



# Administrative Approval Action

Case File / Name: ASR-0102-2019  
Cameron Hills Apartments

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** The site is generally located on the north and south sides of Grant Avenue on the block of Grant Avenue between Baez Street on the west and Lyon Street on the east, with common street addresses of 2315 and 2318 Grant Avenue and 1327 Chester Road.

**REQUEST:** Redevelopment of approximately 10 acres, approximately 9.2 acres zoned RX-3-CU (Z-7-1997) and approximately 0.6 acres zoned R-10-CU (Z-56-1997), with 314 apartment units located in 12 buildings and associated site improvements such as a parking structure, leasing office and pool. The total size of all the proposed buildings will be 400,604 square feet.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 12, 2020 by Stewart.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. That a note is placed on the Site Permitting Plan: "No construction traffic will be allowed on Pecora Lane for ingress or egress to the site. Failure to follow the direction will result in a Stop Work Order and potential fines."
2. That a note is placed on the Site Permitting Plan: "No physical connection to the existing Pecora Lane from this development shall be constructed until the last building is permitted on the lots south of Grant Avenue, depicted as Lot 1, Lot 2, Lot 3, or Lot 5 on the approved site plan."
3. Compliance with the amenity area requirements set forth in UDO Section 1.5.3 shall be demonstrated on the site plans.
4. Compliance with UDO Section 7.2 including but not limited to protective yards, service area screening, mechanical equipment screening, and retaining walls shall be demonstrated on the site plans.
5. Show flow leaving the property meets NCDEQ non-erosive velocities.

### **Engineering**



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6. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

## Stormwater

7. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
8. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
9. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

## Urban Forestry

10. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required for .10 acres (UDO 9.1.5). And a fee-in-lieu for compliance with tree conservation area requirements amount to be calculated, submitted for review and approved for trees numbers 27, 28, 29 & 30 on the tree conservation plan sheet LT1.1, fees shall be paid to The City of Raleigh. UDO 9.1.5.E.2.g.
11. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Cross Access Agreements Required
<input checked="" type="checkbox"/>	Utility Placement Easement Required
<input checked="" type="checkbox"/>	Stormwater Maintenance Covenant Required

<input checked="" type="checkbox"/>	Sidewalk Easement Required
<input checked="" type="checkbox"/>	City Code Covenant Required

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

## Engineering



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2. A sidewalk deed of easement for any public sidewalk on private property shall be approved by City staff, and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the plat. A recorded copy of this document shall be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of this document is not provided, further recordings and building permit issuance will be withheld.
3. A cross access agreement among the lots identified as PINs 1704073013 and 1704067938 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
4. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
5. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

## Public Utilities

6. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## General

1. No physical connection to Pecora Lane shall be constructed until the last building is permitted on the lots, depicted as Lot 1, Lot 2, Lot 3, Lot 4, Lot 6, or Lot 7 on the southern parcel.
2. A recombination and street right-of-way dedication map showing the approved lot and street right-of-way configuration shall be recorded prior to issuance of building permits.
3. Compliance with UDO Section 2.2.7 (Residential Infill Compatibility) including but not limited to UDO Sections 2.2.7.D, 2.2.7.E, and 2.2.7.F for the proposed Lots 1 and 2 (zoned R-10-CU).
4. A foundation survey is required at zoning site inspection for the proposed building on the proposed Lot 1 (property zoned R-10-CU).



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5. A height certification demonstrating compliance with NCOD-Oberlin Village (UDO Section 5.4.3.F.15.f) is required at zoning final inspection prior to certificate of occupancy.
6. The City Code Covenant shall be approved by the City and recorded with the county register of deeds office where the property is located and a copy of the recorded document shall be provided to the City by the end of the next business day following the recordation of the final plat. Further recordings and building permits will be withheld if the recorded document is not provided to the City.

## **Engineering**

7. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

## **Public Utilities**

8. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.

## **Stormwater**

9. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
10. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
11. An encroachment agreement for Stormwater pipes within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.
12. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
13. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

## **Urban Forestry**

14. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes .10 acres of tree conservation area.





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15. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 38 street trees along Grant Ave. (south side), 14 street trees along Grant Ave. (north side), 3 street trees along Lyon St., 3 street trees along Chester Rd. for a total of 58 street trees.
16. A public infrastructure surety for street trees shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

***The following are required prior to issuance of building occupancy permit:***

## **General**

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

## **Stormwater**

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

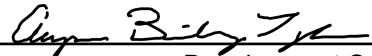
### **3-Year Expiration Date:** August 26, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

