



Administrative Approval Action

Case File / Name: ASR-0101-2022
DSLCL - BROOKSIDE TOWNHOMES

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This 0.63 acre development consists of two parcels located on Brookside Drive, north of Glascock Street, south of Frank Street, east of Norris Street, and west of Edmund Street, specifically identified as 1205 and 1207 Brookside Drive. The two parcels are zoned R-10 and located southeast of Conn Elementary within the Oakwood Park Neighborhood Conservation Overlay District (NCOD-Oakwood Pa

REQUEST: This project proposes multi-unit living for the development of apartments, parking, associated infrastructure and amenity areas on two lots. Each lot has an existing detached dwelling which will be demolished. The project proposes 10 townhouse-style apartments in two buildings (five units in each building) with one building on each lot.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** FIL-0193-2023: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 15, 2023 by Swift Partners PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Stormwater

1. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of any grading or site permit (UDO 9.2.3.E).
2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering



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1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
2. A fee-in-lieu for 1' of public sidewalk will be applied along the frontage of this development for Brookside Dr. The amount will be calculated when a plat is received for review and prior to approval of the plat to be recorded. (UDO Section 8.1.10)
3. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A cross access agreement among the lots identified as PINs 1714141381 and 1714142307 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

Public Utilities

5. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

Engineering

1. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Public Utilities

2. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

Urban Forestry



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3. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes (4) street trees in tree lawn along Brookside Dr.
4. A public infrastructure surety for (4) street trees in tree lawn shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: April 19, 2026

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Daniel L. Stogall Date: 04/19/2023
Development Services Dir/Designee
Staff Coordinator: Jessica Gladwin

BROOKSIDE TOWNHOMES

1205 & 1207 BROOKSIDE DR RALEIGH, NC 27604

CITY OF RALEIGH ASR SUBMITTAL
ASR-0101-2022

SUBMITTED ON: 2023.03.15

Sheet List Table	
Sheet Number	Sheet Title
C0.00	COVER SHEET
C1.00	GENERAL NOTES
C1.01	EXISTING CONDITIONS AND DEMOLITION PLAN
C3.00	SITE PLAN
C3.01	GRADING AND DRAINAGE PLAN
C3.02	UTILITY PLAN
C3.03	SITE CALCULS
L3.00	PLANNING PLAN
A210A	EXTERIOR ELEVATIONS BUILDING A
A210B	EXTERIOR ELEVATIONS BUILDING B
A220A	EXTERIOR ELEVATIONS BUILDING A
A220B	EXTERIOR ELEVATIONS BUILDING B



VICINITY MAP

SITE DATA

PROJECT NAME:	BROOKSIDE TOWNHOMES
SITE ADDRESS:	1205 & 1207 BROOKSIDE DR RALEIGH, NC 27604
COUNTY:	WAKE
PARCEL PIN #:	171443381, 171443207
PARCEL OWNER:	REDESIGNING DEVELOPMENT GROUP LLC
PARCEL AREA:	27,652 SF / 0.63 AC
TOTAL SITE GROSS ACREAGE:	27,462 SF / 0.63 AC
NET ACREAGE:	26,910 SF / 0.62 AC
CURRENT ZONING:	R-U
PROPOSED ZONING:	R-U
OVERLAY DISTRICT:	NEIGHBORHOOD CONSERVATION OVERLAY DISTRICT (NCO)
EXISTING LAND USE:	SINGLE-FAMILY RESIDENTIAL
PROPOSED LAND USE:	MULTI-FAMILY LIVING
FLOOD PLAIN DATA:	N/A
PLANTER BASIN:	NEUTRAL
DEVELOPMENT BUILDING TYPE:	FREQUENT TRANSIT DEVELOPMENT (APARTMENT)
MAX BUILDING HEIGHT:	42 / 3 STOREYS
PROPOSED BUILDING HEIGHT:	32-4 / 3
PROPOSED NUMBER OF LOTS:	2
NUMBER OF DWELLING UNITS (D.U.):	10
TREE CONSERVATION AREA:	N/A
TOTAL LIMITS OF DISTURBANCE:	21,535 SF / 0.49 AC
EXISTING IMPERVIOUS AREA:	0.96 AC / 13,914 SF
PROPOSED IMPERVIOUS AREA:	0.93 AC / 14,206 SF
ADJACENT AREA PROVIDED:	0.96 AC / 14,206 SF
PARKING DATA:	
REQUIRED PARKING:	3 SPACES/UNIT MAXIMUM
PROPOSED PARKING:	22 SPOTS (2 GARAGE SPOTS/UNIT)
TOTAL PARKING:	22 SPOTS
SHORT TERM:	1 SPACE PER 20 UNITS, 1 MINIMUM
LONG TERM:	1 SPACE PER 10 BEDROOMS
SHORT TERM:	4 SPACES
LONG TERM:	10 SPACES (GARAGE STORAGE)

RIGHT-OF-WAY OBSTRUCTION NOTES:

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LANE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHT-OF-WAY SERVICES@RALEIGH.GOV.
- THE STREET, LANE, SIDEWALK, CLOSURE PERMIT IS REQUIRED FOR ANY CLOSURE ON CITY STREETS AND ALL NEIGHBORING STREETS WITHIN ALBERT'S JURISDICTION.
- A PERMIT REQUEST WITH A TOWED PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTOR/COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND INSURE ALL PERMITS ARE ISSUED.
- ALL TOWED PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - A.1. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
 - A.2. PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG)
 - A.3. AMERICAN DISABILITY ACT (ADA) REQUIREMENTS
 - A.4. RALEIGH STREET DESIGN MANUAL (RDM)
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR HAVE LIMITED MOBILITY. CONCERNING THE PUBLIC SIDEWALK PEDESTRIAN ROUTES DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBILITY DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VALID ON SITE DURING THE OPERATION.

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE OFFICE OF STATE CONSTRUCTION, DEPARTMENT OF TRANSPORTATION, AND ALL OTHER APPLICABLE LOCAL, STATE AND FEDERAL REQUIREMENTS. ALL UTILITY CONSTRUCTION SHALL COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, COORDINATING AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING NECESSARY LOCATING SERVICES. THE CONTRACTOR SHALL PROVIDE A COPY OF EXISTING AND LOCATED UTILITIES TO THE OWNER PRIOR TO ANY WORK. NO LESS THAN 3 BUSINESS DAYS AND NO MORE THAN 10 WORKING DAYS PRIOR TO BEGINNING OF CONSTRUCTION, EXCAVATION OR ANY OTHER FORM OF CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEVIATION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
- ALL SUBSURFACE UTILITIES IDENTIFIED ON THE CONSTRUCTION DOCUMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATION. EXCAVATION OR DEVIATION FROM THE LOCATED UTILITIES SHALL BE IMMEDIATELY NOTIFIED TO THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. NO EXCAVATION OR DEVIATION SHALL BE STARTED WITHOUT ALL UTILITIES BEING LOCATED.
- EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COORDINATING PERMITS, INSPECTIONS, CERTIFICATIONS AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THE CONTRACT.
- THE CONTRACTOR SHALL MAINTAIN ACCESSIBILITY DURING THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION, VALVE AND MANHOLE CHANGES, AND LANDSCAPE OR LANDSCAPE CHANGES. DRAWINGS SHALL BE PROVIDED TO THE OWNER'S REPRESENTATIVE AT REGULAR INTERVALS, OR AS REQUESTED THROUGHOUT THE PROJECT FOR RECORD KEEPING.
- IF DEVIATIONS FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEVIATIONS AND REASONS THEREOF SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW. NO DEVIATIONS FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY EXISTING UTILITIES REQUIRED TO COMPLETE ANY PORTION OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR THE COORDINATION AND COSTS OF THE RELOCATION AND ASSOCIATED WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS AND RUBBISH CAUSED BY THE CONTRACTOR. ALL RUBBISH SHALL BE REMOVED FROM THE PROJECT SITE ON A DAILY BASIS.
- THE OWNER HAS GIVEN OWNER PROMISE ANY HOLD IN THE CONSTRUCTION MEANS AND/OR METHOD ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
- ROADWAYS (TEMPORARY OR PERMANENT) MUST BE CAPABLE OF SUPPORTING THE HEAVY EQUIPMENT (TRUCKS) DURING ALL PHASES OF CONSTRUCTION ONCE VERTICAL CONSTRUCTION HAS BEGUN.
- WE HAVE ELECTED THE FREQUENT TRANSIT DEVELOPMENT OPTION WHICH OVERIDES ANY INFILL REQUIREMENTS.
- THE SITE WILL BE CONFORMING TO THE EXEMPTION OF TREE CONSERVATION REQUIREMENTS THROUGH THE CITY OF RALEIGH LAND USE DEVELOPMENT CODE SECTION 3.2.2 FOR PARCELS LESS THAN 2 ACRES IN SIZE.

