



Administrative Approval Action

Case File / Name: ASR-0102-2021

DSLCL - Ajinomoto North America, Inc. Building Expansion

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at Ajinomoto Drive. The site is located within the corporate city limits of the City of Raleigh. The current address listed as 4020 Ajinomoto Drive, PIN # 1723962582.

REQUEST: Development of a 32,954 square foot expansion to an existing 190,662 square foot manufacturing facility and associated infrastructure and parking. The existing property is 119.12 acres, zoned IH.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated March 18, 2022 by Red Line Engineering.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. The plan proposes no work in the public right of way and has been determined by Planning to be a Tier 2 site plan. No work in the right of way is being proposed with the submittal and shall be confirmed prior to SPR approval.
2. Landscaping Sheets: Please include more detailed information about the existing vegetation regarding caliper and height. Demonstrate compliance in accordance with UDO Section 7.2.7. C and UDO Section 7.2.7. E.
3. Clarify the uses labeled on the existing conditions sheet. "Exempt" is not a use.

Stormwater

4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
6. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).



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Urban Forestry

7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Urban Forestry

1. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). This development proposes 11.99 acres of tree conservation area.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A demolition permit shall be obtained for structures to be demolished.

Stormwater

2. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
3. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
4. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

5. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1). Tree conservation areas approved under SPR-0192-2020 must be recorded prior to building permit issuance.



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The following are required prior to issuance of building occupancy permit:

Stormwater

1. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: August 11, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Alysia Bailey Taylor Date: 04/14/2022
Development Services Dir/Designee
Staff Coordinator: Cara Russell

AJINOMOTO NORTH AMERICA INC.

OWNER
AJINOMOTO HEALTH & NUTRITION
NORTH AMERICA, INC.
4020 AJINOMOTO DRIVE
RALEIGH, NORTH CAROLINA 27610
PHONE: (910) 723-2152

CIVIL ENGINEER



RED LINE ENGINEERING, P.C. (C-3075)
123 RALEIGH STREET
FUQUAY-VARINA, NORTH CAROLINA 27526
PHONE - (919) 779-6851

SURVEYOR

MCKIM & CREED, INC. (F-1222)
730 VARSITY DRIVE, SUITE 500
RALEIGH, NORTH CAROLINA 27606
PHONE: (919) 233-8091
FAX: (919) 233-8031

BUILDING EXPANSION ADMINISTRATIVE SITE REVIEW

4020 AJINOMOTO DRIVE (P.I.N. 1723-96-2582)

RALEIGH, NORTH CAROLINA 27610

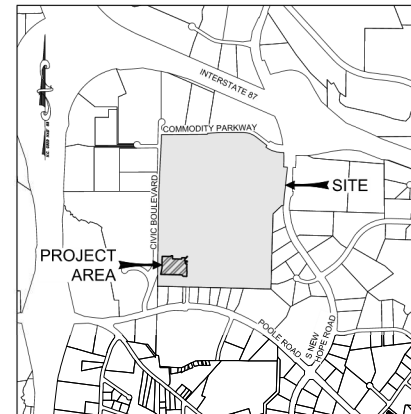
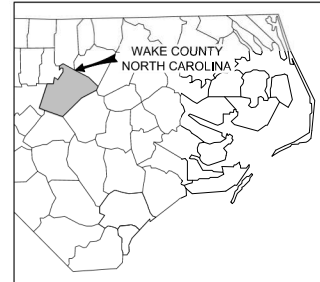
CASE #: ASR-0102-2021

AJINOMOTO

Cara Russell
Digitally signed by Cara Russell
DN: cn=Cara Russell, o=Red Line Engineering, ou=Red Line Engineering, email=Cara.Russell@redlineeng.com, c=US
Reason: I am approving this document
Date: 2021.01.16 11:01:04-0500

