



Administrative Approval Action

Case File / Name: ASR-0100-2022
DSL C - F AND B

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 1.57. acre tract zoned PD is located on the southwest corner of the intersection of St Albans Drive and Hardimont Road Extension at 560 St Albans Drive.

REQUEST: A 5,614 square foot retail/restaurant building with an outdoor plaza area and associated infrastructure.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 31, 2023 by Mcadams.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. A discussion in detail is needed regarding the potential for a roundabout vs the signal as discussed in previous conversations. Staff is awaiting response to discuss further.

Engineering

2. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Public Utilities

3. construction of sewerline abandonment (per SPR-0051-2020) across lot 6 must be substantially complete

Stormwater

4. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
8. A 100-year floodplain analysis shall be submitted and approved by the Engineering Services Department prior to the issuance of any grading or site permit (UDO 9.3).
9. A design exception will need to be granted for the retaining wall in the drainage easement for the outfall pipe of the SCM per UDO 7.2.8.B.4.

Urban Forestry

10. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Public Utilities

1. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
2. CORSSE associated with sewerline abandonment (per SPR-0051-2020) across lot 6 must be abandoned by separate instrument

Stormwater

3. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with required buffer statement (Recorded Map Checklist).
4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

5. Any changes to recorded tree conservation areas as a result of proposed Greenway Easement and trail construction shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).



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☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Public Utilities

1. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Stormwater

2. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
4. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

Urban Forestry

5. A public infrastructure surety for 5 street trees along Hardimont Road and 5 street trees along St Albans Drive shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for
6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 5 street trees along Hardimont Road and 5 street trees along St Albans Drive.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Stormwater



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3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: May 3, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 05/03/2023
Development Services Dir/Designee

Staff Coordinator: Michael Walters

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SITE DATA

[illegible]

NOTES

1. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OR EDGE OF PAVEMENT INTERSECTING STREETS SHALL BE AT LEAST TWENTY FEET (20') FROM THE POINT OF TANGENCY OF THE RADIUS CURVE OR 20' FROM THE INTERSECTION OF THE RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. NO DRIVEWAYS OR PARKING SPACES SHALL ENCRUCH ON THIS MINIMUM CORNER CLEARANCE.
2. WITHIN THE AREA OF A DEFINED STREET TRANGLE, THERE SHALL BE NO SIGN OBSTRUCTING OR PARTLY OBSTRUCTING WALK, FENCE, SIGN, FOLIAGE, BERMING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.
3. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

RIGHT-OF-WAY OBSTRUCTION NOTES

- 1 STREET, LAKE, AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY WORK THAT REQUIRES THE RIGHT-OF-WAY OR CLOSING OF ANY STREET, LAKE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES.
- 2 A PERMIT REQUIRED WITH A TRAFFIC CONTROL AND PEDESTRIAN PLAN SHALL BE SUBMITTED TO seattlepedestrian@seattle.gov FOR REVIEW AND APPROVAL.
- 3 PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PUBLIC CONSTRUCTION MEETING WITH THE ENGINEERING DEPARTMENT'S COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE OBTAINED.
- 4 THE CITY OF SEATTLE REQUESTS AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NOCTURD ROAD WITH THE BUREAU'S JURISDICTION.
- 5 ALL TRAFFIC CONTROL, SIGNALING AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE STREET DESIGN OF THE INCORPORATED CITY OF SEATTLE FOR ROADWAY DESIGN. STREET LIGHTS SHALL BE REQUIRED TO BE ON DURING DRAWING HOURS, AND THE NIGHT SIGNAL MUST BE MOUNTED TO THE MOUNT.
- 6 ALL PUBLIC SIGNALS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE USUALLY VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DEVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PUBLIC SIGNALS AND THE CITY OF SEATTLE WILL BE RESPONSIBLE FOR THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE AMERICAN NATIONAL STANDARDS FOR ACCESSIBILITY (ANSI).
- 7 ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

SOLID WASTE INSPECTION STATEMENT:

1. THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
2. THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY PRIVATE SERVICES. THE CITY OF BIRMINGHAM SOLID WASTE SERVICES DEPARTMENT WILL NOT SERVICE THIS DESIGN.

LIMITS OF DISTURBANCE = 4,00 AC

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST
VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS,
SPECIFICATIONS AND DETAILS.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



McADAMS
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CLIENT

KANE REALTY CORPORATION
4321 LASSITER AT NORTH HILLS
SUITE 250
RALEIGH, NORTH CAROLINA 27609
PHONE: 919. 719. 3573



PROJECT DIRECTORY

REVISIONS

NO.	DATE	REVISION
1.	12.22.2022.	RESPONSE TO 1ST ASR COMMENTS
2.	02.27.2023.	RESPONSE TO 2ND ASR COMMENTS
3.	03.31.2023.	RESPONSE TO 3RD ASR COMMENT

ADMINISTRATIVE SITE
REVIEW FOR:

F&B
560 ST. ALBANS DRIVE, RALEIGH,
NORTH CAROLINA 27609
PROJECT NUMBER: KAN-19100

GRADING NOTES

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS, FINAL, BULK, 29CFR PART 1926, SUBPART "F" APPLY TO ALL EXCAVATIONS EXCLUDING TRENCHES. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
4. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
5. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH STORMWATER AND INDOOR CONTROL DEPARTMENT, THE ENGINEER AND A REPRESENTATIVE OF THE OWNER.
6. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
7. EXISTING UTILITIES AND STRUCTURES SHOWN BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
8. SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (V:H) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.

RETAINING WALL NOTES

1. THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL AT THE TOP OF THE WALL. THE CONTRACTOR IS RESPONSIBLE FOR INSURING RETAINING WALLS ARE NOT LOCATED IN ANY STREAM, RULFILL, AND THEIR CONSTRUCTION DOES NOT INTERFERE WITH ANY ADJACENT PROPERTIES OR WITH MATTER INCORPORATED IN THE DESIGN OF THE WALLS.
2. RETAINING WALLS ARE TO BE DESIGN BLAD PROJECTS BY THE CONTRACTOR IF SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND OBTAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.
3. RETAINING WALLS SHALL BE ASSUMED TO BE BACKFILLED WITH OFF-SITE BORROW MATERIAL OR PROCESSED FILL, UNLESS THE CONTRACTOR CAN PROVE TO THE OWNER WITH CORROBORATION FROM THE GEOTECHNICAL ENGINEER AND THE RETAINING WALL DESIGNER, THAT READY-AVAILABLE ON-SITE SOIL CAN BE USED.
4. THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS INDENTIFY FINISHED GRADE ELEVATIONS ONLY. THE EXTENT THAT THE RETAINING WALL WILL BE EXTENDED BELOW GRADE TO THE FOOTING OR BELOW GRADE TO THE TOP OF THE CAP BLOCK COURSE SHALL BE IDENTIFIED ON THE RETAINING WALL CONSTRUCTION DRAWINGS.
5. ALL RETAINING WALLS OVER 30' HIGH SHALL HAVE A SAFETY FENCE (DESIGN BY OTHERS).
6. ANY PART OF ANY RETAINING WALL THAT EXTENDS INTO THE RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT AGREEMENT. ENCROACHMENT AGREEMENTS FOR RETAINING WALLS SHALL BE APPROVED PRIOR TO CONSTRUCTION DRAWING APPROVAL.
7. ANY TRACKWAY SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.
8. STORMWATER RUN-OFF SHALL BE DIRECTED AWAY FROM RETAINING WALLS ANY RUN-OFF FLOWING TO AND OVER A RETAINING WALL SHALL BE KEPT TO AN ADEQUATE MINIMUM AND BROUGHT TO THE ATTENTION OF THE WALL DESIGNER PRIOR TO THEIR DESIGN.

SITE PLAN NOTES

1. NON-ALLEY GRADED DRIVEWAYS MAY INTERSECT A STREET NO CLOSER THAN 20 FEET FROM THE INTERSECTION OF TWO STREET RIGHT-OF-WAYS. THE MINIMUM CONCRETE CLEARANCE FROM CURB LINE ON LANE OF PAVEMENT OR INTERSECTION STRIPS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE RADIUS OF CURVATURE, OR 20 FEET FROM THE INTERSECTION OF RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. THE RADIUS OF THE DRIVEWAY SHALL NOT INTERSECT ON THE MINIMUM CONCRETE CLEARANCE. REFER TO SECTION 6.5 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
2. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50' OF ALL MINOR RESIDENTIAL, RESIDENTIAL AND RESIDENTIAL COLLECTION INTERSECTIONS. THE FULL LINE OF THE RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED ALONG ALL MAJOR, MINOR, & SNOOTY AREA THROUGHFARES.
3. WITHIN THE AREA DEFINED SHORT TRIANGLES SHOWN ON THESE PLANS, THERE SHALL BE NO SHORT OBSTRUCTION ON PARTLY OBSTRUCTING WALL, FENCE, SOIL, COLLAGE BENCH, OR PAVED SURFACE BETWEEN THE HEIGHTS OF 24" AND 48" AND A TEST ABOUT THE CURB LINE ELEVATION OR THE NEAREST TRAVEL WAY 7" AND CURB LINE EXISTS. REFER TO SECTION 6.2 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
4. MULTILANE STOP CONTROL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT AN ENGINEERING STUDY TO PROVIDE DATA FOR CITY OF RALEIGH TRANSPORTATION DIVISION THAT MULTILANE STOP INSTALLATION WARRANTS CAN BE MET AND ORIGINATED BY CITY COUNCIL APPROVAL.
5. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
6. ALL DIMENSIONS SHOWN ON THESE PLANS ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO BE SUBMITTED TO THE CITY OF RALEIGH PRIOR TO CONSTRUCTION. DRAWINGS SHALL BE GIVEN TO THE UNDERPIN ON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
8. EXISTING IMPROVEMENTS MANAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE CHANGE.
9. THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE TO BE THE EXACT LOCATION OF ALL POWER PRIOR TO CONSTRUCTION. DRAWINGS SHALL BE GIVEN TO THE UNDERPIN ON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
10. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
11. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (E.G. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
12. PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT (2019) 906 SARE AND A REPRESENTATIVE OF THE ENGINEER AND OWNER. THE PURPOSE OF THE MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
13. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
14. ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO) DETAILS.
15. ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY CHALLENGES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE MAINTAINED TO THE MAXIMUM EXTENT POSSIBLE. THE PUBLIC RIGHTS OF WAY MAY BE TEMPORARILY CLOSED, AND THE UDO AND STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
16. TYPE PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CLIENT'S GEOTECHNICAL REPORT SHALL CONTAIN ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEEMES A HEAVIER SECTION IS REQUIRED.
17. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO BEGINNING INSTALLATION. THE CONTRACTOR SHALL MAINTAIN AN AS-BUILT SET OF DRAWINGS FOR ALL EQUIPMENT AND PRODUCTS USED TO BE SUBMITTED TO THE CITY OF RALEIGH PRIOR TO CONSTRUCTION.
18. IF UNDESIRABLE CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL AND CONTACT PUBLIC WORKS STAFF FOR FURTHER GUIDANCE.
19. ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCD STANDARDS AND SPECIFICATIONS.
20. ANY TRANSIT STOP LOCATIONS SHOWN ARE PRELIMINARY ONLY. FINAL LOCATION SHALL BE DETERMINED ONCE THE CITY OF RALEIGH TRANSIT ROUTE HAS BEEN FINALIZED. ALL TRANSIT STOPS SHALL HAVE A 10'x20'x20" (3000 PSI) CONCRETE PAD.

ADDITIONAL UTILITY NOTES

1. ALL WATER MAINS, SERVICES AND FIRE SERVICES GREATER THAN 2" DIAMETER ARE TO BE DUCTILE IRON PIPE. 2" & SMALLER DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER (WITHOUT FITTINGS) TO THE WATER METER.
2. ALL SEWER MAINS SHALL BE EITHER PVC OR DUCTILE IRON PIPE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL MEET CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AS DEFINED IN THE LATEST EDITION OF THE PUBLIC UTILITIES HANDBOOK, MINOR UNIFIED DEVELOPMENT ORDINANCE (UDO).
3. ALL FIRE HYDRANTS ALONG PUBLIC R/W LINES SHALL HAVE A 5'x10'x1' CITY OF RALEIGH WATER/URF EASEMENT ONTO ADJACENT PROPERTY.
4. ALL SANITARY SEWER INTERFERENCE LINES (12" AND LARGER), AS WELL AS MANHOLES AND FITTINGS ASSOCIATED WITH THE INTERFERENCE LINE, SHALL BE INSTALLED UNDER WITH PROTECTED 400 LB APPROVED EQUAL TO PREVENT HYDROGEN SULFIDE CORROSION. SEE THE CURRENT CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK FOR APPROVED COATINGS AND APPLICATION METHODS.
5. IN ACCORDANCE WITH GENERAL STATUTE 87-1210(c), ALL UNDERGROUND UTILITIES INSTALLED AFTER OCTOBER 1, 2004 SHALL BE ELECTRONICALLY LOCATABLE. CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR DETAILS AND SPECIFICATIONS FOR MEETING THESE REQUIREMENTS.
6. EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
7. ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE OWNED, OPERATED, AND MAINTAINED BY THE CITY OF RALEIGH.
8. ALL WATER AND SEWER MAINS NOT WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE PRIVATELY OWNED, OPERATED, AND MAINTAINED BY THE PROPERTY OWNER.
9. WHERE SANITARY SERVICES ARE SERVING A BUILDING INSTALLED ON A FLOOR WITH A FINISHED FLOOR ELEVATION BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER, SUCH FUTURES SHALL BE PROTECTED BY A BACKFLOW VALVE INSTALLED IN THE SERVICE LINE. SANITARY SERVICES SERVING A BUILDING WITH A FINISHED FLOOR ELEVATION ABOVE THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE IN THE PUBLIC SEWER SHALL NOT DISCHARGE THROUGH A BACKFLOW VALVE.
10. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
11. ALL UTILITY SLEEVES SHALL BE SCHEDULE 40 PVC AND INSTALLED WITH 2" MINIMUM COVER. BOTH ENDS SHALL BE CAPPED AND NAKED.

STORM DRAINAGE NOTES

1. ALL STORM DRAINAGE PIPES SHOWN SHALL BE REINFORCED CONCRETE (RCF) (MINIMUM CLASS III) UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH THE ENGINEER TO VERIFY TYPE OF BEDDING REQUIRED BASED ON SOIL CONDITIONS. CONTRACTOR TO SELECT REQUIRED CLASS OF PIPE BASED ON DEPTH OF PIPE AND BEDDING PROVIDED BY THE AMERICAN CONCRETE PIPE ASSOCIATION GUIDELINES.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SLEEVES, WHICH CONFORMS TO AHSITO SPECIFICATION M-398 FOR TYPE B FLANGE. PLASTIC GASKETS UNLESS OTHERWISE NOTED.
6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD. USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL, OR OTHER OBSTRUCTIVE MATERIAL. WASTE MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR SEIVE IN A PLASTIC MANNER UNDER THE TAPPING BLOWS OR PROOF ROLLING.
8. MATERIALS SUPPLIED BY THE OWNER'S REPRESENTATIVE OR SPECIFIED AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP 18" (6" INCHES) SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNCAULKED TRENCHES AFTER PIPE HAS BEEN PLACED.
11. ALL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET NCDDOT STANDARDS BY MANUFACTURER.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR CHOICING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS PRIOR TO INSTALLATION. ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.
13. "HACK-OUT" NOTES ON HOME PIPE SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAYS UNLESS APPROVED IN WRITING BY THE CITY OF RALEIGH STORMWATER DEPARTMENT.

