



# Administrative Site Review Application

Development Services Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495

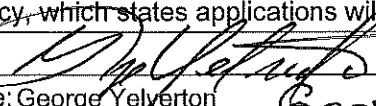
This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

<b>Office Use Only:</b> Transaction #: <u>ASR-0102-2019</u>		Planning Coordinator: <u>Ryan Boivin</u>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision transaction #: _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Sketch transaction #: _____	
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: _____	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: CAMERON HILLS APARTMENTS			
Inside City limits? <input checked="" type="checkbox"/> YES <input type="checkbox"/> No			
Property address(es): 2315, 2318 GRANT AVE & 1329 CHESTER RD RALEIGH, NORTH CAROLINA 27608			
Site P.I.N.(s): 1704073013(South Parcel), 1704072396(North Parcel), 1704067938(East Parcel)			
Please describe the scope of work. Include any additions, expansions, and change of use. Remove existing buildings and construct multi-family apartment buildings with flat parking deck with one above grade parking level, surface parking and site amenities.			
Current <u>Property Owner</u> /Developer Contact Name: <b>NOTE: please attach purchase agreement when submitting this form.</b>			
Company: GRANT AVENUE LLC & PULLIAM OF RALEIGH LLC THE		Title: N/A	
Address: 213 BEACH RD N, WILMINGTON NC 28411-9207			
Phone #: N/A		Email: N/A	
Applicant Name: Courtney Landoll			
Company: Stewart		Address: 223 S. West Street, Raleigh, NC 27601	
Phone #: 919-866-4749		Email: clandoll@stewartinc.com	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): RX-3-CU, 9.75 AC, with 7.37 AC (South Parcel) + 2.38 AC (North Parcel) R-10-CU, 0.66AC (East Parcel)	Existing gross floor area (not to be demolished): N/A
Gross site acreage: 10.41 AC	Existing gross floor area to be demolished: 97,808.3 GSF (based on Survey, lmap only shown 1 bldg)
# of parking spaces required: 557	New gross floor area: <del>385,830 sf</del> <b>381,712SF</b>
# of parking spaces proposed: 550	Total sf gross (to remain and new): <del>385,830 sf</del> <b>381,712SF</b>
Overlay District (if applicable): NCOD: Overlay District	Proposed # of buildings: 9
Existing use (UDO 6.1.4): multi-unit living and single unit living	Proposed # of stories for each: 3 stories for apartments 2 stories for Community Bldg
Proposed use (UDO 6.1.4): multi-unit living	

STORMWATER INFORMATION	
Existing Impervious Surface: <u>184,694sf</u> Acres: <del>4.07 AC</del> <u>4.24 AC</u> Square Feet: <del>177,197 sf</del>	Proposed Impervious Surface: <u>278,348 sf</u> Acres: <del>6.54 AC</del> Square Feet: <u>284,887 sf</u>
Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<u>6.39 AC</u>
If yes, please provide: Alluvial soils: _____ Flood stu _____ FEMA Map Panel #: _____	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 321	Total # of hotel units: N/A
# of bedroom units: 1br: 158 2br: 142 3br: 21 4br or more: N/A	
# of lots: N/A	Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No

SIGNATURE BLOCK	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.	
I hereby designate <u>Stewart Engineering, Inc.</u> to serve as my agent regarding this application, to receive and response to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: 	Date: <u>05 Dec. 2019</u>
Printed Name: <u>George Yelverton</u>	

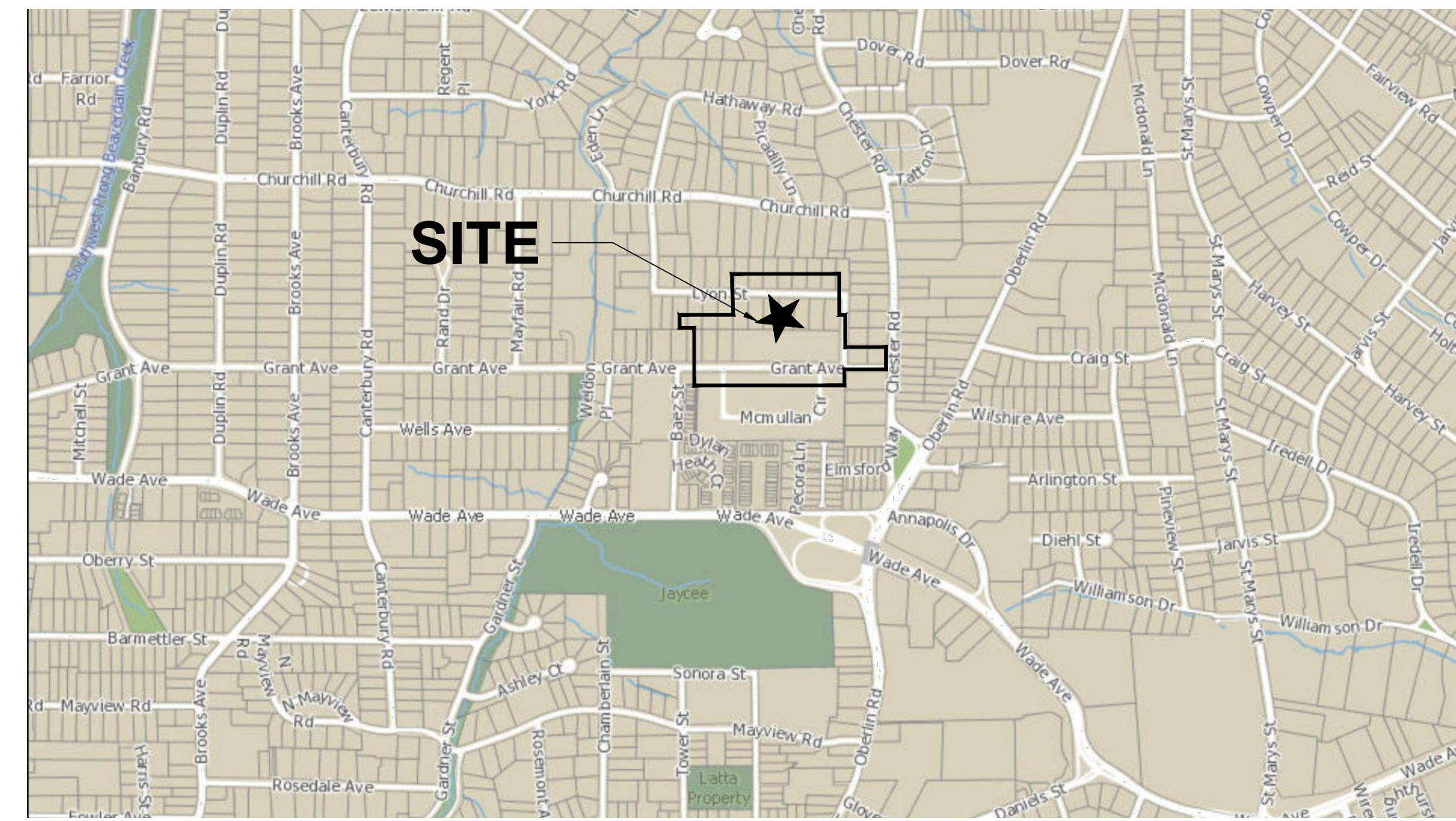


# SOLIS CAMERON HILLS

2315, 2318 GRANT AVE & 1329 CHESTER RD  
RALEIGH, NORTH CAROLINA 27608

## ASR SUBMITTAL

ISSUED DATE: DECEMBER 6TH, 2019



VICINITY MAP  
SCALE: 1" = 800'



RENDERING BY J DAVIS

CLIENT

CIVIL ENGINEERING - LANDSCAPE ARCHITECTURE - GEOMATICS - GEOTECHNICAL

TREE CONSERVATION - ARCHITECTURE



TERWILLIGER PAPPAS  
510 GLENWOOD AVENUE, SUITE 317  
RALEIGH, NC 27603  
CONTACT: TOM BARKER  
919.585.5191 (T)  
TBARKER@TERWILLIGERPAPPAS.COM



STEWART  
223 S. WEST STREET SUITE 1100  
RALEIGH, NC 27603  
T 919.380.8750

STEWART INC. - CIVIL  
CONTACT: ADAM PIKE, PE, LEED AP  
CIVIL ENGINEER  
919.866.4805 (T)  
919.380.8752 (F)  
APIKE@STEWARTINC.COM

STEWART INC. - LANDSCAPE ARCHITECTURE  
CONTACT: COURTNEY LANDOLL, PLA  
PROJECT MANAGER  
919.866.4749 (T)  
CLANDOLL@STEWARTINC.COM



JDAVIS  
510 S. WILMINGTON STREET  
RALEIGH, NC 27601  
CONTACT: KEN THOMPSON  
919.835.1500 (T)  
KENT@JDAVISARCHITECTS.COM

JDAVIS  
510 S. WILMINGTON STREET  
RALEIGH, NC 27601  
CONTACT: NOVEL HERNADEZ  
919.835.1500 (T)  
NOVELH@JDAVISARCHITECTS.COM

### SITE DATA

PROJECT NAME:	SOLIS CAMERON HILLS
SITE ADDRESS:	2318 GRANT AVE & 1329 CHESTER RD
COUNTY:	WAKE
PARCEL PIN #:	1704073013, 1704072396, 1704067938
PARCEL OWNER:	GRANT AVENUE LLC & PULLIAM OF RALEIGH LLC THE
PARCEL AREA:	10.41 AC
TOTAL SITE GROSS ACREAGE:	10.41 AC
NET ACREAGE:	7.37+2.38+0.66=10.41 AC
CURRENT ZONING:	RX-3-CU, R-10-CU
PROPOSED ZONING:	RX-3-CU, R-10-CU
EXISTING LAND USE:	MULTI-UNIT LIVING & SINGLE UNIT LIVING
PROPOSED LAND USE:	MULTI-UNIT LIVING
FLOOD PLAIN DATA:	N/A
RIVER BASIN:	NEUSE
CONSTRUCTION TYPE:	TYPE V
MAX BUILDING HEIGHT:	38'-9"
PROPOSED BUILDING HEIGHT:	3 STORIES
PROPOSED BUILDING SQUARE FOOTAGE:	381,712 SF
TREE CONSERVATION AREA:	0.06 AC / 2717.3 SF
TOTAL LIMITS OF DISTURBANCE:	10.97 AC / 477,839 SF
EXISTING IMPERVIOUS AREA:	4.24 AC / 184,694 SF
PROPOSED IMPERVIOUS AREA:	6.39 AC / 278,348 SF
PARKING DATA:	
REQUIRED PARKING:	557 (SEE CALCULATION ON SHEET C3.00)
PROPOSED PARKING:	550 (SEE CALCULATION ON SHEET C3.00)
TOTAL PARKING:	550 (SEE CALCULATION ON SHEET C3.00)

### PUBLIC UTILITIES IMPROVEMENTS QTY

PUBLIC SEWER	
8" SEWER MAIN	569 LF
PUBLIC WATER	
8" WATER MAIN	872 LF
6" WATER SERVICE	225 LF

### Sheet List Table

Sheet Number	Sheet Title	1ST SUBMITTAL 12.06.19
C0.00	COVER SHEET	•
C0.10	GENERAL NOTES	•
C0.11	ZONING CONDITIONS	•
C1.00	ALTA NSPS LAND TITLE SURVEY	•
C1.01	UTILITY ASBUILT	•
C2.00	DEMOLITION PLAN	•
C3.00	SITE PLAN	•
C5.00	OVERALL GRADING & STORM DRAINAGE PLAN	•
C5.30	STORMWATER DESIGN - EX. CONDITION PEAK FLOW	•
C5.31	STORMWATER DESIGN - PROP. CONDITION PEAK FLOW	•
C5.40	STORMWATER DESIGN - EX. NUTRIENT LOADING	•
C5.41	STORMWATER DESIGN - PROP. NUTRIENT LOADING	•
C6.00	UTILITIES PLAN	•
LT1.1	TREE CONSERVATION PLAN I	•
LT1.2	TREE CONSERVATION PLAN II	•
L2.00	LANDSCAPE PLAN	•
SL1.00	SITE LIGHTING PLAN	•
A3.01	ARCHITECTURAL ELEVATIONS I	•
A3.02	ARCHITECTURAL ELEVATIONS II	•
A3.03	ARCHITECTURAL ELEVATIONS III	•
A3.04	ARCHITECTURAL ELEVATIONS IV	•