### **4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 08/26/2020  
Development Services Dir/Designee

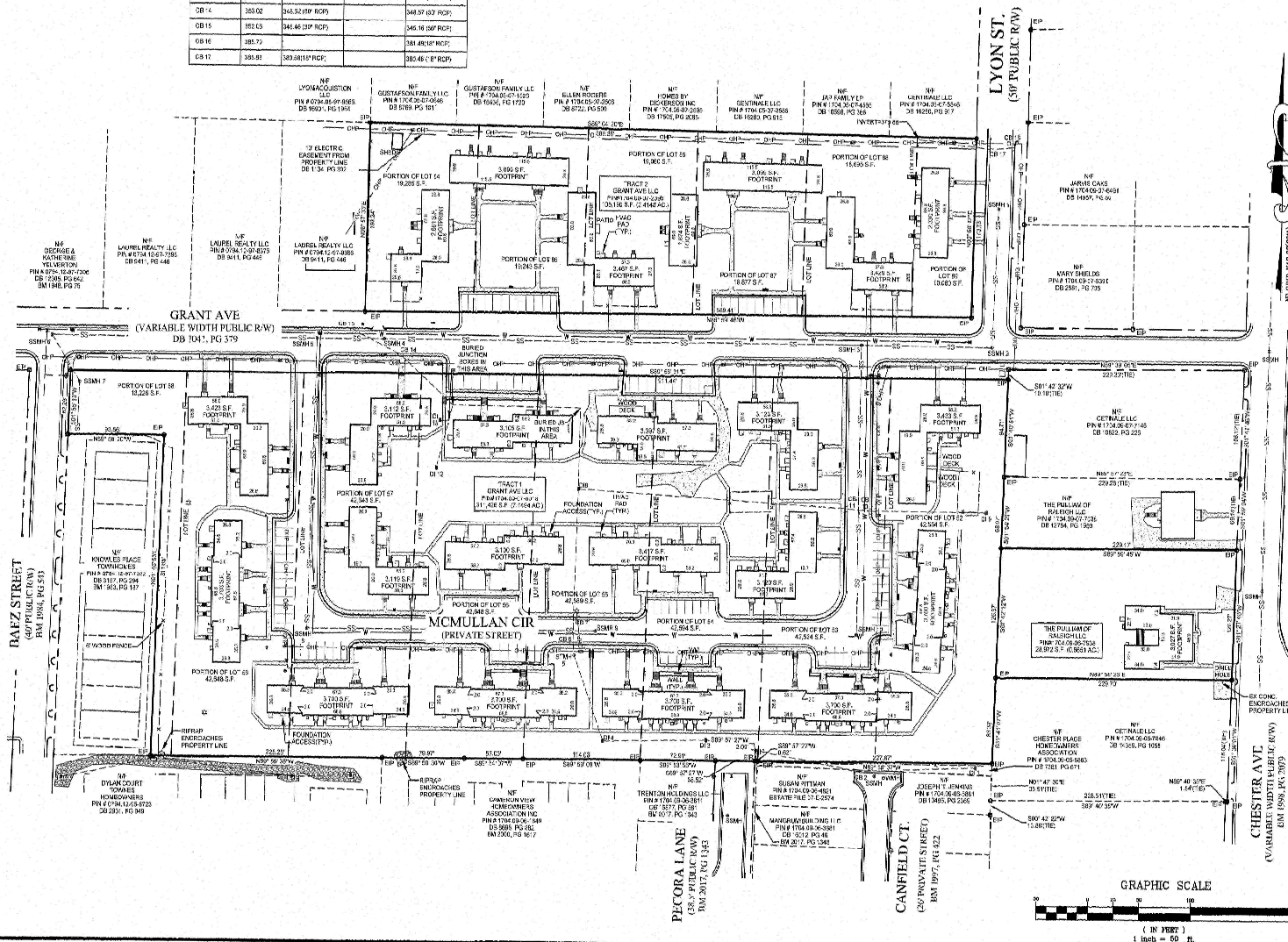
Staff Coordinator: Kasey Evans

L:\Projects\2019\11013 • Cameron Hill\CMG\1 • Design\3-Sheets (AS4) 11.19.2019 Cover.dwg Aug 20, 2020 ■ 6:07pm





SEWER TREATMENT				
SSM#	FIN	INVERT	INVERT D	INVERT OUT
SSM#1	588.04	587.95 (SVC2 IN)		585.83 (SVC2)
SSM#2	589.55	594.23 (SVC3 IN)	582.69 (SVC3)	595.83 (SVC3)
SSM#3	584.92	577.82 (SVC1 IN)	573.63 (SVC1)	565.47 (SVC1)
SSM#4	555.84	543.82 (SVC4 IN)	543.82 (SVC4)	542.74 (SVC4)
SSM#5	555.12	544.72 (SVC2 IN)	543.77 (SVC2)	544.08 (SVC2)
SSM#6	548.30	543.80 (SVC1 IN)	541.40 (SVC1)	543.65 (SVC1)
SSM#7	545.18	545.06 (SVC1 IN)		545.06 (SVC1)
SSM#8	574.98	567.04 (SVC2 IN)	569.20 (SVC2)	560.22 (SVC2)
SSM#9	572.46	567.04 (SVC2 IN)	567.04 (SVC2)	574.16 (SVC2)
SSM#10	559.44	558.63 (SVC3 IN)		558.63 (SVC3)



Revisions		
Number	Description	Date

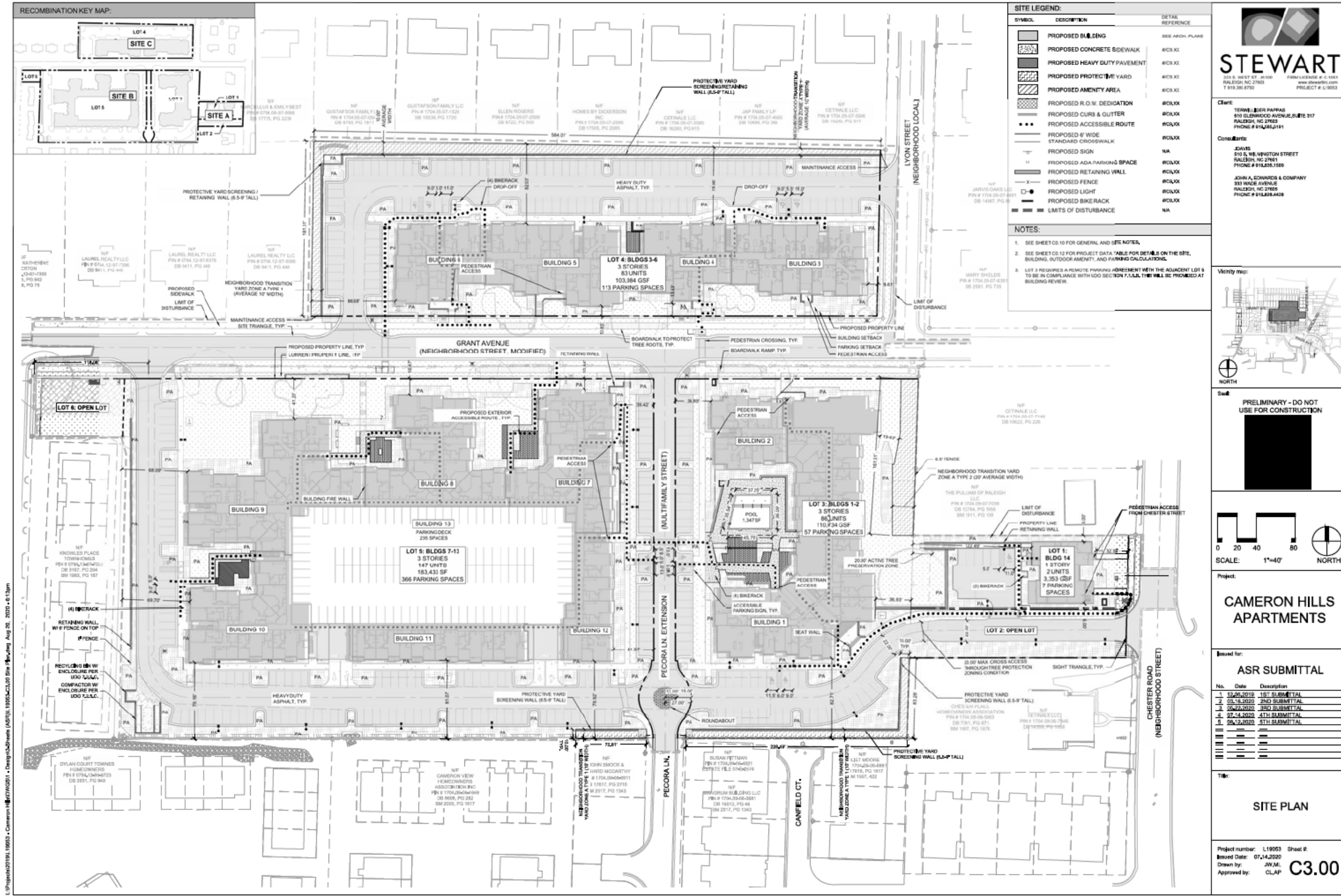
File No. \_\_\_\_\_  
Drawing Scale 1"=50'  
Drawn By ZC&CLP  
Checked By JGF-JR  
Date Issued 6/27/2019

