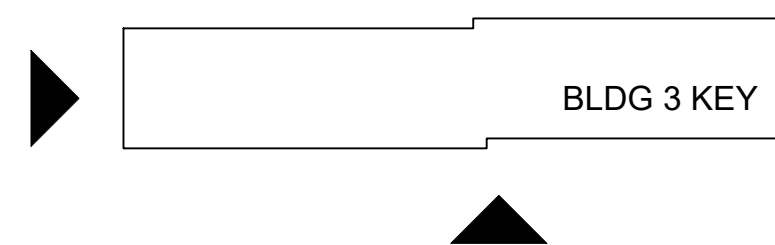
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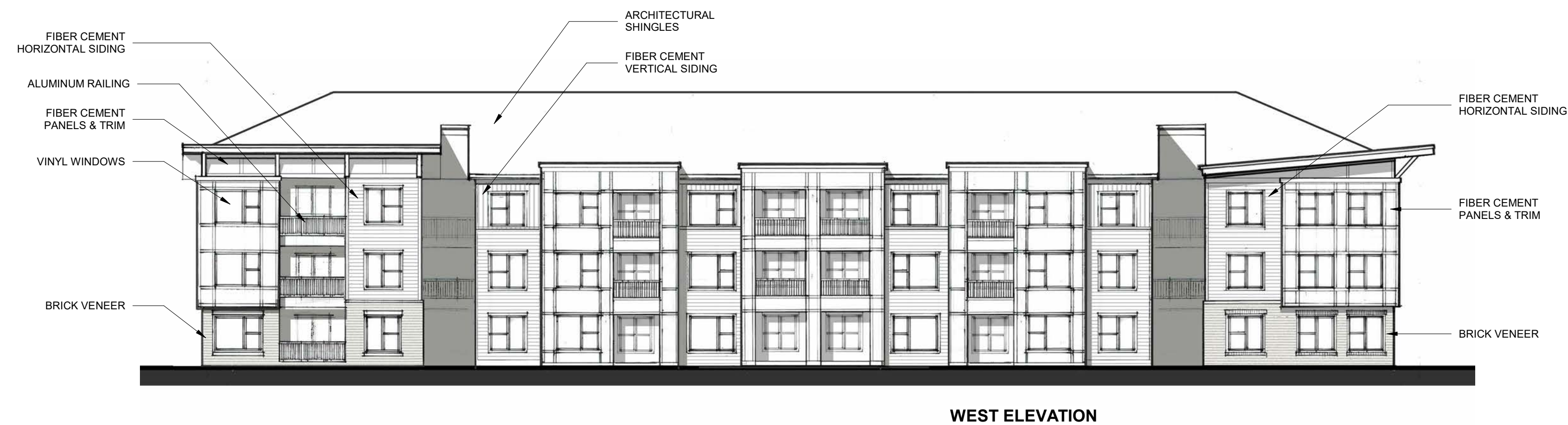