SHEET INDEX

| | |
|-------|--|
| C0 | COVER SHEET |
| C1 | NOTES, LEGENDS & ABBREVIATIONS |
| C2 | TREE CONSERVATION AREAS & PROPERTY ZONING PLAN |
| C3 | EXISTING CONDITIONS & DEMOLITION PLAN |
| C4 | PROPOSED SITE PLAN |
| C5 | TO BE REVIEWED AT |
| C6 | P SITE PERMIT REVIEW |
| C7 | AREA PLAN |
| C8 | PROPOSED GRADING & STORMWATER IMPROVEMENTS PLAN |
| C9 | STORMWATER PLAN & PROFILE - STORM PIPE NETWORK A |
| C10 | STORMWATER PLAN & PROFILE - STORM PIPE NETWORK B |
| C11 | PROPOSED UTILITY IMPROVEMENTS |
| C12 | SITE DETAILS |
| C13 | EROSION CONTROL DETAILS |
| C14 | UTILITY DETAILS |
| C15A | EXISTING VEGETATION INVENTORY |
| C15B | REQUIRED LANDSCAPING |
| A1.01 | PROPOSED BUILDING ADDITION FLOOR PLAN |
| A2.01 | PROPOSED BUILDING ELEVATIONS |
| A2.02 | PROPOSED BUILDING ELEVATIONS |



VICINITY MAP
SCALE: 1" = 1,000'

| PUBLIC IMPROVEMENT QUANTITY TABLE | |
|-----------------------------------|---------|
| PHASE NUMBER (S) | PHASE 1 |
| NUMBER OF LOTS | 1 |
| LOT NUMBER(S) BY PHASE | 1 |
| NUMBER OF UNITS | N/A |
| LIVABLE BUILDINGS | N/A |
| OPEN SPACE | N/A |
| NUMBER OF OPEN SPACE LOTS | N/A |
| PUBLIC WATER (LF) | 0 |
| PUBLIC SEWER (LF) | 0 |
| PUBLIC STREET (LF) - FULL | 0 |
| PUBLIC STREET (LF) - PARTIAL | 0 |
| PUBLIC SIDEWALK (LF) | 0 |
| STREET SIGNS (LF) | 0 |
| WATER SERVICE STUBS | 0 |
| SEWER SERVICE STUBS | 0 |

FOR REVIEW
PURPOSES ONLY



Know what's below.
Call before you dig.

Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: Planner (print):

Please review UDO Section 10.2.8. as amended by text change case TC-14-19 to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

| | | |
|------------------------------------|--|---|
| Site Plan Tier: | <input checked="" type="checkbox"/> Tier Two Site Plan | <input type="checkbox"/> Tier Three Site Plan |
| Building Type | Site Transaction History | |
| <input type="checkbox"/> Detached | <input checked="" type="checkbox"/> General | Subdivision case #: |
| <input type="checkbox"/> Attached | <input type="checkbox"/> Mixed use | Scoping/sketch plan case #: |
| <input type="checkbox"/> Apartment | <input type="checkbox"/> Open lot | Certificate of Appropriateness #: |
| <input type="checkbox"/> Townhouse | <input type="checkbox"/> Civic | Board of Adjustment #: |
| | | Zoning Case #: |
| | | Administrative Alternate #: |

Development name: Ajinomoto North America, Inc. Building Expansion
Inside City limits? Yes ☒ No ☐
Property address(es):
4020 Ajinomoto Dr, Raleigh, North Carolina 27610
Site P.I.N.(s): 1723-96-2582

Please describe the scope of work. Include any additions, expansions, and change of use.
This proposed project consists of a 32,954 sf warehouse expansion to an existing 190,662 sf manufacturing facility with necessary site improvements to support the expansion (i.e. personnel access, utility improvements, and stormwater conveyance).

Current Property Owner/Developer Contact Name: Andrew Storey
NOTE: please attach purchase agreement when submitting this form.

Company: Ajinomoto Health & Nutrition North America, Inc. Title: Sr. Project Engineer
Address: 4020 Ajinomoto Drive, Raleigh NC 27610

Phone #: (919) 723-2152 Email: storeya@ajinusa.com

Applicant Name: Gary J. McCabe, P.E.