C1.02

C1.02







**SITE LEGEND:**

SYMBOL	DESCRIPTION	DETAIL REFERENCE
[Symbol]	PROPOSED BUILDING	SEE ARCH. PLANS
[Symbol]	PROPOSED CONCRETE SIDEWALK	W03.XI
[Symbol]	PROPOSED HEAVY DUTY PAVEMENT	W03.XI
[Symbol]	PROPOSED PROTECTIVE YARD	W03.XI
[Symbol]	PROPOSED AMENITY AREA	W03.XI
[Symbol]	PROPOSED R.O.W. DEDICATION	W04.X
[Symbol]	PROPOSED CURB & GUTTER	W04.X
[Symbol]	PROPOSED ACCESSIBLE ROUTE	W04.X
[Symbol]	PROPOSED 8' WIDE STANDARD CROSSWALK	W04.X
[Symbol]	PROPOSED SIGN	NA
[Symbol]	PROPOSED ADA PARKING SPACE	W04.X
[Symbol]	PROPOSED RETAINING WALL	W04.X
[Symbol]	PROPOSED FENCE	W04.X
[Symbol]	PROPOSED LIGHT	W04.X
[Symbol]	PROPOSED BIKE RACK	W04.X
[Symbol]	LIMITS OF DISTURBANCE	NA

**NOTES:**

- SEE SHEET C3.10 FOR GENERAL AND SITE NOTES.
- SEE SHEET C3.12 FOR PROJECT DATA TABLE FOR DETAILS ON THE SITE, BUILDING, OUTDOOR AMENITY, AND PARKING CALCULATIONS.
- LOT 3 REQUIRES A RETAINING WALL ADJACENT TO THE ADJACENT LOT 4 TO BE IN COMPLIANCE WITH LOCAL SECTION 15.02. THE WALL IS PROVIDED AT BUILDING REVIEW.

**STEWART**  
101 E. HART ST. SUITE 200  
RALEIGH, NC 27601  
PHONE # 919.235.4500  
PROJECT # L19053

**Client:**  
TERRELL BRYAN PARKS  
810 ELMWOOD AVENUE, SUITE 317  
RALEIGH, NC 27601  
PHONE # 919.235.1500

**Consultant:**  
JOHNS & WILSON  
333 WIDE AVENUE  
RALEIGH, NC 27601  
PHONE # 919.235.4500

**Project:**  
**CAMERON HILLS APARTMENTS**

**Issued For:**  
**ASR SUBMITTAL**

No.	Date	Description
1	12/15/2019	1ST SUBMITTAL
2	03/15/2020	2ND SUBMITTAL
3	06/22/2020	3RD SUBMITTAL
4	07/14/2020	4TH SUBMITTAL
5	08/13/2020	5TH SUBMITTAL

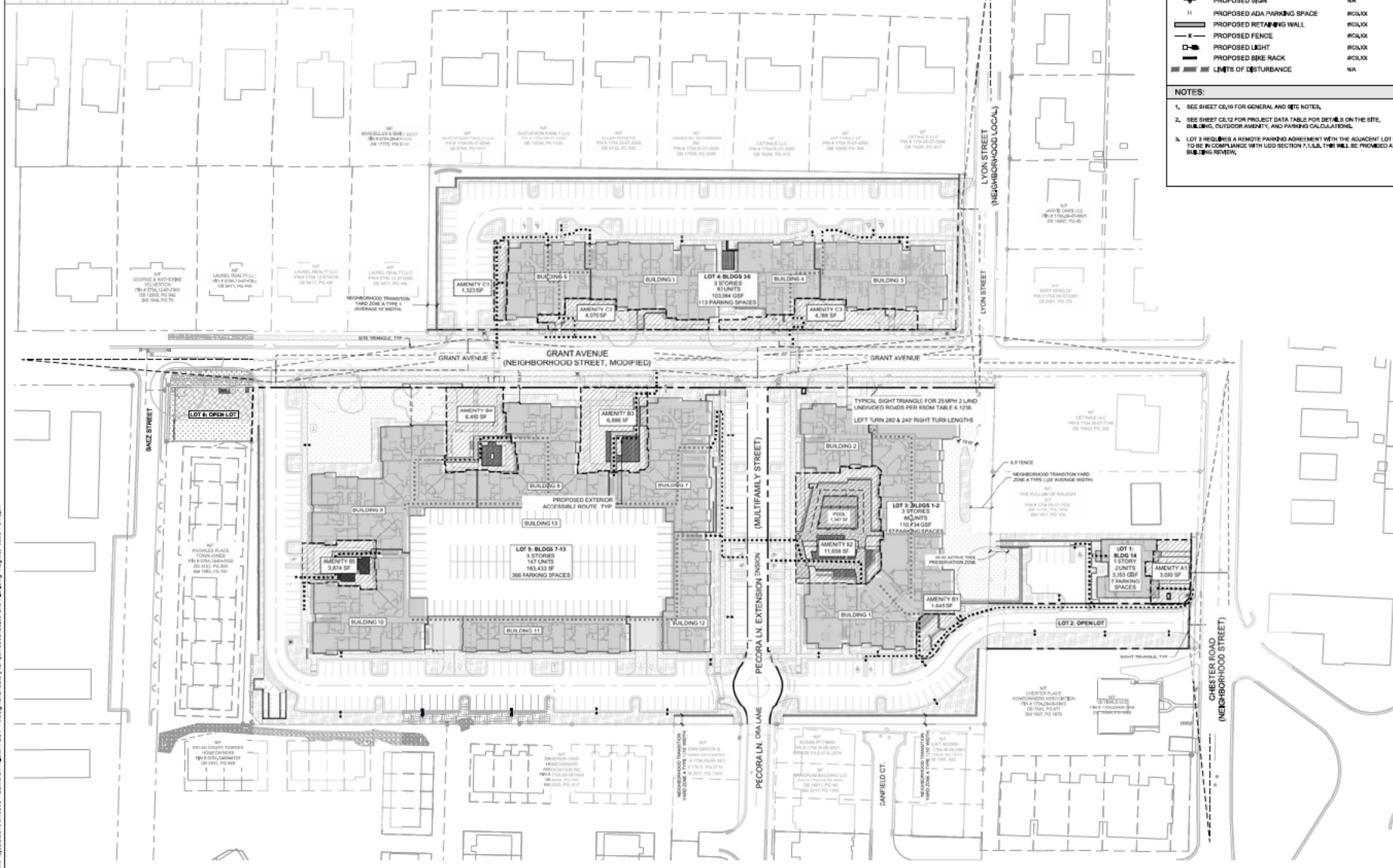
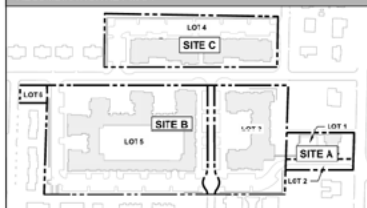
**Title:**  
**SITE PLAN**

**Project number:** L19053 **Sheet #:**  
**Issued Date:** 07/14/2020  
**Drawn by:** J.W.M.  
**Approved by:** CLAP

**C3.00**

L:\Projects\07191\19053 - Cameron Hills Apartments (ASR) - Design\CD\Drawings\Site Plan\Issued Aug 20, 2021 - 6:13pm