### RIGHT-OF-WAY OBSTRUCTION NOTES:

- LANE AND SIDEWALK CLOSURES OR DETOURS: PRIOR TO ANY LANE OR SIDEWALK OBSTRUCTION, THE CONTRACTOR OR ENGINEER SHALL SUBMIT A TRAFFIC CONTROL AND/OR PEDESTRIAN PLAN ALONG WITH A RIGHT-OF-WAY SERVICES APPLICATION TO REQUEST THE OBSTRUCTION PRIOR TO THE START OF WORK TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV FOR APPROVAL.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NC DOT ROAD WITHIN RALEIGH'S JURISDICTION.
- ALL TRAFFIC CONTROL SIGNAGE AND PRACTICES SHALL ADHERE TO THE MANUAL ON UNIFORM TRAFFIC CONTROL, AND THE LATEST EDITION OF THE NC DOT "STANDARD SPECIFICATION FOR ROADWAY STRUCTURES", NC DOT "ROADWAY STANDARD DRAWING MANUAL", AND THE NC DOT SUPPLEMENT TO THE MUTCD.
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PRIOR TO THE START OF WORK, THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

### DEVELOPMENT SERVICES

## Administrative Site Review Application

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Office Use Only: Transaction #: _____		Planning Coordinator: _____	
<b>Building Type</b>	<input type="checkbox"/> Detached	<input type="checkbox"/> General	<b>Site Transaction History</b>
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	<input type="checkbox"/> Open lot	Subdivision transaction #: _____ Sketch transaction #: _____ Certificate of Appropriateness #: _____ Board of Adjustment #: _____ Zoning Case #: _____ Administrative Alternate #: _____
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Civic		
<input type="checkbox"/> Townhouse			
<b>GENERAL INFORMATION</b>			
Development name: CAMERON HILLS APARTMENTS			
Inside City limits? <input type="checkbox"/> YES <input type="checkbox"/> No			
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Company: GRANT AVENUE LLC & PULLIAM OF RALEIGH LLC THE Title: N/A			
Address: 213 BEACH RD N, WILMINGTON NC 28411-9207			
Phone #/N/A		Email: N/A	
Applicant Name: Courtney Landoll			
Company: Stewart		Address: 223 S. West Street, Raleigh, NC 27601	
Phone # 919-866-4749		Email: clandoll@stewartinc.com	

Page 1 of 2

REVISION 05.01.19

raleighnc.gov

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Is this a flood hazard area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Alluvial soils: Flood stu:	
FEMA Map Panel #:	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

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SIGNATURE BLOCK	
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I hereby designate Stewart Engineering, Inc. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: _____	Date: 05 Dec. 2019
Printed Name: George Yelverton	George Yelverton

Page 2 of 2

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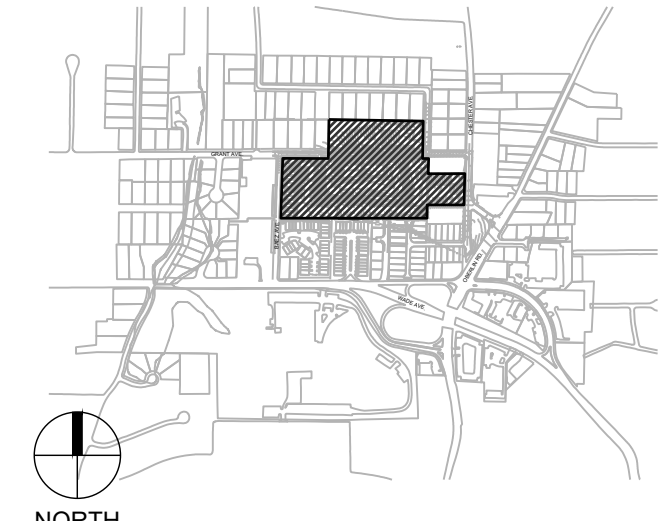
STEWART  
223 S. WEST ST., #1100 FIRM LICENSE #: C-1051  
RALEIGH, NC 27603 www.stewartinc.com  
T 919.380.8750 PROJECT #: L19053

Client:  
TERWILLIGER PAPPAS  
510 GLENWOOD AVENUE, SUITE 317  
RALEIGH, NC 27603  
PHONE # 919.585.5191

Consultants:  
JDAVIS  
510 S. WILMINGTON STREET  
RALEIGH, NC 27601  
PHONE # 919.835.1500

JOHN A. EDWARDS & COMPANY  
333 WADE AVENUE,  
RALEIGH, NC 27605  
PHONE # 919.828.4428

Vicinity map:



NORTH

Seal:

Project:

## SOLIS CAMERON HILLS

Issued for:

## ASR SUBMITTAL

No.	Date	Description

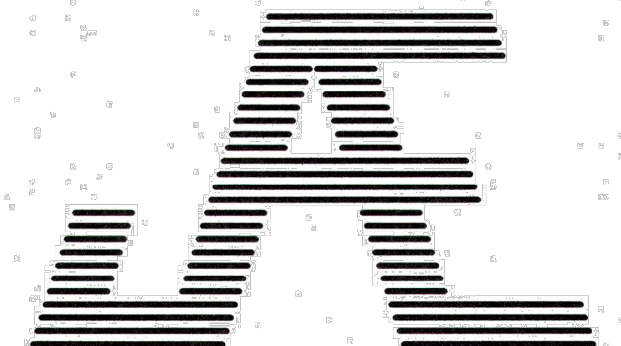
Title:

## COVER SHEET

Project number: L19053 Sheet #:  
Issued Date: 12.06.2019  
Drawn by: ML  
Approved by: CL,JP

C0.00





JOHN A. EDWARDS & COMPANY  
Consulting Engineers  
and Land Surveyors

NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
Fax: (919) 828-4711  
E-mail: info@jaeco.com

www.jaeco.com

CAMERON HILLS  
APARTMENTS  
2315 & 2318 GRANT AVE &  
0 CHESTER RD

TERWILLIGER PAPPAS  
510 GLENWOOD AVE, STE 317  
RALEIGH, NC 27603

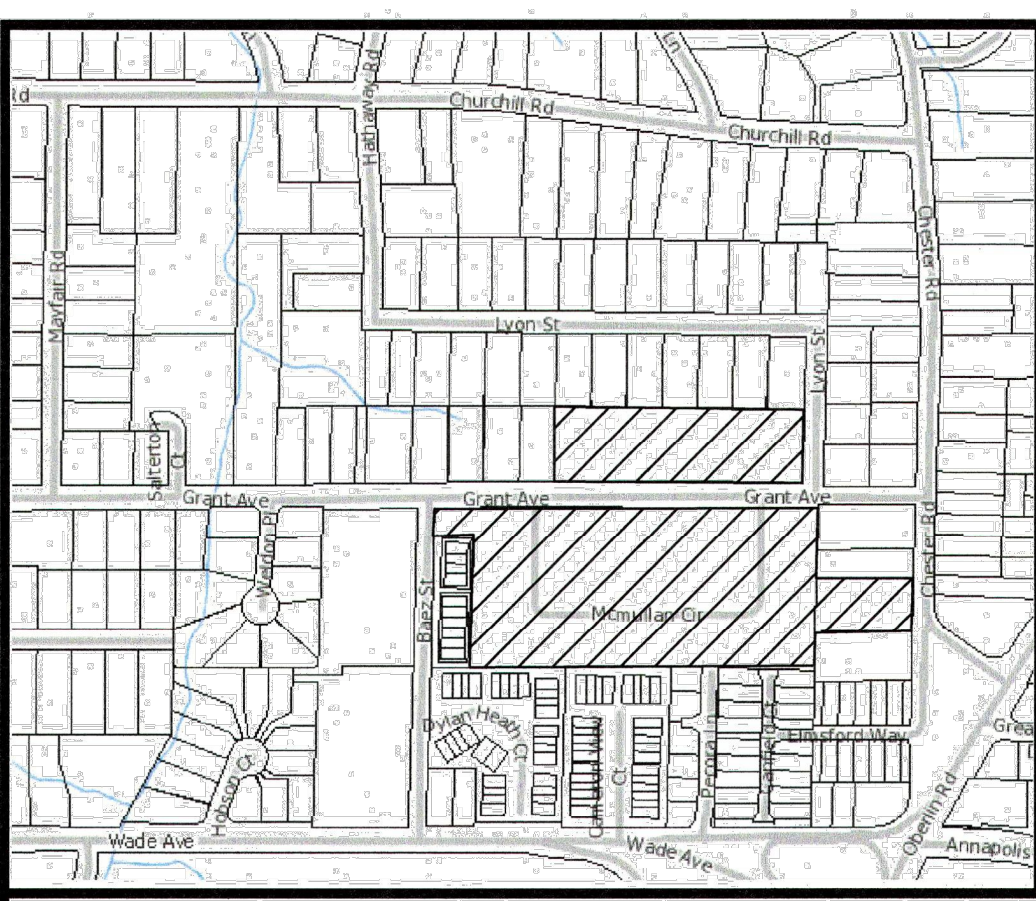
LEGEND table with symbols for property lines, easements, utilities, and other features.

ALTA/NSPS LAND  
TITLE SURVEY

Revisions table with columns for Number, Description, and Date.

File No.  
Drawing Scale 1"=50'  
Drawn By ZCS/CLP  
Checked By JAE, JR  
Date Issued 09/14/2019

C1.00



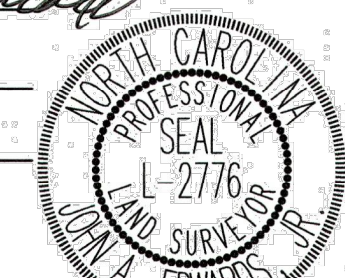
VICINITY MAP  
NOT TO SCALE

ALTA/NSPS SURVEYOR'S CERTIFICATION

To: TERWILLIGER PAPPAS MULTI-FAMILY PARTNERS, LLC, & METRO TITLE COMPANY  
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys...

The field work was completed on September 3, 2019  
The date of Plat or Map: September 4, 2019 last revised November 8, 2019

Surveyor's Signature  
John A. Edwards Jr., P.L.S.  
Name of Surveyor  
L-2776  
License Number



\*UTILITIES ARE SHOWN FROM OBSERVED EVIDENCE ONLY AT THE CLIENTS REQUEST, NC 811 WAS NOT CONTACTED TO MARK UNDERGROUND UTILITIES

SURVEYOR'S NOTES

- 1. All distances are horizontal ground.
2. All dimensions are in feet unless otherwise noted.
3. All areas computed using coordinates from measured field data.
4. The ALTA/NSPS Land Title Survey shown here is NOT FOR RECORDATION.
5. This survey satisfies all state required minimum standards.
6. The horizontal datum is NAD 83(2011), and vertical datum is NAVD 88.
7. The subject property is located within an area having a Zone Designation 'X' by FEMA.
8. Monuments have been placed at all major corners of the boundary of the subject property.
9. No zoning report was provided at the time of survey.
10. The site was localized utilizing Real-Time Kinematic (RTK) Global Positioning System (GPS) solutions...

NOTES CORRESPONDING TO SCHEDULE B, SECTION II

Verbatim, as per Metro Title Company, Agent for Commonwealth Title Commitment No. M2720101522.
Schedule B - Section II Exceptions

SCHEDULE B - SECTION II EXCEPTIONS

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company.