Company: Red Line Engineering, P.C. Address: 123 Raleigh Street, Fuquay-Varina, NC 27526

Phone #: (919) 779-6851 Email: gary.mccabe@rlenc.com

| DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments) | |
|--|---|
| SITE DATA | BUILDING DATA |
| Zoning district (if more than one, please provide the acreage of each): Heavy Industrial (IH) | Existing gross floor area (not to be demolished): 192,053 sf Existing gross floor area to be demolished: 1,391 sf New gross floor area: 32,954 sf |
| Gross site acreage: 119.12 | Total sf gross (to remain and new): 223,616 sf |
| # of parking spaces required: 108 | Proposed # of buildings: 1 |
| # of parking spaces proposed: 0 Proposed (151 Existing) | |

| SIGNATURE BLOCK | |
|--|-----------------|
| The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance. | |
| I, Gary J. McCabe, PE will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application. | |
| We have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and substantial policy, which states applications will expire after 180 days of inactivity. | |
| Signature: | Date: 12/6/2021 |
| Printed Name: Gary J. McCabe, PE | |

NOTE: ALL WORK MUST COMPLY WITH APPLICABLE NORTH CAROLINA BUILDING CODES, HANDICAPPED ACCESSIBILITY CODES VOL. 1C, AND WITH THE CITY OF RALEIGH AND NCDOT STANDARDS, DETAILS AND SPECIFICATIONS.

SOLID WASTE COMPLIANCE STATEMENT: DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

REVISION 2: MARCH 18, 2022
REVISION 1: JANUARY 25, 2022
DATE: DECEMBER 6, 2021 PROJ. NO.: 21-009 SHEET C0

| | |
|--|--|
| SITE PLAN SUMMARY | |
| 1. PROJECT NAME & STREET ADDRESS | AJINOMOTO NORTH AMERICA, INC. BUILDING EXPANSION 4202 AJINOMOTO DRIVE RALEIGH, NORTH CAROLINA 27610 |
| 2. P.L.N. | 1723-96-2582 |
| 3. EXISTING/PROPOSED LAND USE | HEAVY INDUSTRIAL |
| 4. TOTAL NUMBER OF LOTS | 1 |
| 5. TOTAL LOT AREA | 5,188,972 SF / 119.12 ACRES |
| 6. PROJECT AREA AREA OF DEVELOPMENT STOCKPILE AREA TOTAL AREA | 124,009 SF / 2.85 ACRES 43,304 SF / 0.98 ACRES 165,313 SF / 3.80 ACRES |
| 7. TOTAL DISTURBED AREA | 170,250 SF / 3.91 ACRES |
| 8. CURRENT ZONING | HEAVY INDUSTRIAL (IH) |
| 9. PROPOSED ZONING | IN NO CHANGE |
| 10. EXISTING BUILDING AREAS | 192,033 SF (GROSS FLOOR AREA) |
| 11. EXISTING FLOOR AREA TO BE REMOVED | 1,391 SF (MODULAR BUILDING) |
| 12. EXISTING BUILDING AREA TO REMAIN | 190,662 SF |
| 13. PROPOSED BUILDING ADDITION (WAREHOUSE EXPANSION) | 385 SF (OFFICE) + 32,469 SF (ADDITIONAL INDOOR AREA) 32,954 SF (TOTAL GROSS FLOOR AREA) |
| 14. TOTAL BUILDING SQUARE FOOTAGE (TO REMAIN + NEW) | 223,616 SF |
| 15. EXISTING BUILDING LOT COVERAGE | 3.70% |
| 16. PROPOSED ADDITIONAL BUILDING AREA COVERAGE | 0.61% |
| 17. TOTAL BUILDING LOT COVERAGE (TO REMAIN + NEW) | 4.31% |
| 18. BUILDING SETBACKS | FROM PRIMARY STREET - 50 FT. FROM SIDE STREET - 40 FT. FROM SIDE LOT LINE - 0 FT. FROM REAR LOT LINE - 0 FT. SUM OF REAR AND PRIMARY STREET - 70 FT. |