# RECOMBINATION KEY MAP:



SITE LEGEND		
SYMBOL	DESCRIPTION	DETAIL REFERENCE
[Symbol]	PROPOSED BUILDING	SEE ARCH. PLANS
[Symbol]	PROPOSED CONCRETE SIDEWALK	RIC3.XI
[Symbol]	PROPOSED HEAVY DUTY PAVEMENT	RIC3.XI
[Symbol]	PROPOSED PROTECTIVE YARD	RIC3.XI
[Symbol]	PROPOSED AMENITY AREA	RIC3.XI
[Symbol]	PROPOSED R.O.W. DEDICATION	RIC3.XI
[Symbol]	PROPOSED CURB & GUTTER	RIC3.XI
[Symbol]	PROPOSED ACCESSIBLE ROUTE	RIC3.XI
[Symbol]	PROPOSED # WIDE STANDARD CROSSWALK	RIC3.XI
[Symbol]	PROPOSED SIGN	NA
[Symbol]	PROPOSED ADA PARKING SPACE	RIC3.XI
[Symbol]	PROPOSED RETAINING WALL	RIC3.XI
[Symbol]	PROPOSED FENCE	RIC3.XI
[Symbol]	PROPOSED LIGHT	RIC3.XI
[Symbol]	PROPOSED BIKE RACK	RIC3.XI
[Symbol]	LIMITS OF DISTURBANCE	NA

- NOTES:**
- SEE SHEET C3.10 FOR GENERAL AND SITE NOTES.
  - SEE SHEET C3.12 FOR PROJECT DATA TABLE FOR DETAILS ON THE SITE, BUILDING, OUTDOOR AMENITY, AND PARKING CALCULATIONS.
  - LOT 15 REQUIRES A MEMORANDUM AGREEMENT WITH THE ADJACENT LOT 1 TO BE IN COMPLIANCE WITH LDC SECTION 7.0.4.1. THIS SHALL BE PROVIDED AT BUILDING REVIEW.

**STEWART**  
 101 E. HART ST., SUITE 200  
 RALEIGH, NC 27601  
 PHONE # 919.381.4750  
 PROJECT # L19053

**Client:**  
 TERRILL BRYAN PARTNERS  
 810 GLENWOOD AVENUE, SUITE 317  
 RALEIGH, NC 27601  
 PHONE # 919.241.2191

**Consultant:**  
 JOHNS  
 310 S. WILKINSON STREET  
 RALEIGH, NC 27601  
 PHONE # 919.325.1500

JOHN A. EDWARDS & COMPANY  
 333 WAKE AVENUE  
 RALEIGH, NC 27605  
 PHONE # 919.808.4528

**Venue map:**

**Scale:**  
 0 25 50 100  
 SCALE: 1"=60'

**Project:**  
**CAMERON HILLS APARTMENTS**

**Issued for:**  
**ASR SUBMITTAL**

No.	Date	Description
1	12/05/2019	1ST SUBMITTAL
2	01/15/2020	2ND SUBMITTAL
3	06/22/2020	3RD SUBMITTAL
4	07/14/2020	4TH SUBMITTAL
5	08/12/2020	5TH SUBMITTAL

**Title:**  
**AMENITY AND SIGHT TRIANGLE PLAN**

Project number: L19053 Sheet #: **C3.10**  
 Issued Date: 07/14/2020  
 Drawn by: JW  
 Approved by: CL-IP

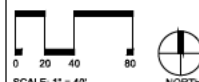




JOHN A. EDWARDS & COMPANY  
333 WADE AVENUE  
RALEIGH, NC 27605



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**SOLIS CAMERON  
HILLS**

No.	Date	Description
1	12.05.2019	1ST SUBMITTAL
2	03.16.2020	2ND SUBMITTAL
3	06.22.2020	3RD SUBMITTAL
4	07.14.2020	4TH SUBMITTAL
5	08.12.2020	5TH SUBMITTAL

Project number: L19053 Sheet #: **L2.00**  
 Issued Date: 07.14.2020  
 Drawn by: JNM/ML  
 Approved by: CL

Approved by: \_\_\_\_\_

BLDG 1	BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
		LOW	HIGH	AVG.	LOW	HIGH	AVG.
	EAST	385.4	387.8	386.6	383.6	396.4	390.0
	NORTH (GRANT AVE.)	383.5	387.8	385.7	382.6	386.2	384.4
	WEST (PECORA LN.)	382.8	388.0	385.4	382.8	389.0	385.9
	SOUTH	386.6	388.0	387.3	389.0	396.4	392.7
	AVG. OF ALL FACES			386.24			388.24

MATERIAL LEGEND	
CB1	CEMENTITIOUS BRICK-COLOR 1
CB2	CEMENTITIOUS BRICK-COLOR 2
CB3	CEMENTITIOUS BRICK-RED/WHITE
CB4	CEMENTITIOUS BRICK-COLOR 3
MA1	MASONRY FOR SPICES-PAINTED BRICK



BUILDING 1 EAST ELEVATION 2  
3/32" = 1'-0"

BLDG 1	BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
		LOW	HIGH	AVG.	LOW	HIGH	AVG.
	EAST	385.4	387.8	386.6	383.6	396.4	390.0
	NORTH (GRANT AVE.)	383.5	387.8	385.7	382.6	386.2	384.4
	WEST (PECORA LN.)	382.8	388.0	385.4	382.8	389.0	385.9
	SOUTH	386.6	388.0	387.3	389.0	396.4	392.7
	AVG. OF ALL FACES			386.24			388.24

BLDG 2	BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
		LOW	HIGH	AVG.	LOW	HIGH	AVG.
	EAST	385.4	387.8	386.6	383.6	396.4	390.0
	NORTH (GRANT AVE.)	378.9	383.5	381.2	378.2	382.6	380.4
	WEST (PECORA LN.)	378.9	380.0	379.5	378.2	381.0	379.6
	SOUTH (COURTYARD)	380.0	383.2	381.6	381.0	382.8	381.9
	AVG. OF ALL FACES			380.75			380.63



BUILDING 1 & 2 WEST ELEVATION 1  
3/32" = 1'-0"

Terwilliger Pappas

Solis Cameron Hills Apartments

100 South Main Street, Suite 200, Portland, ME 04101-2000  
1200 Commercial Street, 7th Floor, Portland, ME 04101-2000

PROJECT	0000
ROLE	SCHEMATIC DESIGN
DESIGN DATE	09-20-2009
REVISIONS	1 ASR-04 09/24/2009

DESIGNED BY	Author
CHECKED BY	Checker
CONTENT	ASR 3.01

ASR3.01



BUILDING	FACE	PRE-DEVELOPMENT GRADE	IMPROVED GRADE
BUILD 5	FACE	LOW HIGH AVG.	LOW HIGH AVG.
EAST		385.4 387.8 386.6	383.6 396.4 390.0
NORTH (GRANT AVE.)		383.5 387.8 385.7	382.6 386.2 384.4
WEST (PECORA LN.)		382.8 388.0 385.4	382.8 389.0 385.9
SOUTH		386.6 388.0 387.3	389.0 395.4 392.7
AVG. OF ALL FACES		386.24	388.24



BUILDING 5 EAST ELEVATION

BUILDING	FACE	PRE-DEVELOPMENT GRADE	IMPROVED GRADE
BUILD 1	FACE	LOW HIGH AVG.	LOW HIGH AVG.
EAST		385.4 387.8 386.6	383.6 396.4 390.0
NORTH (GRANT AVE.)		383.5 387.8 385.7	382.6 386.2 384.4
WEST (PECORA LN.)		382.8 388.0 385.4	382.8 389.0 385.9
SOUTH		386.6 388.0 387.3	389.0 395.4 392.7
AVG. OF ALL FACES		386.24	388.24