- 1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part 1 - Requirements are met.
2. Taxes and assessments for the year 2020 and subsequent years, not yet due or payable.
3. Easements, setback lines and any other matters shown on plat recorded in Book of Maps 1911, Page 109, Wake County Registry, (Tract 1) SUBJECT PROPERTY AS CHAIN OF TITLE.
4. Easements in favor of Carolina Power and Light Company as recorded in Book 1134, Page 302 (AS SHOWN ON SURVEY) and Book 1140, Page 334(BLANKET IN NATURE, NOT PLOTTABLE), Wake County Registry (Tracts 1 & 2).
5. Easements in favor of Southern Bell Telephone and Telegraph Company as recorded in Book 1122, Page 131 (BLANKET IN NATURE, NOT PLOTTABLE) and Book 1048, Page 254 (BLANKET IN NATURE, NOT PLOTTABLE) Wake County Registry (Tracts 1 & 2).
6. INTENTIONALLY DELETED
7. INTENTIONALLY DELETED
8. Title to that portion of the land lying within the bounds of any roads or highways, and/or rights of the public and others as extended thereto in and to the use of that portion of the insured premises within the bounds of street or roadway, if any (PUBLIC RIGHT OF WAYS AS SHOWN ON SURVEY PER INFORMATION PROVIDED IN TITLE REPORT) (Tract 3).
9. Rights of tenants in possession under unrecorded lease(s) (NOT A MATTER OF SURVEY)
10. Encroachments, overlaps, overhangs, unrecorded easements, violated restrictive covenants, deficiencies in quantity of grounds, lack of access, violated building lot lines, or any matters which would be disclosed by an accurate survey and inspection of the land (AS SHOWN ON SURVEY).
11. No coverage is provided as to the amount of acreage or square footage of the land (AREA AS SHOWN ON SURVEY).
12. NOTE: NO CLOSING SERVICES INSURANCE/PROTECTION - As to the transaction for which this commitment is issued, the Company does not afford insured closing protection to the Proposed Insured(s) identified in Schedule A of this Commitment. Any closing protection coverage or letter which heretofore may have been or hereafter may be provided shall not be effective and is hereby rescinded as to this transaction absent revision of this commitment to specifically provide for said coverage.

LEGAL DESCRIPTIONS

TRACT 1
(Wake County PIN 1704073013 - 7.153 acres) located at 2315 Grant Ave., Raleigh, NC 27608
The following described property in Wake County, North Carolina:
TRACT 1 BEGINNING a new iron pipe in the eastern 40' right-of-way line of Baez Street, said point being the northwestern corner of a tract shown as Knowles Place Townhomes on a plat recorded in Book of Maps 1983, Page 87, Wake County Registry, running thence from said beginning point along the eastern right-of-way line of Baez Street north 05° 35' 03" east 62.05 feet to a new iron pipe, said pipe being the intersection of the eastern right-of-way line of Baez Street and the southern 60' right-of-way line of Grant Avenue, running thence along the southern right-of-way line of Grant Avenue south 86° 10' 35" east 911.78 feet to an existing iron pipe, said point being the northwestern corner of Lot 51 as shown on a map recorded in Book of Maps 1911, Page 109, Wake County Registry, running thence along the western property line of Lots 48 through 51 as shown on a map recorded in Book of Maps 1911, Page 109, Wake County Registry south 05° 33' 08" west 373.68 feet to an existing iron pipe, thence along the northern property line of Lots 39 through 43 as shown on a map recorded in Book of Maps 1911, Page 109, Wake County Registry, north 89° 11' 57" west 518.41 feet to a new iron pipe in the northern property line of Dylan Court Townes, running thence along the eastern property line of Knowles Place Townhomes north 05° 35' 03" east 312.00 feet to a new iron pipe, said point being the northeastern corner of Knowles Place Townhomes as shown on a map recorded in Book of Maps 1983, Page 87, Wake County Registry, running thence along the northern line of Knowles Place Townhomes north 89° 11' 57" west 93.59 feet to the point and place of beginning, and being all of a tract containing a total of 7.153 acres as shown on a map entitled "Property of Grant Avenue Apartments, Owner Belvedere Investment Company, Raleigh, N.C., as built survey" dated January 2, 1987.

TRACT 2

(Wake County PIN 1704072396 - 2.417 acres) located at 2318 Grant Ave., Raleigh, NC 27608
TRACT 2 BEGINNING at a new iron pipe, said pipe located at the intersection of the northern 60' right-of-way line of Grant Avenue with the western 50' right-of-way line of Lyon Street, running thence along the northern right-of-way line of Grant Avenue north 86° 10' 35" west 589.65 feet to a new iron pipe, said pipe being the southeastern corner of Lot 8 as shown on a map recorded in Book of Maps 1948, Page 75, Wake County Registry, running thence along the eastern property line of Lot 8 as shown on a map recorded in Book of Maps 1948, Page 75, Wake County Registry north 04° 45' 00" east 183.38 feet to a new iron pipe, said pipe being the southwestern corner of Lot 20 as shown on a map recorded in Book of Maps 1947, Page 101, Wake County Registry, running thence along the southern property line of Lot 20 through 26, inclusive, as shown on a map recorded in Book of Maps 1947, Page 101, Wake County Registry south 85° 15' 00" east 589.57 feet to a new iron pipe in the western right-of-way line of Lyon Street, running thence along the western right-of-way line of Lyon Street south 04° 45' 00" west 173.84 feet to the point and place of beginning, and being a tract containing 2.417 acres as shown on a survey entitled "Property of Grant Avenue Apartments, Owner Belvedere Investment Company, Raleigh, N.C., as built survey" dated January 2, 1987.

TRACT 3

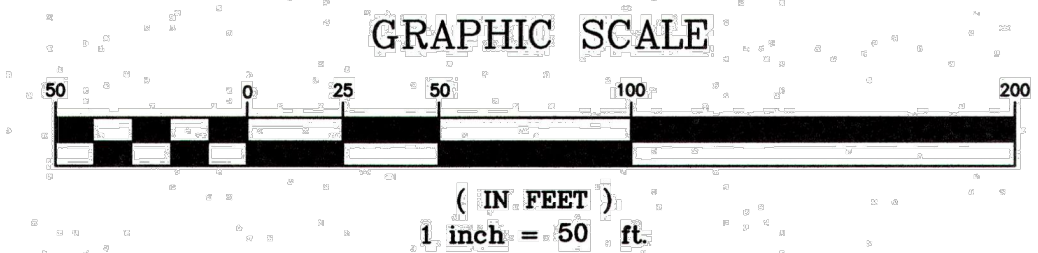
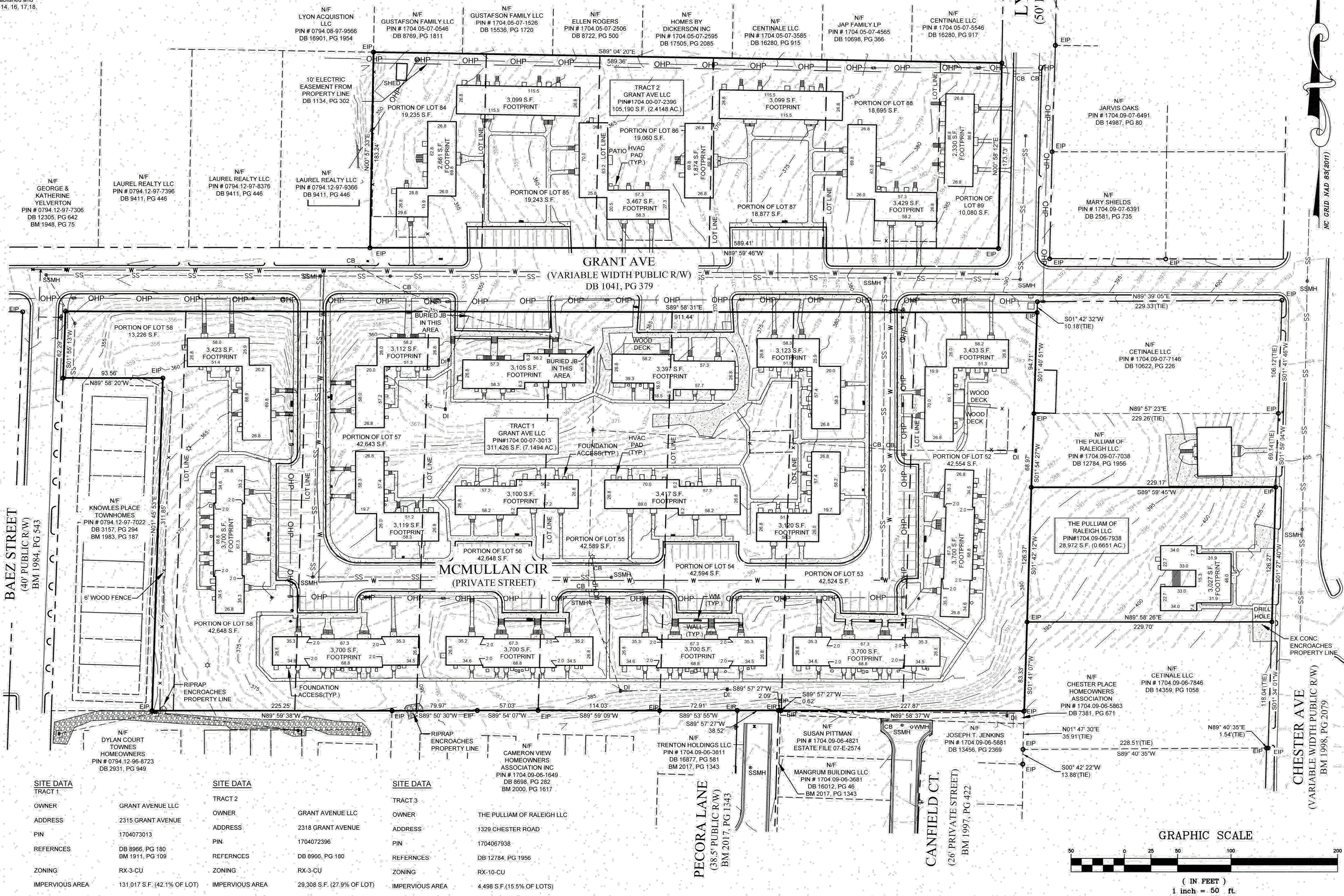
Lot 49A San Domingo, consisting of 28,947 sq. ft. (out of Wake County PIN 1704077031 - BK 12784, PG 1956) located at 1335 Chester Road, Raleigh, NC 27608
TRACT 3 BEGINNING at an existing iron pipe located in the western right-of-way line of Chester Road (formerly Butler Street), a fifty foot (50') right-of-way, said point being 174.1 feet in a southerly direction from the point where the right-of-way of Chester Road intersects with the right-of-way of Grant Avenue, runs thence with the western right-of-way of Chester Road, south 68° 14 minutes 20 seconds west 126.27 feet to a nail, runs thence away from Chester Road along the northern line of Lot 48A, north 85° 15 minutes 46 seconds west 229.65 feet to an existing iron pipe, runs thence with the eastern line of Lot 52 north 06° 30 minutes 00 seconds east 126.23 feet to an existing iron pipe, runs thence with the southern line of Lot 50a south 85° 16 minutes 34 seconds east 229.08 feet to a point, said point and place of beginning, and consisting of 28,947 square feet and being all of Lot 49a, San Domingo, as shown on that survey entitled "Property of Charles W. Taylor," dated September 6, 1991 by John Y. Phelps, RLS.