| | |
|--|---|
| PARKING SUMMARY | |
| EXISTING REQUIREMENTS OFFICE SPACE | (1 SPACE / 600 SF) X 25,901 SF 42.85 SPACES (43 SPACES) |
| ADDITIONAL INDOOR AREA | (1 SPACE / 3,000 SF) X 166,462 SF 55.49 SPACES (56 SPACES) |
| TOTAL EXISTING SPACES REQUIRED | 99 SPACES REQUIRED |
| PROPOSED REQUIREMENTS OFFICE SPACE | (1 SPACE / 600 SF) X 385 SF 0.64 SPACES (1 SPACE) |
| ADDITIONAL INDOOR AREA | (1 SPACE / 3,000 SF) X 32,469 SF 10.82 SPACES (11 SPACES) |
| TOTAL PROPOSED SPACES REQUIRED | 12 SPACES REQUIRED |
| TOTAL SPACES REQUIRED (EXISTING + PROPOSED) | 111 SPACES REQUIRED |
| EXISTING PARKING SPACES ON-SITE EXCEED THE TOTAL REQUIRED SPACES FOR EXISTING AND PROPOSED BUILDINGS COMBINED, THEREFORE, NO ADDITIONAL PARKING SPACES ARE REQUIRED. | |
| LONG-TERM BICYCLE PARKING REQUIRED | (1 SPACE / 40,000 SF) X 32,954 SF 0.82 SPACES (1 SPACE) |
| LONG-TERM BICYCLE PARKING PROPOSED | 4 BIKE SPACES (MINIMUM REQUIRED) |
| 20. INSIDE FLOOD HAZARD BOUNDARY | NO PER FEMA MAP #37017723001 EFFECTIVE DATE: MAY 2, 2008 |
| 21. IMPERVIOUS SURFACE AREA EXISTING PROPOSED TOTAL (EXISTING + PROPOSED) | 759,018 SF / 17.42 AC (14.62%) 43,016 SF / 1.01 AC (0.85%) 802,034 SF / 18.43 AC (15.47%) |

GENERAL NOTES

- BOUNDARY & TOPOGRAPHIC SURVEY INFORMATION PROVIDED BY NCMH & CREED, INC. (F-1222), PERFORMED BY GRANT M. LIVENGOOD, P.E. (028419), DATED FEBRUARY 19, 2019. INFORMATION PROVIDED FOR ENGINEERING DESIGN PURPOSES ONLY. NOT FOR SALE OR RECORDATION.
- CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE, MATERIAL AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. ELEVATIONS INDICATED ON PLANS SHOWN AS APPROXIMATE. CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS GENERATED THROUGH ALL CONSTRUCTION RELATED ACTIVITIES.
- ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED, AND MULCHED IN ACCORDANCE WITH DPES STABILIZATION TABLE.
- WATER & SEWER PIPES TO BE INSTALLED IN TRENCHES ACCORDING TO THE CITY OF RALEIGH STANDARD SPECIFICATIONS AND DETAILS.
- ACCORDING TO THE SEDIMENTATION POLLUTION CONTROL ACT OF 1973 (NORTH CAROLINA GENERAL STATUTE 113A-51-66) THIS PROJECT IS SUBJECT TO AN APPROVED SEDIMENTATION AND EROSION CONTROL PLAN. TOTAL DISTURBED AREA IS EXCEEDS 12,000 SF. THEREFORE A CITY OF RALEIGH LAND DISTURBING OR GRADING PERMITS IS REQUIRED.
- ALL WORK MUST COMPLY WITH APPLICABLE MCDOT STANDARDS, NORTH CAROLINA BUILDING CODES, AND CITY OF RALEIGH STANDARDS, DETAILS AND SPECIFICATIONS.
- ANY CONFLICTS BETWEEN ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, ELECTRICAL AND CIVIL SHEETS SHALL BE SUBMITTED BY CONTRACTOR, IN WRITING, TO BOTH ARCHITECT AND ENGINEER. WRITTEN CLARIFICATION/RESOLUTION MUST BE RECEIVED BY CONTRACTOR FROM ARCHITECT AND ENGINEER PRIOR TO COMMENCING CONSTRUCTION.
- LATERAL SEPARATION OF SEWERS OR WATER MAINS, WATER MAINS SHALL BE LAID AT LEAST TEN (10) FEET. LATERALLY FROM EXISTING OR FUTURE SEWERS, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A TEN (10) FOOT LATERAL SEPARATION - IN WHICH CASE:
 - THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION ON THE BOTTOM OF THE WATER MAIN AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF SEWER, OR
 - THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF SEWER.
- CROSSING A WATER MAIN OVER A SEWER, WHENEVER NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER, THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST EIGHTEEN (18) INCHES ABOVE THE TOP OF THE SEWER, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN EIGHTEEN (18) INCH SEPARATION - IN WHICH CASE, BOTH THE WATER MAIN AND SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE CROSSING.
- CROSSING A WATER MAIN UNDER A SEWER, WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER, BOTH THE WATER MAIN AND THE SEWER SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF TEN (10) FEET ON EACH SIDE OF THE POINT(S) OF CROSSING. A SECTION OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING.
- UNDERGROUND INVESTIGATION OF EXISTING UTILITIES WITHIN PROPOSED BUILDING ADDITION WAS PERFORMED BY K&O ON AUGUST 4, 2021. CONTRACTOR SHALL OBTAIN A COPY AND BE FAMILIAR WITH UTILITY DEPTHS AND MEASUREMENTS PRIOR TO COMMENCING CONSTRUCTION.
- A GEOTECHNICAL SUBSURFACE INVESTIGATION WAS PERFORMED BY GEOTECHNOLOGIES, INC. ON MAY 28, 2020. CONTRACTOR SHALL OBTAIN A COPY OF REPORT AND BE FAMILIAR WITH SUBSURFACE CONDITIONS. NO CHANGE ORDERS WILL BE APPROVED FOR ROCK EXCAVATION OR UNSUITABLE SOILS.