BUILDING 1 SOUTH ELEVATION

BUILDING	FACE	PRE-DEVELOPMENT GRADE	IMPROVED GRADE
BUILD 2	FACE	LOW HIGH AVG.	LOW HIGH AVG.
NORTH (GRANT AVE.)		378.9 383.5 381.2	378.2 382.6 380.4
WEST (PECORA LN.)		378.9 382.0 379.5	378.2 381.0 379.6
SOUTH (COURTYARD)		380.0 383.2 381.6	381.0 382.8 381.9
AVG. OF ALL FACES		380.75	380.63

BUILDING	FACE	PRE-DEVELOPMENT GRADE	IMPROVED GRADE
BUILD 1	FACE	LOW HIGH AVG.	LOW HIGH AVG.
EAST		385.4 387.8 386.6	383.6 396.4 390.0
NORTH (GRANT AVE.)		383.5 387.8 385.7	382.6 386.2 384.4
WEST (PECORA LN.)		382.8 388.0 385.4	382.8 389.0 385.9
SOUTH		386.6 388.0 387.3	389.0 395.4 392.7
AVG. OF ALL FACES		386.24	388.24



BUILDING 1 & 2 NORTH ELEVATION

BUILDING	FACE	PRE-DEVELOPMENT GRADE	IMPROVED GRADE
BUILD 4	FACE	LOW HIGH AVG.	LOW HIGH AVG.
WEST		373.3 372.0 372.7	373.3 372.0 372.7
SOUTH (COURTYARD)		373.3 372.0 372.7	373.3 372.0 372.7
AVG. OF ALL FACES		373.3	373.3



BUILDING 4 WEST ELEVATION

MATERIAL LEGEND
C5-1 CEMENTITIOUS MASONRY - COLOR 1
C5-2 CEMENTITIOUS MASONRY - COLOR 2
C5-3 CEMENTITIOUS MASONRY - COLOR 3
C5-4 CEMENTITIOUS MASONRY - COLOR 4
MA-1 MASONRY PER SPEC - JULY PAINTED BRICK

PROJECT	DATE
1000	10-20-2019
1001	10-20-2019
1002	10-20-2019
1003	10-20-2019
1004	10-20-2019
1005	10-20-2019
1006	10-20-2019
1007	10-20-2019
1008	10-20-2019
1009	10-20-2019
1010	10-20-2019



BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 6						
FACE						
NORTH	356.5	361.3	358.9	358.6	360.1	359.4
WEST	354.3	356.5	355.4	355.8	358.6	357.2
SOUTH (GRANT AVE.)	354.3	360.8	357.6	355.8	360.8	358.3
AVG. OF ALL FACES			357.28			358.28



BUILDING 6 WEST ELEVATION 3  
3/32" = 1'-0"

BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 3						
FACE						
EAST (LYON ST.)	385.0	387.5	386.3	384.5	387.5	386.0
NORTH	376.5	385.0	380.8	378.1	384.5	381.3
SOUTH (GRANT AVE.)	379.0	387.5	383.3	379.0	387.5	383.3
AVG. OF ALL FACES			383.42			383.52



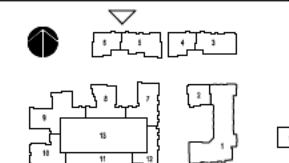
MATERIAL LEGEND	
CS-1	CEMENT/POUS SIDING - SINGLE WHITE SW7021
CS-2	CEMENT/POUS SIDING - SINGLE GRAY SW7006
CS-3	CEMENT/POUS SIDING - 1/2" VERTICAL WHITE PEGAN
CS-1	CEMENT/POUS THIN - COLONIAL REDDISH STONE SW2327
CS-2	CEMENT/POUS THIN - RICH ONE SW7008
MA-1	MASONRY PER SPEC - (ALT. PAINTED BRICK)



BUILDING 3 EAST ELEVATION 2  
3/32" = 1'-0"

BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 5						
FACE						
EAST	370.9	370.9	370.9	370.9	370.9	370.9
NORTH	361.3	370.9	366.1	360.1	370.9	365.5
SOUTH (GRANT AVE.)	360.8	370.9	365.9	360.8	370.9	365.9
AVG. OF ALL FACES			367.62			367.42

BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 6						
FACE						
NORTH	356.5	361.3	358.9	358.6	360.1	359.4
WEST	354.3	356.5	355.4	355.8	358.6	357.2
SOUTH (GRANT AVE.)	354.3	360.8	357.6	355.8	360.8	358.3
AVG. OF ALL FACES			357.28			358.28



BUILDING 5 & 6 NORTH ELEVATION 1  
3/32" = 1'-0"

**Terwilliger Pappas**  
**Solis Cameron Hills Apartments**

**JDAVIS**  
1815 South Main Street, Suite 100, Jacksonville, FL 32202  
1210 Columbia Street, 7th Floor, Jacksonville, FL 32202

PROJECT: SOLIS CAMERON HILLS APARTMENTS  
SHEET: 01-01-01  
DESIGN: 01-01-01  
DATE: 01-01-01

REVISIONS:  
1. ASHRAE 90.1-2010  
2. ASHRAE 90.1-2010

DRAWN BY: Author  
CHECKED BY: Designer  
CONTENT: PER NORTH PLANNING

ASR3.04



BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 7						
FACE						
EAST (PECORA LN.)	369.5	379.5	374.5	374.2	382.2	378.2
NORTH (GRANT AVE.)	364.5	369.5	367.0	364.5	374.2	369.4
WEST (COURTYARD)	364.5	371.5	368.0	364.1	364.5	364.3
AVG. OF ALL FACES			369.83			370.62



**BUILDING 7 WEST COURTYARD**  
3  
332' x 142'

BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 7						
FACE						
EAST (PECORA LN.)	369.5	379.5	374.5	374.2	382.2	378.2
NORTH (GRANT AVE.)	364.5	369.5	367.0	364.5	374.2	369.4
WEST (COURTYARD)	364.5	371.5	368.0	364.1	364.5	364.3
AVG. OF ALL FACES			369.83			370.62

MATERIAL LEGEND	
CS-1	CEMENTITIOUS BRICK - COLOR 1
CS-2	CEMENTITIOUS BRICK - COLOR 2
CS-3	CEMENTITIOUS BRICK - 18" VANTAR
CS-4	CEMENTITIOUS BRICK - COLOR 3
MA-1	MASONRY PER SPEC. - (ALL PAINTED BRICK)