AS-SURVEYED DESCRIPTIONS

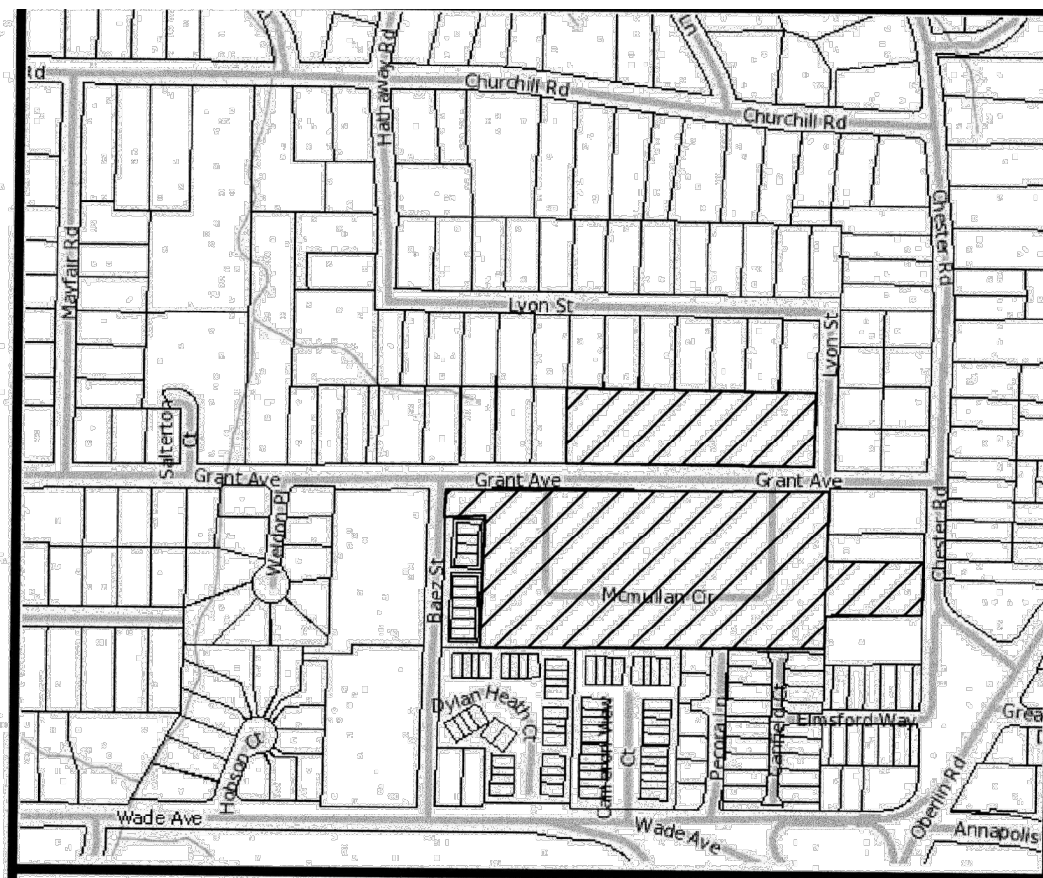
TRACT 1
SITUATED IN THE CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS
BEGINNING AT AN EXISTING IRON PIPE ON THE NORTHERN RIGHT OF WAY GRANT AVE., SAID IRON ROD BEING THE SOUTHWEST CORNER OF PARCEL DESCRIBED AS TRACT 1 IN DEED BOOK 8966, PAGE 180 OF THE WAKE COUNTY REGISTER OF DEEDS AND HAVING NORTH CAROLINA GRID COORDINATES OF N=747,273.64' AND E=2,100,003.85'; THENCE FROM THE POINT OF BEGINNING, LEAVING SAID RIGHT OF WAY, NORTH 00° 57' 33" EAST FOR A DISTANCE OF 183.24' TO AN EXISTING IRON PIPE; THENCE SOUTH 89° 04' 20" EAST FOR A DISTANCE OF 589.36' TO AN EXISTING IRON PIPE ON THE WESTERN RIGHT OF WAY OF LYON STREET; THENCE ALONG SAID RIGHT OF WAY, SOUTH 00° 58' 12" WEST FOR A DISTANCE OF 173.73' TO AN EXISTING IRON PIPE ON THE NORTHERN RIGHT OF WAY OF GRANT AVE.; THENCE ALONG SAID RIGHT OF WAY NORTH 89° 59' 46" WEST FOR A DISTANCE OF 589.41' TO AN EXISTING IRON PIPE; SAID PIPE BEING THE POINT AND PLACE OF BEGINNING, AND CONTAINING 105.191 S.F. OR 2.4168 AC.

TRACT 2
SITUATED IN THE CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS
BEGINNING AT AN EXISTING MAGNETIC NAIL ON THE SOUTHERN RIGHT OF WAY GRANT AVE., SAID IRON ROD BEING THE NORTHWEST CORNER OF PARCEL DESCRIBED AS TRACT 1 IN DEED BOOK 8966, PAGE 180 OF THE WAKE COUNTY REGISTER OF DEEDS AND HAVING NORTH CAROLINA GRID COORDINATES OF N=747,213.89' AND E=2,099,718.83'; THENCE FROM THE POINT OF BEGINNING, ALONG SAID RIGHT OF WAY, SOUTH 89° 58' 31" EAST FOR A DISTANCE OF 911.44' TO AN EXISTING IRON PIPE; THENCE ALONG SAID RIGHT OF WAY, SOUTH 01° 40' 51" WEST FOR A DISTANCE OF 34.71' TO AN EXISTING IRON PIPE; THENCE SOUTH 01° 54' 27" WEST FOR A DISTANCE OF 89.97' TO AN EXISTING IRON PIPE; THENCE SOUTH 01° 42' 12" WEST FOR A DISTANCE OF 126.37' TO AN EXISTING IRON PIPE; THENCE SOUTH 01° 41' 07" WEST FOR A DISTANCE OF 83.33' TO AN EXISTING IRON PIPE; THENCE NORTH 89° 58' 37" WEST FOR A DISTANCE OF 227.87' TO AN EXISTING IRON PIPE; THENCE SOUTH 89° 57' 27" WEST FOR A DISTANCE OF 0.62' TO AN EXISTING IRON PIPE; THENCE SOUTH 89° 57' 27" WEST FOR A DISTANCE OF 2.09' TO AN EXISTING IRON ROD; THENCE SOUTH 89° 57' 27" WEST FOR A DISTANCE OF 38.52' TO AN EXISTING IRON PIPE; THENCE SOUTH 89° 53' 55" WEST FOR A DISTANCE OF 72.91' TO AN EXISTING IRON PIPE; THENCE SOUTH 89° 59' 09" WEST FOR A DISTANCE OF 114.03' TO AN EXISTING IRON PIPE; THENCE SOUTH 89° 54' 07" WEST FOR A DISTANCE OF 57.03' TO AN EXISTING IRON PIPE; THENCE SOUTH 89° 50' 30" WEST FOR A DISTANCE OF 19.79' TO AN EXISTING IRON PIPE; THENCE NORTH 89° 59' 38" WEST FOR A DISTANCE OF 229.22' TO AN EXISTING IRON PIPE; THENCE NORTH 01° 45' 53" EAST FOR A DISTANCE OF 311.85' TO AN EXISTING IRON PIPE; THENCE NORTH 89° 58' 20" WEST FOR A DISTANCE OF 93.56' TO A MAGNETIC NAIL SET ON THE EASTERN RIGHT OF WAY OF BAEZ STREET; THENCE NORTH 01° 55' 13" EAST FOR A DISTANCE OF 62.29' TO A MAGNETIC NAIL SET, SAID NAIL BEING THE POINT AND PLACE OF BEGINNING, AND CONTAINING 311,426 S.F. OR 7.1494 AC.

TRACT 3
SITUATED IN THE CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS
BEGINNING AT AN EXISTING IRON PIPE ON THE WESTERN RIGHT OF WAY CHESTER AVE., SAID IRON ROD BEING THE NORTHEAST CORNER OF THE SOUTHERN MOST PARCEL DESCRIBED IN DEED BOOK 12784, PAGE 1956 OF THE WAKE COUNTY REGISTER OF DEEDS AND HAVING NORTH CAROLINA GRID COORDINATES OF N=747,049.91' AND E=2,100,853.77'; THENCE FROM THE POINT OF BEGINNING, ALONG SAID RIGHT OF WAY, SOUTH 01° 27' 42" WEST FOR A DISTANCE OF 182.77' TO AN EXISTING DRILL HOLE; THENCE SOUTH 89° 58' 28" WEST FOR A DISTANCE OF 229.70' TO AN EXISTING IRON PIPE; THENCE NORTH 01° 42' 12" EAST FOR A DISTANCE OF 126.37' TO AN EXISTING IRON PIPE; THENCE NORTH 89° 58' 45' EAST FOR A DISTANCE OF 229.17' TO AN EXISTING IRON PIPE, SAID PIPE BEING THE POINT AND PLACE OF BEGINNING, AND CONTAINING 28,972 S.F. OR 0.6651 AC.



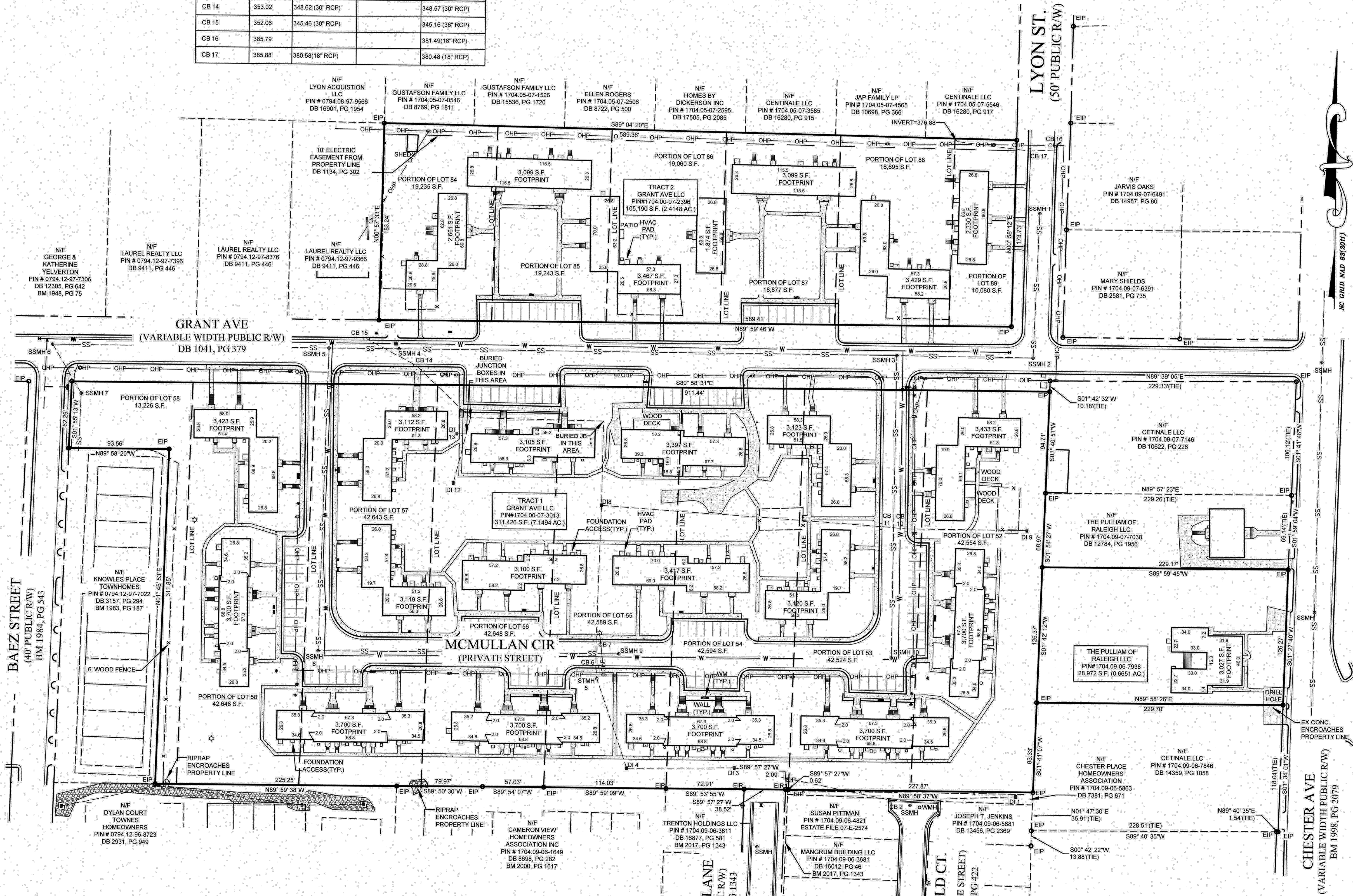




VICINITY MAP  
NOT TO SCALE

STORM TABLE				
STRUCTURE #	RIM	INVERT IN	INVERT IN	INVERT OUT
DI 1	398.60			394.23 (15" RCP)
CB 2	397.38	391.33 (15" RCP)	392.18 (15" RCP)	390.53 (15" RCP)
DI 3	385.92	382.62 (15" RCP)		382.22 (15" RCP)
DI 4	384.78	381.38 (15" RCP)		378.68 (36" RCP)
STM 5	381.91	377.41 (36" RCP)		377.11 (15" RCP)
CB 6	379.12	376.87 (15" RCP)		376.47 (15" RCP)
CB 7	379.30	373.05 (15" RCP)		372.95 (15" RCP)
DI 8	370.34	365.09 (15" RCP)(7)	367.20 (18" RCP)(11)	364.99 (18" RCP)(11)
DI 9	384.62			384.42 (18" RCP)
CB 10	383.01	377.61 (18" RCP)		377.51 (18" RCP)
CB 11	382.72	375.57(15" RCP)		375.42 (18" RCP)
DI 12	365.02			362.47 (15" RCP)
DI 13	362.45			361.02 (15" RCP)
CB 14	353.02	348.62 (30" RCP)		348.57 (30" RCP)
CB 15	352.06	345.46 (30" RCP)		345.16 (36" RCP)
CB 16	385.79			381.49(18" RCP)
CB 17	385.88	380.58(18" RCP)		380.48 (18" RCP)