WEST ELEVATION

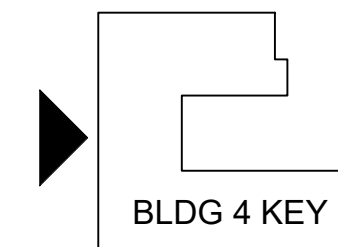


SOUTH ELEVATION

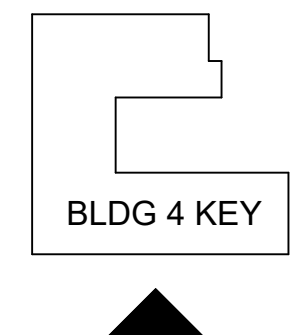




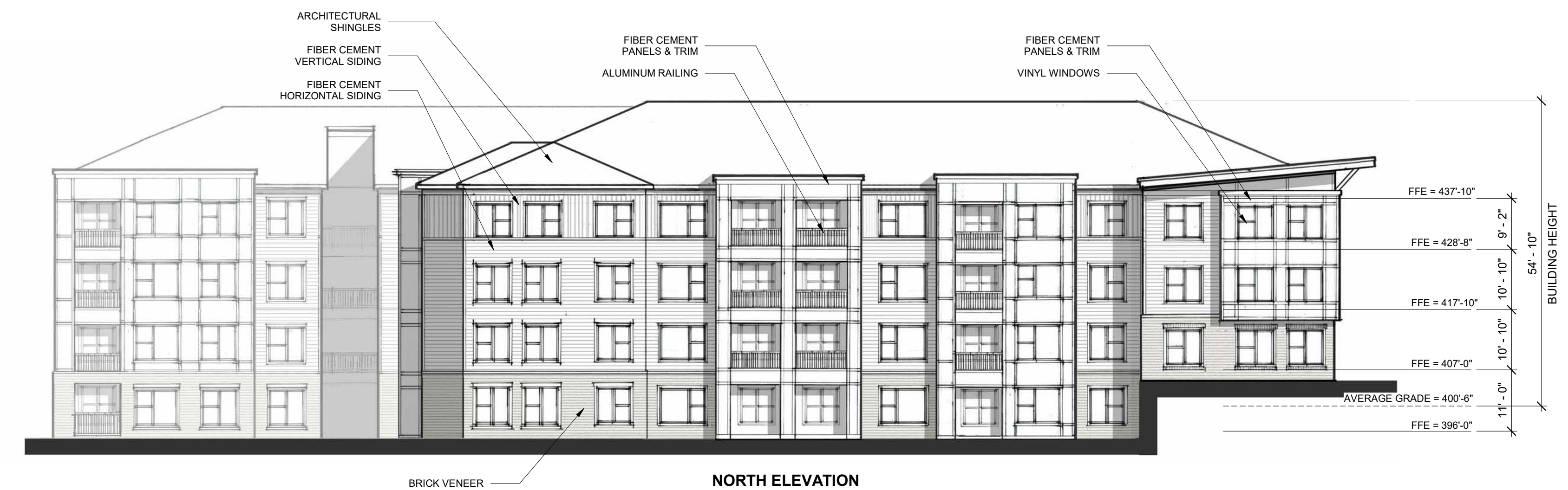
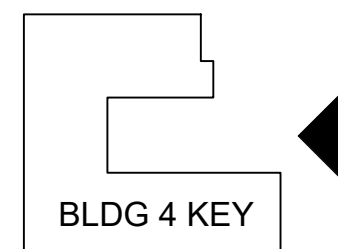
WEST ELEVATION