RALEIGH STANDARD UTILITY NOTES:

1. ALL SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK, CURRENT EDITION (INCLUDING STANDARDS AND SPECIFICATIONS).
2. UTILITY SEPARATION REQUIREMENTS:
 - 2.1. A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER AND ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPROVED RESERVOIR, USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, PERMANENT SANITARY SEWER PIPE SHALL BE SPECIFIED AND INSTALLED TO WATERBINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 5' FROM A PRIVATE WELL OR FROM A PUBLIC WELL.
 - 2.2. WHEN INSTALLING WATER AND/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 12". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE WATER MAIN SHALL BE SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER AND MUST BE APPROVED BY THE PUBLIC UTILITIES DEPARTMENT. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER, WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATER MAIN, DUCT, MATERIAL OR OTHER ENCUMBRANCE EXTENDING 10' ON EACH SIDE OF CROSSING SHALL BE SPECIFIED AND INSTALLED TO WATERBINE SPECIFICATIONS.
 - 2.3. A MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER AND STORM SEWER FACILITIES UNLESS DIP IS SPECIFIED FOR SANITARY SEWER.
 - 2.4. MAINTAIN 18" MINIMUM VERTICAL SEPARATION AT ALL WATERMAIN AND NOT STORM DRAIN CROSSINGS. MAINTAIN 24" MINIMUM VERTICAL SEPARATION AT ALL SANITARY SEWER AND NOT STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY USE OF MATERIALS AND A CONCRETE GRADE HAVING 8" MIN. CLEARANCE. REF. CITY CODE OF RALEIGH 8-5-40.
 - 2.5. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER AND SEWER FACILITIES WITH 18" MINIMUM VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW AND APPROVAL OF AN AMENDED PLAN AND OR PROFILE BY THE CORPUS PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER AND SEWER SERVICE TO EXISTING RESIDENCES AND BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24-HOUR ADVANCE NOTICE TO THE CORPUS.
5. 3/4" MINIMUM COVER IS REQUIRED ON ALL WATER MAINS AND SEWER FORCE MAINS. 4/12" MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER AND SEWER SERVICES NOT BEING USED IN THE DEVELOPMENT OF A SITE VALES OTHERWISE DIRECTED BY THE CORPUS. THIS INCLUDES ABANDONING AT LAP MAIN AND REMOVAL FROM R.O.W. OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
7. INSTALL PROPERLY SIZED WATER SERVICES WITH METERS LOCATED AT R.O.W. WITHIN A 2'x2' (OR APPROPRIATE SIZED EASEMENT) IMMEDIATELY ADJACENT. IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW AND PRESSURE.
8. INSTALL 4" PVC SEWER SERVICES AT 1.2% MINIMUM GRADE WITH CLEANOUTS LOCATED AT R.O.W. ON EASEMENT LINE AND SPACED EVERY 100' MAX.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES INCLUDING B.O.S. BACKFLOW VALVES ARE REQUIRED ON ALL SEWER SERVICES SERVING BUILDING DRAINAGE LOWER THAN 12" ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDDOT, USACE AND/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND AND/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDDOT ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS AND SERVICE TAPS) WITHIN STATE R.O.W. PRIOR TO CONSTRUCTION.
12. GRADE INTERFERENTIAL WATER SEPARATOR SIZING CALCULATIONS AND INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FOR PROGRAM COORDINATION PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM RALEIGH 919-996-2384 OR TWOTHYBAGLES@RALEIGH.GOV FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES COVERING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE SERVICES SHALL MEET AS STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM. MINIMUMS IS MORE STRINGENT. CONTACT JOANNE HARTLEY AT 919-996-2324 OR JOANNE.HARTLEY@RALEIGH.GOV FOR MORE INFORMATION.



McADAMS

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RALEIGH, NORTH CAROLINA 27609



F & B

640 ST ALBANS DRIVE
ADMINISTRATIVE SITE PLAN
RALEIGH, NORTH CAROLINA, 27609

REVIEWS		
NO.	DATE	
1	12.22.2022	RESPONSE TO 1st ASR COMMENTS
2	06.27.2023	RESPONSE TO 2nd ASR COMMENTS
3	05.31.2023	RESPONSE TO 3rd ASR COMMENTS

PLAN INFORMATION

PROJECT NO. KAN-19100
FILENAME KAN19010-ASR-N1
CHECKED BY JB
DRAWN BY JCS
SCALE N/A
DATE 10.19.2022

SHEET

PROJECT NOTES

C0.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



December 8, 2022

Dillon Pitts
Kane Realty Corporation
4321 Lassiter at North Hills Ave, #250
Raleigh, NC 27609

RE: "Will Serve" Letter for Solid Waste and Recycling Services at F&B

In response to your request, this letter serves as confirmation that GFL Environmental is able to provide waste and recycling services for the proposed F&B project, located at 560 St. Albans Drive, Raleigh, North Carolina.

We have reviewed the current proposed site plan and have no safety or collection concerns. If the project design changes, this letter is void and a new letter must be issued. Additionally, this letter is non-transferable.

Sincerely,


Melissa Dixon

National Accounts Sales Executive
GFL Environmental
melissa.dixon@gflenv.com

3301 Benson Drive, Suite 601, Raleigh, NC 27609
Tel: 919-325-3000 | gflenv.com



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST
VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS,
SPECIFICATIONS AND DETAILS.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT
LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION
OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.
CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE
THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811".
REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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REVISIONS

NO.	DATE	
1	12.22.2022	RESPONSE TO 1st ASR COMMENTS
2	03.27.2023	RESPONSE TO 2ND ASR COMMENTS
3	03.31.2023	RESPONSE TO 3RD ASR COMMENTS

PLAN INFORMATION

PROJECT NO. KAN-19100
FILENAME KAN19010-ASR-N1
CHECKED BY JB
DRAWN BY JCS
SCALE N/A
DATE 10.19.2022

SHEET

APPROVAL FORMS

C0.01



GENERAL NOTES:

1. PHASE 1 INFRASTRUCTURE INSTALLED AND BUILT PER CITY OF RALEIGH CASE #R-46-2017.
2. PHASE 2 INFRASTRUCTURE CURRENTLY UNDER CITY OF RALEIGH REVIEW CASE #SPR-051-2020.
3. LOTS 1 AND 2 CONSTRUCTED PER CITY OF RALEIGH CASE #R-51-17.
4. EXISTING CONDITIONS PLAN IS A COMBINATION OF AS-BUILT SURVEY AND FINAL DESIGN. ADDITIONAL SURVEY TO BE SUPPLIED AT COMPLETION OF LOTS 1 AND 2.

LEGEND		
●	EXISTING IRON PIPE	ACCESSIBLE PARKING
○	IRON PIPE SET	IRRIGATION CONTROL VALVE
▲	CALCULATED POINT	FLOOD LIGHT
⊙	BORE HOLE	MAIL BOX
⊕	SANITARY SEWER MANHOLE	MONITORING WELL
⊖	SANITARY SEWER CLEANOUT	SHAMOSE CONNECTION
⊗	WATER VALVE	SIGN
⊘	WATER METER	WELL
⊙	FIRE HYDRANT	WATER MANHOLE
⊕	TELEPHONE PEDESTAL	LIGHT SINGLE
⊖	TELEPHONE MANHOLE	LIGHT DOUBLE
⊗	ELECTRIC BOX	CABLE BOX
⊘	LIGHT POLE	FIBER OPTIC VAULT
⊙	POWER POLE	SPRINKLER HEAD
⊕	CURB INLET	STORM DRAIN PIPE
⊖	STORM DRAINAGE MANHOLE	OVERHEAD UTILITY LINES
⊗	AIR INLET	WATER LINE
⊘	AIR CONDITIONER	SS
⊙	ADDRESS BOX	SANITARY SEWER LINE
⊕	BOLLARD	TELEPHONE LINE
⊖	FIRE CONNECTION	G
⊗	FIBER OPTIC MARKER	UT
⊘	GREASE PIT	UNDERGROUND ELECTRIC
		UT
		—X—

TREE CONSERVATION LEGEND

▨	PRIMARY TREE CONSERVATION AREA
▤	TREE CONSERVATION AREA - GREENWAY
▦	WETLAND
▧	50' NEUSE RIVER RIBBON BUFFER

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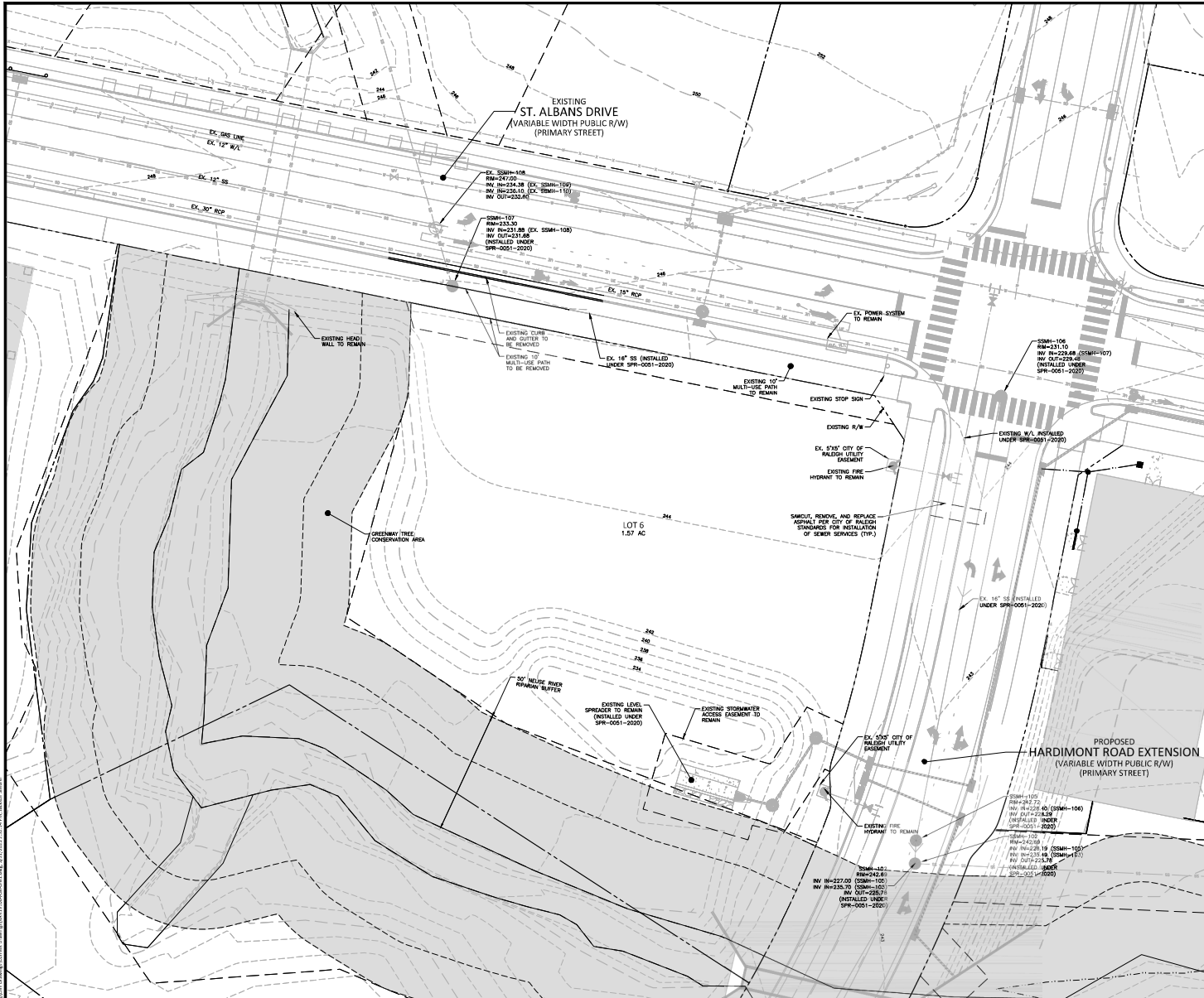
REVISIONS		
NO.	DATE	DESCRIPTION
1	02.22.2022	RESPONSE TO 1st ASR COMMENTS
2	03.27.2023	RESPONSE TO 2nd ASR COMMENTS
3	03.31.2023	RESPONSE TO 3rd ASR COMMENTS

PLAN INFORMATION	
PROJECT NO.	KAN-19100
FILENAME	KAN19010-ASR-XC1
CHECKED BY	JB
DRAWN BY	JCS
SCALE	1"=20'
DATE	10. 19. 2022
SHEET	

EXISTING CONDITIONS

C1.00

SEE SHEET C0.00 FOR ALL PROJECT NOTES.
ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



GENERAL NOTES:

1. PHASE 1 INFRASTRUCTURE INSTALLED AND BUILT PER CITY OF RALEIGH CASE RS-46-2017.
2. PHASE 2 INFRASTRUCTURE CURRENTLY UNDER CITY OF RALEIGH REVIEW CASE ASPR-0051-2020.
3. LOTS 1 AND 2 CONSTRUCTED PER CITY OF RALEIGH CASE RSR-57-17.
4. EXISTING CONDITIONS PLANS A COMBINATION OF AS-BUILT SURVEY AND FINAL DESIGN. ADDITIONAL SURVEY TO BE SUPPLIED AT COMPLETION OF LOTS 1 AND 2.

LEGEND

●	EXISTING IRON PIPE	⬮	ACCESSIBLE PARKING
○	IRON PIPE SET	⬮	IRRIGATION CONTROL VALVE
▲	CALCULATED POINT	⬮	FLOOD LIGHT
⊙	BORE HOLE	⬮	MAIL BOX
⊙	SANITARY SEWER MANHOLE	⬮	MONITORING WELL
⊙	SANITARY SEWER CLEANOUT	⬮	SHAWNEE CONNECTION
⊙	WATER VALVE	⬮	SIGN
⊙	WATER METER	⬮	WELL
⊙	FIRE HYDRANT	⬮	WATER MANHOLE
⊙	TELEPHONE PEDESTAL	⬮	LIGHT SINGLE
⊙	TELEPHONE MANHOLE	⬮	LIGHT DOUBLE
⊙	ELECTRIC BOX	⬮	CABLE BOX
⊙	LIGHT POLE	⬮	FIBER OPTIC VAULT
⊙	POWER POLE	⬮	SPRINKLER HEAD
⊙	CURB INLET	⬮	STORM DRAIN PIPE
⊙	STORM DRAINAGE MANHOLE	⬮	OVERHEAD UTILITY LINES
⊙	YARD INLET	⬮	WATER LINE
⊙	AIR CONDITIONER	⬮	SANITARY SEWER LINE
⊙	ADDRESS BOX	⬮	TELEPHONE LINE
⊙	BOLLARD	⬮	GAS LINE
⊙	FIRE CONNECTION	⬮	UNDERGROUND ELECTRIC
⊙	FIBER OPTIC MARKER	⬮	UNDERGROUND TELEPHONE
⊙	GREASE PIT	⬮	FENCE LINE
⊙		⬮	GREENWAY TREE CONSERVATION AREA

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REVISIONS		
NO.	DATE	DESCRIPTION
1	12.22.2022	RESPONSE TO 1st ASR COMMENTS
2	03.27.2023	RESPONSE TO 2nd ASR COMMENTS
3	03.31.2023	RESPONSE TO 3rd ASR COMMENTS

PLAN INFORMATION	
PROJECT NO.	KAN-19100
FILENAME	KAN19010-ASR-DM1
CHECKED BY	JB
DRAWN BY	JCS
SCALE	1"=20'
DATE	10.19.2022

DEMOLITION PLAN

C1.01

SEE SHEET C0.00 FOR ALL PROJECT NOTES.
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SPECIFICATIONS AND DETAILS.
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

NO.	DATE	DESCRIPTION
1	12.22.2022	RESPONSE TO 2nd ADR COMMENTS
2	02.27.2023	RESPONSE TO 2ND ADR COMMENTS
3	03.31.2023	RESPONSE TO 3RD ADR COMMENTS

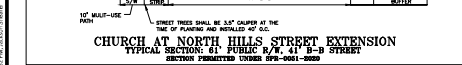
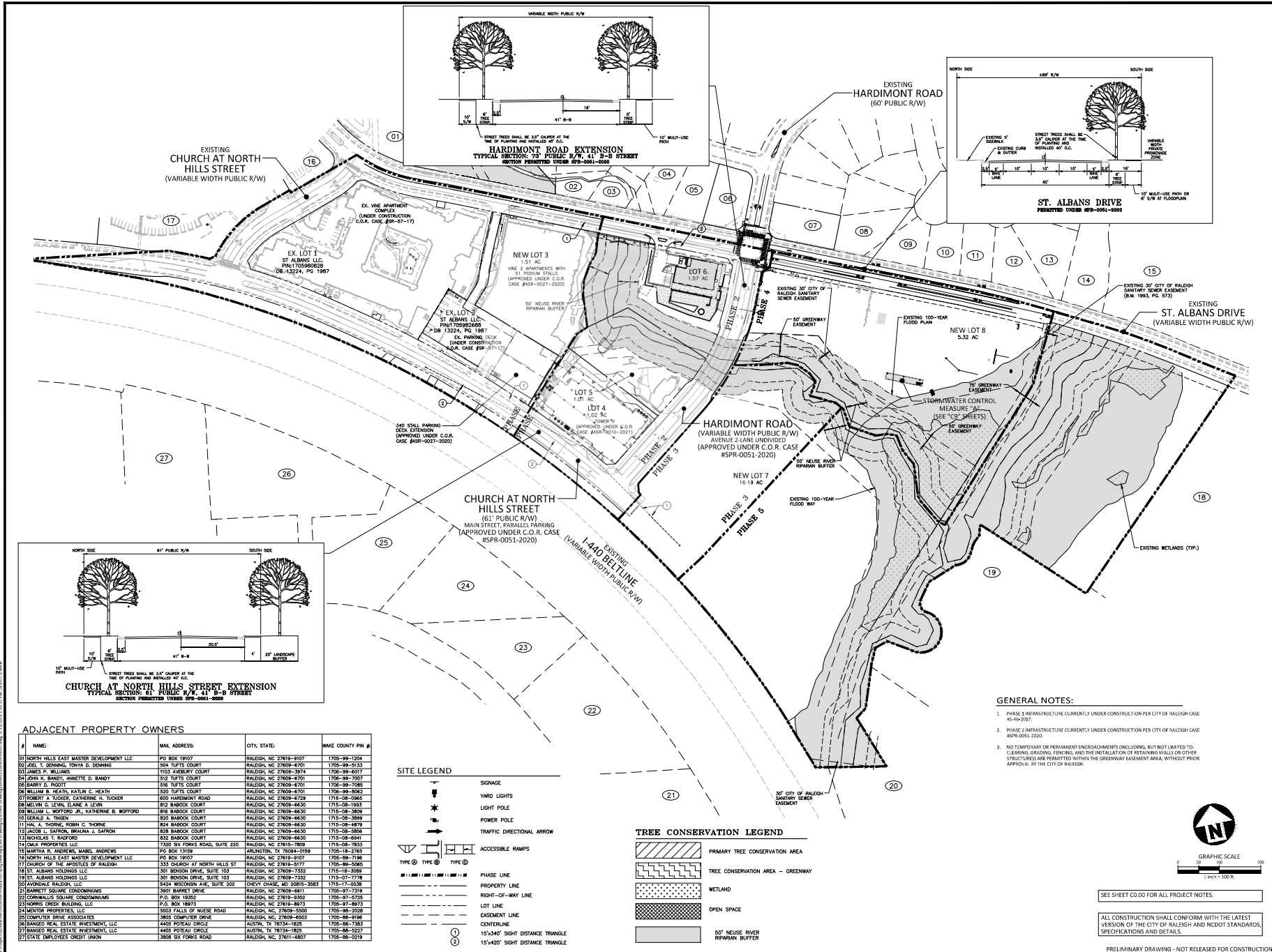
PLAN INFORMATION