SEWER TABLE				
SSMH #	RIM	INVERT IN	INVERT IN	INVERT OUT
SSMH 1	386.68	(SERVICE)383.98		383.83 (8" VCP)
SSMH 2	390.53	384.23(S) (8" VCP)	382.93(N) (8" VCP)	382.83 (8" VCP)
SSMH 3	382.92	373.02(S) (8" VCP)	372.62(E) (8" VCP)	382.47 (8" VCP)
SSMH 4	352.64	(SERVICE)346.89(N)	345.99(E) (8" VCP)	345.74 (8" VCP)
SSMH 5	352.12	344.72(E)(8" VCP)	345.17(S) (8" VCP)	344.60 (8" VCP)
SSMH 6	348.00	340.80(E) (8" VCP)	341.40(S) (8" PVC)	340.65 (8" VCP)
SSMH 7	351.16	346.56 (8" PVC)		344.66 (8" PVC)
SSMH 8	374.98	(SERVICE)369.38(S)	369.38(E) (8" VCP)	369.23 (8" VCP)
SSMH 9	379.44	(SERVICE)374.39(S)	(SERVICE)374.34(N)	374.19 (8" VCP)
SSMH 10	383.40	(SERVICE)379.50(S)		374.40 (8" VCP)



LYON ST.  
(50' PUBLIC R/W)

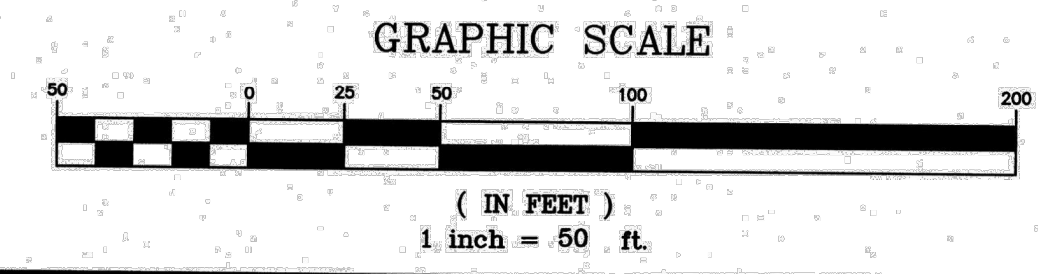
GRANT AVE  
(VARIABLE WIDTH PUBLIC R/W)  
DB 1041, PG 379

BAEZ STREET  
(40' PUBLIC R/W)  
BM 1984, PG 543

PECORA LANE  
(38.5' PUBLIC R/W)  
BM 2017, PG 1343

CANFIELD CT.  
(26' PRIVATE STREET)  
BM 1997, PG 422

CHESTER AVE  
(VARIABLE WIDTH PUBLIC R/W)  
BM 1998, PG 2079



**JOHN A. EDWARDS & COMPANY**  
Consulting Engineers  
and Land Surveyors

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333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
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www.jaeco.com

**CAMERON HILLS APARTMENTS**  
2315 & 2318 GRANT AVE &  
0 CHESTER RD

**TERWILLIGER PAPPAS**  
510 GLENWOOD AVE, STE 317  
RALEIGH, NC 27603

**LEGEND**

BM	BOOK OF MAPS
DB	DEED BOOK
PG	PAGE
N/F	NOW OR FORMERLY
R/W	RIGHT OF WAY
EIP	EXISTING IRON PIPE
EMAG	EXISTING MAG NAIL
EQM	EXISTING CONCRETE MONUMENT
IPS	IRON PIPE SET
MAGS	MAG NAIL SET
CP	COMPUTED POINT
SS	SANITARY SEWER
CO	SANITARY SEWER CLEAN OUT
MH	MANHOLE
ST	STORM
GW	GUY ANCHOR
TF	TRANSFORMER
WV	WATER VALVE
RCP	REINFORCED CONCRETE STORM PIPE
CONC	CONCRETE
SSMH	SANITARY SEWER MANHOLE
WM	WATER METER
LP	LIGHT POLE
CATV	CABLE PEDESTAL
TP	TELEPHONE PEDESTAL
FH	FIRE HYDRANT
CB	CATCH BASIN
PP	POWER POLE
DI	DROP INLET
POB	POINT OF BEGINNING
XXX	DENOTES ADDRESS

---	PROPERTY LINE
- - -	RIGHT OF WAY LINE
- - -	PROP. LINE NOT SURVEYED
---	STORM PIPE
---	SANITARY SEWER LINE
---	OVERHEAD POWER
---	GAS LINE
---	EASEMENT LINE
---	FENCE LINE
---	LP
---	SSMH

**UTILITY ASBUILT**

Revisions

Number	Description	Date

File No. \_\_\_\_\_  
Drawing Scale 1"=50'  
Drawn By ZCS/CLP  
Checked By JAE, JR.  
Date Issued 11/27/2019

**C1.01**

1 of 1



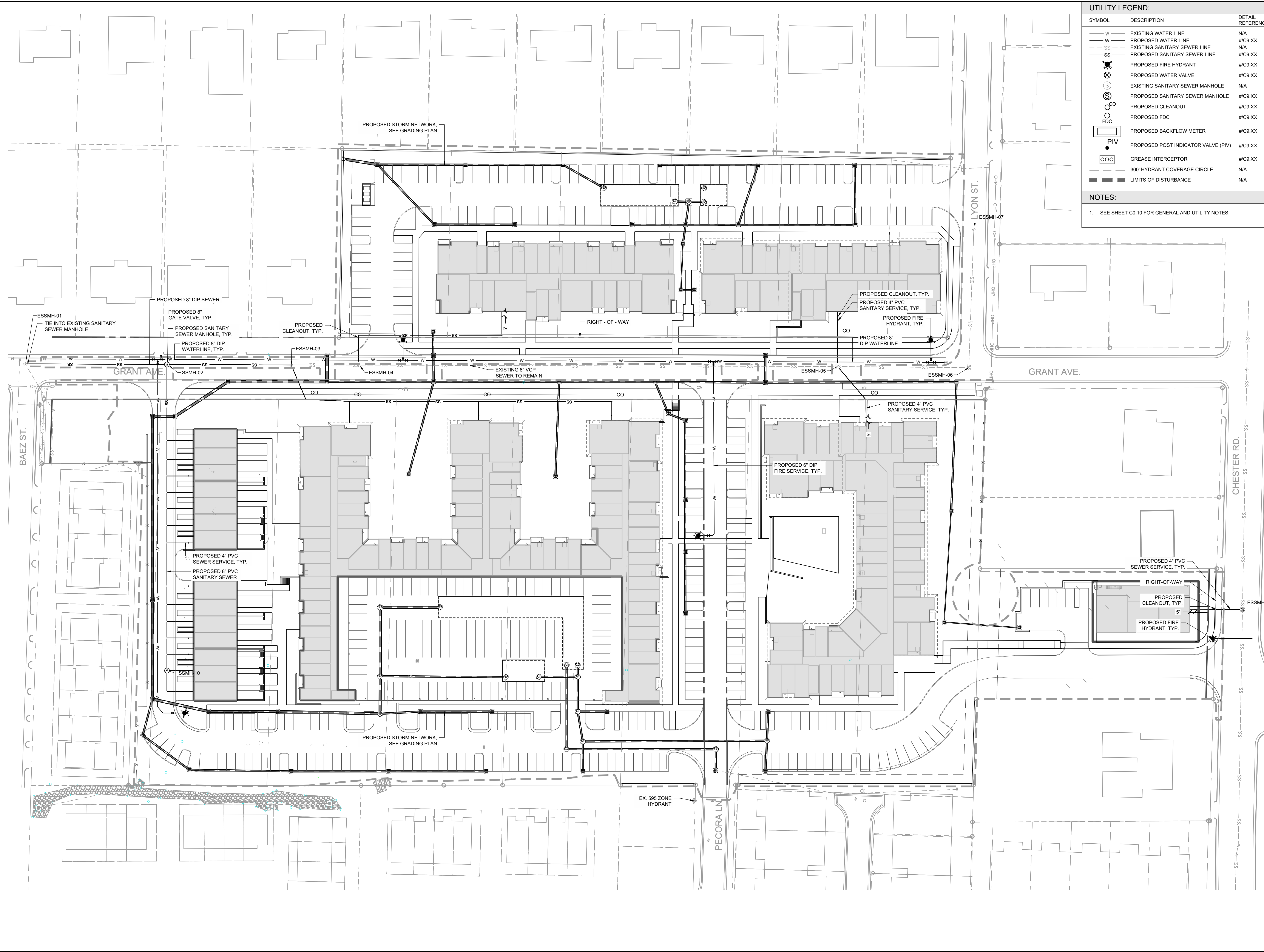








L:\Projects\2019\19053 - Cameron Hills\DWGS\1 - ASR\3-Sheets\L19053-C6.00 Utility Plan.dwg Dec 06, 2019 - 2:03pm



### UTILITY LEGEND:

SYMBOL	DESCRIPTION	DETAIL REFERENCE
W	EXISTING WATER LINE	N/A
W	PROPOSED WATER LINE	#/C9.XX
SS	EXISTING SANITARY SEWER LINE	N/A
SS	PROPOSED SANITARY SEWER LINE	#/C9.XX
	PROPOSED FIRE HYDRANT	#/C9.XX
	PROPOSED WATER VALVE	#/C9.XX
	EXISTING SANITARY SEWER MANHOLE	N/A
	PROPOSED SANITARY SEWER MANHOLE	#/C9.XX
	PROPOSED CLEANOUT	#/C9.XX
	PROPOSED FDC	#/C9.XX
	PROPOSED BACKFLOW METER	#/C9.XX
	PROPOSED POST INDICATOR VALVE (PIV)	#/C9.XX
	GREASE INTERCEPTOR	#/C9.XX
	300' HYDRANT COVERAGE CIRCLE	N/A
	LIMITS OF DISTURBANCE	N/A

**NOTES:**  
 1. SEE SHEET C0.10 FOR GENERAL AND UTILITY NOTES.

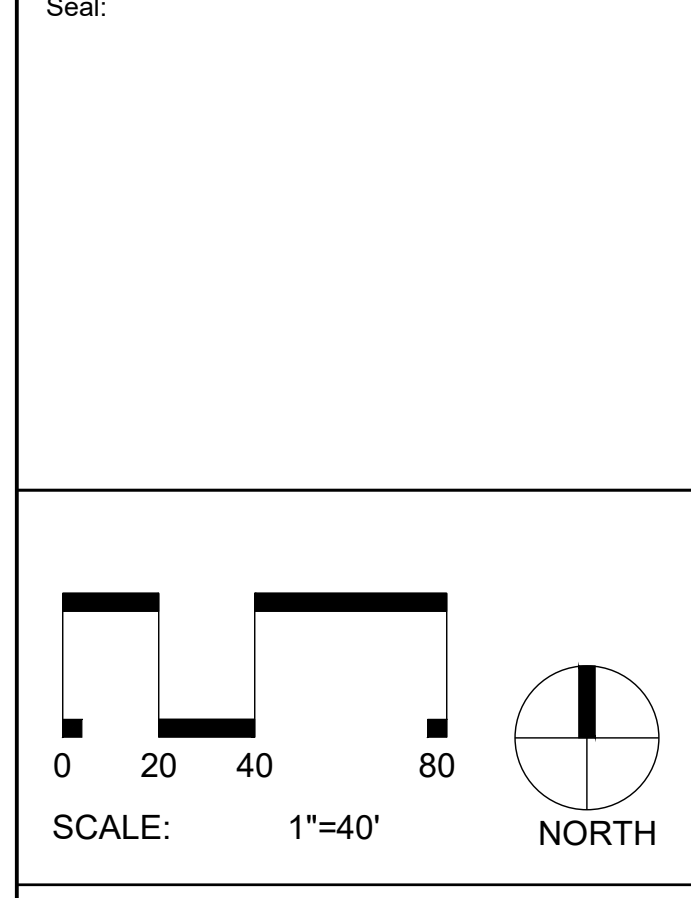
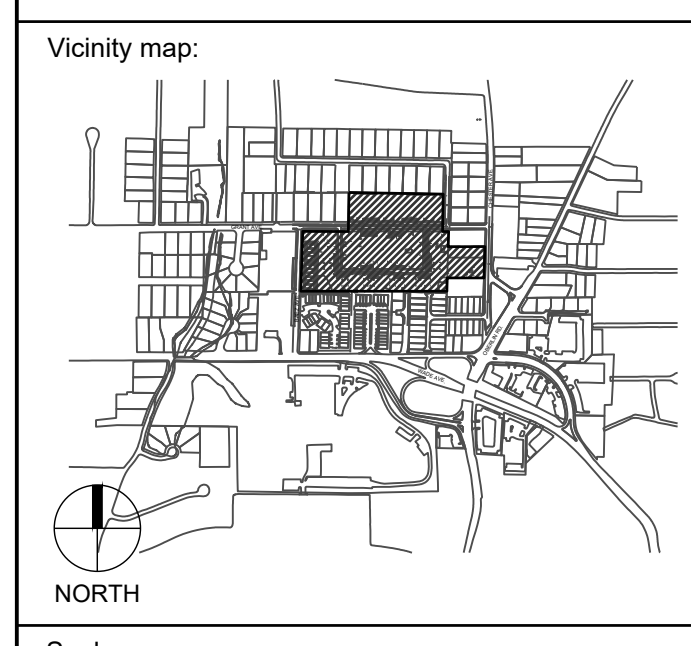
# STEWART