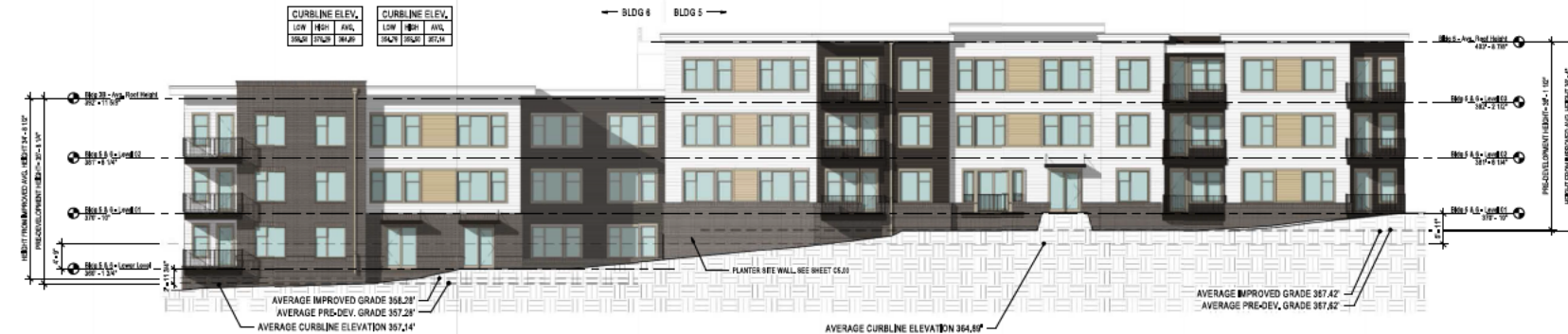


**BUILDING 7 EAST ELEVATION**  
2  
332' x 142'

BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 5						
FACE						
EAST	370.9	370.9	370.9	370.9	370.9	370.9
NORTH	361.3	370.9	366.1	360.1	370.9	355.5
SOUTH (GRANT AVE.)	360.8	370.9	365.9	360.8	370.9	355.9
AVG. OF ALL FACES			367.62			367.42

BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 6						
FACE						
NORTH	356.5	361.3	358.9	358.6	360.1	359.4
WEST	354.3	356.5	355.4	355.8	358.6	357.2
SOUTH (GRANT AVE.)	354.3	360.8	357.6	355.8	360.8	358.3
AVG. OF ALL FACES			357.28			358.28

BUILDING 5		BUILDING 6	
CURBLINE ELEV.		CURBLINE ELEV.	
LOW	367.14	LOW	367.14
HIGH	367.14	HIGH	367.14
AVG.	367.14	AVG.	367.14



**BUILDING 5 & 6 SOUTH ELEVATION**  
1  
332' x 142'

PROJECT	10609
DATE	10-20-2019
DESIGNER	10-20-2019
REVISIONS	1 ASR/AM 07/14/2020
DRAWN BY	Author
CHECKED BY	Checker
CONTENT	ASR3.05

ASR3.05

BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 8						
FACE						
NORTH (GRANT AVE.)	355.5	359.5	357.5	358.7	361.5	360.1
EAST (COURTYARD)	359.50	366.9	363.20	361.5	364.1	362.80
WEST (COURTYARD)	355.50	365.9	360.70	358.7	364.1	361.40
AVG. OF ALL FACES			360.47			361.43



**BUILDING 8 WEST COURTYARD**  
3/32' = 1/4"

BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 8						
FACE						
NORTH (GRANT AVE.)	355.5	359.5	357.5	358.7	361.5	360.1
EAST (COURTYARD)	359.50	366.9	363.20	361.5	364.1	362.80
WEST (COURTYARD)	355.50	365.9	360.70	358.7	364.1	361.40
AVG. OF ALL FACES			360.47			361.43

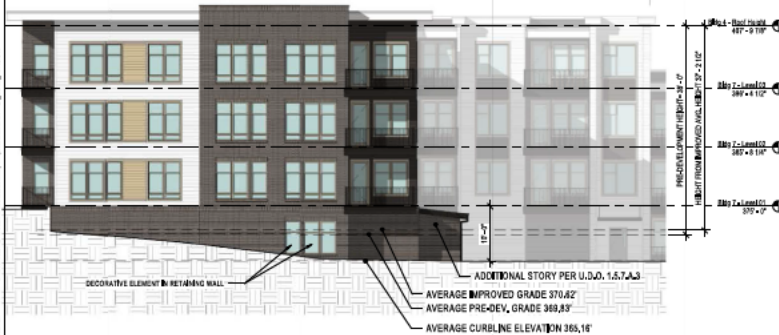
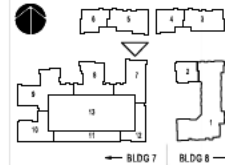
MATERIAL LEGEND	
CS-1	CEMENTITIOUS CONCRETE - COLOR 1
CS-2	CEMENTITIOUS CONCRETE - COLOR 2
CS-3	CEMENTITIOUS CONCRETE - SILVASTAR
CS-4	CEMENTITIOUS CONCRETE - COLOR 3
MA-1	MASONRY PER SPEC - MULT. PAINTED BRICK



**BUILDING 8 EAST COURTYARD**  
3/32' = 1/4"

BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 7						
FACE						
EAST (PECORA LN.)	369.5	379.5	374.5	374.2	382.2	378.2
NORTH (GRANT AVE.)	364.5	369.5	367.0	364.5	374.2	369.4
WEST (COURTYARD)	364.5	371.5	368.0	364.1	364.5	364.3
AVG. OF ALL FACES			369.83			370.62

CURBLINE ELEV.	
LOW	364.5
HIGH	369.5
AVG.	367.0



**BUILDING 7 - NORTH ELEVATION**  
3/32' = 1/4"

BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 8						
FACE						
NORTH (GRANT AVE.)	355.5	359.5	357.5	358.7	361.5	360.1
EAST (COURTYARD)	359.50	366.9	363.20	361.5	364.1	362.80
WEST (COURTYARD)	355.50	365.9	360.70	358.7	364.1	361.40
AVG. OF ALL FACES			360.47			361.43

CURBLINE ELEV.	
LOW	364.5
HIGH	369.5
AVG.	367.0



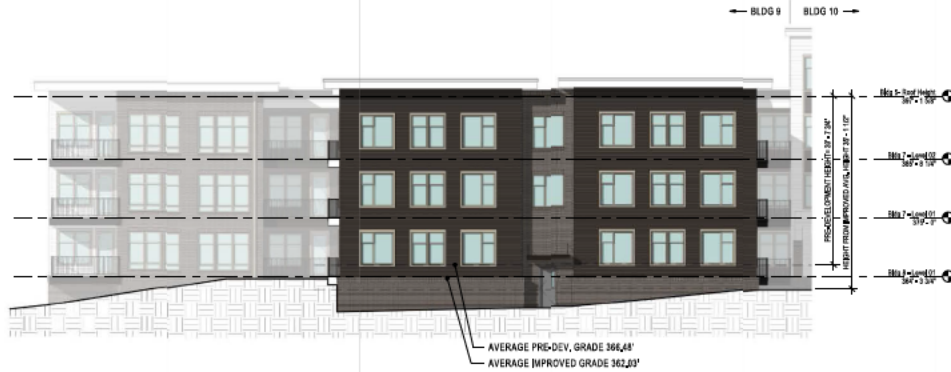
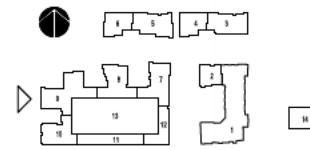
**BUILDING 8 - NORTH ELEVATION**  
3/32' = 1/4"