PROJECT NO.	KAN-19100
FILENAME	KAN19010-ASR-OAS1
CHECKED BY	JB
DRAWN BY	JCS
SCALE	1"=100'
DATE	10.19.2022

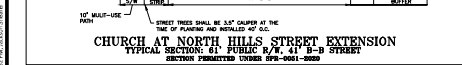
SHEET

OVERALL SITE PLAN

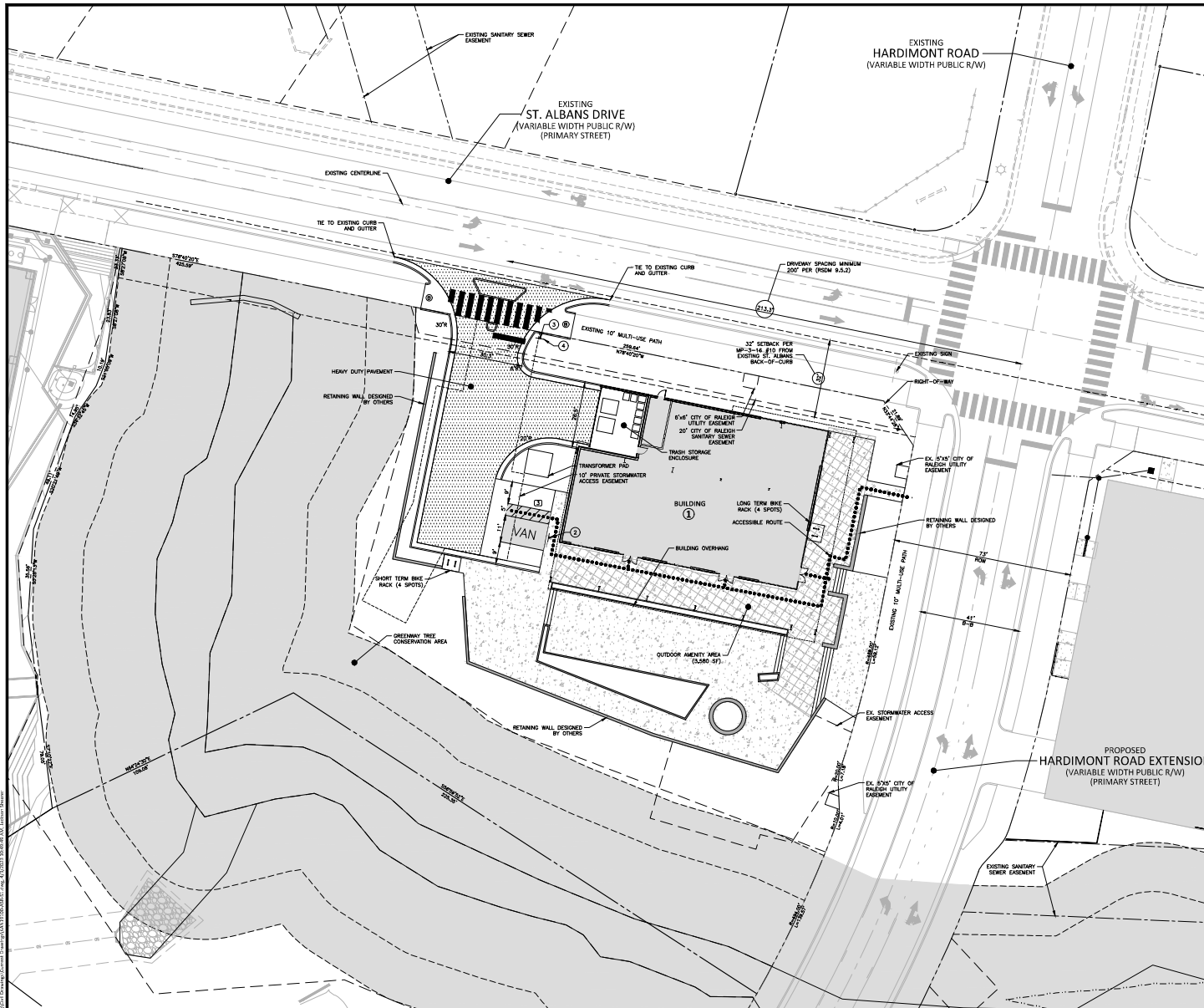
C2.00



#	NAME	MAIL ADDRESS	CITY, STATE	WAKE COUNTY PIN #
01	NORTH HILLS EAST MASTER DEVELOPMENT LLC	PO BOX 19037	RALEIGH, NC 27619-9107	7705-99-1204
02	JOEL T. DENNING, TONYA D. DENNING	304 TUFTS COURT	RALEIGH, NC 27609-6701	7705-99-5133
03	JAMES P. WILLIAMS	1103 ABERNETHY COURT	RALEIGH, NC 27609-3974	7705-99-6077
04	JOHN K. BARRY, ANNETTE D. BARRY	512 TUFTS COURT	RALEIGH, NC 27609-6701	7705-99-7057
05	BARRY D. PUGOT	516 TUFTS COURT	RALEIGH, NC 27609-6701	7705-99-7085
06	WILLIAM E. HEATH, KATHLEEN C. HEATH	500 TUFTS COURT	RALEIGH, NC 27609-6701	7705-99-5062
07	ROBERT A. TUCKER, CATHERINE H. TUCKER	600 HARDIMONT ROAD	RALEIGH, NC 27609-6728	7715-08-0865
08	MELVIN C. LEVIN, LILIAN A. LEVIN	812 BAROCK COURT	RALEIGH, NC 27609-6630	7715-08-1993
09	WILLIAM L. WOFFORD, JR., CATHERINE E. WOFFORD	816 BAROCK COURT	RALEIGH, NC 27609-6630	7715-08-3860
10	GERALD A. TINDEN	820 BAROCK COURT	RALEIGH, NC 27609-6630	7715-08-3899
11	DAVE A. TUCKER, KIMBERLY C. TUCKER	824 BAROCK COURT	RALEIGH, NC 27609-6630	7715-08-4878
12	JACOB L. SAMPSON, BRAYANA J. SAMPSON	838 BAROCK COURT	RALEIGH, NC 27609-6630	7715-08-5856
13	NICHOLAS T. RADFORD	832 BAROCK COURT	RALEIGH, NC 27609-6630	7715-08-6941
14	OMNI PROPERTIES LLC	7300 SIX FORKS ROAD, SUITE 220	RALEIGH, NC 27615-7659	7715-08-7833
15	MARTHA H. ANDREWS, MARIL ANDREWS	PO BOX 13159	ARLINGTON, TX 76014-0159	7705-18-2765
16	NORTH HILLS EAST MASTER DEVELOPMENT LLC	40 BOX 19037	RALEIGH, NC 27619-9107	7705-99-7198
17	CHURCH OF THE APOSTLES OF RALEIGH	333 CHURCH AT NORTH HILLS ST	RALEIGH, NC 27619-5177	7715-08-5065
18	ST. ALBANS HOLDINGS LLC	301 BENSON DRIVE, SUITE 103	RALEIGH, NC 27609-7332	7715-08-5065
19	AVONDALE RALEIGH, LLC	5424 WISCONSIN AVE, SUITE 202	CHEY CHASE, MD 20815-5853	7715-07-7778
20	BARNETT SQUARE CONDOMINIUMS	3501 BARNETT DRIVE	RALEIGH, NC 27609-5611	7705-97-7319
21	CORNELLIS SQUARE CONDOMINIUMS	P.O. BOX 18252	RALEIGH, NC 27619-3352	7705-97-5725
22	HOMES OAKS BUILDING, LLC	P.O. BOX 18974	RALEIGH, NC 27619-8973	7705-97-8973
23	MENTOR PROPERTIES, LLC	5003 FALLS OF NUSE ROAD	RALEIGH, NC 27609-5500	7705-86-2028
24	COMPUTER DRIVE ASSOCIATES	3805 COMPUTER DRIVE	RALEIGH, NC 27609-6503	7705-86-8196
25	BANDED REAL ESTATE INVESTMENT, LLC	4405 POTEAU CIRCLE	AUSTIN, TX 78734-1825	7705-86-7363
26	BANDED REAL ESTATE INVESTMENT, LLC	4405 POTEAU CIRCLE	AUSTIN, TX 78734-1825	7705-86-5227
27	STATE EMPLOYEES CREDIT UNION	3808 SIX FORKS ROAD	RALEIGH, NC 27611-6807	7705-68-0219



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16	NORTH HILLS EAST MASTER DEVELOPMENT LLC	40 BOX 19037	RALEIGH, NC 27619-9107	7705-99-7198
17	CHURCH OF THE APOSTLES OF RALEIGH	333 CHURCH AT NORTH HILLS ST	RALEIGH, NC 27619-5177	7715-08-5065
18	ST. ALBANS HOLDINGS LLC	301 BENSON DRIVE, SUITE 103	RALEIGH, NC 27609-7332	7715-08-5065
19	AVONDALE RALEIGH, LLC	5424 WISCONSIN AVE, SUITE 202	CHEY CHASE, MD 20815-5853	7715-07-7778
20	BARNETT SQUARE CONDOMINIUMS	3501 BARNETT DRIVE	RALEIGH, NC 27609-5611	7705-97-7319
21	CORNELLIS SQUARE CONDOMINIUMS	P.O. BOX 18252	RALEIGH, NC 27619-3352	7705-97-5725
22	HOMES OAKS BUILDING, LLC	P.O. BOX 18974	RALEIGH, NC 27619-8973	7705-97-8973
23	MENTOR PROPERTIES, LLC	5003 FALLS OF NUSE ROAD	RALEIGH, NC 27609-5500	7705-86-2028
24	COMPUTER DRIVE ASSOCIATES	3805 COMPUTER DRIVE	RALEIGH, NC 27609-6503	7705-86-8196
25	BANDED REAL ESTATE INVESTMENT, LLC	4405 POTEAU CIRCLE	AUSTIN, TX 78734-1825	7705-86-7363
26	BANDED REAL ESTATE INVESTMENT, LLC	4405 POTEAU CIRCLE	AUSTIN, TX 78734-1825	7705-86-5227
27	STATE EMPLOYEES CREDIT UNION	3808 SIX FORKS ROAD	RALEIGH, NC 27611-6807	7705-68-0219



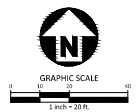
SITE LEGEND	
	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	OUTDOOR AMENITY AREA
	GREENWAY TREE CONSERVATION AREA

OUTDOOR AMENITY AREA
 REQUIRED: 9,418 SF (0.076 AC) (2% OF 64,957 SF)
 PROVIDED: 9,580 SF (0.082 AC)

SIGNAGE LEGEND	
	1
	2
	3
	4

NOTES

1. THE COLLECTION DEVICE PADS MUST BE A MINIMUM 10' WIDE X 10' DEEP, AND MUST BE CONSTRUCTED OF REINFORCED CONCRETE OR EQUIVALENT, ABLE TO WITHSTAND SUGAR LOAF (8") REINFORCED CONCRETE OVER A COMPACTED STONE OR COMPACTED SOIL AREAS 8" IN FRONT OF THE PADS SHOULD ALSO BE REINFORCED TO A PERMANENT STRENGTH THAT WILL WITHSTAND THE PRESSURES OF A 25-TON COLLECTION VEHICLE, 8" SUB-BASE AND 4" ASPHALT SURFACE COURSE OR 8" REINFORCED CONCRETE.
2. ALL LONG TERM BIKE PARKING IS TO BE LOCATED AS SHOWN ON THE SITE PLAN, UNDER THE BUILDING OVERHANG.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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CLIENT
 KANE REALTY CORPORATION
 4321 LASSITER AT NORTH HILLS AVENUE
 SUITE 250
 RALEIGH, NORTH CAROLINA 27609

KANE
 REALTY CORPORATION

F & B 640 ST ALBANS DRIVE ADMINISTRATIVE SITE PLAN RALEIGH, NORTH CAROLINA, 27609

REVISIONS

NO.	DATE	DESCRIPTION
1.	12.22.2022	RESPONSE TO 1st ASR COMMENTS
2.	03.27.2023	RESPONSE TO 2nd ASR COMMENTS
3.	03.31.2023	RESPONSE TO 3rd ASR COMMENTS

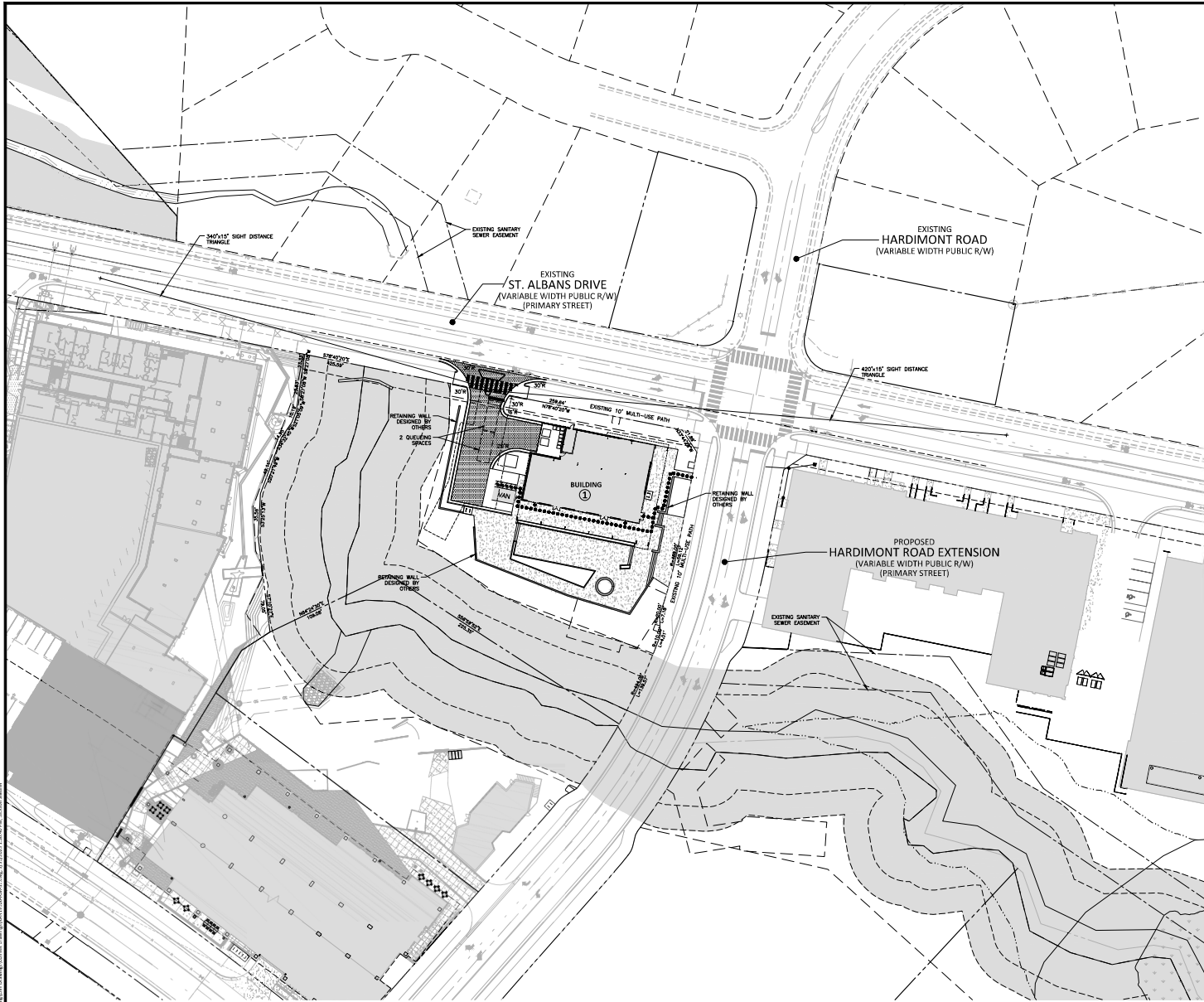
PLAN INFORMATION

PROJECT NO.	KAN-19100
FILENAME	KAN19010-ASR-51
CHECKED BY	JB
DRAWN BY	JCS
SCALE	1"=20'
DATE	10.19.2022

SHEET

SITE PLAN

C2.01



SITE LEGEND	
	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PHASE LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT PAVEMENT
	OUTDOOR AMENITY AREA
	GREENWAY TREE CONSERVATION AREA