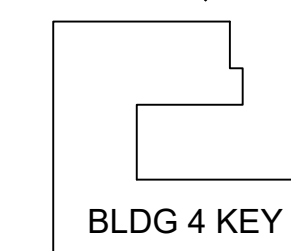
SOUTH ELEVATION

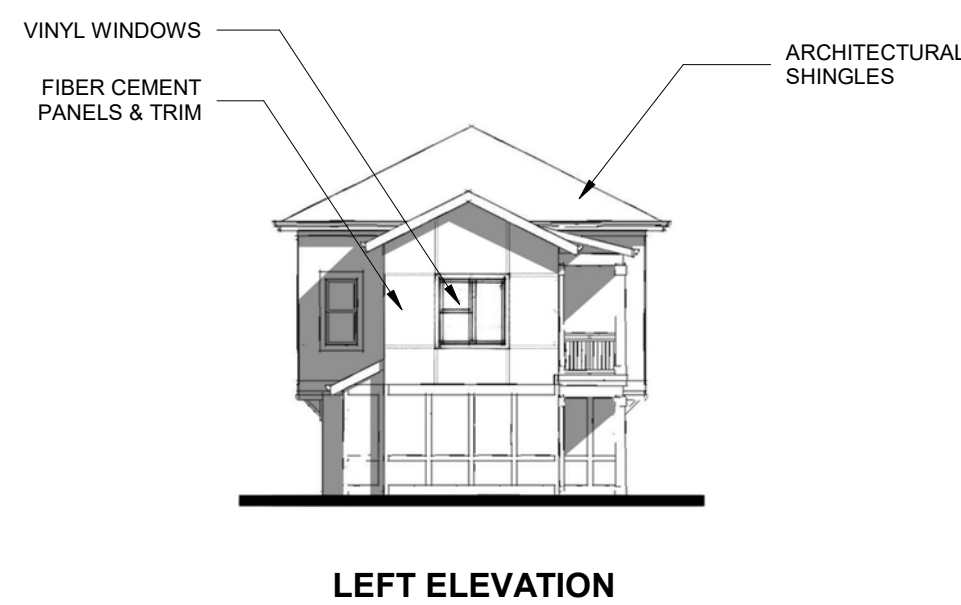