SOLID WASTE:

SOLID WASTE TO BE HANDLED VIA ROLL-OUT CART. CARTS ARE TO BE STORED IN GARAGES AND ROLLED OUT TO CURB ALONG PROPERTY FRONTAGE OF PUBLIC STREET.

Administrative Site Review Application

Planning Staff Development Customer Relations Center One Raleigh Plaza, Suite 400 Raleigh, NC 27601 (919) 999-2020



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.6. Please check the appropriate building type and include the plan checklist document when submitting.

Office Use Only: Case # _____ Planner (print) _____

Please review UDO Section 10.2.6 to determine the site plan type. If assistance determining a Site Plan Type is needed, a Site Plan Type Verification request can be submitted online via the [UDO and Development Page](#). (Note: There is a fee for this verification service.)

Site Plan Type: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>	
Building and Development Type (Check all that apply)	
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court
<input type="checkbox"/> Tiny house	<input checked="" type="checkbox"/> Frequent Transit Development Option
<input type="checkbox"/> Open lot	
GENERAL INFORMATION	
Development name: BROOKSIDE TOWNHOMES	
Inside City limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Property address(es): 1205 & 1207 BROOKSIDE DR RALEIGH, NC 27604	
Site P.I.N. (s): 171443381, 171443207	
Please describe the scope of work. Include any additions, expansions, and uses (UDO 8.1.4):	
PROPOSED MULTI-UNIT LIVING DEVELOPMENT WITH 2 BUILDINGS FOOTPRINT 4,840 SF EACH	
Current Property Owner(s): CHRISTOPHER HODGES	
Company: _____ Title: OWNER/MANAGER	
Address: 515 CUMBERLAND STREET, RALEIGH, NC 27612	
Phone # 919-473-6481 Email: CHRIS@RDG.COM	
Applicant Name (if different from owner. See "who can apply" in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company: _____	Address: _____

Page 1 of 3

REVISION 1.0.0



Public Sewer Collection / Extension System	
The City of Raleigh is responsible for the collection, transport, and treatment of wastewater. The City's public sewer system is shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.	
City of Raleigh	Public Utilities Department Permit # _____
Authorizations to Construct	See Utility Department

ATTENTION CONTRACTORS

The Contractor/Contractor representative for the collection of project, owner, under contract, as approved in these plans, is responsible for obtaining the Public Works Department's (P.W.D.) and the Public Utilities Department's (P.U.D.) permits and the City of Raleigh's (C.R.) approval prior to beginning any construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require resubmission of any permit or service facilities as requested as a result of this notification failure.

Failure to call for inspection, install a Development Permit, have Public Utilities Department Permit # _____, and have the City of Raleigh's approval prior to beginning any construction, will result in a Fine and Possible Exclusion from future work in the City of Raleigh.



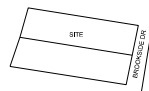
LUKE PERKINS
828-735-1862
LUKE.PERKINS@SWIFT-PARTNERS.COM



FIRM LICENSE: P-2187

No.	Date	Description
1	03/15/2023	ASR-0101-2022
2	03/15/2023	ASR-0101-2022
3	03/15/2023	ASR-0101-2022
4	03/15/2023	ASR-0101-2022
5	03/15/2023	ASR-0101-2022
6	03/15/2023	ASR-0101-2022
7	03/15/2023	ASR-0101-2022
8	03/15/2023	ASR-0101-2022
9	03/15/2023	ASR-0101-2022
10	03/15/2023	ASR-0101-2022
11	03/15/2023	ASR-0101-2022
12	03/15/2023	ASR-0101-2022
13	03/15/2023	ASR-0101-2022
14	03/15/2023	ASR-0101-2022
15	03/15/2023	ASR-0101-2022
16	03/15/2023	ASR-0101-2022
17	03/15/2023	ASR-0101-2022
18	03/15/2023	ASR-0101-2022
19	03/15/2023	ASR-0101-2022
20	03/15/2023	ASR-0101-2022

VICINITY



SCALE



SCALE: 1"=200'

ARROW



DATE: 03/15/2023
DRAWN BY: LUK
PROJECT: BROOKSIDE TOWNHOMES
PROJECT # C00020

SHEET NO.

C0.00

COVER SHEET

FIRM LICENSE: P-2187



- [illegible]

DEMOLITION LEGEND

- | KEY
NOTE | SYMBOL | DESCRIPTION |
|-------------|--------|-------------------------------|
| 1 | | REMOVE BUILDING |
| 2 | | REMOVE ASPHALT |
| 3 | | REMOVE GRAVEL |
| 4 | | REMOVE BRICK WALKWAY |
| 5 | | REMOVE CONCRETE |
| 6 | | REMOVE RIPRAP |
| 7 | | REMOVE VEGETATION |
| 8 | | REMOVE WATER LINE |
| 9 | | REMOVE SANITARY SEWER LINE |
| 10 | | REMOVE STORM DRAINAGE |
| 11 | | REMOVE FENCE |
| 12 | | TREE PROTECTION FENCE |
| 13 | | BELTS OF DISTURBANCE |
| 14 | | COORDINATE LIGHT POLE REMOVAL |
| 15 | | REMOVE TREE |
| 16 | | REMOVE TRUNKLINE |
| 17 | | REMOVE UNWIND STOP |
| 18 | | REMOVE CURB & GUTTER |
| 19 | | REMOVE SIGN |

TREE LEGEND

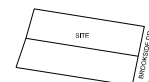
- | | |
|----|-------------------|
| JO | AMERICAN HOLLY |
| JE | EASTERN RED CEDAR |
| LI | CREPE MYRTLE |
| WB | SOUTHERN MAGNOLIA |
| PQ | EASTERN SYCAMORE |
| PT | LOBLOLLY PINE |
| QR | RED OAK |
- EXAMPLE: 10QR = 10' RED OAK

NOTES:

1. SEE SHEET C0.10 FOR GENERAL AND EXISTING CONDITIONS NOTES.

[illegible]

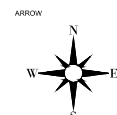
VICINITY



SCALE



SCALE: 1" = 10'