OUTDOOR AMENITY AREA
REQUIRED: 6,836 SF (0.16 AC)
PROVIDED: 7,000 SF (0.16 AC)

SIGNAGE LEGEND	
1	RESERVED PARKING
2	RESERVED PARKING
3	STOP

NOTES

- THE COLLECTION DEVICE PADS MUST BE A MINIMUM 10' WIDE x 10' DEEP, AND MUST BE CONSTRUCTED OF REINFORCED PAVING MATERIAL, ABLE TO WITHSTAND 50,000 LB. LOAD OF REINFORCED CONCRETE OVER 8" COMPACTED STONE ON GEOTEXTILE TO 100L AREAS 50' IN FRONT OF THE PADS SHOULD ALSO BE REINFORCED TO A PAVEMENT STRENGTH THAT WILL WITHSTAND THE REQUIREMENTS OF A 25 TON COLLECTION VEHICLE, 8" SUB-BASE AND 3" ASPHALT SURFACE COURSE OR 8" RIMFORD CONCRETE.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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KANE
REALTY CORPORATION

F & B
640 ST ALBANS DRIVE
ADMINISTRATIVE SITE PLAN
RALEIGH, NORTH CAROLINA, 27609



REVISIONS	
NO.	DATE
1	02.22.2022
2	03.27.2023
3	03.31.2023

PLAN INFORMATION	
PROJECT NO.	KAN-19100
FILENAME	KAN19010-ASR-51
CHECKED BY	JB
DRAWN BY	JCS
SCALE	1"=40'
DATE	10.19.2022
SHEET	

SITE DISTANCE TRIANGLE PLAN
C2.02



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F & B
640 ST ALBANS DRIVE
ADMINISTRATIVE SITE PLAN
RALEIGH, NORTH CAROLINA, 27609

REVISIONS

NO.	DATE	REVISION
1	12.22.2022	RESPONSE TO 1st ASR COMMENTS
2	03.27.2023	RESPONSE TO 2nd ASR COMMENTS
3	03.31.2023	RESPONSE TO 3RD ASR COMMENTS

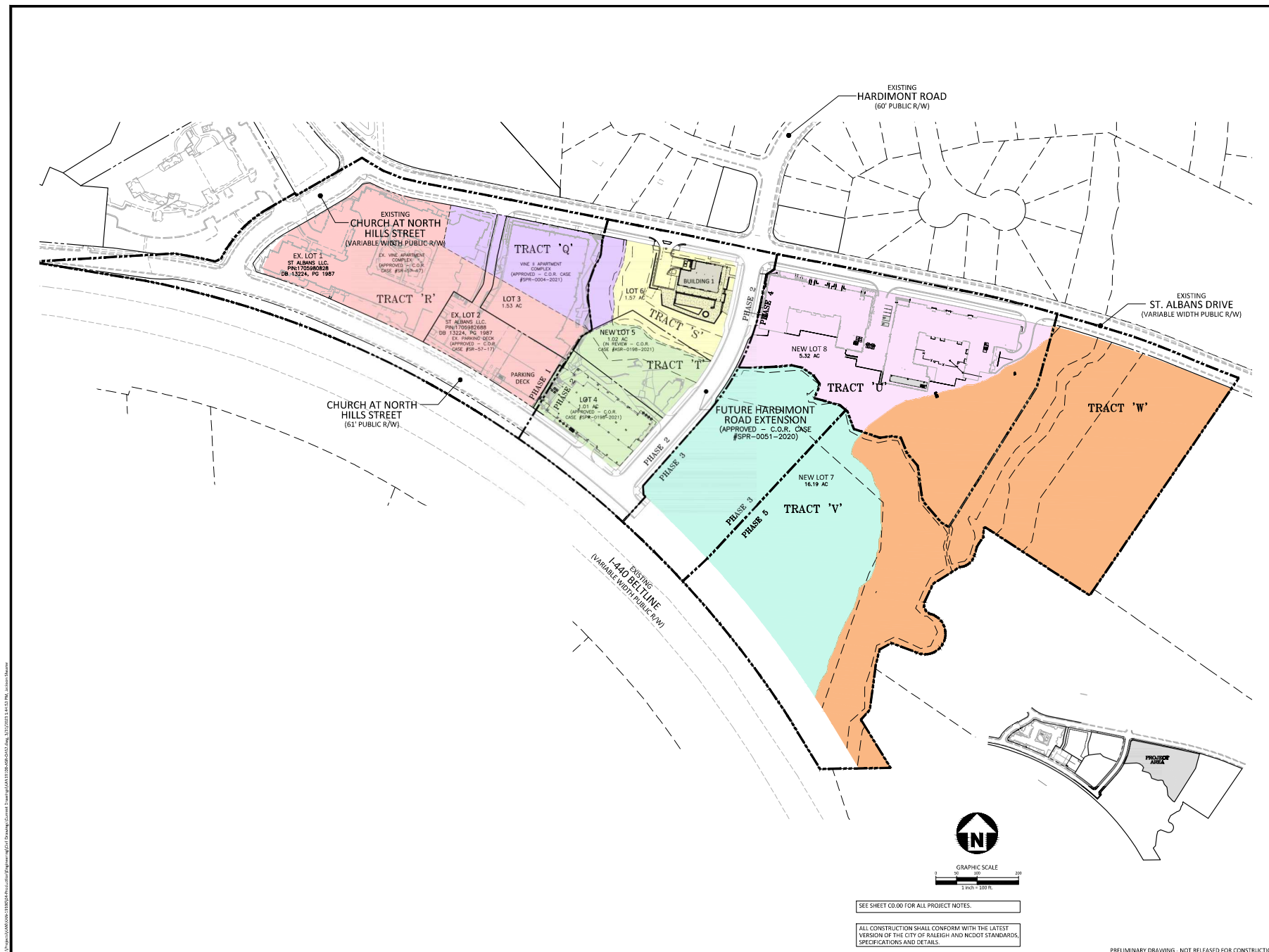
PLAN INFORMATION

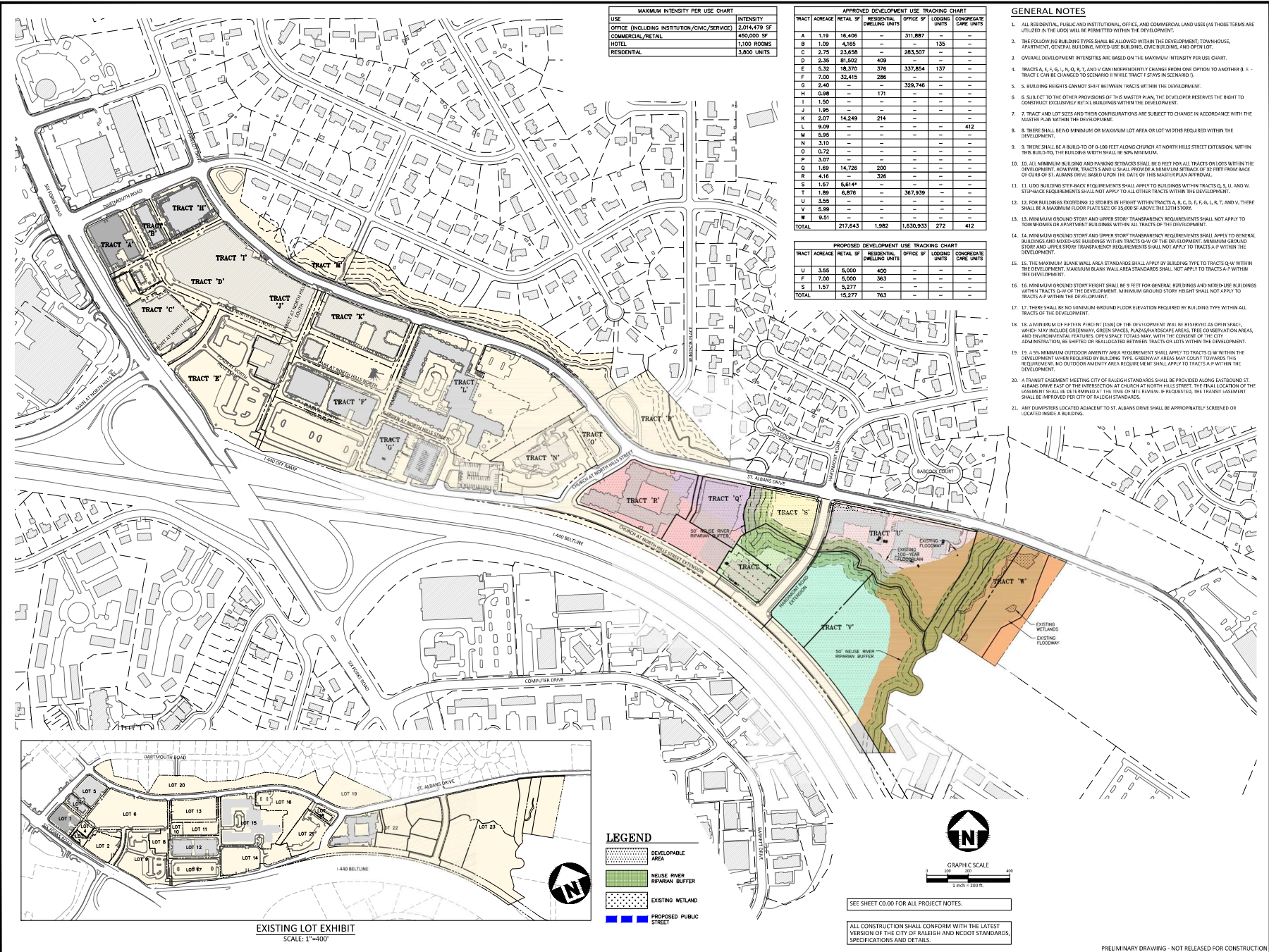
PROJECT NO. KAN-19100
FILENAME KAN19100-ASR-QAS2
CHECKED BY AP
DRAWN BY CGH
SCALE 1"=100'
DATE 10.19.2022

SHEET

OVERALL DEVELOPMENT
TRACKING PLAN

C2.03





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RALEIGH, NORTH CAROLINA, 27609

REVISIONS

NO.	DATE	RESPONSE TO
1	12.22.2022	RESPONSE TO 1st ASR COMMENTS
2	02.27.2023	RESPONSE TO 2nd ASR COMMENTS
3	05.31.2023	RESPONSE TO 3rd ASR COMMENTS

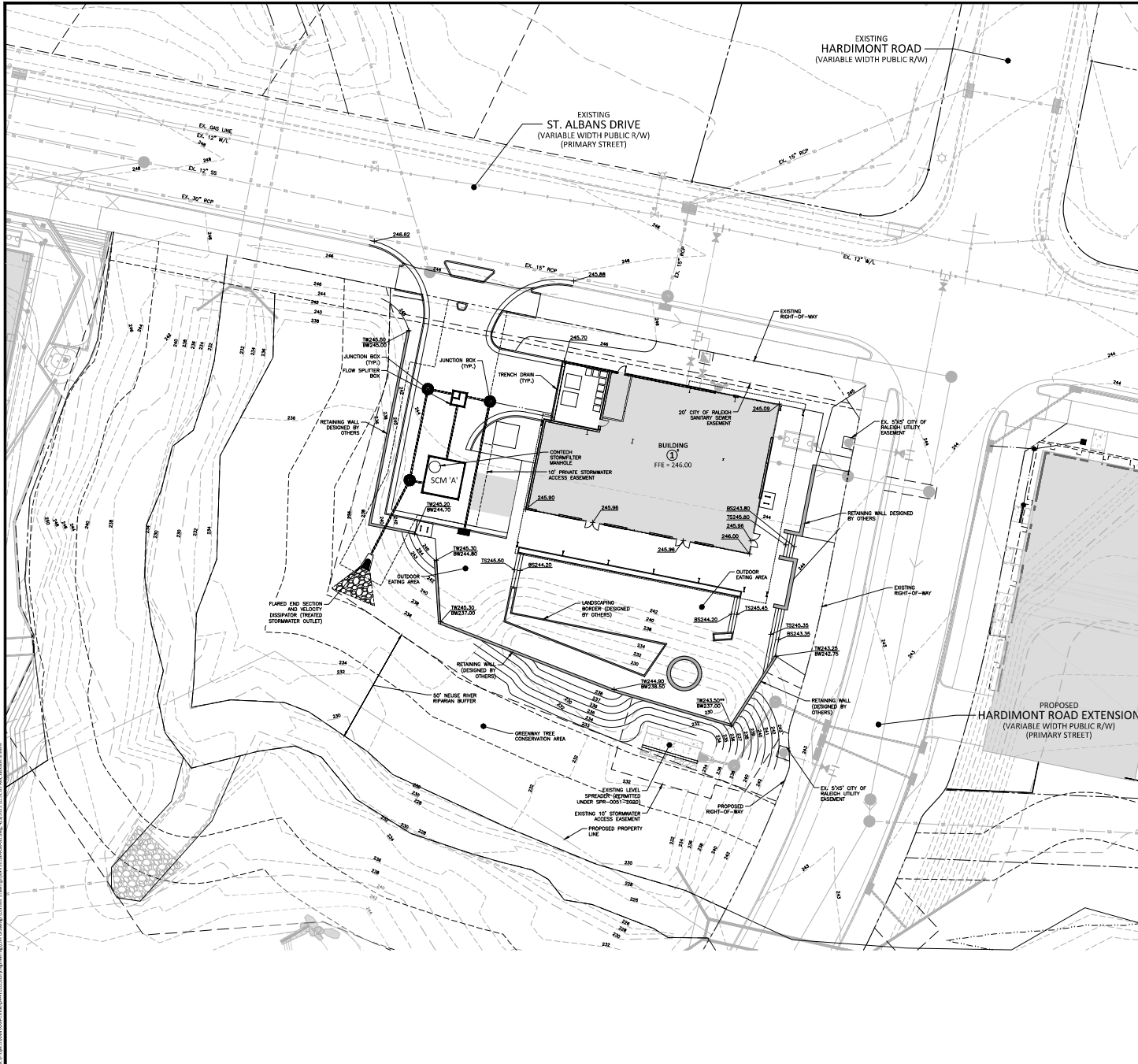
PLAN INFORMATION

PROJECT NO. KAN-19100
FILENAME KAN22002-SPR-QAS2
CHECKED BY LJV
DRAWN BY ILP
SCALE 1"=200'
DATE 10.19.2022

SHEET

OVERALL DEVELOPMENT TRACKING PLAN

C2.04



GRADING LEGEND

- FLARED END SECTION
- ENDWALL SECTION
- CATCH BASIN
- DROP INLET
- STORM SERVICE INLET
- STORM SERVICE ROOF-DRAIN
- JUNCTION BOX
- DRAINAGE FLOW ARROW
- LINE BREAK SYMBOL
- TOP & BOTTOM CURB ELEVATIONS
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION (NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
- SPOT ELEVATION
- STORM DRAINAGE
- STORM SERVICE LINE
- ROOF DRAIN, 8" ADS
- NON-PERFORATED TUBING OR EQUAL, 1.0% MIN. SLOPE, 3" MIN. COVER, PVC SCHEDULE 40 IN TRAFFIC AREAS
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- WOODED AREA
- MAJOR CONTOUR
- MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EASEMENT LINE
- ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)
- GREENWAY TREE CONSERVATION AREA

AVERAGE GRAD TABLE - BUILDING 1			
	HIGH ELEV.	LOW ELEV.	AVERAGE
ST. ALBANS DRIVE	245.70	245.09	245.40
HARDIMONT ROAD	244.00	245.09	245.55

NOTES

- THE COLLECTION/EDUCATION PADS MUST BE A MINIMUM 10' WIDE x 10' DEEP, AND MUST BE CONSTRUCTED OF REINFORCED CONCRETE OR COMPACTED STONE ON COMPACTED SOIL AREAS. 30' IN FRONT OF THE PADS SHOULD ALSO BE REINFORCED TO A PARALLEL STRENGTH. THIS WALL WITHSTANDING THE PRESSURES OF A 25-TON COLLECTION VEHICLE, 8" SUB-BASE AND 4" ASPHALT SURFACE COURSE OR 8" REINFORCED CONCRETE.
- *ALL RETAINING WALLS WITHIN 30' OF RIGHT-OF-WAY SHALL BE LESS THAN 10' IN HEIGHT PER UDO F.2.8.1.1

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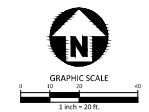
REVISIONS

NO.	DATE	DESCRIPTION
1	02.22.2022	RESPONSE TO 24H ASH COMMENTS
2	03.27.2023	RESPONSE TO 24H ASH COMMENTS
3	03.31.2023	RESPONSE TO 24H ASH COMMENTS