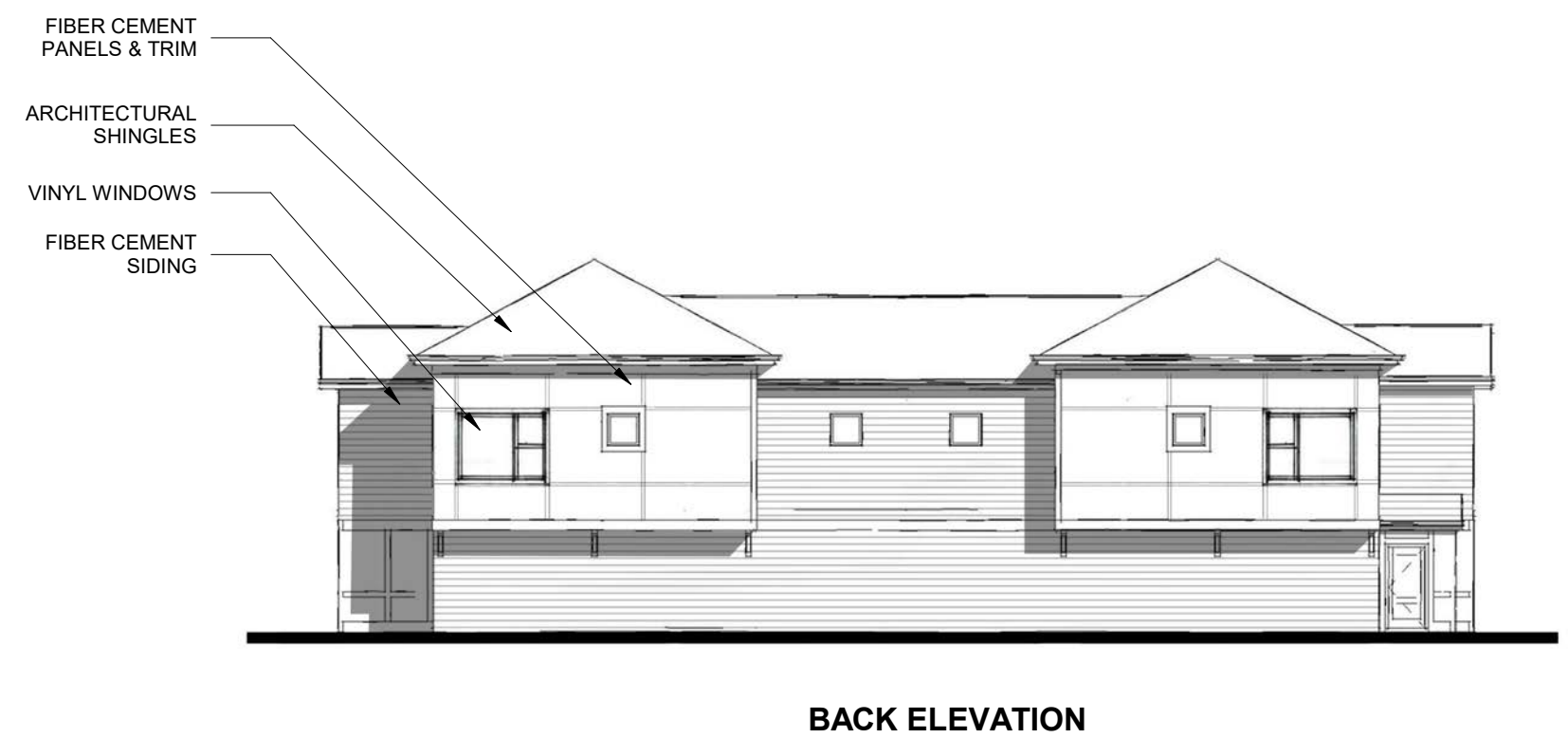
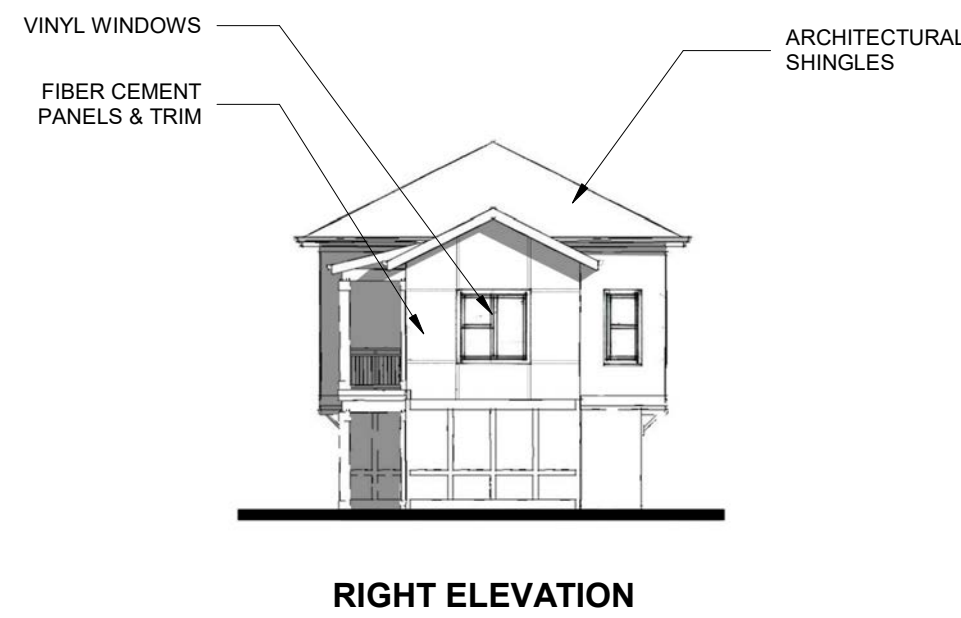
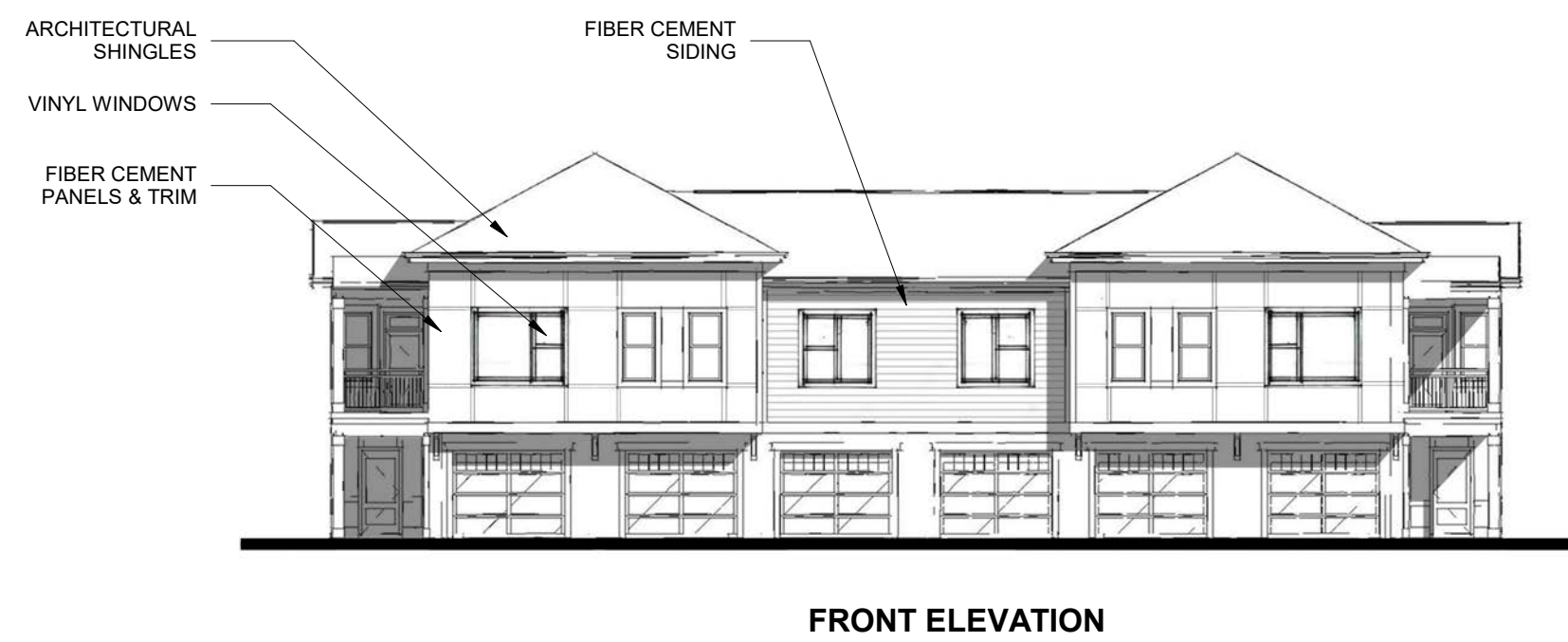