PROJECT	DATE
DESIGN	10-20-2019
DESIGN DEV.	09-20-2020
REVIEWS	1 JAS/PM 07/14/2021
DESIGN BY	Author
CHECKED BY	Checker
CONTENT	PER NORTH ELEVATION



BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 9						
FACE						
NORTH (GRANT AVE.)	357.50	363.9	360.70	358.5	363.9	361.20
EAST (COURTYARD)	363.90	367.5	365.70	363.9	364.1	364.00
WEST	365.00	372	368.50	357.7	362	359.85
SOUTH	370.00	372	371.00	362	364.1	363.05
AVG. OF ALL FACES			366.48			362.03

MATERIAL LEGEND	
CS-1	CEMENTITIOUS SIDING - COLOR 1
CS-2	CEMENTITIOUS SIDING - COLOR 2
CS-3	CEMENTITIOUS SIDING - SILVASTAR
CS-4	CEMENTITIOUS SIDING - COLOR 3
MA-1	MASONRY PER SPEC - JALY, PAINTED BRICK



BUILDING 9 - WEST ELEVATION

332' - 140'

BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 9						
FACE						
NORTH (GRANT AVE.)	357.50	363.9	360.70	358.5	363.9	361.20
EAST (COURTYARD)	363.90	367.5	365.70	363.9	364.1	364.00
WEST	365.00	372	368.50	357.7	362	359.85
SOUTH	370.00	372	371.00	362	364.1	363.05
AVG. OF ALL FACES			366.48			362.03

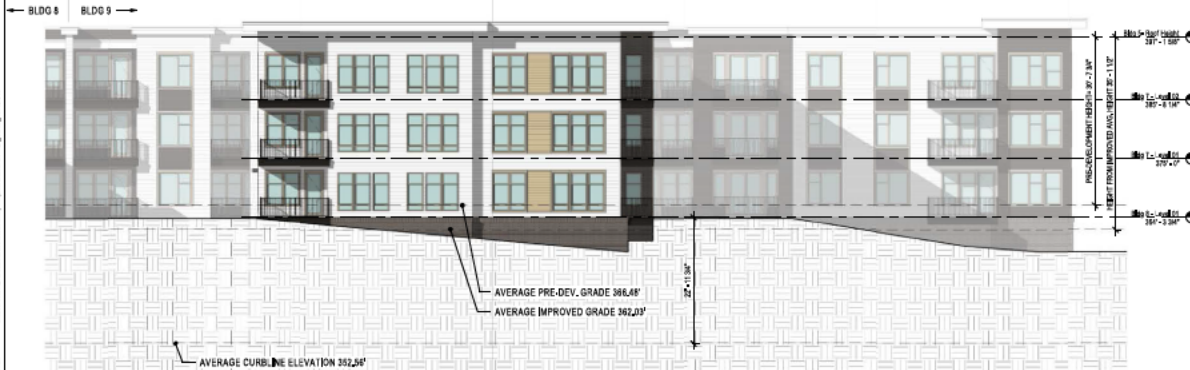


BUILDING 9 SOUTH ELEVATION

332' - 140'

BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 9						
FACE						
NORTH (GRANT AVE.)	357.50	363.9	360.70	358.5	363.9	361.20
EAST (COURTYARD)	363.90	367.5	365.70	363.9	364.1	364.00
WEST	365.00	372	368.50	357.7	362	359.85
SOUTH	370.00	372	371.00	362	364.1	363.05
AVG. OF ALL FACES			366.48			362.03

CURBLINE ELEV.	
LOW	HIGH
362.48	362.48



BUILDING 9 - NORTH ELEVATION

332' - 140'

BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 9						
FACE						
NORTH (GRANT AVE.)	357.50	363.9	360.70	358.5	363.9	361.20
EAST (COURTYARD)	363.90	367.5	365.70	363.9	364.1	364.00
WEST	365.00	372	368.50	357.7	362	359.85
SOUTH	370.00	372	371.00	362	364.1	363.05
AVG. OF ALL FACES			366.48			362.03



BUILDING 9 EAST ELEVATION

332' - 140'

PROJECT	0000
DATE	10-20-2019
DESIGNER	09-20-2019
REVISIONS	1 ASR-01
DATE	07-10-2020
DESIGNED BY	Author
CHECKED BY	Checker
CONTENT	ASR3.07



BUILDING 2 COURTYARD SOUTH

5



BUILDING 1 COURTYARD NORTH

4



BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 10						
FACE						
NORTH (COURTYARD)	373.3	374.1	373.7	363.3	364.1	363.7
WEST	373.3	374.5	373.9	363.3	372.0	367.7
SOUTH	374.5	378.0	376.3	372.0	375.3	373.7
AVG. OF ALL FACES			374.62			368.33



BUILDING 10 NORTH COURTYARD

3

BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 10						
FACE						
NORTH (COURTYARD)	373.3	374.1	373.7	363.3	364.1	363.7
WEST	373.3	374.5	373.9	363.3	372.0	367.7
SOUTH	374.5	378.0	376.3	372.0	375.3	373.7
AVG. OF ALL FACES			374.62			368.33

MATERIAL LEGEND	
CB1	CEMENTITIOUS BEING + COLOR 1
CB2	CEMENTITIOUS BEING + COLOR 2
CB3	CEMENTITIOUS BEING + COLOR 3
CB4	CEMENTITIOUS TRIM + COLOR 3
MA-1	MASONRY PER SPEC - ALT. PAINTED BRICK



BUILDING 10 - SOUTH ELEVATION

2

BUILDING	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
	LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 10						
FACE						
NORTH (COURTYARD)	373.3	374.1	373.7	363.3	364.1	363.7
WEST	373.3	374.5	373.9	363.3	372.0	367.7
SOUTH	374.5	378.0	376.3	372.0	375.3	373.7
AVG. OF ALL FACES			374.62			368.33

CURBSIDE ELEV.	
LOW	HIGH
362.0	364.0



BUILDING 10 - WEST ELEVATION

1

Terrilliger Pappas

Solis Cameron Hills Apartments

JDAVIS

100 South Main Street, Suite 100, Jacksonville, FL 32202  
1200 Church Street, Suite 100, Jacksonville, FL 32202

PROJECT	0000	10-20-2019
DESIGN	0000	10-20-2019
DESIGN DEV.	0000	10-20-2019
REVIEWS	4	0000
DRAWN BY	Author	
CHECKED BY	Checker	
CONTENT	ASR3.08	

ASR3.08

BUILDING	FACE	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
		LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 11	EAST	379.00	384.9	381.45	375.3	386.5	380.90
	AVG. OF ALL FACES			381.45			380.90

CURBLINE ELEV.		
LOW	HIGH	AVG.
379.00	384.9	381.45

MATERIAL LEGEND	
CM-1	CEMENTITIOUS BRICK - COLOR 1
CM-2	CEMENTITIOUS BRICK - COLOR 2
CM-3	CEMENTITIOUS BRICK - COLOR 3
CM-4	CEMENTITIOUS BRICK - COLOR 4
MP-1	MASONRY PER SPEC - (SILT, FINEST BRICK)



BUILDING 11 - SOUTH ELEVATION 3

BUILDING	FACE	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
		LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 12	EAST	379.5	385.0	382.3	382.2	387.9	385.1
	AVG. OF ALL FACES			383.60			386.13