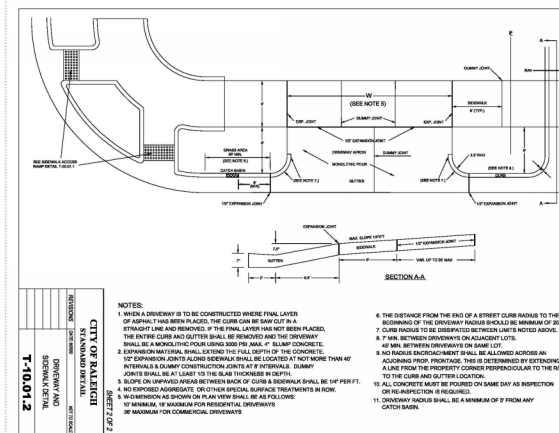
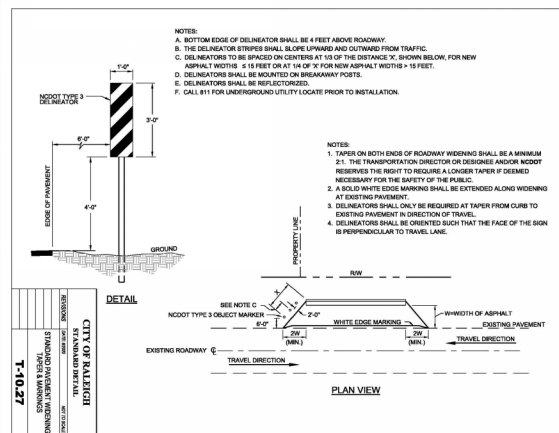
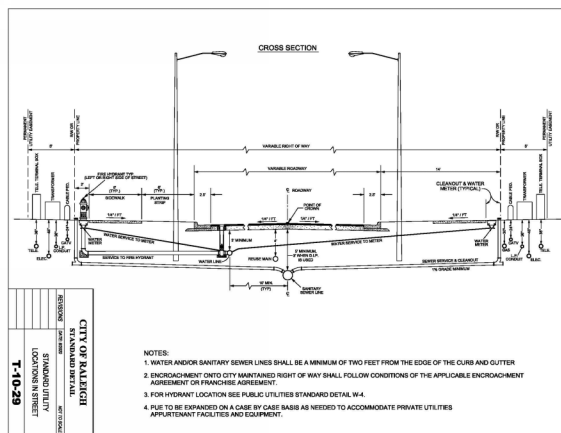
PLAN INFORMATION

PROJECT NO. KAN-19100
FILENAME KAN19010-ASR-G1
CHECKED BY JB
DRAWN BY JCS
SCALE 1"=20'
DATE 10.19.2022
SHEET

GRADING AND STORM DRAINAGE PLAN
C3.00



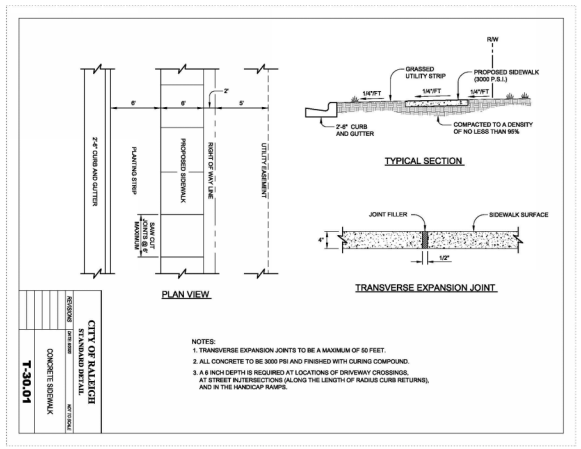
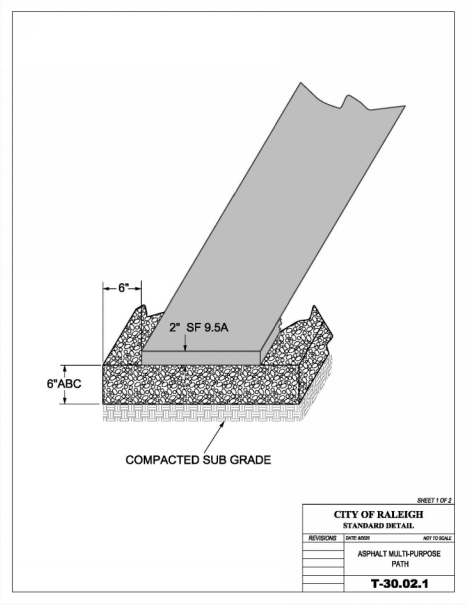
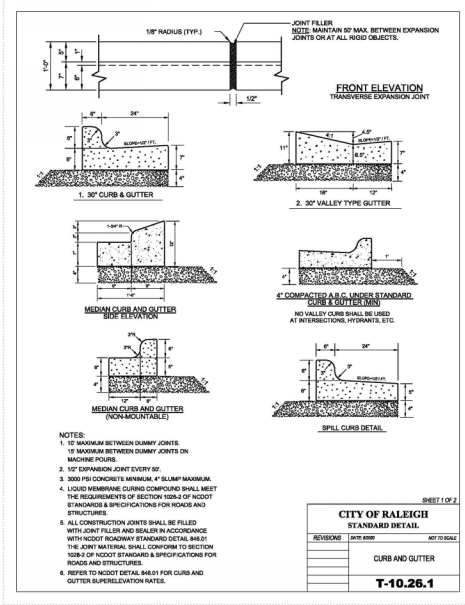
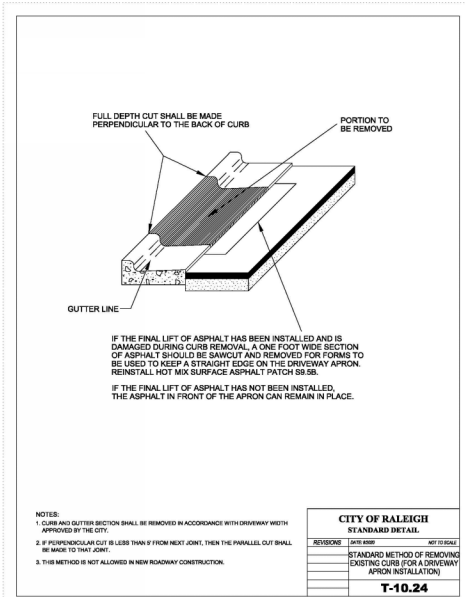
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

C8.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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SUITE 250
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KANE
REALTY CORPORATION

F & B
640 ST ALBANS DRIVE
ADMINISTRATIVE SITE PLAN
RALEIGH, NORTH CAROLINA, 27609

REVISIONS

NO.	DATE	RESPONSE TO
1.	12.22.2022	RESPONSE TO 1st ASR COMMENTS
2.	03.27.2023	RESPONSE TO 2nd ASR COMMENTS
3.	03.31.2023	RESPONSE TO 3RD ASR COMMENTS

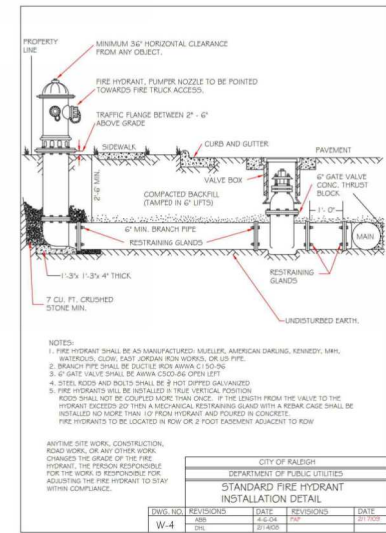
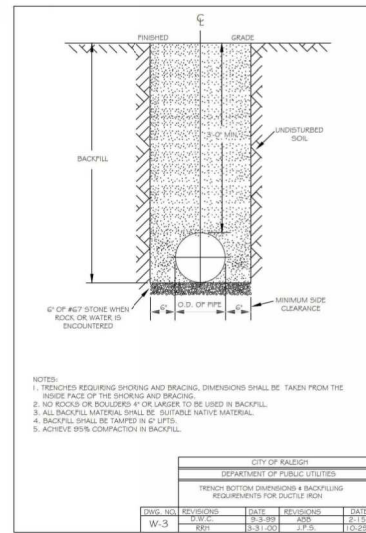
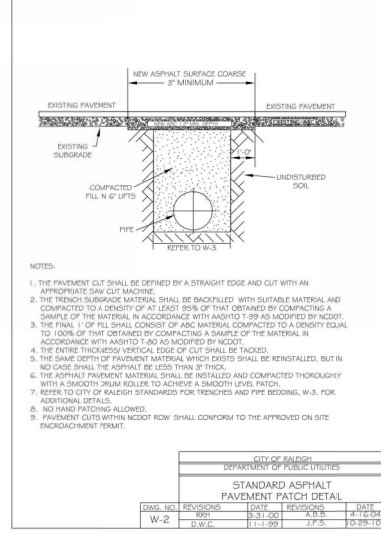
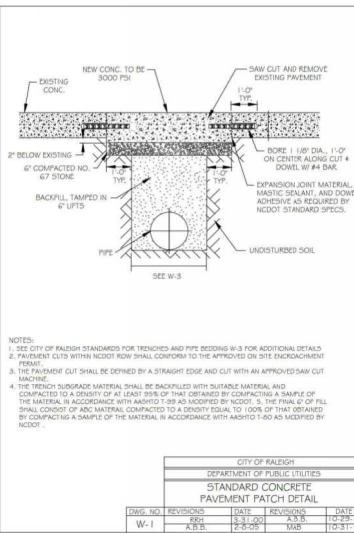
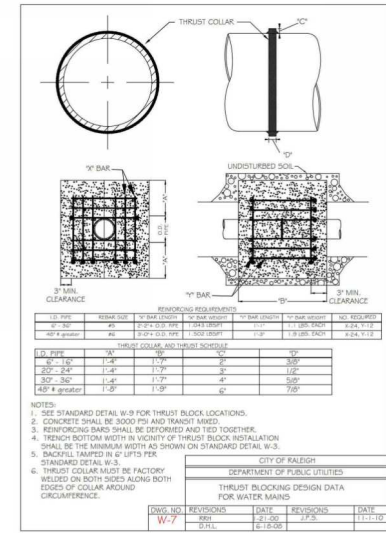
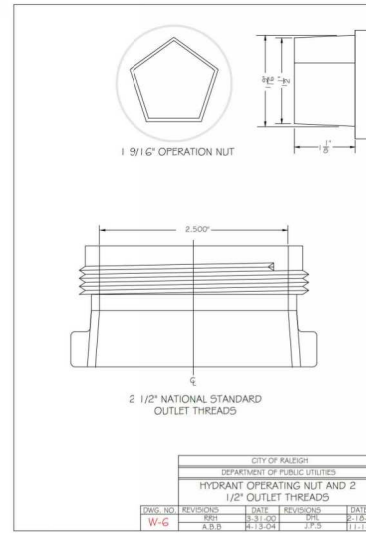
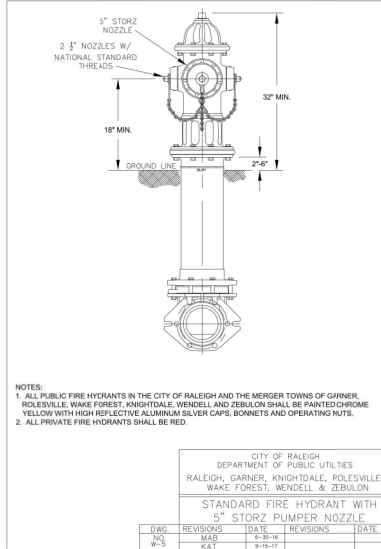
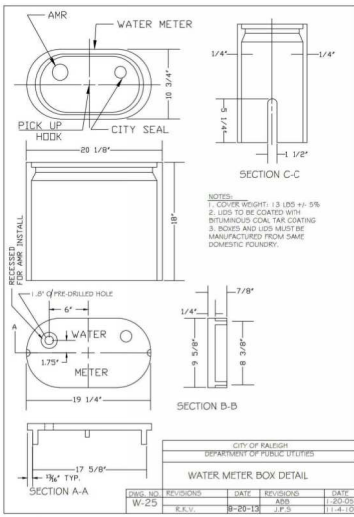
PLAN INFORMATION

PROJECT NO.	KAN-19100
FILENAME	KAN19010-ASR-D1
CHECKED BY	JB
DRAWN BY	JCS
SCALE	N/A
DATE	10.19.2022

SHEET

SITE DETAILS

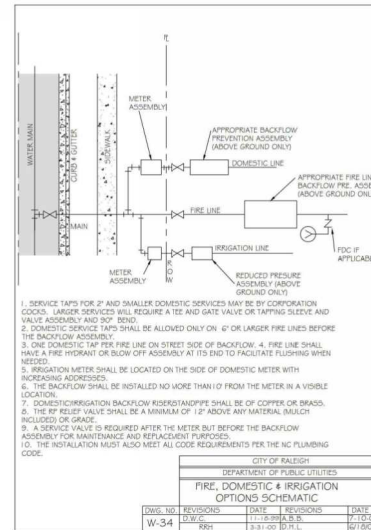
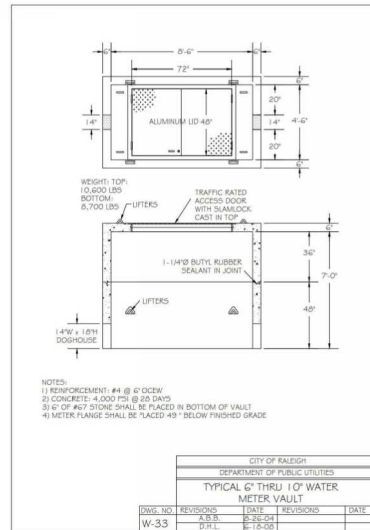
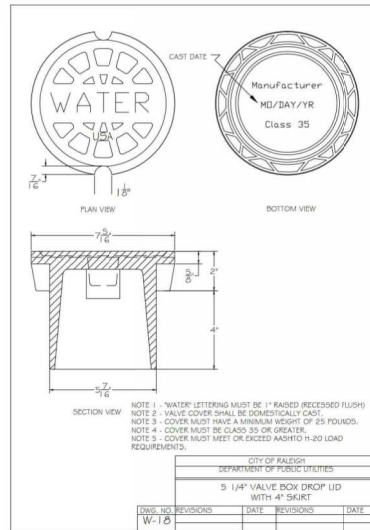
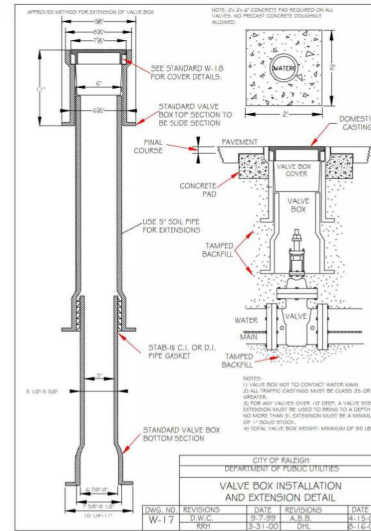
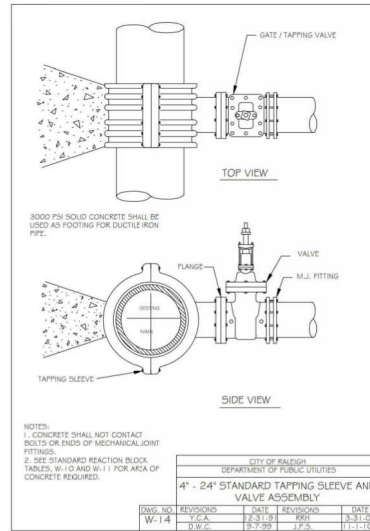
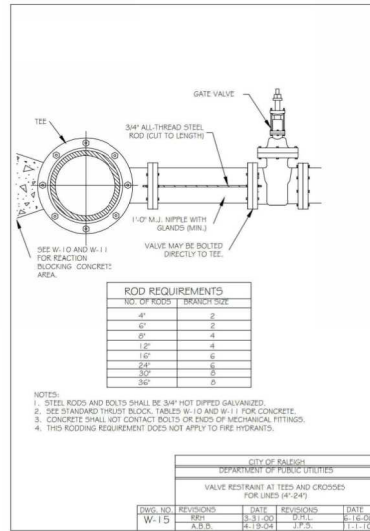
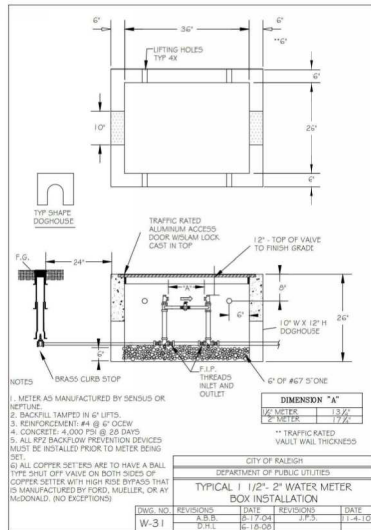
C8.02



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCOT STANDARDS, SPECIFICATIONS AND DETAILS.