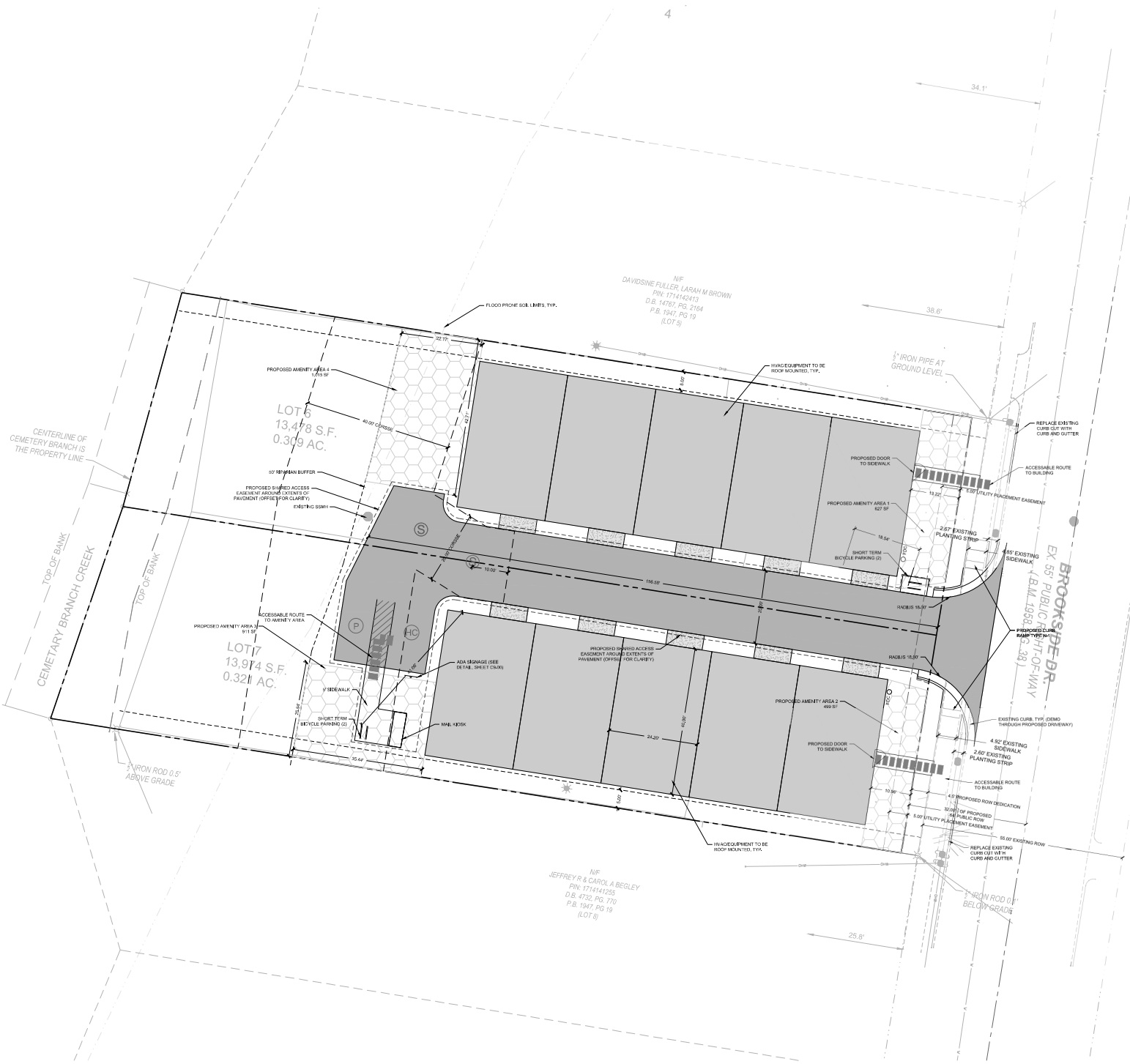


SHEET TITLE
EXISTING CONDITIONS AND
DEMOLITION PLAN

DATE: 2023.03.15
CHECKED BY: 000
DRAWN BY: 000

04

C1.00



- SITE LEGEND:**
- | SYMBOL | DESCRIPTION |
|-----------|---|
| [Pattern] | PROPOSED BUILDING |
| [Pattern] | PROPOSED CONCRETE SIDEWALK |
| [Pattern] | PROPOSED BRICK SIDEWALK |
| [Pattern] | PROPOSED HEAVY DUTY PAVEMENT |
| [Pattern] | PROPOSED CONCRETE PAVERS |
| [Pattern] | PROPOSED GRAVEL |
| [Pattern] | PROPOSED CURB & GUTTER |
| [Pattern] | PROPOSED STOP BAR |
| [Pattern] | PROPOSED CROSSWALK |
| [Pattern] | PROPOSED 6' WIDE STANDARD CROSSWALK |
| [Pattern] | PROPOSED 12' WIDE HIGH VISIBILITY CROSSWALK |
| [Pattern] | PROPOSED SIGN |
| [Pattern] | PROPOSED ADA PARKING SPACE |
| [Pattern] | PROPOSED KEYSTONE WALL |
| [Pattern] | PROPOSED CIP WALL |
| [Pattern] | PROPOSED WHEEL STOP |
| [Pattern] | PROPOSED GRAVEL TRAIL |
| [Pattern] | PROPOSED ASPHALT TRAIL |
| [Pattern] | PROPOSED TREE LINE |
| [Pattern] | PROPOSED FENCE |
| [Pattern] | PROPOSED VEHICLE GATE (X' WIDE) |
| [Pattern] | PROPOSED LIGHT |
| [Pattern] | PROPOSED BENCH |
| [Pattern] | PROPOSED BENCH |
| [Pattern] | PROPOSED BOLLARD |
| [Pattern] | PROPOSED PEDESTRIAN STEEL PLATE |
| [Pattern] | LIMITS OF DISTURBANCE |

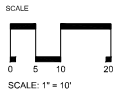
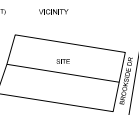
NOTES:

1. SEE SHEET C0.19 FOR GENERAL AND SITE NOTES.

SITE DATA

PROJECT NAME:	BROOKSIDE TOWNHOMES
SITE ADDRESS:	1305 & 1307 BROOKSIDE DR RALEIGH, NC 27604
COUNTY:	WAKE
PARCEL PIN #:	1714141381, 1714142307
PARCEL OWNER:	REDENRUM DEVELOPMENT GROUP LLC
PARCEL AREA:	27.402 SF / 5.83 AC
TOTAL SITE GROSS ACREAGE:	27.402 SF / 5.83 AC
NET ACREAGE:	26.910 SF / 5.62 AC
CURRENT ZONING:	R-40
PROPOSED ZONING:	R-40
OVERLAY DISTRICT:	NEIGHBORHOOD CONSERVATION OVERLAY DISTRICT (NCOD)
EXISTING LAND USE:	SINGLE FAMILY LIVING
PROPOSED LAND USE:	MULTI-FAMILY LIVING
FLOOD PLAIN DATA:	N/A
RIVER BASIN:	NEUSE
DEVELOPMENT BUILDING TYPE:	FREQUENT TRANSIT DEVELOPMENT (APARTMENT)
MAX FLOOR HEIGHT:	40' 13" (12.08M)
PROPOSED BUILDING HEIGHT:	32'6" (9.91M)
PROPOSED NUMBER OF LOTS:	2
NUMBER OF DWELLING UNITS (D.U.):	10
TREE CONSERVATION AREA:	N/A
TOTAL LIMITS OF DISTURBANCE:	21,808 SF / 5.04 AC
EXISTING IMPERVIOUS AREA:	0.00 AC / 0.00 SF
PROPOSED IMPERVIOUS AREA:	0.00 AC / 0.00 SF
AMENITY AREA REQUIRED:	0.00 AC / 0.00 SF
AMENITY AREA PROVIDED:	0.00 AC / 0.00 SF
PARKING DATA:	
REQUIRED PARKING:	3 SPACES/UNIT MINIMUM
PROPOSED PARKING:	22 SPOTS (2 GARAGE SPOTS/UNIT)
TOTAL PARKING:	22 SPOTS
BIKE PARKING REQUIRED:	SHORT TERM: 1 SPACE PER 20 UNITS, 4 MINIMUM
BIKE PARKING PROVIDED:	LONG TERM: 1 SPACE PER 10 BEDROOMS
	SHORT TERM: 4 SPACES
	LONG TERM: 10 SPACES (GARAGE STORAGE)

No.	Date	Description
1	03/10/2023	AS BUILT
2	03/10/2023	AS BUILT
3	03/10/2023	AS BUILT
4	03/10/2023	AS BUILT
5	03/10/2023	AS BUILT
6	03/10/2023	AS BUILT
7	03/10/2023	AS BUILT
8	03/10/2023	AS BUILT
9	03/10/2023	AS BUILT
10	03/10/2023	AS BUILT
11	03/10/2023	AS BUILT
12	03/10/2023	AS BUILT
13	03/10/2023	AS BUILT
14	03/10/2023	AS BUILT
15	03/10/2023	AS BUILT
16	03/10/2023	AS BUILT
17	03/10/2023	AS BUILT
18	03/10/2023	AS BUILT
19	03/10/2023	AS BUILT
20	03/10/2023	AS BUILT



AMENITY AREA 1 (5)
AMENITY AREA 2 (5)
AMENITY AREA 3 (5)
AMENITY AREA 4 (5)
TOTAL PROVIDED:

GRADING LEGEND

SYMBOL	DESCRIPTION
	LIMITS OF DISTURBANCE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED STORM DRAINAGE
	PROPOSED JUNCTION BOX
	PROPOSED CATCH BASIN
	PROPOSED AREA DRAIN
	HUMP OBSTRUCTION
	FLOW DIRECTION
	PROPOSED ELEVATION
	TOP/BOTTOM OF CURB
	TOP/BOTTOM OF WALL

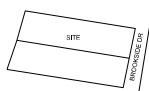
NOTES:

1. SEE SHEET C3.10 FOR GENERAL AND GRADING NOTES.

BUILDING B	
HIGHEST PROPOSED GRADE	235.6
LOWEST PROPOSED GRADE	235.6
AVERAGE GRADE	235.6

No.	Date	Description
1	01/11/2023	PRELIMINARY
2	03/11/2023	REVISED
3	03/11/2023	REVISED
4	03/11/2023	REVISED
5	03/11/2023	REVISED
6	03/11/2023	REVISED
7	03/11/2023	REVISED
8	03/11/2023	REVISED
9	03/11/2023	REVISED
10	03/11/2023	REVISED

VICINITY

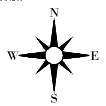


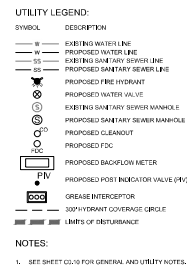
SCALE



SCALE: 1" = 10'