TREE CONSERVATION AREA NOTE: APPROVAL FOR TREE CONSERVATION AREAS FOR THIS SITE WERE APPROVED THROUGH THE STORMWATER PERMIT CASE #89P-0195-2020.

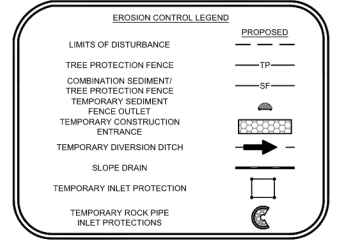
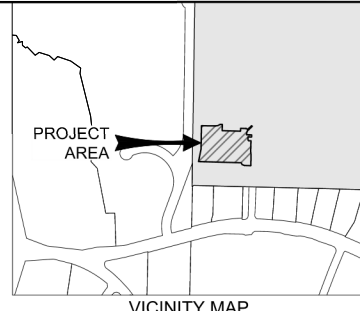
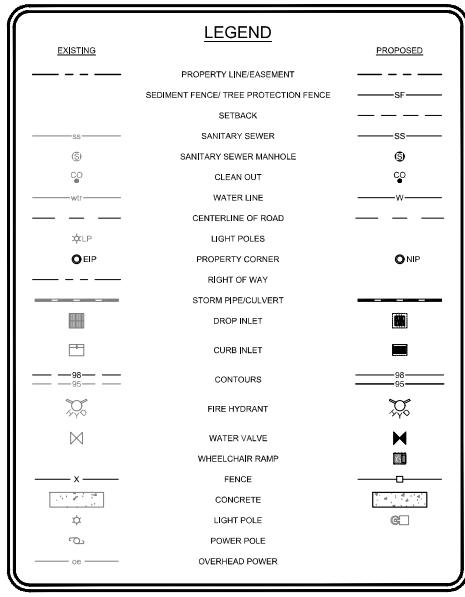
STORMWATER NOTE: THE STORMWATER RUNOFF FOR THE BUILDING EXPANSION PROJECT AREA SHALL BE TREATED BY THE PROPOSED REGIONAL SCM PER THE CASE #89P-0195-2020. REGIONAL SCM IS BEING DESIGNED AND PERMITTED BY OTHERS.