223 S. WEST ST., #100 FIRM LICENSE # C-1051  
 RALEIGH, NC 27603 www.stewartinc.com  
 T 919.380.8750 PROJECT # L19053

**Client:**  
 TERWILLIGER PAPPAS  
 510 GLENWOOD AVENUE, SUITE 317  
 RALEIGH, NC 27603  
 PHONE # 919.585.5191

**Consultants:**  
 JDAVIS  
 510 S. WILMINGTON STREET  
 RALEIGH, NC 27601  
 PHONE # 919.835.1500

JOHN A. EDWARDS & COMPANY  
 333 WADE AVENUE,  
 RALEIGH, NC 27605  
 PHONE # 919.828.4428



Project:

## SOLIS CAMERON HILLS

Issued for:

### ASR SUBMITTAL

No.	Date	Description

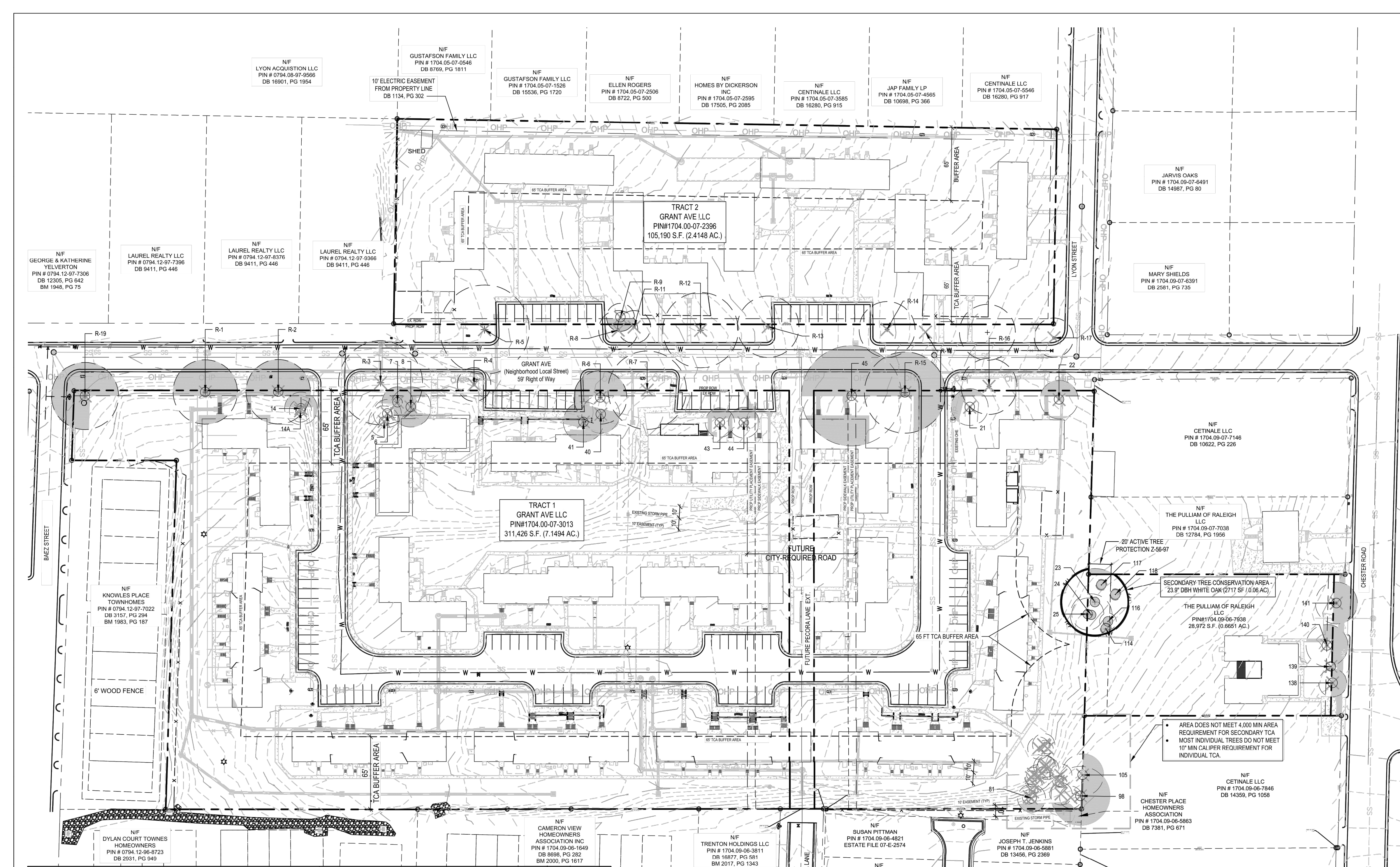
Title:

### UTILITIES PLAN

Project number: L19053 Sheet #:  
 Issued Date: 12.06.2019  
 Drawn by: CC  
 Approved by: AP

# C6.00





**EXISTING SITE DATA:**  
 NORTH SIDE OF GRANT AVENUE  
 SITE ADDRESS: 2315 GRANT AVENUE, RALEIGH, NC  
 PIN NUMBER: 1704072396  
 DEED BOOK: DB 008966, PG 00180  
 ZONING(S): RX-3-CU

**CHESTER ROAD**  
 SITE ADDRESS: 0 CHESTER ROAD, RALEIGH, NC  
 PIN NUMBER: 1704073938  
 DEED BOOK: DB 012784, PG 01956  
 ZONING(S): R-10-CU

**SOUTH SIDE OF GRANT AVENUE**  
 SITE ADDRESS: 2318 GRANT AVENUE, RALEIGH, NC  
 PIN NUMBER: 1704073013  
 DEED BOOK: DB 008966, PG 00180  
 ZONING(S): RX-3-CU