ARROW



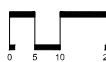


CITY OF RALEIGH STANDARD UTILITY NOTES

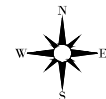
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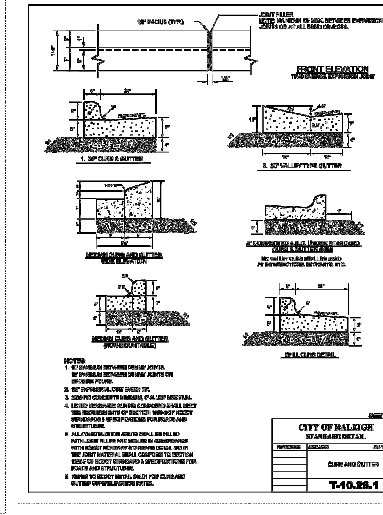
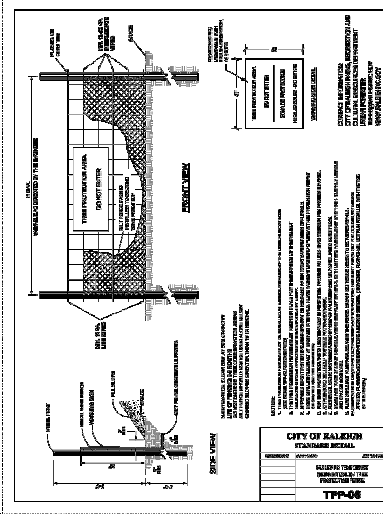
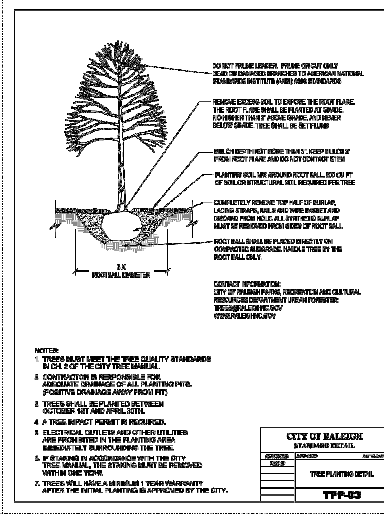
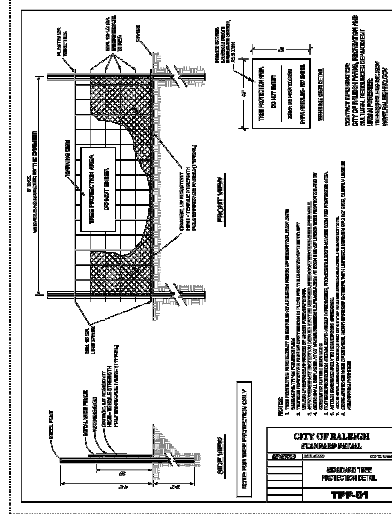
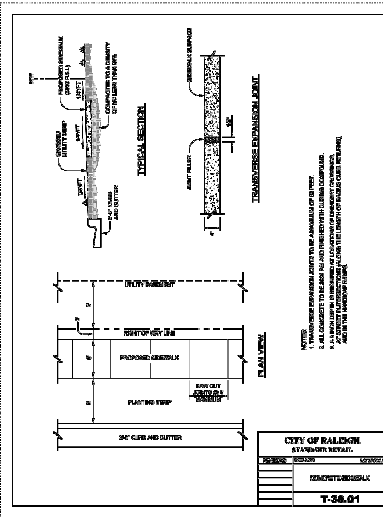
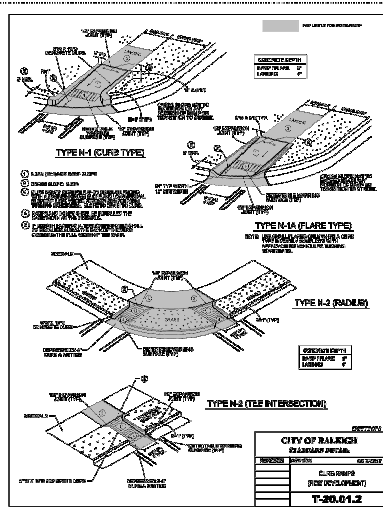
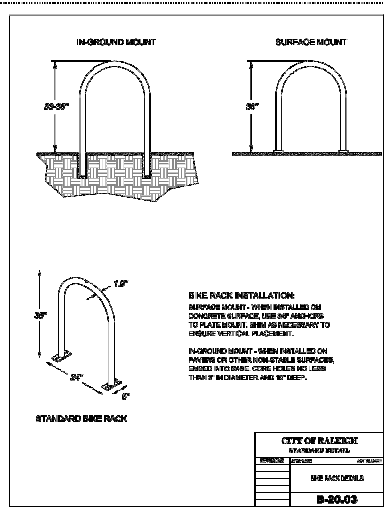
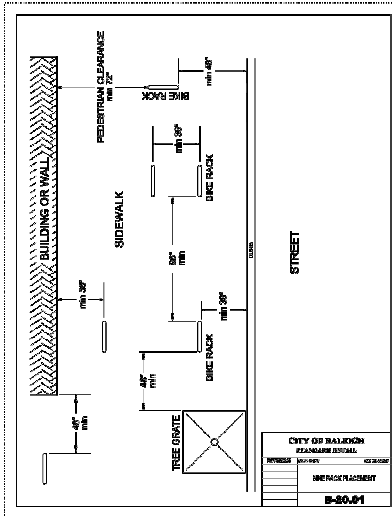
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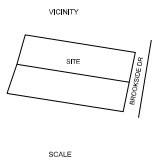
SCALE: 1" = 10'



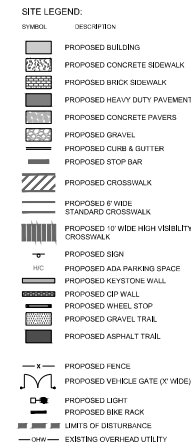
<p>Public</p> <p><u>Water Distribution / Extension System</u></p> <p>The City of Raleigh consents to the construction and extension of the City's public water system as shown on this plan. The material and construction methods used for this project shall conform to the standards and specifications of the City's Public Utilities Handbook.</p> <p>City of Raleigh Public Utilities Department Permit # _____</p> <p>Authorization to Construct: <u>See digital signature</u></p>



No.	Date	Description
1	10/1/15	Initial Issue
2	10/1/15	Revised
3	10/1/15	Revised
4	10/1/15	Revised
5	10/1/15	Revised
6	10/1/15	Revised
7	10/1/15	Revised
8	10/1/15	Revised
9	10/1/15	Revised
10	10/1/15	Revised



ADA ACCESSIBLE PARKING
SIGNAGE PER NCSCB 111.1



1. SEE SHEET C-10 FOR GENERAL AND SITE NOTES.
2. THE SITE WILL BE CONFORMING TO THE EXEMPTION OF "TREE PRESERVATION REQUIREMENTS" THROUGH THE CITY OF HALLOWELL UNITED DEVELOPMENT COMMISSION C-1.2 FOR PARCELS 201-202-203-204-205-206-207-208-209-210-211-212-213-214-215-216-217-218-219-220-221-222-223-224-225-226-227-228-229-230-231-232-233-234-235-236-237-238-239-240-241-242-243-244-245-246-247-248-249-250-251-252-253-254-255-256-257-258-259-260-261-262-263-264-265-266-267-268-269-270-271-272-273-274-275-276-277-278-279-280-281-282-283-284-285-286-287-288-289-290-291-292-293-294-295-296-297-298-299-300-301-302-303-304-305-306-307-308-309-310-311-312-313-314-315-316-317-318-319-320-321-322-323-324-325-326-327-328-329-330-331-332-333-334-335-336-337-338-339-340-341-342-343-344-345-346-347-348-349-350-351-352-353-354-355-356-357-358-359-360-361-362-363-364-365-366-367-368-369-370-371-372-373-374-375-376-377-378-379-380-381-382-383-384-385-386-387-388-389-390-391-392-393-394-395-396-397-398-399-400-401-402-403-404-405-406-407-408-409-410-411-412-413-414-415-416-417-418-419-420-421-422-423-424-425-426-427-428-429-430-431-432-433-434-435-436-437-438-439-440-441-442-443-444-445-446-447-448-449-450-451-452-453-454-455-456-457-458-459-460-461-462-463-464-465-466-467-468-469-470-471-472-473-474-475-476-477-478-479-480-481-482-483-484-485-486-487-488-489-490-491-492-493-494-495-496-497-498-499-500-501-502-503-504-505-506-507-508-509-510-511-512-513-514-515-516-517-518-519-520-521-522-523-524-525-526-527-528-529-530-531-532-533-534-535-536-537-538-539-540-541-542-543-544-545-546-547-548-549-550-551-552-553-554-555-556-557-558-559-560-561-562-563-564-565-566-567-568-569-570-571-572-573-574-575-576-577-578-579-580-581-582-583-584-585-586-587-588-589-590-591-592-593-594-595-596-597-598-599-600-601-602-603-604-605-606-607-608-609-610-611-612-613-614-615-616-617-618-619-620-621-622-623-624-625-626-627-628-629-630-631-632-633-634-635-636-637-638-639-640-641-642-643-644-645-646-647-648-649-650-651-652-653-654-655-656-657-658-659-660-661-662-663-664-665-666-667-668-669-670-671-672-673-674-675-676-677-678-679-680-681-682-683-684-685-686-687-688-689-690-691-692-693-694-695-696-697-698-699-700-701-702-703-704-705-706-707-708-709-710-711-712-713-714-715-716-717-718-719-720-721-722-723-724-725-726-727-728-729-730-731-732-733-734-735-736-737-738-739-740-741-742-743-744-745-746-747-748-749-750-751-752-753-754-755-756-757-758-759-760-761-762-763-764-765-766-767-768-769-770-771-772-773-774-775-776-777-778-779-780-781-782-783-784-785-786-787-788-789-790-791-792-793-794-795-796-797-798-799-800-801-802-803-804-805-806-807-808-809-810-811-812-813-814-815-816-817-818-819-820-821-822-823-824-825-826-827-828-829-830-831-832-833-834-835-836-837-838-839-840-841-842-843-844-845-846-847-848-849-850-851-852-853-854-855-856-857-858-859-860-861-862-863-864-865-866-867-868-869-870-871-872-873-874-875-876-877-878-879-880-881-882-883-884-885-886-887-888-889-890-891-892-893-894-895-896-897-898-899-900-901-902-903-904-905-906-907-908-909-910-911-912-913-914-915-916-917-918-919-920-921-922-923-924-925-926-927-928-929-930-931-932-933-934-935-936-937-938-939-940-941-942-943-944-945-946-947-948-949-950-951-952-953-954-955-956-957-958-959-960-961-962-963-964-965-966-967-968-969-970-971-972-973-974-975-976-977-978-979-980-981-982-983-984-985-986-987-988-989-990-991-992-993-994-995-996-997-998-999-1000-1001-1002-1003-1004-1005-1006-1007-1008-1009-1010-1011-1012-1013-1014-1015-1016-1017-1018-1019-1020-1021-1022-1023-1024-1025-1026-1027-1028-1029-1030-1031-1032-1033-1034-1035-1036-1037-1038-1039-1040-1041-1042-1043-1044-1045-1046-1047-1048-1049-1050-1051-1052-1053-1054-1055-1056-1057-1058-1059-1060-1061-1062-1063-1064-1065-1066-1067-1068-1069-1070-1071-1072-1073-1074-1075-1076-1077-1078-1079-1080-1081-1082-1083-1084-1085-1086-1087-1088-1089-1090-1091-1092-1093-1094-1095-1096-1097-1098-1099-1100-1101-1102-1103-1104-1105-1106-1107-1108-1109-1110-1111-1112-1113-1114-1115-1116-1117-1118-1119-1120-1121-1122-1123-1124-1125-1126-1127-1128-1129-1130-1131-1132-1133-1134-1135-1136-1137-1138-1139-1140-1141-1142-1143-1144-1145-1146-1147-1148-1149-1150-1151-1152-1153-1154-1155-1156-1157-1158-1159-1160-1161-1162-1163-1164