REACTION BEARING AREAS FOR HORIZONTAL WATER PIPE BENDS BASED ON TEST PRESSURE OF 200 P.S.I.									
ALL AREAS GIVEN IN SQUARE FEET									
SIZE AND WEIGHT OF PIPE	3000 PSI STEEL	3000 PSI DUCTILE IRON	3000 PSI DUCTILE IRON WITH 10% STRENGTH REDUCTION	3000 PSI DUCTILE IRON WITH 10% STRENGTH REDUCTION	3000 PSI DUCTILE IRON WITH 10% STRENGTH REDUCTION	3000 PSI DUCTILE IRON WITH 10% STRENGTH REDUCTION	3000 PSI DUCTILE IRON WITH 10% STRENGTH REDUCTION	3000 PSI DUCTILE IRON WITH 10% STRENGTH REDUCTION	3000 PSI DUCTILE IRON WITH 10% STRENGTH REDUCTION
6"									
11 1/4"	1,105	1	1	1	1	1	2	1	
22 1/2"	2,207	1	2	2	1	1	3	1	
45"	4,333	2	3	3	1	1	5	1	
90"	7,996	2	4	5	1	1	2	6	1
PLUG	5,655	2	3	4	1	1	2	6	1
12"									
11 1/4"	1,292	1	1	2	1	1	2	1	
22 1/2"	3,992	1	2	3	1	1	4	1	
45"	7,694	2	4	5	1	1	2	6	1
90"	14,215	4	8	9	2	2	4	15	2
PLUG	10,053	3	5	6	2	2	3	10	1
18"									
11 1/4"	4,435	2	3	3	1	1	2	5	1
22 1/2"	8,825	3	5	6	2	2	3	9	1
45"	17,312	5	9	11	3	3	5	18	2
90"	31,353	8	16	19	4	4	8	32	4
PLUG	22,618	6	12	14	3	3	6	23	3
24"									
11 1/4"	7,801	2	4	5	1	1	2	5	1
22 1/2"	15,691	4	8	10	2	2	4	16	2
45"	30,779	8	16	19	4	4	8	31	4
90"	56,851	15	28	35	6	6	15	57	6
PLUG	40,213	10	21	25	5	5	10	41	5

REACTION BEARING AREAS ARE IN SQUARE FEET MEASURED IN A VERTICAL PLANE IN THE TENSILE SIDE AT AN ANGLE OF 30° TO THE THRUST VECTOR.									
USE 6" - 80 END VALUE FOR HYDRANT FOR ADDITIONAL SAFETY FACTOR.	DWG. NO.	REVISIONS	DATE	REVISIONS	DATE	REVISIONS	DATE	REVISIONS	DATE
	W-10	1	10-15-00	1	10-15-00	1	10-15-00	1	10-15-00



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KANE
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F & B
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ADMINISTRATIVE SITE PLAN
RALEIGH, NORTH CAROLINA, 27609

NO.	DATE	REVISIONS
1	12-22-2022	RESPONSE TO 3RD ASR COMMENTS
2	03-27-2023	RESPONSE TO 2ND ASR COMMENTS
3	03-31-2023	RESPONSE TO 1ST ASR COMMENTS

PROJECT NO.		KAN-19100
FILENAME		KAN19010-ASR-01
CHECKED BY		JMB
DRAWN BY		JCS
SCALE		N/A
DATE		10/19/2022

WATER DETAILS
C8.04



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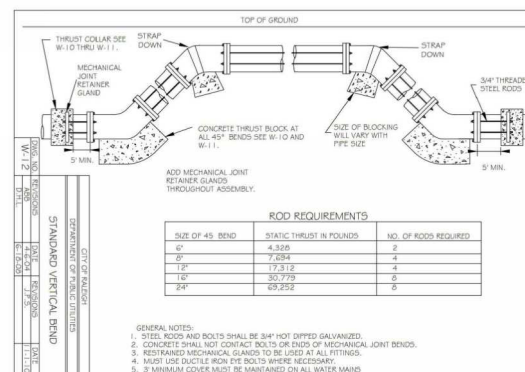
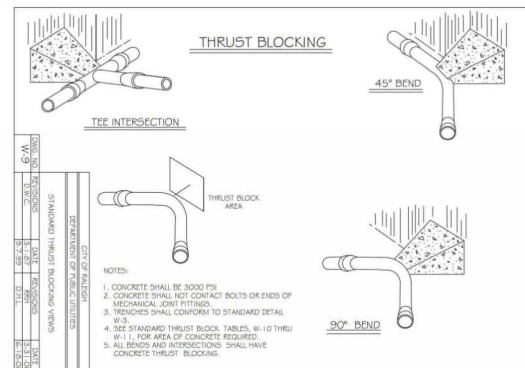
F & B
640 ST ALBANS DRIVE
ADMINISTRATIVE SITE PLAN
RALEIGH, NORTH CAROLINA, 27609



NO.	DATE	
1	12.22.2022	RESPONSE TO 1st ASR COMMENT
2	02.27.2023	RESPONSE TO 2ND ASR COMMENT
3	05.31.2023	RESPONSE TO 3RD ASR COMMENT

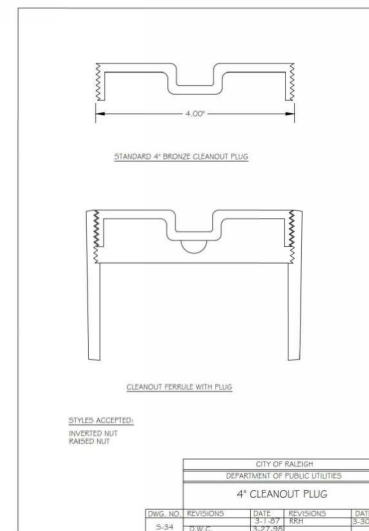
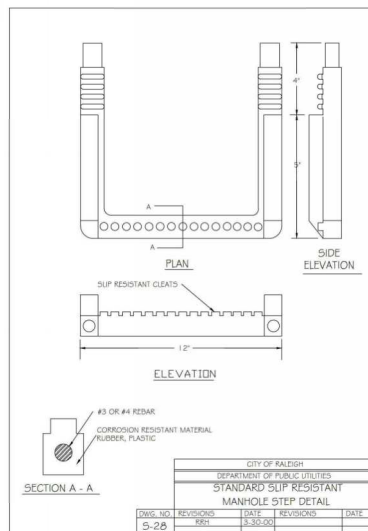
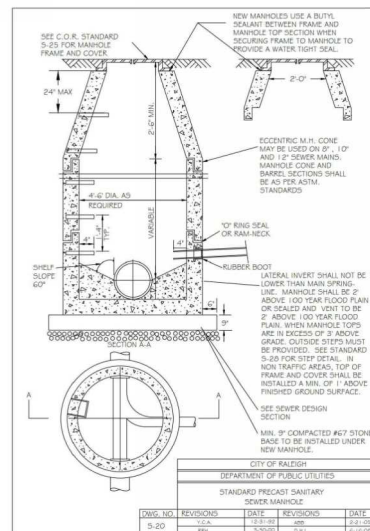
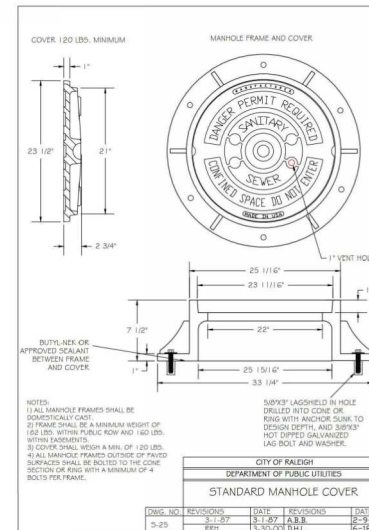
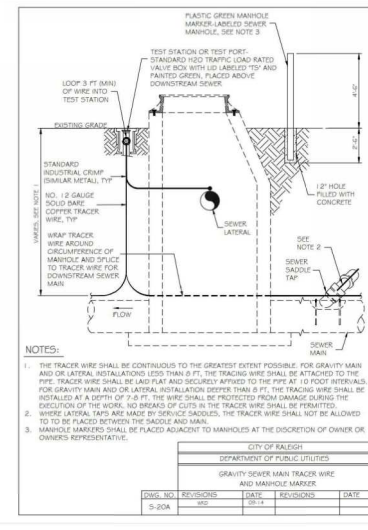
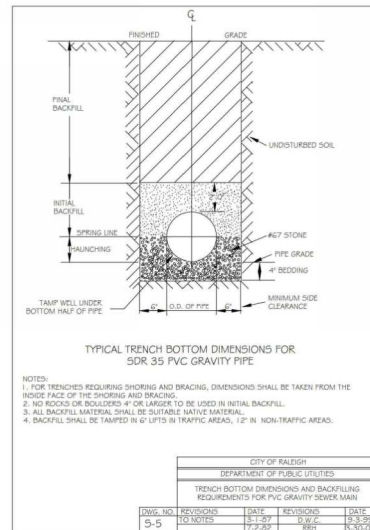
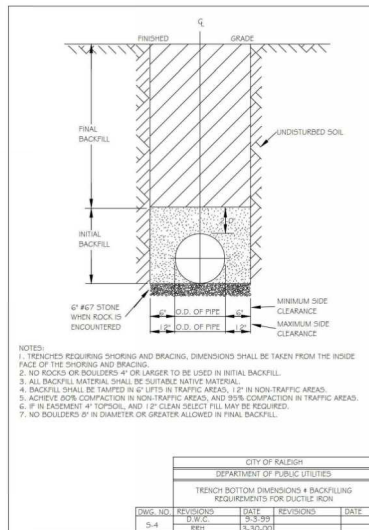
PROJECT NO.	KAN-19100
FILENAME	KAN19010-ASR-D1
CHECKED BY	JB
DRAWN BY	JCS
SCALE	N/A
DATE	10.19.2022

C8.05



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST
VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARD
SPECIFICATIONS AND DETAILS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NC DOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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CLIENT
KANE REALTY CORPORATION
4321 LASSITER AT NORTH HILLS AVENUE
SUITE 250
RALEIGH, NORTH CAROLINA 27609

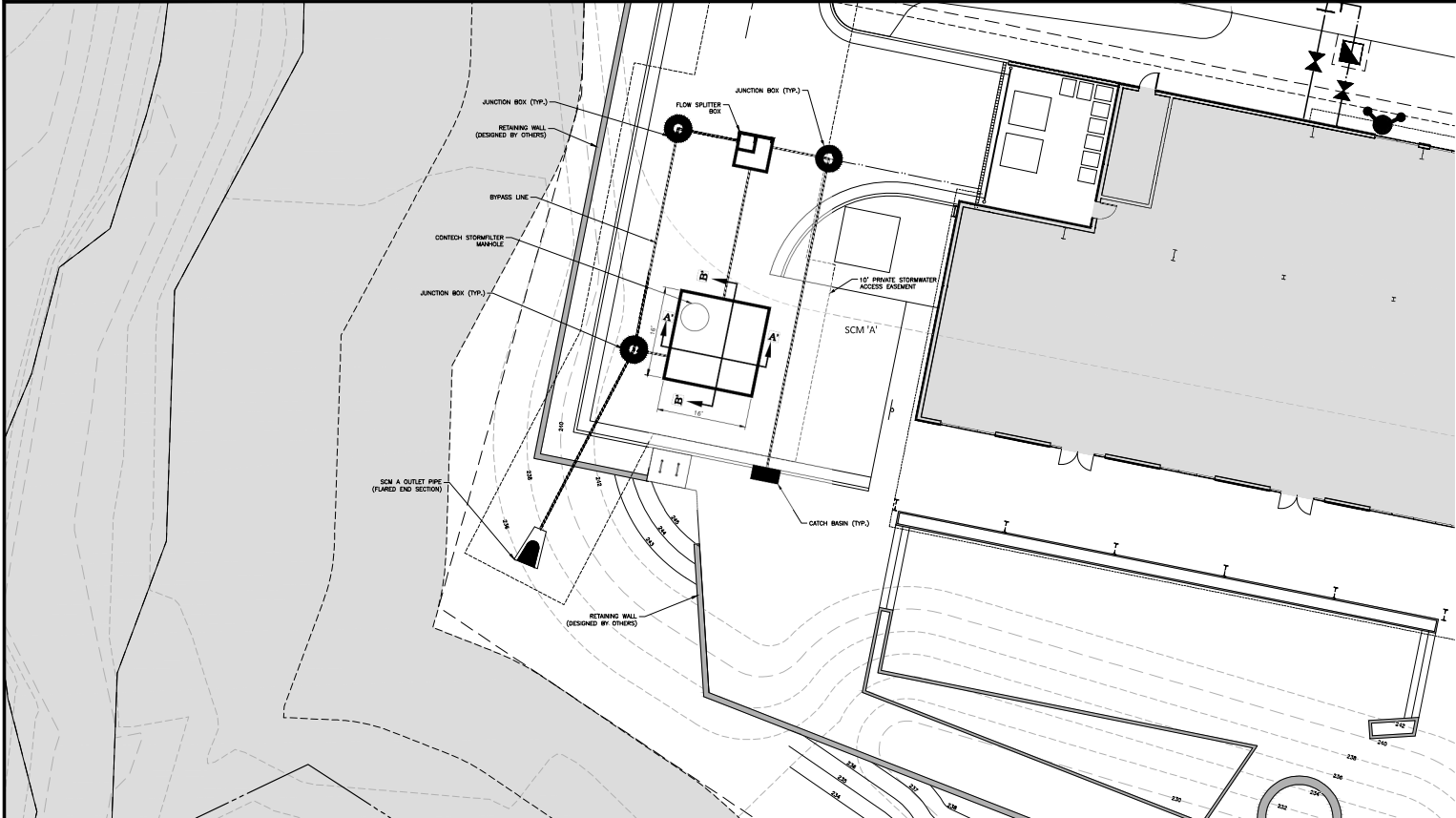
KANE
REALTY CORPORATION

F & B
640 ST ALBANS DRIVE
ADMINISTRATIVE SITE PLAN
RALEIGH, NORTH CAROLINA, 27609

REVISIONS			
NO.	DATE	DESCRIPTION	BY
1	12.22.2022	RESPONSE TO 1st ASR COMMENTS	JCS
2	02.27.2023	RESPONSE TO 2nd ASR COMMENTS	JCS
3	03.31.2023	RESPONSE TO 3rd ASR COMMENTS	JCS