**Solis Cameron Hills Critical Zone Calculations**  
 12.05.2019 (rev: 12.05.2019)

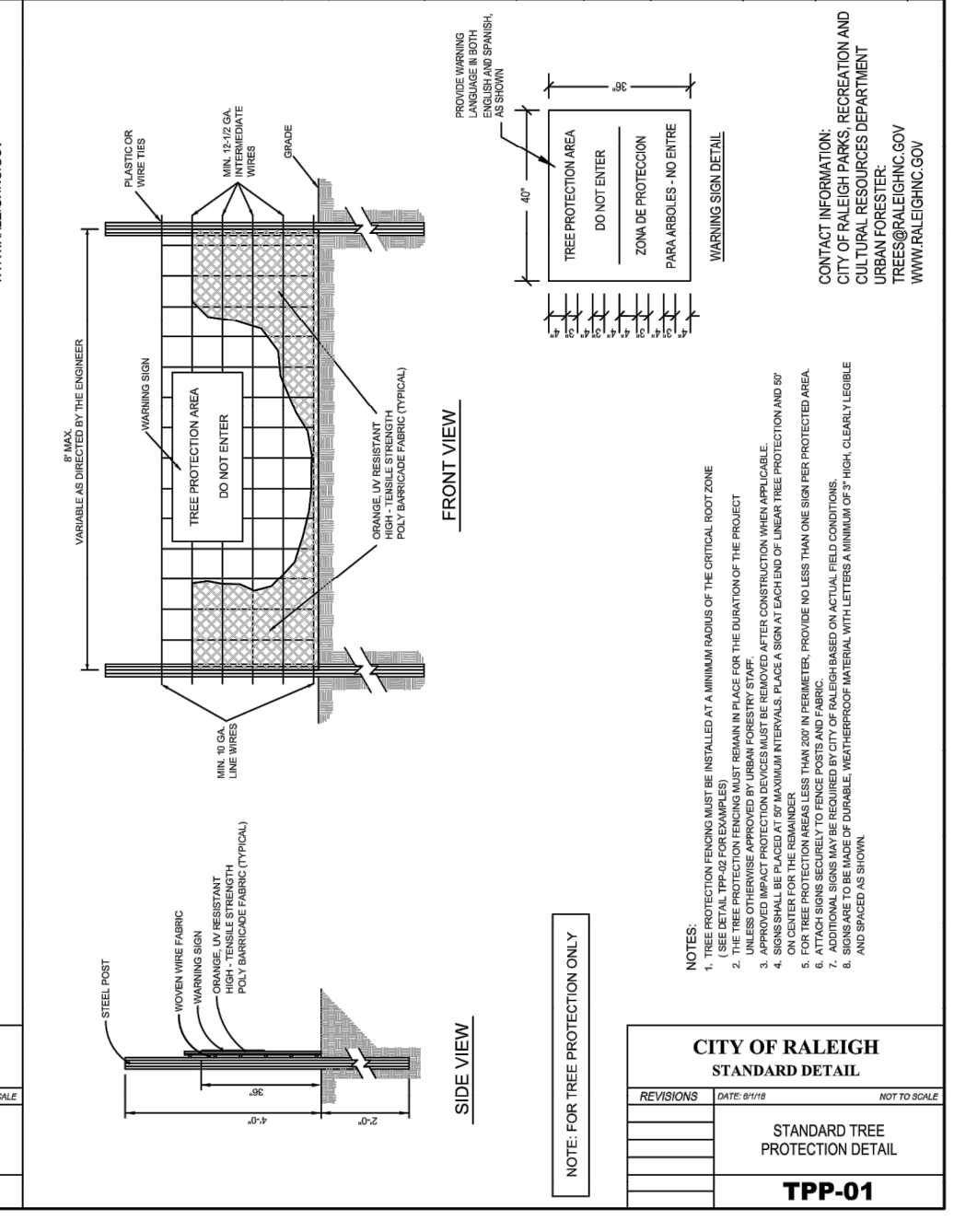
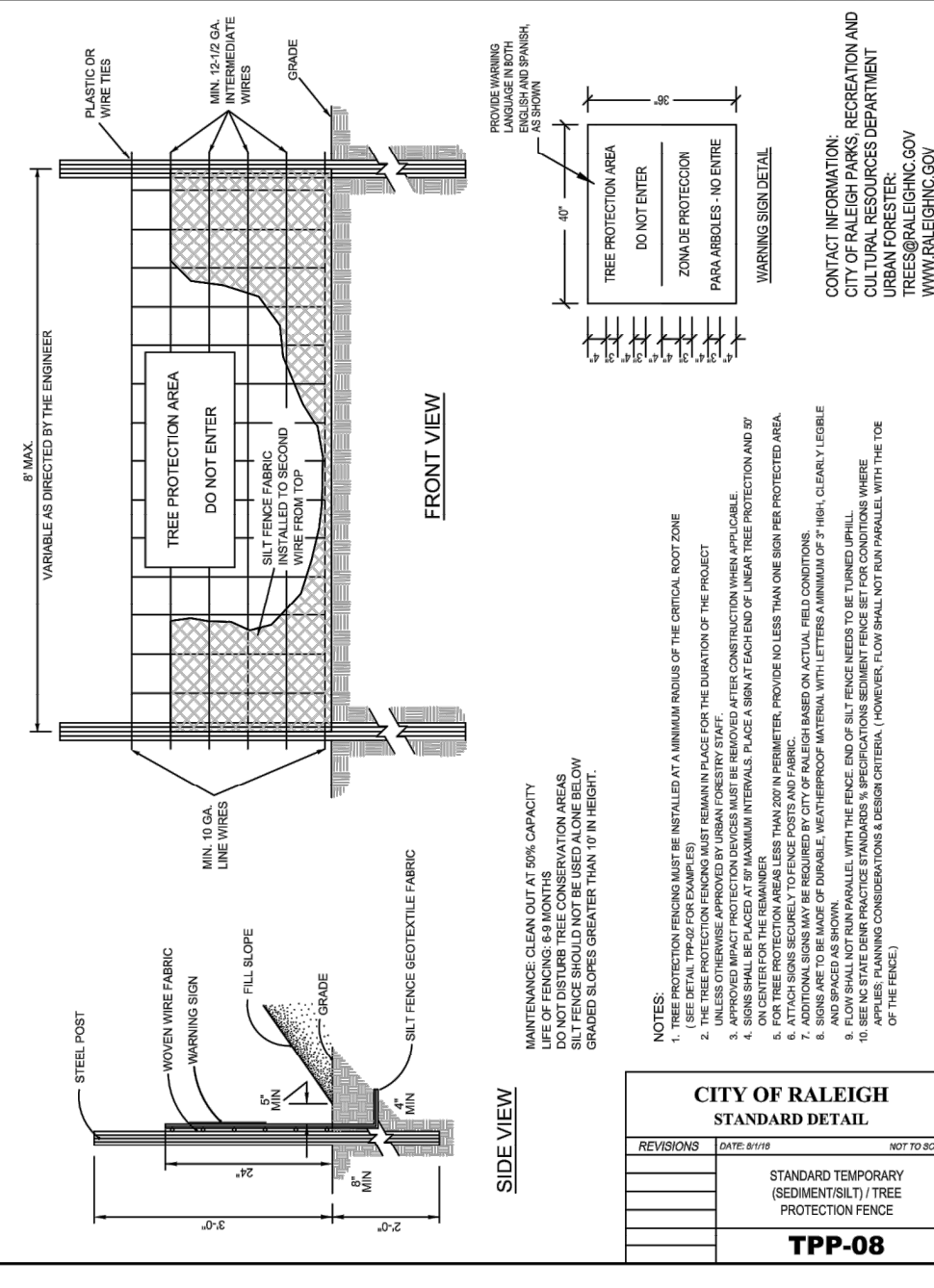
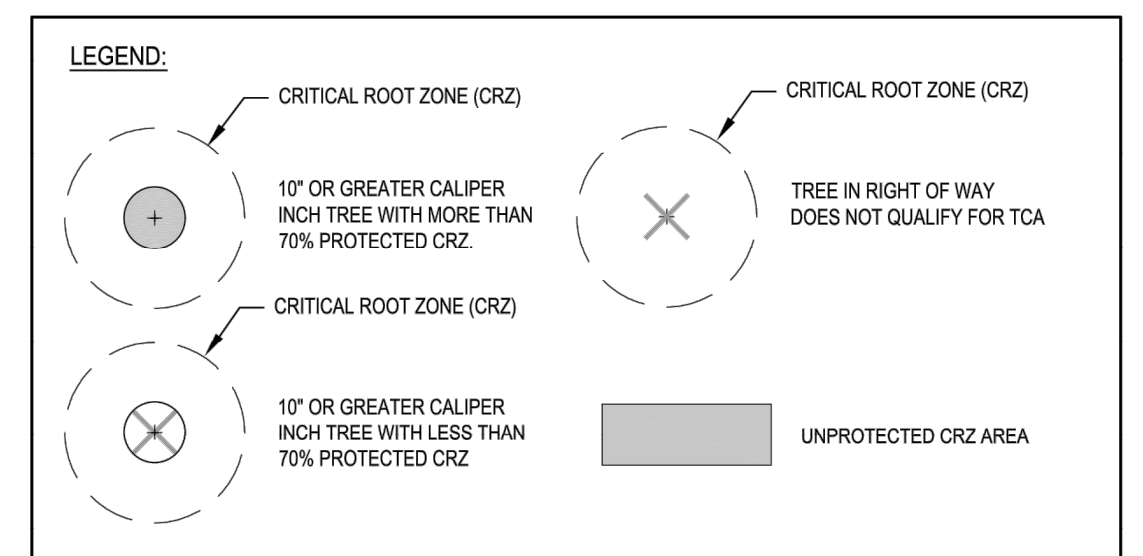
Basal Area (BA) (in sq = 0.005454 x dbh (in inch) x dbh (in inch))

CRZ = Tree less than 10 inches DBH and the entire Critical Root Zone is not protected/  
 undisturbed or Tree 10 inches DBH and greater and it has 30% or more of its critical  
 root zone which is not protected/undisturbed.

Not qualify = Tree with 10 inches DBH and greater, and it has 70% or more of its critical root zone  
 which is protected/undisturbed.

Qualify = Tree less than 10 inches DBH, and entire Critical Root Zone is protected.

Key	Tree ID	DBH (IN)	Within 65' Buffer Area		Unprotected Area (SF)	Unprotected Area (%)	Notes
			BA (SF)	CRZ (SF)			
5	Loblolly	11.0	0.6599	593.7	11.9	2.0%	> 30% of CRZ will be damaged from prop sanitary sewer easement
6	Loblolly	10.0	0.5454	490.6	113.3	23.1%	> 30% of CRZ will be damaged from prop sanitary sewer easement
7	Loblolly	11.0	0.6599	593.7	485.5	81.8%	> 30% of CRZ will be damaged from prop sanitary sewer easement
8	Red Oak	14.4	1.1309	1,017.4	772.1	75.9%	
9	Loblolly	5.4	0.1590	143.1	73.5	51.4%	
13	Magnolia	6.5	0.2304	207.3	64.8	31.2%	
14	Jananese cedar	11.7	0.7466	671.6	322.8	48.1%	
14a	Jananese cedar	8.0	0.3491	314.0	0.0	0.0%	
17	Red Oak	9.7	0.5132	461.6	99.1	21.5%	
18	Loblolly	6.8	0.2522	226.9	1.7	0.7%	
21	Magnolia	13.2	0.9503	854.9	298.0	34.9%	
22	Poplar	13.7	1.0237	920.9	407.7	44.3%	
23	White Oak	23.9	3.1154	2,802.5	86.6	3.1%	
24	Cherry	15.0	1.2272	1,103.9	0.0	0.0%	
25	Red Oak	11.5	0.7213	648.9	0.0	0.0%	
40	Loblolly	13.5	0.9940	894.2	613.3	68.6%	
41	Loblolly	14.4	1.1309	1,017.4	922.1	90.6%	
9	Maple	9.0	0.4418	397.4	170.0	42.8%	
43	Maple	10.5	0.6013	540.9	252.0	46.6%	
44	Maple	11.0	0.6599	593.7	375.0	63.2%	
45	Red Oak	35.8	6.9901	6,288.0	453.2	71.8%	
81	Pine	10.2	0.5674	510.4	172.1	33.7%	
98	Red Oak	20.8	2.3596	2,122.6	135.3	63.9%	
105	Red Oak	14.7	1.1786	1,060.2	551.8	52.0%	
114	Red Oak	4.0	0.0873	78.5	0.0	0.0%	
116	Red Oak	6.0	0.1963	176.6	0.0	0.0%	
117	Red Oak	4.0	0.0873	78.5	0.0	0.0%	
118	Red Oak	4.0	0.0873	78.5	0.0	0.0%	
R-1	Red Oak	23.2	2.9356	2,640.7	1722.1	65.2%	
R-2	Red Oak	23.1	2.9103	2,618.0	1597.1	61.0%	
R-6	Red Oak	18.8	1.9277	1,734.1	1358.6	78.3%	
R-9	Red Oak	10.2	0.5674	510.4	212.3	41.6%	
R-15	Red Oak	29.0	4.5868	4,126.2	2946.2	71.4%	
R-19	Red Oak	24.0	3.1415	2,826.0	2224.3	78.7%	



**Tree Conservation Plan Data Sheet**  
 UDO Article 9.1 Tree Conservation  
 (Include applicable information on the plan sheet)

Project Name: SOLIS CAMERON HILLS - PIN # 1704072396 (NORTH SIDE OF GRANT AVE)

Gross Site Acres: 2.41 ac  
 Right-of-way to be dedicated with this project: 0.00 ac  
 Net Site Acres: 2.41 ac

	Number of Acres	Percent of Tract
<b>UDO 9.1.4.A. Primary Tree Conservation Areas</b>		
1. Primary Tree Conservation Area - SHOD 1	0.00 ac	0.00 %
2. Primary Tree Conservation Area - SHOD 2	0.00 ac	0.00 %
3. Primary Tree Conservation Area - Parkway Frontage	0.00 ac	0.00 %
4. Primary Tree Conservation Area - CM	0.00 ac	0.00 %
5. Primary Tree Conservation Area - MPOD	0.00 ac	0.00 %
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0.00 ac	0.00 %
7. Primary Tree Conservation Area - 45% Slopes	0.00 ac	0.00 %
8. Primary Tree Conservation Area - Thoroughfare	0.00 ac	0.00 %
<b>Subtotal of Primary Tree Conservation Areas:</b>	<b>0.00 ac</b>	<b>0.00 %</b>
<b>UDO 9.1.4.D.2 Tree Conservation Areas - Greenway</b>	<b>0.00 ac</b>	<b>0.00 %</b>
<b>UDO 9.1.4.B.1.a. &amp; b. Secondary Tree Conservation Areas</b> (include perimeter buffers and their alternate compliance areas)	<b>0.00 ac</b>	<b>0.00 %</b>
<b>UDO 9.1.4.B.1.c. &amp; d. Individual Tree Secondary Tree Conservation Areas</b> (include individual trees and their alternate compliance areas)	<b>0.00 ac</b>	<b>0.00 %</b>
<b>Subtotal of Secondary Tree Conservation Areas:</b>	<b>0.00 ac</b>	<b>0.00 %</b>
<b>TOTAL ALL TREE CONSERVATION AREA PROVIDED:</b>	<b>0.00 ac</b>	<b>0.00 %</b>
<b>UDO 9.1.9. Watershed Protection Overlay Districts</b>		
UWPOD - Wooded area (preserved)	0.00 ac	0.00 %
UWPOD - Wooded Area (planted)	0.00 ac	0.00 %
FWPOD - Wooded Area (preserved)	0.00 ac	0.00 %
FWPOD - Wooded Area (planted)	0.00 ac	0.00 %
SWPOD - Wooded Area (preserved)	0.00 ac	0.00 %
SWPOD - Wooded Area (planted)	0.00 ac	0.00 %

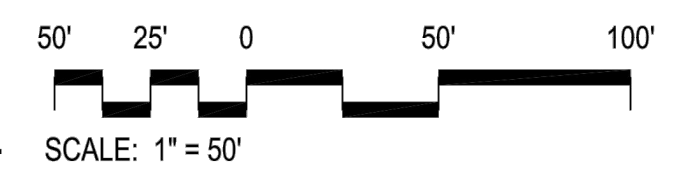
**Tree Conservation Plan Data Sheet**  
 UDO Article 9.1 Tree Conservation  
 (Include applicable information on the plan sheet)

Project Name: SOLIS CAMERON HILLS - PIN # 1704073013 (SOUTH SIDE OF GRANT AVE)

Gross Site Acres: 2.50 ac  
 Right-of-way to be dedicated with this project: 0.32 ac  
 Net Site Acres: 2.17 ac