CURBLINE ELEV.		
LOW	HIGH	AVG.
379.5	385.0	382.3



BUILDING 12 - EAST ELEVATION 2

BUILDING	FACE	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
		LOW	HIGH	AVG.	LOW	HIGH	AVG.
BLDG 12	EAST	379.5	385.0	382.3	382.2	387.9	385.1
	AVG. OF ALL FACES			383.60			386.13

CURBLINE ELEV.		
LOW	HIGH	AVG.
379.5	385.0	382.3



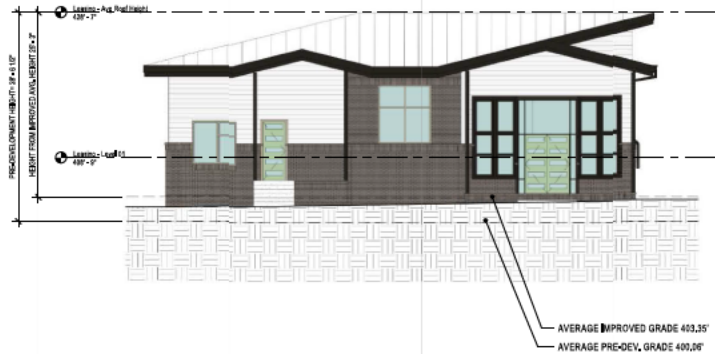
BUILDING 12 - SOUTH ELEVATION 1

PROJECT	0000	10-20-2019
ROLE	SCHEMATIC DESIGN	09-20-2019
DESIGN DEV.		
REVIEWS	4	07-10-2019
DRAWN BY	Author	
CHECKED BY	Checker	
CONTENT		

ASR3.09

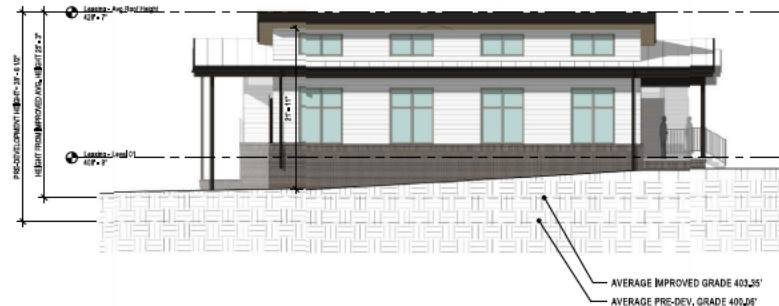


BLDG 14	FACE	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
		LOW	HIGH	AVG.	LOW	HIGH	AVG.
	EAST	401.3	404.8	403.05	402.30	406.0	404.15
	NORTH (GRANT AVE.)	394.5	401.5	397.90	402.30	403.3	402.20
	WEST (COURTYARD)	394.5	399.6	397.05	402.30	403.0	402.55
	SOUTH	399.6	404.8	402.22	403.00	406.0	404.50
	AVG. OF ALL FACES			400.06			403.35



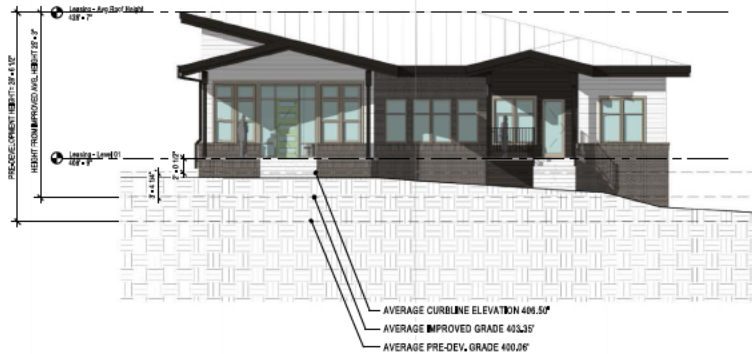
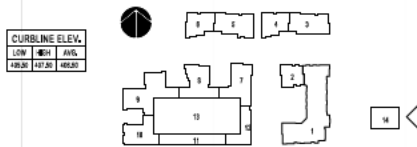
Leasing - West Elevation 4  
1/8" = 1'-0"

BLDG 14	FACE	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
		LOW	HIGH	AVG.	LOW	HIGH	AVG.
	EAST	401.3	404.8	403.05	402.30	406.0	404.15
	NORTH (GRANT AVE.)	394.5	401.5	397.90	402.30	403.3	402.20
	WEST (COURTYARD)	394.5	399.6	397.05	402.30	403.0	402.55
	SOUTH	399.6	404.8	402.22	403.00	406.0	404.50
	AVG. OF ALL FACES			400.06			403.35



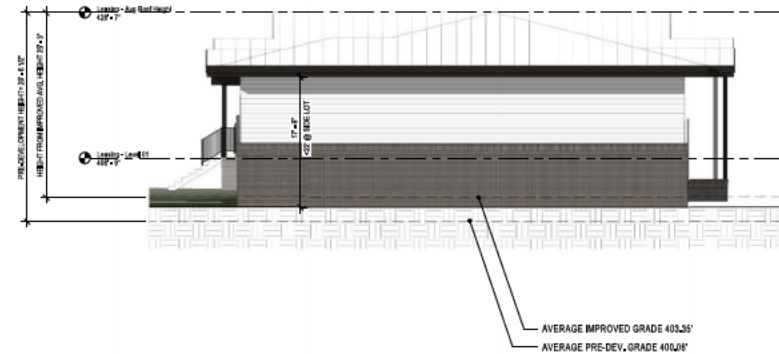
Leasing - South Elevation 3  
1/8" = 1'-0"

BLDG 14	FACE	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
		LOW	HIGH	AVG.	LOW	HIGH	AVG.
	EAST	401.3	404.8	403.05	402.30	406.0	404.15
	NORTH (GRANT AVE.)	394.5	401.5	397.90	402.30	403.3	402.20
	WEST (COURTYARD)	394.5	399.6	397.05	402.30	403.0	402.55
	SOUTH	399.6	404.8	402.22	403.00	406.0	404.50
	AVG. OF ALL FACES			400.06			403.35



Leasing - East Elevation 2  
1/8" = 1'-0"

BLDG 14	FACE	PRE-DEVELOPMENT GRADE			IMPROVED GRADE		
		LOW	HIGH	AVG.	LOW	HIGH	AVG.
	EAST	401.3	404.8	403.05	402.30	406.0	404.15
	NORTH (GRANT AVE.)	394.5	401.5	397.90	402.30	403.3	402.20
	WEST (COURTYARD)	394.5	399.6	397.05	402.30	403.0	402.55
	SOUTH	399.6	404.8	402.22	403.00	406.0	404.50
	AVG. OF ALL FACES			400.06			403.35



Leasing - North Elevation 1  
1/8" = 1'-0"

PROJECT	0909	
ROLE	SCHEMATIC DESIGN	10-20-2019
DESIGN DEV.		09-20-2019
REVIEWS	4 JAS/PM	07/10/2020
DRAWN BY	Author	
CHECKED BY	Checker	
CONTENT	PER NORTH PLANNING	

ASR3.10