EAST ELEVATION



NORTH ELEVATION

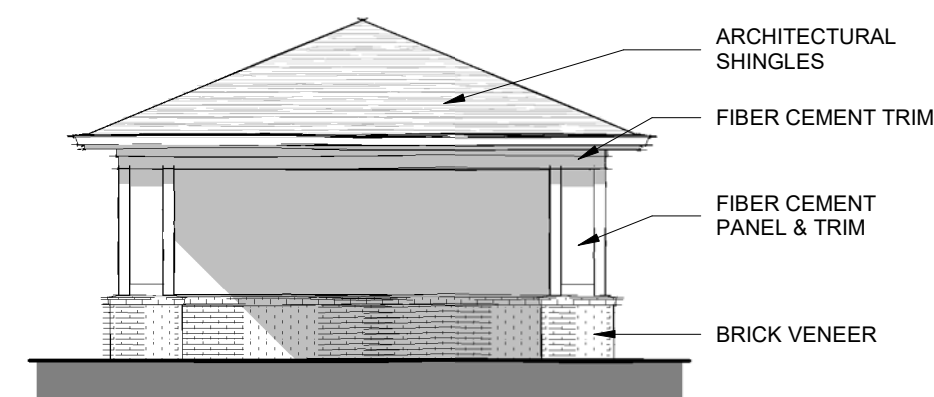




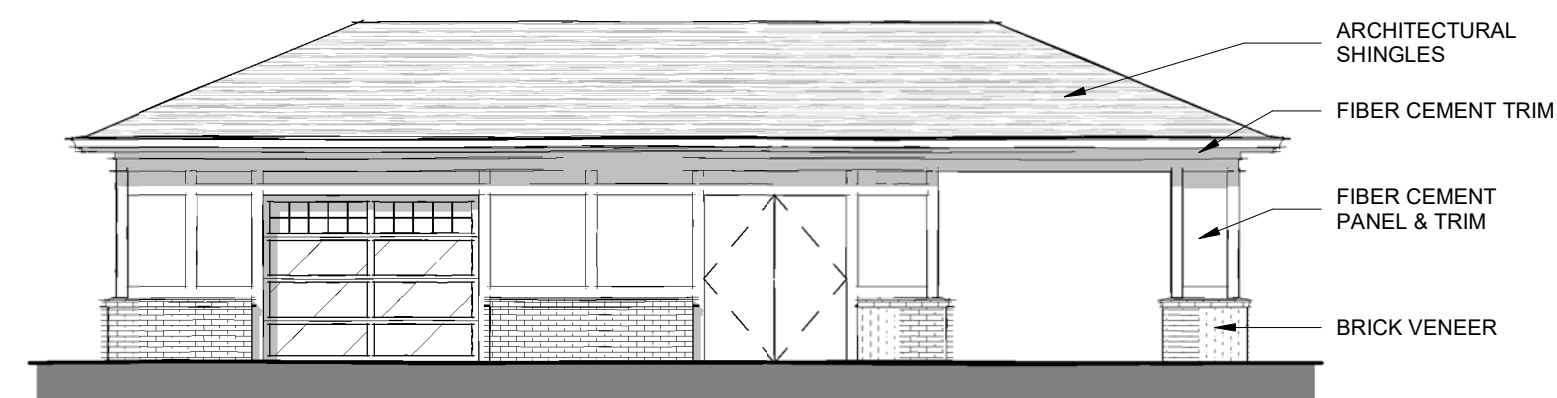
BUILDINGS 5-10 - CARRIAGE HOUSE



BUILDING 11 - CLUBHOUSE

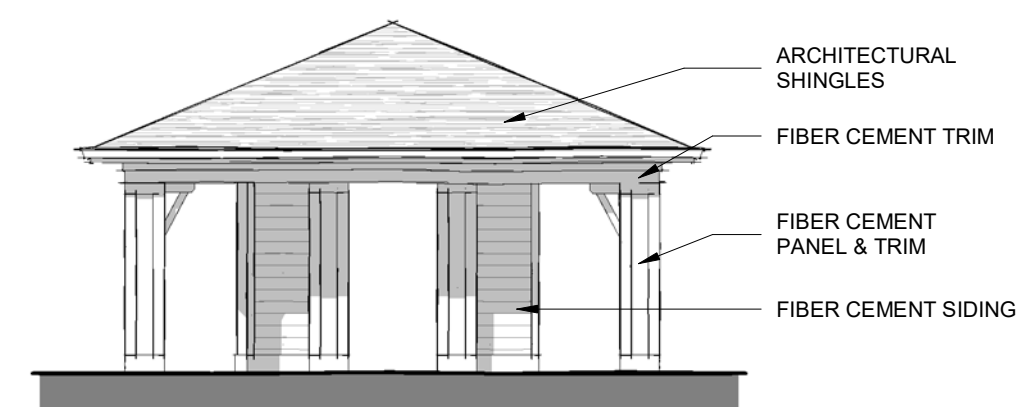


SIDE ELEVATION