PLAN INFORMATION
PROJECT NO. KAN-19100
FILENAME KAN1901D ASR D1
CHECKED BY JB
DRAWN BY JCS
SCALE N/A
DATE 10.19.2022

SHIELD
SANITARY SEWER
DETAILS
C8.06



STORMFILTER SYSTEM PLAN VIEW

GENERAL NOTES

1. PRIOR TO CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS AND NOTES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.
2. PRIOR TO ANY CONSTRUCTION OR PLACEMENT OF ANY BACKFILL, THE ONSITE GEOTECHNICAL ENGINEER SHALL INSPECT THE EXCAVATION AREA FOR THE UNDERGROUND SCM WITHIN THIS AREA TO ASSESS WHETHER SUITABLE SOILS EXIST AT THE SUBGRADE LEVEL. IF THE CONTRACTOR CONSTRUCTS AND COVERS UP THE UNDERGROUND SCM PRIOR TO INSPECTION, THIS YES AREA SHALL BE UNCOVERED AND TESTED TO THE ENGINEER'S AND OWNER'S APPROVAL AT THE CONTRACTOR'S EXPENSE.
3. THE FACILITY SHALL NOT BE USED AS A TEMPORARY EROSION CONTROL DEVICE (I.E. SEDIMENT TRAP OR SEDIMENT BASIN) DURING CONSTRUCTION.
4. PRIOR TO PLACING STORMFILTER CARTRIDGES WITHIN THE UNDERGROUND SYSTEM, THE CONTRACTOR SHALL REQUEST AN ONSITE MEETING WITH THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR TO INSURE THE UPSTREAM DRAINAGE AREA IS COMPLETELY STABILIZED (I.E. SODS OR SODS VEGETATIVE COVER). IF THE CONTRACTOR DECIDES TO PLACE THE STORMFILTER CARTRIDGES PRIOR TO APPROVAL FROM THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR, THEN THE CONTRACTOR SHALL REEVALUATE, AS NECESSARY, THE COMPONENTS NEEDED FOR THE SYSTEM TO FUNCTION PROPERLY AT HIS / HER EXPENSE. SHOULD THE STORMFILTER CARTRIDGES NOT FUNCTION PROPERLY (I.E. WILL NOT DRAIN DUE TO SEDIMENT DEPOSITIONS DUE TO AN UNSTABILIZED UPSTREAM DRAINAGE AREA.
5. ONCE CONSTRUCTED, THE STORMFILTER CARTRIDGES SHALL NOT RECEIVE STORMWATER RUNOFF UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA TO THE UNDERGROUND SYSTEM HAS BEEN COMPLETELY STABILIZED AND SITE CONSTRUCTION IS COMPLETE.
6. ALL COMPONENTS OF THE UNDERGROUND SCM SYSTEM (JOINT / RISER CONNECTIONS, ENDCAPS, ACCESS MANHOLES, ETC.) SHALL BE DESIGNED BY OTHERS. ANY VARIATIONS OR CHANGES BASED FROM THESE SPECIFICATIONS AND DRAWINGS DURING THE ORDERING AND/OR INSTALLATION OF ALL COMPONENTS MUST BE APPROVED BY THE DESIGN ENGINEER. THE STRUCTURAL DESIGN OF THE UNDERGROUND SCM, ALONG WITH ITS ASSUMPTIONS, IS ALSO BY OTHERS. THE JOHN R. MCADAMS COMPANY, INC. AND ITS EMPLOYEES ASSUME NO LIABILITY WITH RESPECT TO ANY ASPECT OF THE STRUCTURAL DESIGN FOR THE UNDERGROUND SCM SYSTEM.
7. ALL PIPE / RISER CONNECTIONS AND JOINTS ASSOCIATED WITH THE STORM FILTER SYSTEM AND UNDERGROUND DETENTION PIPE SHALL BE WATER TIGHT. THE MECHANISM FOR ACHIEVING THIS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW.
8. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM VARIOUS PARTS OF THE SAND FILTER SYSTEM SITE. IT IS ANTICIPATED THAT PUMPING WILL BE NECESSARY IN THE EXCAVATION AREAS DURING PLACEMENT OF FILL WITHIN THIS AREA OR OTHER AREAS AS NECESSARY. THE CONTRACTOR SHALL KEEP THE WATER LEVEL BELOW THE BOTTOM OF THE EXCAVATION, THE MANNER IN WHICH THE WATER IS REMOVED SHALL BE SUCH THAT THE EXCAVATION BOTTOM AND SIDE SLOPES ARE STABLE.
9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADHERE TO ALL CURRENT OSHA REGULATIONS FOR CONFINED SPACE ENTRY AND PROVIDE SUCH DURING POWER WALL THROUGH INSPECTION.
10. ALL PIPE PENETRATIONS THROUGH A CONCRETE OR CMP STRUCTURE (I.E. STORMFILTER CARTRIDGE / DETENTION SYSTEM, STORM DRAINAGE MANHOLES, ETC.) SHALL BE MADE WATER TIGHT USING NON-SHRINK CEMENTITIOUS GROUT.
11. ACCESS MANHOLES SHALL INCLUDE LADDERS OR MANHOLE STEPS. IF, AT ANY ACCESS POINT, MANHOLE STEPS WOULD RESULT IN A 4" OR GREATER OFFSET, A LADDER SHALL BE PROVIDED. AS SUCH, A LADDER SHALL BE REQUIRED AT ALL MANHOLE ACCESS POINTS TO THE STORMFILTER VAULT. ALL LADDERS SHALL INCLUDE AN EXTENDING AND RETRACTING SECTION THAT ALLOWS THE LADDER TO BE EXTENDED ABOVE THE ACCESS LEVEL TO FACILITATE SAFE UPWARD AND DOWNWARD TO A STANDING POSITION.

FOUNDATION NOTES

1. ONCE THE EXCAVATION IS COMPLETE AND PRIOR TO INSTALLATION OF THE UNDERGROUND SCM SYSTEM, THE ONSITE GEOTECHNICAL ENGINEER SHALL VERIFY THE BEARING CAPACITY OF THE UNDERLYING SOILS TO SERVE AS A FOUNDATION FOR THE UNDERGROUND SCM SYSTEM. IF THE ONSITE GEOTECHNICAL ENGINEER DEEMS THE FOUNDATION SOILS TO BE UNSUITABLE, THEN THE UNSUITABLE MATERIAL SHOULD BE REMOVED DOWN TO A SUITABLE DEPTH AND THEN BUILT BACK UP TO THE CORRECT ELEVATION WITH A COMPACTED BACKFILL MATERIAL THAT IS APPROVED BY THE ONSITE GEOTECHNICAL ENGINEER. THE APPROVED BACKFILL MATERIALS SHOULD HAVE A GRANULOMETER THAT WILL NOT ALLOW THE MIGRATION OF FINE, WHICH COULD CAUSE SETTLEMENT OF THE UNDERGROUND SCM SYSTEM. IF NECESSARY, A GEOTEXTILE FABRIC CAN BE USED TO SEPARATE THE UNDERLYING SOILS AND THE BACKFILL MATERIAL. THIS GEOTEXTILE FABRIC IF USED IS TO BE SPECIFIED BY THE GEOTECHNICAL ENGINEER.
2. IF THE FOUNDATION SUBGRADE WILL BE EXPOSED FOR AN EXTENDED PERIOD DURING CONSTRUCTION, THEN IT SHOULD BE GRADED TO A SLIGHT SLOPE SUCH THAT MIGRATION OF THE SUBGRADE DOES NOT OCCUR.
3. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM THE EXCAVATION. IT IS BEST TO BEGIN THE CONSTRUCTION OF THE SAND FILTER/DETENTION SYSTEM AT THE DOWNSTREAM END WITH THE OUTLET ALREADY CONSTRUCTED TO ALLOW A ROUTE FOR WATER TO ESCAPE.
4. THE ONSITE GEOTECHNICAL ENGINEER SHALL BE TOWING IF FOUNDATION DRAWING ARE REQUIRED FOR THE UNDERGROUND SCM SYSTEM, THE DESIGN ENGINEER SHALL BE NOTIFIED FOLLOWING THIS DETERMINATION. IF REQUIRED, THE FOUNDATION DESIGNS ARE TO BE DESIGNED ENTIRELY BY THE ONSITE GEOTECHNICAL ENGINEER. THE FOUNDATION DESIGN SYSTEMS SHALL BE TO THE NEAREST STORM DRAIN INLET / JUNCTION BOX WITH INVERT LOWER THAN THE INVERT OF THE FOUNDATION DRAIN. FOUNDATION DRAIN SYSTEMS SHALL NOT BE TO THE UNDERGROUND SCM AT ANY POINT.

BEDDING NOTES

1. THE EXCAVATION ON OUR GRADE MUST BE TRANSIT LEVEL.
2. THE EXCAVATION ON PTE SHALL BE USED ON THE BOTTOM AND ALL FOUR SIDES WITH A NON-WOVEN GEO-TEXTILE (GEOFLEX 402 OR APPROVED EQUIVALENT). THE ONSITE GEOTECHNICAL ENGINEER SHALL APPROVE FABRIC FOR USE.
3. THE SUBGRADE FOR THE DETENTION SYSTEM CAN BE A CONCRETE SLAB OR CLEAN GRANULAR MATERIAL WITH A MAXIMUM AGGREGATE SIZE OF 3/4". THE BEDDING SHALL BE FREE FROM ROCK FORMATIONS, PROTRUDING STONES, FROZEN LUMPS, ROOTS, AND OTHER FOREIGN MATERIAL.
4. PREPARE THE SUBGRADE FOR THE ONSITE GEOTECHNICAL ENGINEER'S DIRECTION (APPROXIMATELY 6" BELOW GRADE ON WHICH SAND WILL SETTLE). THE BEDDING MATERIAL SHOULD BE GRADED SUCH THAT A SMOOTH UNIFORM GRADE IS ESTABLISHED TO ALLOW FOR OPTIMUM PLACEMENT OF THE SAND FILTER.
5. THE SUBGRADE MUST SUPPORT THE DETENTION SYSTEM METHOD SETTLEMENT WITHIN INCHES.
6. IF CONSTRUCTION EQUIPMENT WILL BE OPERATING FOR AN EXTENDED PERIOD OF TIME ON THE BEDDING, THEN THE APPROPRIATE MEASURES (E.G. STEEL GEOTILES, ETC.) SHALL BE TAKEN TO ENSURE THE INTEGRITY OF THE BEDDING IS NOT COMPROMISED.

STORMFILTER VAULT CONSTRUCTION NOTES

1. STORMFILTER CONTROL MEASURE CONFIGURATION IS PROVIDED ON SHEET CS-01.
2. ABSOLUTELY NO RUNOFF SHALL ENTER THE STORMFILTER CONTROL MEASURE UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.
3. MANHOLE ACCESS SHALL BE PROVIDED FOR THE STORMFILTER CONTROL MEASURE. MANHOLES SHALL BE IN COMPLIANCE WITH CITY OF RALEIGH STANDARD DETAILS BUT SHALL BE A MINIMUM OF 24 INCHES IN DIAMETER TO COMPLY WITH OSHA CONFINED SPACE REQUIREMENTS FOR MINIMUM CLEAR REQUIREMENTS. ACCESS SHALL BE AT THE TOP OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE ACCESS LADDERS FOR ACCESS BELOW ALL MANHOLES. MANHOLE COVERS SHALL ALLOW FOR PROPER VENTILATION.

STORMWATER SYSTEM MATERIAL SPECIFICATIONS

1. THE UNDERGROUND SCM UNITS ARE TO BE DESIGNED BY OTHERS. ANY CHANGES TO THE APPROVED PLANS SHALL BE PROVIDED TO THE DESIGN ENGINEER PRIOR TO INSTALLATION FOR REVIEW.
2. ACCESS RISERS SHALL BE INSTALLED PER MANUFACTURE SPECIFICATIONS. ACCESS STEPS / LADDERS SHALL BE ATTACHED TO THE RISERS TO ALLOW FOR ACCESS INTO THE UNDERGROUND SCM SYSTEM.
3. DRAWDOWN OF THE STORMFILTER CARTRIDGE AREA AND DETENTION SYSTEMS IS VIA AN 8" P PLUS VALVE. THE VALVES SHALL BE A 304L STAINLESS STEEL 1800 PSIG VALVE OR ENGINEER APPROVED EQUIVALENT. THIS VALVE IS IN ACCORDANCE WITH AWWA C617, AND SHALL BE OPERABLE FROM INSIDE THE DETENTION TANK AND BE FOR SYSTEMS VIA A MANHOLE (SEE DETAIL SHEET SW-2). THE CONTRACTOR SHALL PROVIDE A REMOVABLE VALVE WRENCH WITH A HANDWHEEL ON TOP FOR OPERATION OF THE 8" P PLUS VALVE.
4. THE RCP OUTLET BARRIERS SHALL BE CLASS B RCP, ACCEPTED MILL AND SPOOT, MEETING THE REQUIREMENTS OF ASTM C76 LATEST. THE PIPE SHALL HAVE COMBINED CHAIN RUBBER GASKET JOINTS MEETING ASTM C443 LATEST. THE PIPE JOINTS SHALL BE TYPE B-4.
5. GEOTEXTILE FABRIC FOR THE OUTLET BARREL JOINTS SHALL BE 304L STAINLESS STEEL OR ENGINEER APPROVED EQUAL (NON-WOVEN FABRIC). THE ONSITE GEOTECHNICAL ENGINEER SHALL APPROVE FABRIC FOR USE.
6. ALL Poured CONCRETE SHALL BE MINIMUM 3000 PSI (28 DAY) UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL INSTALL THE UNDERGROUND SCM UNITS PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO PROVIDE A LETTER FROM MATERIAL SUPPLIERS STATING MATERIALS MEET THE SPECIFIED STANDARDS PRIOR TO INSTALLATION.

BACKFILL MATERIAL NOTES

1. THE ON-SITE GEOTECHNICAL ENGINEER SHALL SPECIFY THE BACKFILL MATERIAL FOR THE UNDERGROUND SCM SYSTEM.
2. THE BACKFILL MATERIAL SHOULD BE FREE OF ROCKS, FROZEN LUMPS, AND OTHER FOREIGN MATTER THAT COULD CAUSE HARD SPOTS WITHIN THE BACKFILL MATERIAL, OR THAT COULD DECOMPOSE AND CREATE VOIDS.
3. HIGH-Y PLASTIC SILTS, HIGH-Y PLASTIC CLAYS, ORGANIC SILTS, ORGANIC CLAYS, AND PEATS SHOULD NOT BE USED AS A BACKFILL MATERIAL.
4. THE BACKFILL MATERIAL SHOULD BE PLACED IN 6" LOOSE LIFTS AND COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D1557). THE SOILS SHOULD BE COMPACTED AT A MOISTURE CONTENT WITHIN +/- 1.00 PERCENT OF ITS OPTIMUM MOISTURE CONTENT.
5. ANY MATERIAL STOCKPILING ON TOP OF THE UNDERGROUND SCM SYSTEM SHALL BE APPROVED BY THE STRUCTURAL DESIGN ENGINEER.

STATEMENT OF RESPONSIBILITY

ALL REQUIRED MAINTENANCE AND INSPECTIONS OF THIS FACILITY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, PER THE EXECUTED OPERATION AND MAINTENANCE AGREEMENT FOR THIS FACILITY.



SCM CERTIFICATIONS AND AS-BUILT PLANS MUST BE PROVIDED TO STORMWATER CONTROL INSPECTOR, FOR REVIEW, 7 DAYS PRIOR TO FINAL INSPECTION. CERTIFICATIONS AND AS-BUILT PLANS MUST BE ACCEPT PRIOR TO FINAL INSPECTION.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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F & B
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ADMINISTRATIVE SITE PLAN
RALEIGH, NORTH CAROLINA, 27609

REVISIONS		
NO.	DATE	
1	12.22.2022	RESPONSE TO 1st ASR COMMENTS
2	01.27.2023	RESPONSE TO 2nd ASR COMMENTS
3	03.31.2023	RESPONSE TO 3rd ASR COMMENTS

PLAN INFORMATION	
PROJECT NO.	KAN-19100
FILENAME	
CHECKED BY	
DRAWN BY	
SCALE	
DATE	10.19.2022
SHEET	

**STORMWATER CONTROL
MEASURE PLAN VIEW AND
NOTES
C9.00**

REVISIONS

NO.	DATE	RESPONSE TO I&E ASH COMMENTS
1	12.22.2022	RESPONSE TO I&E ASH COMMENTS
2	03.27.2023	RESPONSE TO I&E ASH COMMENTS
3	03.31.2023	RESPONSE TO I&E ASH COMMENTS

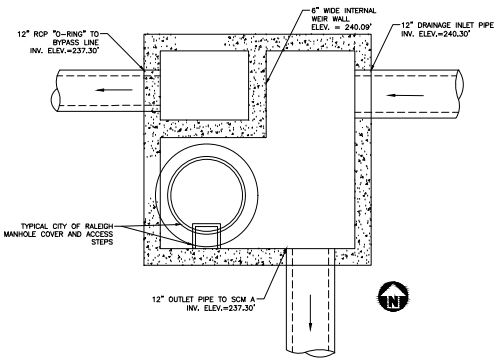
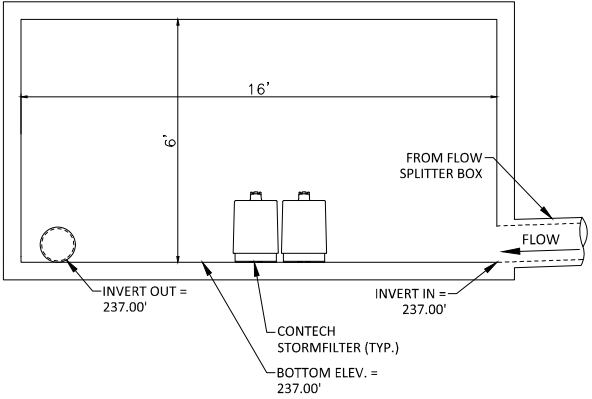
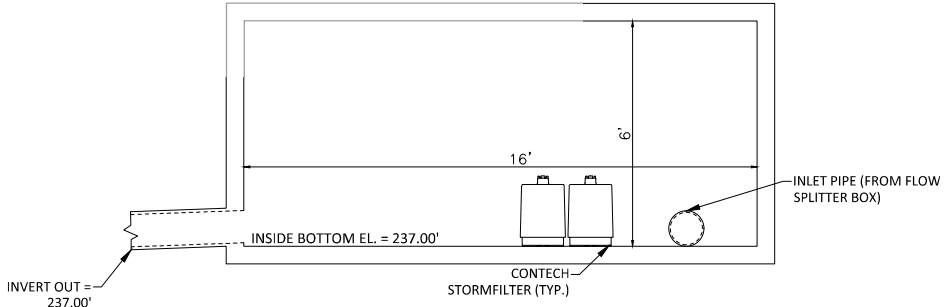
PLAN INFORMATION