LANDSCAPING REQUIREMENTS

BROOKSIDE DRIVE NEIGHBORHOOD YIELD

REQUIREMENT: 1 UNDERSTORY TREE PER 25 LF = 120 LF / 25 LF = 5 TREES
PROVIDED: 5 TREES (SPACE CONSTRAINTS WITH PROPOSED DRIVEWAY - 4 AND 1 SHADE TREE)

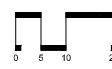
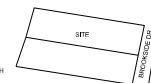
TREE CONSERVATION AND LANDSCAPING NOTES

1. THIS SITE IS LESS THAN 2 ACRES AND EXEMPT OF CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 9.1.2.TREE CONSERVATION APPLICABILITY.
2. THE TREE IMPACT PERMIT IS REQUIRED WITH BUILDING PERMIT TO PLANT TREES IN THE PUBLIC RIGHT-OF-WAY.

LANDSCAPING NOTES:

1. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF BALTIMORE STANDARD DETAIL, 1990/03.
2. STREET TREE PLANTINGS SHALL OCCUR BY THE CITY OF BALTIMORE TREE MAINTENANCE.
3. ALL CURBED AREAS NOT COVERED BY STRUCTURES, PAVING OR PLANTINGS SHALL BE CURBED AND FINISHED TO MATCH ADJACENT EXISTING CURB.
4. ONE SIDE DRAIN FOR EACH DESIGN SCHEDULE.
5. ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 2" KEEP MULCH FROM PLANT FLARE AND DO NOT CONTACT STEM.
6. A VARIATION OF FOUR INDIVIDUAL SOIL SAMPLES SHALL BE TAKEN THROUGHOUT THE LOT FOR OVERALL SOIL ANALYSIS.
7. VARIATION TYPICAL DEPTH SHALL BE 4" IN SUMMER AREAS AND 10" IN LANDSCAPED AREAS. CONTRACTOR TO SUBMIT REPORT TO CITY OF BALTIMORE TREE MAINTENANCE SURVEY (ADDITIONAL TOPSOIL AT AN ADDITIONAL COST) TO CONFIRM BENTONITE IS PRESENT TO MEET THE NEEDS OF THE PROJECT.
8. ALL PLANTING AREAS TO RECEIVE 1 CY OF SOIL. CONCRETES FOR EACH 75 SF OF PLANT BED AREA, ACCEPTABLE SOIL. CONCRETES SHALL NOT BE VULNERED FROM PEAK PEAK MOSS OR SHEERED/COMPACTED LEAVES.
9. CONTRACTOR TO FURNISH VULNERABILITY LOCATION OF EXISTING UTILITIES BEFORE ANY TYPE OF DRILLING, AUGERING OR INSTALLATION.
10. CONTRACTOR TO VERIFY VULNERABILITY OF PLANTINGS AND GRASS. PLANTINGS INDICATED ON PLANS SHALL PREVAIL OVER QUANTITIES INDICATED IN PLANT LIST DISCREPANCIES ARE ASSESSED.
11. ALL PLANTS ARE TO BE THOROUGHLY WATERED THE SAME DAY AS PLANTED.
12. THE PLANT HOLE WIDTH SHALL BE A MINIMUM THREE TIMES THE DIAMETER OF ROOT BALL.
13. COMPLETELY REMOVE TOP HALF OF BURLAP, LACING AND WIRE BASKET AND DISCARD PROUD.
14. TREES BEFORE BACKFILLING AROUND SHALL BE COMPLETED.
15. ALL TREES WHEN PLANTED SHALL HAVE THE SAME RELATIONSHIP TO FINISHED GRADE AS TO THE EXISTING PLANT.
16. LANDSCAPING SHOWN MEETS REQUIREMENTS.
17. ADDITIONAL LANDSCAPING SHALL BE PER OWNER.
18. ALL LANDSCAPING SHALL BE GUARANTEED FOR ONE (1) YEAR AFTER PLANTING. ADDITIONAL PLANT REPLACEMENT REQUIREMENT SHALL BE GUARANTEED FOR ONE (1) YEAR OF REPLACEMENT IF AFTER FINAL ACCEPTANCE.

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	AT PLANTING		CONTAINER	MATURE	
		UNDERSTORY TREES						
TM	5	ACER BURCHINGIANUM	TRIDENT MAPLE	10-0"	0-3.00"	B&B	40-0"	50-0"



NOTE:
BUILDING A - 1207 BROOKSIDE DR.
BUILDING B - 1205 BROOKSIDE DR.

- Notes:
1. ALL EXTERIOR GLASS TO BE CLR. LOW 'E'.
 2. ALL EXTERIOR METAL ELEMENTS TO BE DECOD (TBD).
 3. ALL STOREFRONT MILLWORKS TO BE DECOD (TBD).
 4. A SEPARATE SIGN SUBMITTAL IS REQUIRED. SUBMIT A SIGN DRAWING INDICATING DIMENSIONS, FABRICATION, COLORS OF MATERIALS, PLACEMENT ON STOREFRONT ELEVATIONS, AND MOUNTING AND SERVING TECHNIQUES.
 5. ALL MATERIALS MUST BE SUBMITTED TO NEW CITY DESIGN GROUP FOR APPROVAL.
 6. SUBMIT SHOP DRAWINGS TO NEW CITY DESIGN GROUP FOR APPROVAL.
 7. LOCATE ALL DRYER VENTS, BATHROOM EXHAUST & HOOD EXHAUST VENTS TO REAR OR SIDE OF BUILDING. COORD. ALL LOCATIONS W/ ARCHITECT.