FRONT ELEVATION

MAINTENANCE BUILDING



TYPICAL SIDE ELEVATION



BACK ELEVATION

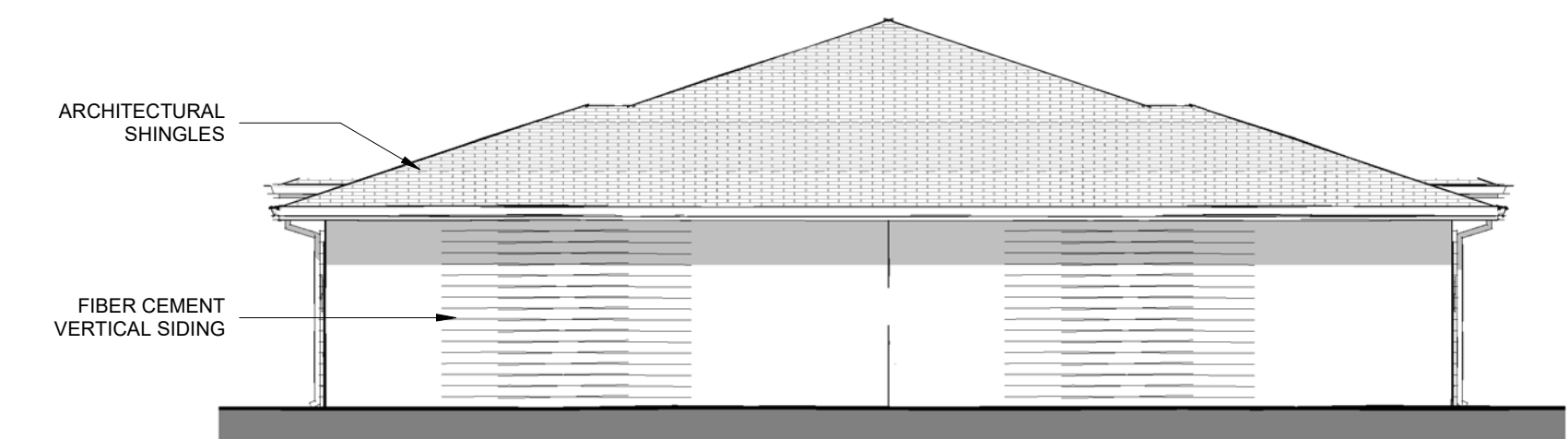


FRONT ELEVATION

MAIL KIOSK



RIGHT ELEVATION



LEFT ELEVATION



REAR ELEVATION



FRONT ELEVATION

GARAGE BUILDING