ELEVATION NOTE: SPOT ELEVATIONS SHOWN ARE PROVIDED AS A COURTESY ONLY. CONTRACTOR SHALL HAVE LICENSED PROFESSIONAL LAND SURVEYOR GENERATE SEPARATE STAKING PLAN PRIOR TO CONSTRUCTING PROPOSED IMPROVEMENTS. ENGINEER & OWNER SHALL NOT BE LIABLE FOR ANY DISCREPANCIES IN SPOT ELEVATIONS. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF ANY CONFLICTS, INCONSISTENCIES OR AMBIGUITIES EXIST ON CIVIL DRAWINGS, GRADING, AND SPOT ELEVATIONS, BEFORE POURING OF CONCRETE OR ASPHALT. ALL ELEVATION DISCREPANCIES OR ISSUES SHALL REQUIRE WRITTEN RESOLUTION FROM ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. OTHERWISE, CONTRACTOR PROCEEDS AT THEIR OWN RISK.

ADA NOTE: GRADING MUST CONFORM TO ADA REQUIREMENTS FOR MEANS OF ACCESSIBILITY AND ADA PARKING. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IF THERE ARE ANY ADA CONFLICTS. ALL ELEVATION DISCREPANCIES OR ISSUES SHALL REQUIRE WRITTEN RESOLUTION FROM ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION. OTHERWISE, CONTRACTOR PROCEEDS AT THEIR OWN RISK.

STORMWATER NOTE: ELEVATIONS, PIPE LENGTHS AND SLOPES REFERENCED IN THE STORM PIPE TABLE AND STORM STRUCTURE TABLE ARE APPROXIMATE AND MAY HAVE BEEN ROUNDED. DEPENDING ON SUPPLIER OF PIPES AND STRUCTURES, SOME ELEVATIONS MAY REQUIRE FIELD ADJUSTMENT. IF THE CONTRACTOR FINDS A CONFLICT OR ERROR IN THE ELEVATIONS WITHIN THESE TABLES OR WITH SUPPLIER CUT SHEETS, THEY MUST CONTACT THE ENGINEER IMMEDIATELY AND OBTAIN WRITTEN RESOLUTION PRIOR TO PROCEEDING WITH CONSTRUCTION. OTHERWISE, CONTRACTOR PROCEEDS AT THEIR OWN RISK.

NOTE: CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER IMMEDIATELY IF ANY CONFLICTS, INCONSISTENCIES OR AMBIGUITIES EXIST BETWEEN ARCHITECTURAL, P.A.E., STRUCTURAL & CIVIL DRAWINGS & SPECIFICATIONS. IF HIDDEN SITE CONDITIONS ARE DISCOVERED DURING CONSTRUCTION/DEMOLITION, CONTRACTOR SHALL OBTAIN WRITTEN RESOLUTION PRIOR TO PROCEEDING WITH CONSTRUCTION. OTHERWISE, CONTRACTOR PROCEEDS AT THEIR OWN RISK.



| NPDES STABILIZATION TIME FRAMES | | |
|--|---------------|--|
| SITE AREA DESCRIPTION | STABILIZATION | TIMEFRAME EXCEPTIONS |
| PERIMETER DIKES, SWALES, DITCHES AND SLOPES | 7 DAYS | NONE |
| HIGH QUALITY WATER (HOW) ZONES | 7 DAYS | NONE |
| SLOPES STEEPER THAN 3:1 | 7 DAYS | IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1 - 14 DAYS ARE ALLOWED |
| SLOPES 3:1 OR FLATTER | 14 DAYS | 7 DAYS FOR SLOPES GREATER THAN 50' IN LENGTH AND WITH SLOPES STEEPER THAN 4:1 |
| ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1 | 14 DAYS | 7 DAYS FOR PERIMETERS AND HOW ZONES |