- Elevation Keynotes:
- (1) FIBER CEMENT SIDING (LAP)
 - (2) FIBER CEMENT SIDING (PANEL)
 - (3) BRICK VENEER
 - (4) BRICK SOLDIER COURSE AND/OR ROWLOCK
 - (5) METAL TRIM AND COPING
 - (6) METAL RAILING W/ HORIZ. SQUARE TUBE PICKETS
 - (7) METAL CLAD CANOPY - UNDER SEPARATE PERMIT, SHOWN FOR REFERENCE ONLY
 - (8) ROLL UP DOOR SYSTEM
 - (9) WINDOW SYSTEM - SEE SCHEDULE
 - (10) ALUM. CANOPY (UNDER SEPARATE PERMIT)
 - (11) SLAT SCREEN WALL
 - (12) -
 - (13) C/A BETWEEN UNITS/PROP. LINE
 - (14) 5/4 CEMENTITIOUS TRIM
 - (15) WTL REGLET/REVEAL
 - (16) WINDOW SYSTEM
 - (17) -
 - (18) ROOF SCUPPER & DOWNSPOUT
 - (19) OVERFLOW SCUPPER
 - (20) EXT. SCONCE LIGHT
 - (21) ROOF ACCESS DOOR

Building A - Grade Calculations:

HIGHEST PROPOSED GRADE	235.6'
LOWEST PROPOSED GRAD	235.6'
AVERAGE GRADE	235.6'

Finish Schedule:

Exterior Materials	
B-1	TYPE: MODULAR SIZED BRICK MANUFACTURER: - LOCATION: AS SHOWN CONTACT: CUSTOM BRICK & SUPPLY CO., BEN AREN, 919-832-2804 NOTE: VOLCAN 200R
H-1	TYPE: HARDIE PANEL SYSTEM MANUFACTURER: JAMES HARDIE COLOR: TBE FINISH: SMOOTH FINISH LOCATION: AS SHOWN NOTE: 8' SOLAR AND ALUMINUM REVEALS
T-1	TYPE: 1 HARDIE TRIM BOARDS MANUFACTURER: JAMES HARDIE COLOR: TBE FINISH: SMOOTH LOCATION: AS SHOWN NOTE: -
T-2	TYPE: COMPOSITE SLAT FENCE MANUFACTURER: TBE COLOR: TBE FINISH: SMOOTH LOCATION: AS SHOWN NOTE: -
C-1	TYPE: 1" INSULATED LOW 'E' GLAZING MANUFACTURER: TBE COLOR: TBE LOCATION: AS SHOWN NOTE: SOLARBAN 70XL OR EQUAL
C-2	TYPE: UNIT WINDOW (OPERABLE WHERE SHOWN) MANUFACTURER: CROWN WINDOW SYSTEMS OR EQUAL COLOR: TBE FINISH: INSULATED LOW-'E' GLAZING LOCATION: AS SHOWN NOTE: NO SCUM - PUSH OUT INSTEAD
M-2	TYPE: BREAK METAL TRIM AND COPING MANUFACTURER: AS SHOWN COLOR: TBE LOCATION: AS SHOWN NOTE: TO MATCH ADJACENT FINISH
M-3	TYPE: METAL CANOPY (UNDER SEPARATE PERMIT) MANUFACTURER: - LOCATION: ABOVE GROUND FLOOR STOREFRONT SYSTEM AS SHOWN CONTACT: -
M-4	TYPE: METAL RAILS (SQUARE PROFILE) MANUFACTURER: - COLOR: - LOCATION: - CONTACT: -
M-7	TYPE: PERFORATED METAL EQUIPMENT SCREEN MANUFACTURER: - COLOR: - LOCATION: - CONTACT: -
PJ	TYPE: ALUMINUM PANEL JOINT MANUFACTURER: JAMES HARDIE COLOR: ANOD. ALUMINUM LOCATION: ALL HARDIE CONTACT: -



1204 HILLSBOROUGH ST.
RALEIGH, NC 27605
919.881.1305
FAX 919.881.9737

15 February 2023

NOT FOR
CONSTRUCTION

- PROGRESS PRINT
- ☐ HEALTH DEPT. PLAN CHECK
 - ☐ BUILDING DEPT. PLAN CHECK
 - ☐ BBO SET
 - ☐ CONSTRUCTION SET
 - ☐ SUBMITTAL DOCUMENT

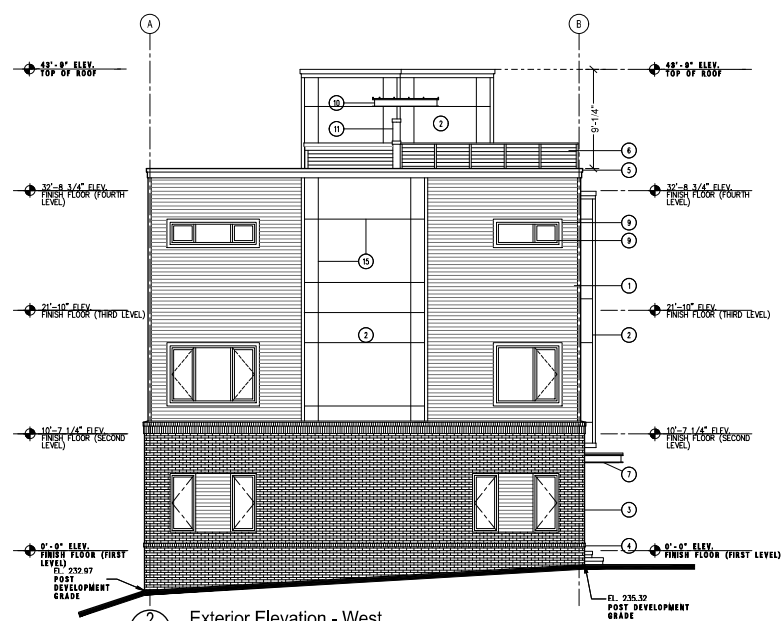


THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE HEREBY SET FORTH AS THE PROJECT'S AND UNLESS OTHERWISE PROVIDED, THE EXISTING SHALL BE CORRECT. NO RECORD OF THESE DOCUMENTS AND SPEC. RETURN ALL CORRECTIONS, CHANGES AND OTHER RECORDING, REVISIONS, CORRECTIONS, THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OF OTHER DOCUMENTS, OR ANY OTHER PROJECTS, FOR REVISIONS TO THIS PROJECT ARE CHECKED EXCEPT BY AGREEMENT IN WRITING BY THE ARCHITECT.

Brookside Drive Development
1207 Brookside Drive

DESIGNER :
DRAWN :
CHECKED :
SCALE :
JOB NUMBER : 8247
SHEET TITLE

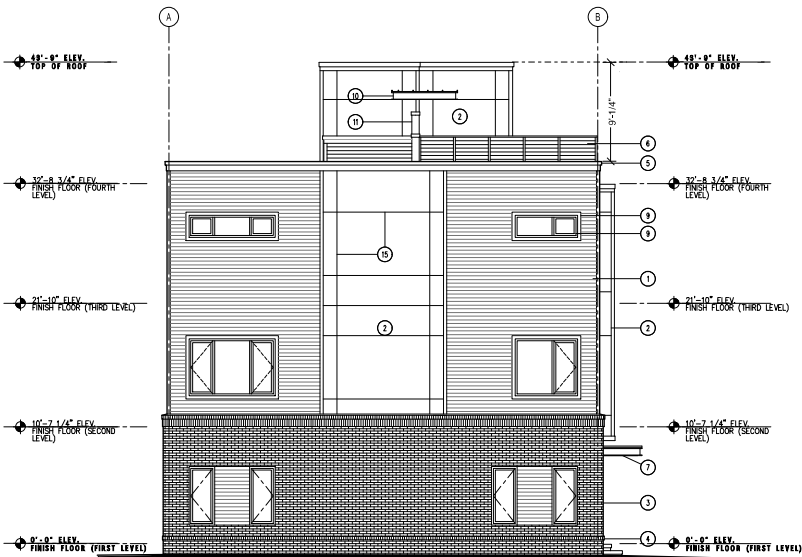
Exterior Elevations
Building A
SHEET NUMBER
A201a



2 Exterior Elevation - West
SCALE: 3/16"=1'-0"



1 Exterior Elevation - South
SCALE: 3/16"=1'-0"



2 Exterior Elevation - East
SCALE: 3/16"=1'-0"



1 Exterior Elevation - North
SCALE: 3/16"=1'-0"

NOTE:
BUILDING A - 1207 BROOKSIDE DR.
BUILDING B - 1206 BROOKSIDE DR.

Notes:

1. ALL EXTERIOR GLASS TO BE CLR. LOW 'E'.
2. ALL EXTERIOR METAL ELEMENTS TO BE DECOD (TBD).
3. ALL STOREFRONT MILLWORKS TO BE DECOD (TBD).
4. A SEPARATE SIGN SUBMITTAL IS REQUIRED. SUBMIT A SIGN DRAWING INDICATING DIMENSIONS, FABRICATION, COLORS OF MATERIALS, PLACEMENT ON STOREFRONT ELEVATIONS, AND MOUNTING AND SERVING TECHNIQUES.
5. ALL MATERIALS MUST BE SUBMITTED TO NEW CITY DESIGN GROUP FOR APPROVAL.
6. SUBMIT SHOP DRAWINGS TO NEW CITY DESIGN GROUP FOR APPROVAL.
7. LOCATE ALL DYER VENTS, BATHROOM EXHAUST & HOOD EXHAUST VENTS TO REAR OR SIDE OF BUILDING. COORD. ALL LOCATIONS W/ ARCHITECT.