	Number of Acres	Percent of Tract
<b>UDO 9.1.4.A. Primary Tree Conservation Areas</b>		
1. Primary Tree Conservation Area - SHOD 1	0.00 ac	0.00 %
2. Primary Tree Conservation Area - SHOD 2	0.00 ac	0.00 %
3. Primary Tree Conservation Area - Parkway Frontage	0.00 ac	0.00 %
4. Primary Tree Conservation Area - CM	0.00 ac	0.00 %
5. Primary Tree Conservation Area - MPOD	0.00 ac	0.00 %
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0.00 ac	0.00 %
7. Primary Tree Conservation Area - 45% Slopes	0.00 ac	0.00 %
8. Primary Tree Conservation Area - Thoroughfare	0.00 ac	0.00 %
<b>Subtotal of Primary Tree Conservation Areas:</b>	<b>0.00 ac</b>	<b>0.00 %</b>
<b>UDO 9.1.4.D.2 Tree Conservation Areas - Greenway</b>	<b>0.00 ac</b>	<b>0.00 %</b>
<b>UDO 9.1.4.B.1.a. &amp; b. Secondary Tree Conservation Areas</b> (include perimeter buffers and their alternate compliance areas)	<b>0.00 ac</b>	<b>0.00 %</b>
<b>UDO 9.1.4.B.1.c. &amp; d. Individual Tree Secondary Tree Conservation Areas</b> (include individual trees and their alternate compliance areas)	<b>0.06 ac</b>	<b>0.83 %</b>
<b>Subtotal of Secondary Tree Conservation Areas:</b>	<b>0.06 ac</b>	<b>0.83 %</b>
<b>TOTAL ALL TREE CONSERVATION AREA PROVIDED:</b>	<b>0.06 ac</b>	<b>0.83 %</b>
<b>UDO 9.1.9. Watershed Protection Overlay Districts</b>		
UWPOD - Wooded area (preserved)	0.00 ac	0.00 %
UWPOD - Wooded Area (planted)	0.00 ac	0.00 %
FWPOD - Wooded Area (preserved)	0.00 ac	0.00 %
FWPOD - Wooded Area (planted)	0.00 ac	0.00 %
SWPOD - Wooded Area (preserved)	0.00 ac	0.00 %
SWPOD - Wooded Area (planted)	0.00 ac	0.00 %

**ASR-XX-19**  
**TREE CONSERVATION PLAN**



ADMINISTRATIVE SITE REVIEW

PROJECT:	PAPPAS-19059	DATE:
ISSUE:	Administrative Site	12.07.2019
REVISIONS:		
DRAWN BY:	CHK	
CHECKED BY:	KT	
CONTENT:	TREE CONSERVATION PLAN	

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12/22/19 3:29:45 PM \\jsa-6911\Users\F6\Frowell\Documents\A\cadd\My Projects\Cameron Hills\_SDD\Novel\Hemansb.rvt



**BUILDING 1 EAST ELEVATION** 1  
3/32" = 1'-0"



**BUILDING 1 WEST ELEVATION** 2  
3/32" = 1'-0"

MATERIAL LEGEND	
CP-1	CEMENTITIOUS SIDING - COLOR 1
CP-2	CEMENTITIOUS SIDING - COLOR 2
CP-3	CEMENTITIOUS SIDING - COLOR 3
MA-1	MASONRY - COLOR 1



**BUILDING 1 NORTH ELEVATION** 3  
3/32" = 1'-0"

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PROJECT:	19059	DATE
ISSUE:		
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CONTENT:	BUILDING ELEVATIONS	





**BUILDING 2 & 3 EAST ELEVATION** 2  
 3/32" = 1'-0"



**BUILDING 1 SOUTH ELEVATION** 1  
 3/32" = 1'-0"

MATERIAL LEGEND	
CP-1	CEMENTITIOUS SIDING - COLOR 1
CP-2	CEMENTITIOUS SIDING - COLOR 2
CP-3	CEMENTITIOUS SIDING - COLOR 3
MA-1	MASONRY - COLOR 1



**BUILDING 2 & 3 NORTH ELEVATION** 3  
 3/32" = 1'-0"



**BUILDING 2 & 3 SOUTH ELEVATION** 4  
 3/32" = 1'-0"

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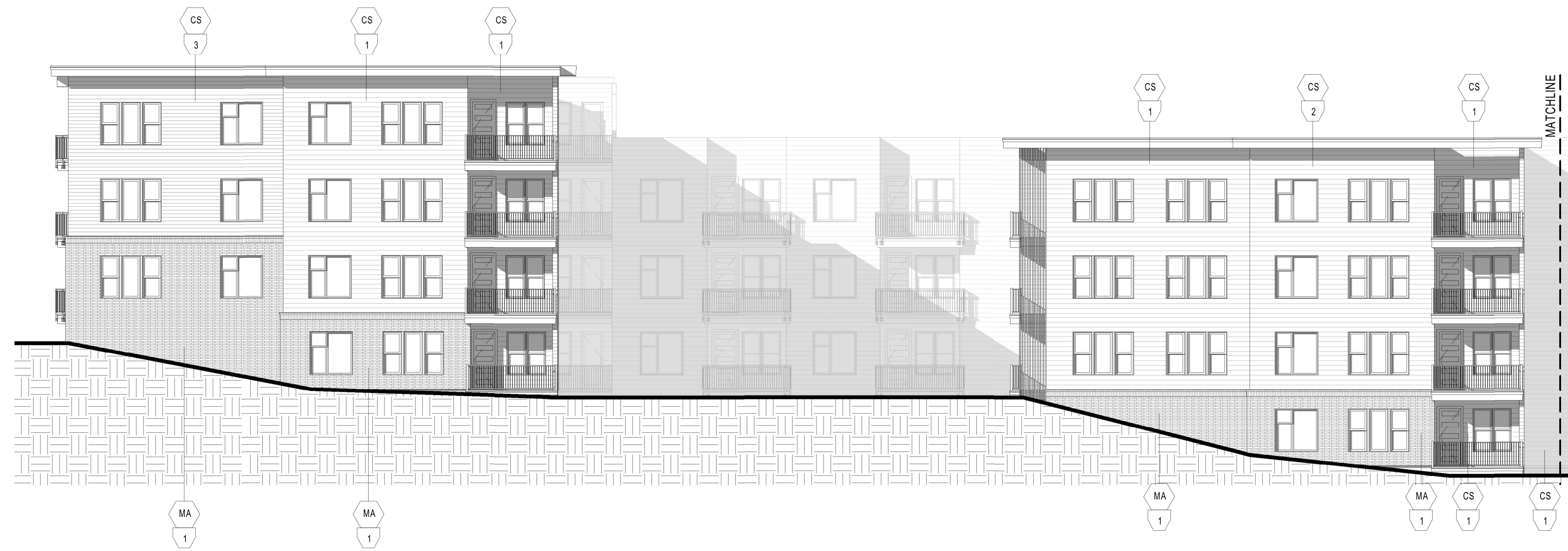
PROJECT:	19059	DATE
ISSUE:		
REVISIONS:		
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CONTENT:	BUILDING ELEVATIONS	





**BUILDING 4 EAST ELEVATION** 1  
3/32" = 1'-0"

MATERIAL LEGEND	
CP-1	CEMENTITIOUS SIDING - COLOR 1
CP-2	CEMENTITIOUS SIDING - COLOR 2
CP-3	CEMENTITIOUS SIDING - COLOR 3
MA-1	MASONRY - COLOR 1



**BUILDING 4 NORTH EAST ELEVATION** 2  
3/32" = 1'-0"

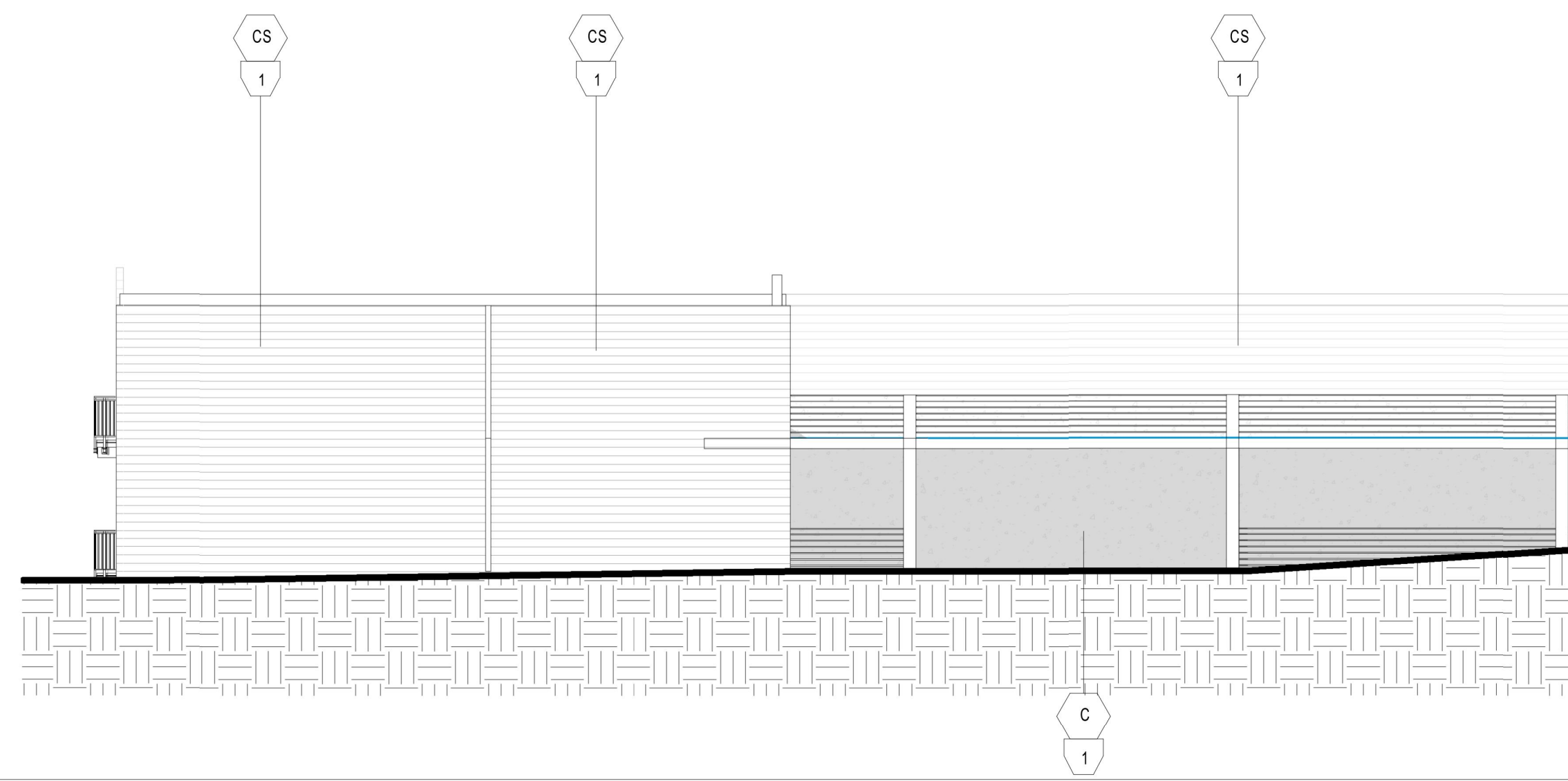


**BUILDING 4 NORTH WEST ELEVATION** 3  
3/32" = 1'-0"

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CONTENT:	BUILDING ELEVATIONS	





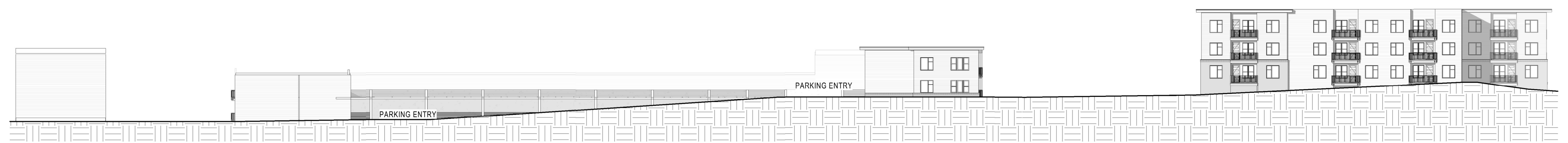
**BUILDING 4 SOUTH ELEVATION** 1  
3/32" = 1'-0"



**BUILDING 6 WEST ELEVATION** 2  
3/32" = 1'-0"



**OVERALL NORTH** 3  
1" = 30'-0"



**OVERALL SOUTH** 4  
1" = 30'-0"

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