PROJECT NO.	KAN-19100
FILENAME	
CHECKED BY	
DRAWN BY	
SCALE	
DATE	10.19.2022
SHEET	

**STORMWATER CONTROL
MEASURE DETAILS**

C9.01

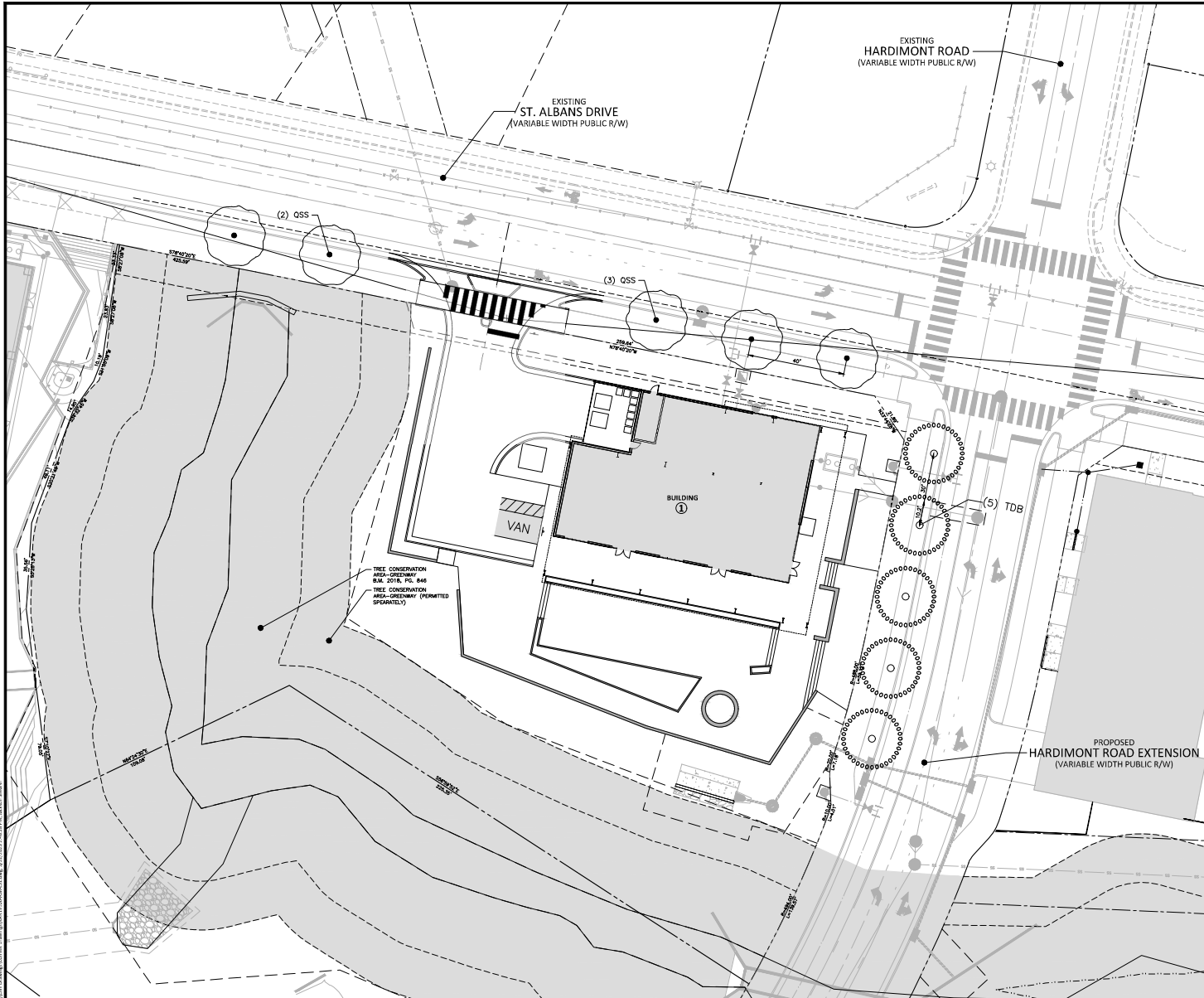
**SCM 'A'
WATER QUALITY
VAULT**



SCM CERTIFICATIONS AND AS-BUILT PLANS MUST BE PROVIDED TO STORMWATER CONTROL INSPECTOR, FOR REVIEW, 7 DAYS PRIOR TO FINAL INSPECTION. CERTIFICATIONS AND AS-BUILT PLANS MUST BE ACCEPT PRIOR TO FINAL INSPECTION.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



- LANDSCAPE NOTES**
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
 2. CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
 3. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
 4. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR ANY CONFLICTS OR DISCREPANCIES TO BE RESOLVED.
 5. ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 6. THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BOLLARDS, GRADING, WALKS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
 7. VERIFICATION OF TOTAL PLANT QUANTITIES IS SUBJECT TO THE PLANT MATERIALS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
 8. CONTRACTOR TO ENSURE PROPER STAKE PLACEMENT AND SIZES OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
 9. LANDSCAPE MATERIAL SHALL BE WELL FORMED, VERTICAL, GROWING SPECIMENS WITH GROWTH TYPICAL OF SPECIES SPECIFIED AND SHALL BE FREE FROM DAMAGES, INJURIES AND DISEASES. MATERIAL SHALL BE QUALITY OR SUPERIOR QUALITY AS REQUIRED BY THE CURRENT ISSUE OF "AMERICAN STANDARD FOR PLANT STOCK" AS PUBLISHED BY THE AMERICAN ROYALTY & LANDSCAPE ASSOCIATION.
 10. ALL PLANT MATERIAL, 6" DBH OR GREATER, SHALL BE THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. UNHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
 11. ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT SHOOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. EXCESSIVE PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
 12. ALL PLANTS TO BE A MINIMUM OF 10" DBH IS SPECIFIED BY THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOUSING BEING BUILT.
 13. CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXISTING OF ALL UNDERGROUND UTILITIES PRIOR TO ANY PLANTING.
 14. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
 15. PROPOSED TREES TO BE PLANTED A MINIMUM 10' FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
 16. PROPOSED TREES TO BE PLANTED A MINIMUM 5' FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
 17. CONTRACTOR SHALL COMPLETE ALL TREE IN ALL PLANTING AREAS TO OBTAIN THE PLANT MATERIALS WHICH REMAIN UNHARMED UNLESS REQUIRED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL GUARANTEE IN AND PROTECT ALL TREES UPON THE SITE 15% RESULTS.
 18. TOPSOIL SHALL BE FREE OF MATERIALS LESSER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLUGS, CHIEFS, STONES, LAMPS OF SOIL, STICKS, ROOTS, TWIGS, OR OTHER DEBRIS MATERIAL.
 19. LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MAY BE NECESSARY TO TOP DRESS SOIL. (FRESH PLANTING SOIL MAY TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FRESH GRADE). AFTER MATERIAL SETTLING, DO NOT BREAK UP PLANTING SOIL OR SUBGRADE STRUCTURE, UNLESS OTHERWISE SPECIFIED.
 20. IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILED TO INTEGRATE THE SOIL PROFILES.
 21. PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHARMED SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE SURVIVAL OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
 22. ALL TREE PLANTINGS SHALL BE MATCHED TO A DEPTH OF 1 INCHES, AND WITH A MINIMUM 1 FOOT RADII FROM BASE OF TREE ON TO DRAINAGE. MATCH SHALL BE FREE OF FRESH AND DAMAGED WATER. MATCH SHALL NOT COVER OR BE PLANTED IN THE SAME PLACE. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE TREE. LANDSCAPE ARCHITECT HOLDS THE RIGHT TO REQUEST MODIFICATIONS TO THE MATCH RADIUS IF NOTED INCONGRUITY.
 23. DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT TRUNK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, WIND, WINDING, AND OTHER DAMAGE. DO NOT PRUNE BRANCHES OR ROOTS. SHOULD IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXPOSED PLANTS. PLANTS DELIVERED DO NOT STOP DEBRIS PLANTS, DURING DELIVERY AND HANDLING.
 24. DELIVER EXISTING PLANTS AFTER PREPARATION FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. VARIATIONS AFTER DELIVERY, STAKE THE TREES UP TO SECURE THE AREA OF SOIL. PROTECT EXISTING TREES FROM STAMING, UNITS AND VARIATIONS. UNITS IMMEDIATELY DETACHED, SET EXISTING PLANTS AND TREES IN SHADE. PROTECT FROM WINDS AND MECHANICAL DAMAGE, AND STOP ROOTS GROWTH.
 25. SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
 26. CONTRACTOR SHALL REMOVE DEBRIS AND FRESH GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
 27. REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
 28. FINISH GRADING GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORM FINE TEXTURE. GRADE TO 10% FILLER OR MORE 12 INCHES OR MORE EXISTING SOIL AND MAKE REPAIRS. GRADE AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FILLING DEPRESSIONS TO AREAS THAT CAN BE PLANTED ON THE IMMEDIATE FUTURE.
- TREE CONSERVATION LEGEND**
- PRIMARY TREE CONSERVATION AREA
 - TREE CONSERVATION AREA - GREENWAY
 - WETLAND
 - 50' NEUSE RIVER BUFFER
- LANDSCAPE CALCULATIONS:**
- STREET TREES:
ST. ALBANS DRIVE: 254 LF
STREET TREES REQUIRED: 6 TREES
STREET TREES PROVIDED: 6 TREES
- NOTES:**
1. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
 2. STREET TREES SHALL BE LOCATED AND CROWNED 30' FROM STOP SIGNS, 30' ON EITHER SIDE OF TRIPLE PAVES, 30' FROM DRIVEWAYS, 30' FROM A PARKING LOT, AND 30' FROM ANY OTHER POLES. SEE RALEIGH CITY TREE MANUAL FOR ADDITIONAL INFORMATION ON PLANTING REQUIREMENTS FOR STREET TREES.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND SHRUBS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND SHRUBS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND SHRUBS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES AND SHRUBS.
 4. ALL TREES LOCATED WITHIN 50' OF THE PROPOSED EXTENSION SHALL BE Labeled UP TO A MINIMUM 10' AS FRESH GRADE.
 5. A TREE IMPACT PERMIT IS REQUIRED PRIOR TO SUBMISSION OR ISSUANCE OF A BUILDING PERMIT, WHICH EVENT OCCURS FIRST, FOR TREES INSTALLED WITHIN THE PUBLIC RIGHT-OF-WAY.

PLANT SCHEDULE - ST. ALBANS DRIVE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT	REMARKS
○	QSS	5	Parashoe Shumard Red Oak	Quercus shumardii "Parashoe"	3"	10'	

PLANT SCHEDULE - HARDIMONT ROAD

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HEIGHT	REMARKS
○	TDB	5	Bald Cypress	Taxodium distichum	3"	10'	

McADAMS
The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713
phone 919. 361. 5000
fax 919. 361. 2269
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www.mcadamsco.com

KANE
REALTY CORPORATION
4321 LASSITER AT NORTH HILLS AVENUE
SUITE 250
RALEIGH, NORTH CAROLINA 27609

F & B
640 ST ALBANS DRIVE
ADMINISTRATIVE SITE PLAN
RALEIGH, NORTH CAROLINA, 27609

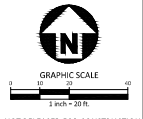
REVISIONS

NO.	DATE	DESCRIPTION
1	02.22.2022	RESPONSE TO 1st ASR COMMENTS
2	03.27.2023	RESPONSE TO 2nd ASR COMMENTS
3	03.31.2023	RESPONSE TO 3rd ASR COMMENTS

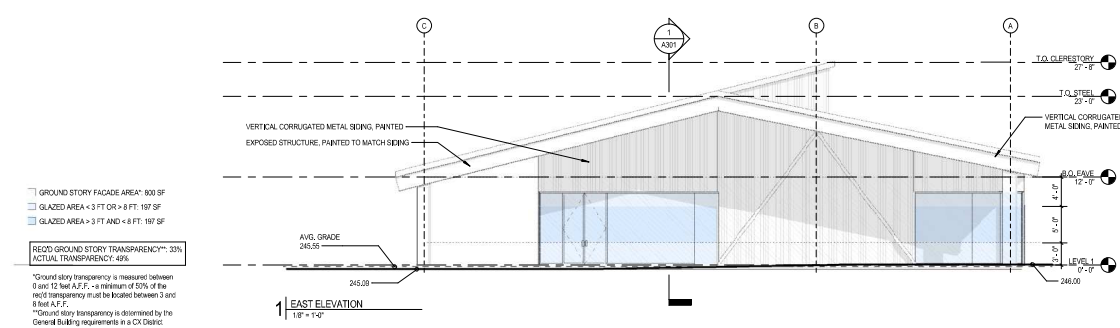
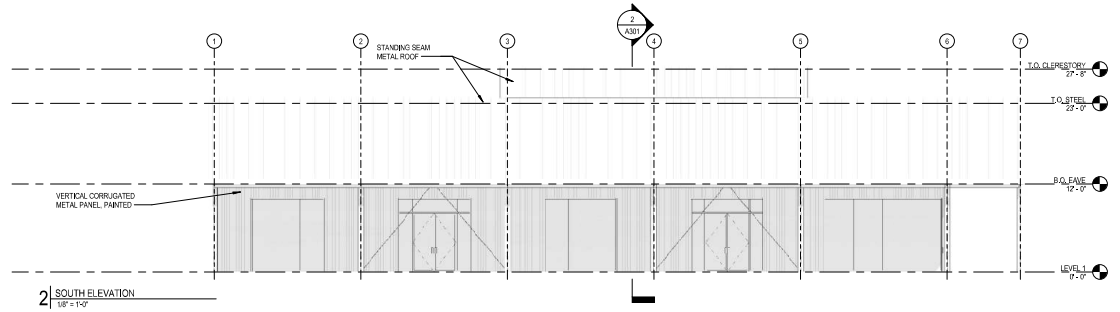
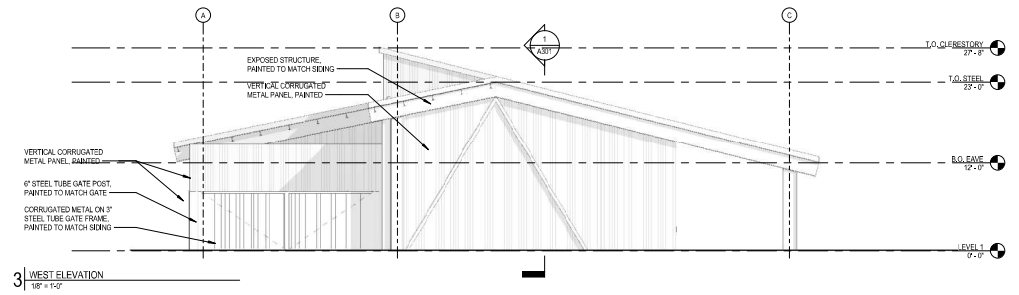
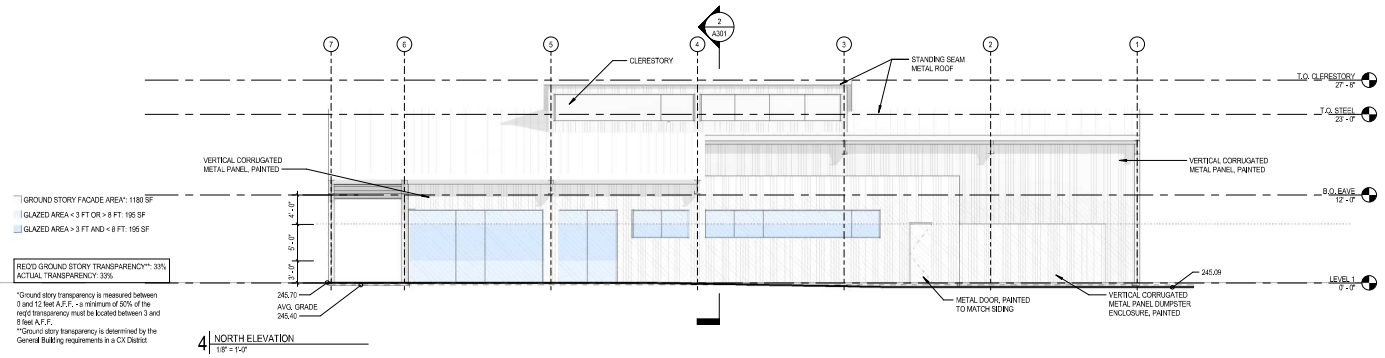
PLAN INFORMATION

PROJECT NO.	KAN-19100
FILENAME	KAN19010-ASR-151
CHECKED BY	JB
DRAWN BY	JCS
SCALE	1"=20'
DATE	10.19.2022

LANDSCAPE PLAN
L5.00



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



CLEARSCAPES
ARCHITECTURE
http://www.clearscapes.com
530 E. Davis St., Suite 180
Raleigh, NC 27601
(919) 821-0775
(919) 821-0804 Fax
art@clearscapes.com

CONTRACT

Location

Shaw
www.shawinc.com
223 S. West St.
Raleigh, NC
919.361.0700

Collaborator

McKenna
www.mckennaco.com
621 H. H. Hough St.
Raleigh, NC
919.361.0000

MEP

Lighthouse Engineering
www.lighthouseengineering.com
403 West Morgan St., Suite 100
Raleigh, NC
919.833.9781

Structural

Crawford Sprinkler Company
www.crawfordsprinkler.com
2725 S. Saunders St.
Raleigh, NC
919.828.9546

SCALE

NOT FOR CONSTRUCTION

SITE PLAN SUBMITTAL
03.30.2023

PROJECT

BIG BRANCH MARKET
500 Saint Albans Dr.
Raleigh, NC 27607

REVISION

No.	Description	Date

PROJECT DATA

DATE: 03.30.2023
DRAWN: TLP
CHECKED: PVB
PRINTING: SITE PLAN SUBMITTAL

SHEET DATA

BUILDING ELEVATIONS

SHEETING

A201