Elevation Keynotes:

- 1 FIBER CEMENT SIDING (LAP)
- 2 FIBER CEMENT SIDING (PANEL)
- 3 BRICK VENER
- 4 BRICK SOLDIER COURSE AND/OR ROWLOCK
- 5 METAL TRIM AND COPING
- 6 METAL RAILING W/ HORIZ. SQUARE TUBE PICKETS
- 7 METAL CLAD CANOPY - UNDER SEPARATE PERMIT, SHOWN FOR REFERENCE ONLY
- 8 ROLL UP DOOR SYSTEM
- 9 WINDOW SYSTEM - SEE SCHEDULE
- 10 ALUM. CANOPY (UNDER SEPARATE PERMIT)
- 11 SLAT SCREEN WALL
- 12 -
- 13 C/A BETWEEN UNITS/PROP. LINE
- 14 5/4 CEMENTITIOUS TRIM
- 15 W/L REGLET/REVEAL
- 16 WINDOW SYSTEM
- 17 -
- 18 ROOF SCUPPER & DOWNSPOUT
- 19 OVERFLOW SCUPPER
- 20 EXT. SCORCE LIGHT
- 21 ROOF ACCESS DOOR

Building B - Grade Calculations:

HIGHEST PROPOSED GRADE 235.6'
LOWEST PROPOSED GRAD 235.6'
AVERAGE GRADE 235.6'

Finish Schedule:

Exterior Materials

B-1	TYPE: MODULAR SIZED BRICK MANUFACTURER: - LOCATION: AS SHOWN CONTACT: CUSTOM BRICK & SUPPLY CO., BEN AHEIN, 919-832-2804 NOTE: 100MM 200M
H-1	TYPE: HAMME PANEL SYSTEM MANUFACTURER: JAMES HAMME COLOR: - FINISH: SMOOTH FINISH LOCATION: AS SHOWN NOTE: 8" SLAT AND ALUMINUM REVEALS
T-1	TYPE: 1 HAMME TRIM BOARDS MANUFACTURER: JAMES HAMME COLOR: - FINISH: SMOOTH LOCATION: AS SHOWN NOTE: -
T-2	TYPE: COMPOSITE SLAT FENCE MANUFACTURER: - COLOR: - FINISH: SMOOTH LOCATION: AS SHOWN NOTE: -
G-1	TYPE: 1" INSULATED LOW 'E' GLAZING MANUFACTURER: - COLOR: - LOCATION: AS SHOWN NOTE: SOLARBAN 70XL OR EQUAL
G-2	TYPE: UNIT WINDOW (ORDERABLE WHERE SHOWN) MANUFACTURER: - COLOR: - GLAZING: - LOCATION: AS SHOWN NOTE: NO CORNER - PUSH OUT INSTEAD
M-2	TYPE: BREAK METAL TRIM AND COPING MANUFACTURER: AS SHOWN COLOR: - LOCATION: AS SHOWN NOTE: TO MATCH ADJACENT FINISH
M-3	TYPE: METAL CANOPY (UNDER SEPARATE PERMIT) MANUFACTURER: - LOCATION: ABOVE GROUND FLOOR STOREFRONT SYSTEM AS SHOWN CONTACT: -
M-4	TYPE: METAL RAILS (SQUARE PROFILE) MANUFACTURER: - COLOR: - LOCATION: - CONTACT: -
M-7	TYPE: PERFORATED METAL EQUIPMENT SCREEN MANUFACTURER: - COLOR: - LOCATION: - CONTACT: -
P-1	TYPE: ALUMINUM PANEL JOINT MANUFACTURER: JAMES HAMME COLOR: - FINISH: ALL HAMME CONTACT: -

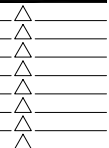


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15 February 2023

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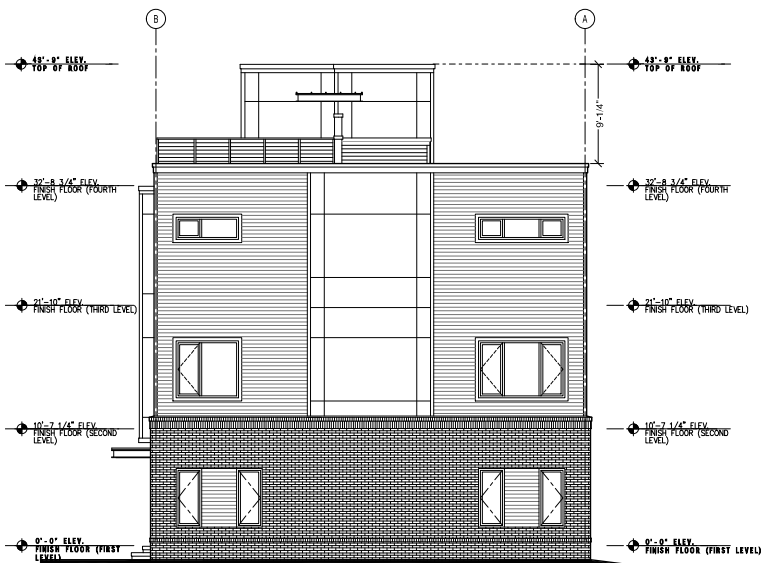
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Brookside Drive Development

DESIGNER :
DRAWN :
CHECKED :
SCALE :
JOB NUMBER : 8047
SHEET TITLE

Exterior Elevations
Building B
SHEET NUMBER
A201b

1205 Brookside Drive



NOTE:
BUILDING A - 1207 BROOKSIDE DR.
BUILDING B - 1205 BROOKSIDE DR.

- Notes:

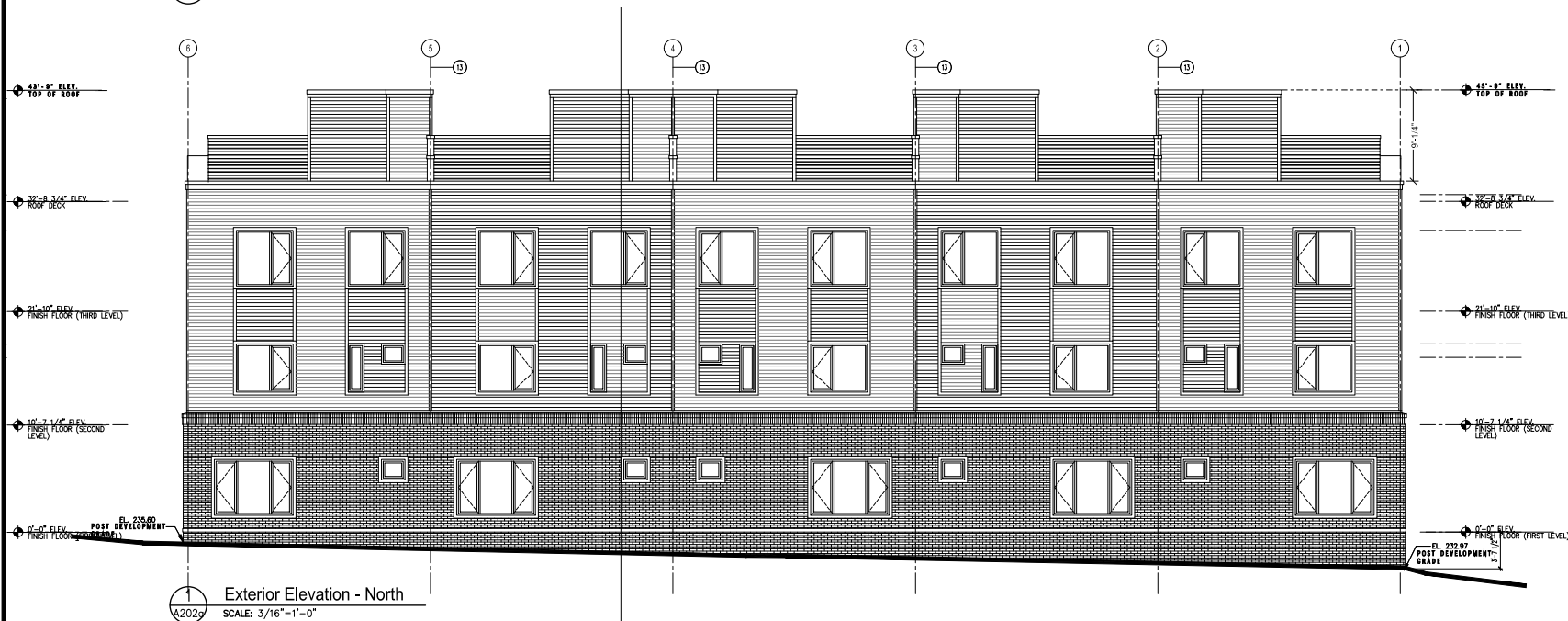
- Elevation Keynotes:

Building A - Grade Calculations:

HIGHEST PROPOSED GRADE	235
LOWEST PROPOSED GRAD	235
AVERAGE GRADE	235

Finish Schedule:

Exterior Materials	
B-1	TYPE: MANUFACTURE: MODULAR SIZE BRICK COLOR: AS SHOWN LOCATION: CUSTOM BRICK & SUPPLY CO., BEN ARAN, 919-832-2804 NOTE: HOLCOM 2000
H-1	TYPE: MANUFACTURE: HARVEY PANEL SYSTEM COLOR: JAMES HARDIE FINISH: TBO LOCATION: 200000 FINISH NOTE: 87 CLEAR ANOD. ALUMINUM REVEALS
T-1	TYPE: MANUFACTURE: HARVEY TONY BOARDS COLOR: JAMES HARDIE FINISH: TBO LOCATION: AS SHOWN NOTE:
T-2	TYPE: MANUFACTURE: COMPOSITE SLAT FENCE COLOR: TBO FINISH: TBO LOCATION: AS SHOWN NOTE:
G-1	TYPE: MANUFACTURE: 1" INSULATED LOW 'E' GLAZING COLOR: TBO LOCATION: AS SHOWN NOTE: SOLARBAN 700L OR EQUAL
G-2	TYPE: MANUFACTURE: UNIT WINDOW (OPERABLE, W/SHADE SHOWN) COLOR: TBO LOCATION: INSULATED LOW-'E' GLAZING NOTE: AS SHOWN FINISH: INSULATED LOW-'E' GLAZING LOCATION: NO GRASS - PUSH OUT INSTEAD NOTE: AS SHOWN
M-2	TYPE: MANUFACTURE: BREAK, METAL TRIM AND COPING COLOR: AS SHOWN LOCATION: AS SHOWN NOTE: TO MATCH ADJACENT FINISH
M-3	TYPE: MANUFACTURE: METAL CANOPY (UNDER SEPARATE PERMIT) COLOR: AS SHOWN LOCATION: ABOVE GROUND FLOOR STOREFRONT SYSTEM AS SHOWN NOTE: CONTACT
M-6	TYPE: MANUFACTURE: METAL RAILS (SQUARE PROFILE) COLOR: AS SHOWN LOCATION: - NOTE: CONTACT
M-7	TYPE: MANUFACTURE: PERFORATED METAL EQUIPMENT SCREEN COLOR: AS SHOWN LOCATION: CONTACT
PJ	TYPE: MANUFACTURE: ALUMINUM PANEL JOINT COLOR: JAMES HARDIE FINISH: ANCH. ALUM. TRIM AND ANCH. ALL HARVEY LOCATION: ALL HARVEY NOTE: CONTACT



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6 February 2023

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Brookside Drive Development

DESIGNER :
DRAWN :
CHECKED :
SCALE :
JOB NUMBER : 8247
SHEET TITLE :

Exterior Elevations
Building A
SHEET NUMBER
A202a

NOTE:
BUILDING A - 1207 BROOKSIDE DR.
BUILDING B - 1205 BROOKSIDE DR.

Notes:

1. ALL EXTERIOR GLASS TO BE CLR. LOW 'E'.
2. ALL EXTERIOR METAL ELEMENTS TO BE DECOD (TBD).
3. ALL STOREFRONT MILLIONS TO BE DECOD (TBD).
4. A SEPARATE SIGN SUBMITTAL IS REQUIRED. SUBMIT A SIGN DRAWING INDICATING DIMENSIONS, FABRICATION, COLORS OF MATERIALS, PLACEMENT ON STOREFRONT ELEVATIONS, AND MOUNTING AND SERVING TECHNIQUES.
5. ALL MATERIALS MUST BE SUBMITTED TO NEW CITY DESIGN GROUP FOR APPROVAL.
6. SUBMIT SHOP DRAWINGS TO NEW CITY DESIGN GROUP FOR APPROVAL.
7. LOCATE ALL DYER VENTS, BATHROOM EXHAUST & HOOD EXHAUST VENTS TO REAR OR SIDE OF BUILDING. COORD. ALL LOCATIONS W/ ARCHITECT.

Elevation Keynotes:

- (1) FIBER CEMENT SIDING (LAP)
- (2) FIBER CEMENT SIDING (PANEL)
- (3) BRICK VENEER
- (4) BRICK SOLDIER COURSE AND/OR ROWLOCK
- (5) METAL TRIM AND COPING
- (6) METAL RAILING W/ HORIZ. SQUARE TUBE PICKETS
- (7) METAL CLAD CANOPY - UNDER SEPARATE PERMIT, SHOWN FOR REFERENCE ONLY
- (8) ROLL UP DOOR SYSTEM
- (9) WINDOW SYSTEM - SEE SCHEDULE
- (10) ALUM. CANOPY (UNDER SEPARATE PERMIT)
- (11) SLAT SCREEN WALL
- (12) -
- (13) C/A BETWEEN UNITS/PROP. LINE
- (14) 5/4 CEMENTITIOUS TRIM
- (15) W/L REGLET/REVEAL
- (16) WINDOW SYSTEM
- (17) -
- (18) ROOF SCUPPER & DOWNSPOUT
- (19) OVERFLOW SCUPPER
- (20) EXT. SOURCE LIGHT
- (21) ROOF ACCESS DOOR

Building B - Grade Calculations:

HIGHEST PROPOSED GRADE 235.6'
LOWEST PROPOSED GRADE 235.6'
AVERAGE GRADE 235.6'

Finish Schedule:

Exterior Materials	
B-1	TYPE: MODULAR SIZED BRICK MANUFACTURER: - LOCATION: AS SHOWN CONTACT: CUSTOM BRICK & SUPPLY CO., BEN ARNOLD, 919-832-2804 NOTE: 1/2" COMB JOINT
H-1	TYPE: HAMME PANEL SYSTEM MANUFACTURER: JAMES HANDE COLOR: SMOOTH FINISH LOCATION: AS SHOWN NOTE: 9" SLAT AND ALUMINUM REVEALS
T-1	TYPE: 1" HAMME TRIM BOARDS MANUFACTURER: JAMES HANDE COLOR: SMOOTH LOCATION: AS SHOWN NOTE: -
T-2	TYPE: COMPOSITE SLAT FENCE MANUFACTURER: TBE COLOR: SMOOTH LOCATION: AS SHOWN NOTE: -
C-1	TYPE: 1" INSULATED LOW 'E' GLAZING MANUFACTURER: TBE COLOR: SMOOTH LOCATION: AS SHOWN NOTE: SOLARBAN 70XL OR EQUAL
C-2	TYPE: UNIT WINDOW (OBTAINABLE WHERE SHOWN) MANUFACTURER: TBE COLOR: SMOOTH LOCATION: AS SHOWN NOTE: NO CORNER - PUSH OUT INSTEAD
M-2	TYPE: BREAK METAL TRIM AND COPING MANUFACTURER: AS SHOWN LOCATION: AS SHOWN NOTE: TO MATCH ADJACENT FINISH
M-3	TYPE: METAL CANOPY (UNDER SEPARATE PERMIT) MANUFACTURER: - LOCATION: ABOVE GROUND FLOOR STOREFRONT SYSTEM AS SHOWN CONTACT: -
M-6	TYPE: METAL RAILS (SQUARE PROFILE) MANUFACTURER: - LOCATION: - CONTACT: -
M-7	TYPE: PERFORATED METAL EQUIPMENT SCREEN MANUFACTURER: - LOCATION: - CONTACT: -
P-1	TYPE: ALUMINUM PANEL JOINT MANUFACTURER: JAMES HANDE COLOR: ALL HARDIE CONTACT: -

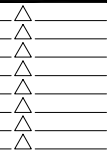


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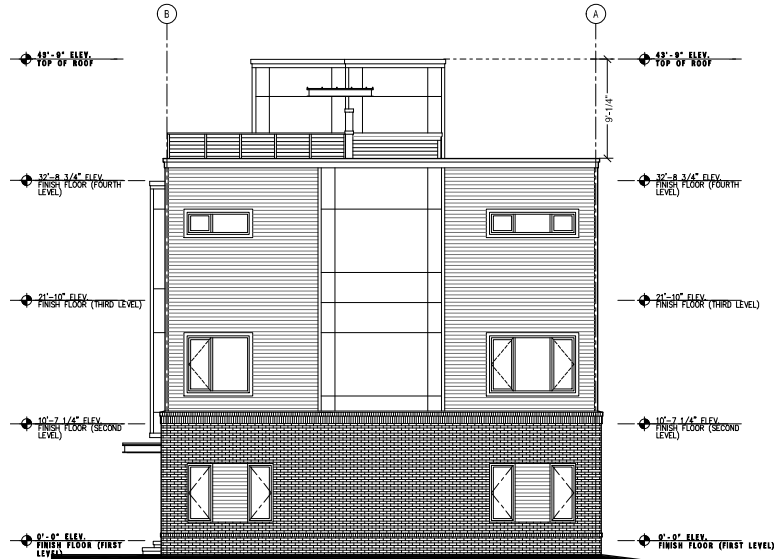


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Brookside Drive Development

DESIGNER :
DRAWN :
CHECKED :
SCALE :
JOB NUMBER : 8047
SHEET TITLE

Exterior Elevations
Building B
SHEET NUMBER
A202b



2 Exterior Elevation - West
SCALE: 3/16"=1'-0"



1 Exterior Elevation - South
SCALE: 3/16"=1'-0"