EROSION CONTROL CONSTRUCTION SEQUENCE

PHASE 1

- SUBMIT DOCUMENTATION REQUIRED UNDER THE SITE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY (NCG010000) TO STORMWATER INSPECTIONS THROUGHOUT THE PROJECT.
- OBTAIN ALL NECESSARY PERMITS FROM CITY OF RALEIGH.
- PRIOR TO THE BEGINNING CONSTRUCTION, CALL THE STORMWATER INSPECTIONS REGIONAL COORDINATOR AT (919) 275-6461 TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING WITH THE REGIONAL COORDINATOR, OWNER, ENGINEER, AND CONTRACTOR.
- PERFORM CONSTRUCTION STAKEOUT. CLEAR/CURB ONLY ENOUGH AREA TO INSTALL INLET, SEDIMENT AND EROSION CONTROL MEASURES, INCLUDING BUT NOT LIMITED TO: TEMPORARY CONSTRUCTION ENTRANCE, DIVERSION DITCH, SILT/TREE PROTECTION COMBINATION FENCE AND OUTLETS, AND SEDIMENT BASIN.
- CALL THE RAPID RESPONSE NUMBER AT (919) 857-4412 TO SCHEDULE A STORMWATER SITE INSPECTION.
- UPON APPROVAL BY INSPECTOR, COMMENCE LAND DISTURBING ACTIVITY: CLEARING, GRUBBING AND ROUGH GRADING.
- STABILIZE SITE IN ACCORDANCE WITH THE NPDES STABILIZATION TIME FRAMES AND TEMPORARY SEEDING SCHEDULE. SLOPES SHALL BE MATTED IN ACCORDANCE WITH THE APPROVED PLAN.

PHASE 2

- BEGIN STORM DRAIN INSTALLATION AS THE SITE IS BEING GRADED. INSTALL INLET PROTECTION AROUND STORM STRUCTURES.
- CONSTRUCT SITE UTILITY IMPROVEMENTS, (I.E. WATERLINE, STORM DRAIN, SANITARY SEWER) INSTALL DRY UTILITY.
- INSTALL BUILDING PAD, PROPOSED DRIVE ASLE IMPROVEMENT.
- FINISH GRADE THE SITE.
- INSTALL THE PROPOSED REAR DRIVE ASLE IMPROVEMENT.
- ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED, IF NEEDED, AT LEAST ONCE PER WEEK AND AFTER EVERY RAINFALL EVENT.
- STABILIZATION IS REQUIRED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY ON PROJECT SITE.
- STABILIZATION IS REQUIRED PRIOR TO FINAL APPROVAL OF GRADING PERMIT AND ISSUANCE OF CERTIFICATE OF OCCUPANCY. GRASS UTILIZED AS PERMANENT GROUND COVER MUST BE AT A MOVABLE HEIGHT THAT GENERALLY PROVIDES AT LEAST 80% COVERAGE THROUGHOUT THE PROJECT AREA, WITH NO LARGE PATCHES OR EVIDENCE OF EROSION.
- REMOVE ALL DEBRIS AND CONSTRUCTION MATERIALS FROM SITE.
- CALL THE RAPID RESPONSE NUMBER (919) 857-4412 TO SCHEDULE A STORMWATER FINAL INSPECTION.
- UPON APPROVAL BY INSPECTOR, THE CONTRACTOR SHALL RETURN TO THE SITE AND REMOVE ALL TEMPORARY EROSION CONTROL MEASURES, INCLUDING SEDIMENT FENCE.
- SCARIFY, SEED, FERTILIZE, & MULCH ALL DISTURBED AREAS IN ACCORDANCE WITH PERMANENT SEEDING SCHEDULE AND NPDES TIME FRAMES. ONCE SITE IS FULLY STABILIZED, CONVERT SEDIMENT BASIN #1 TO THE STORMWATER POND.

NOTE: THIS EROSION CONTROL SEQUENCE IS FOR ENFORCEMENT OF EROSION CONTROL MEASURES ONLY. THIS DOES NOT IN ANY WAY OBLIGATE OR DIRECT THE CONTRACTOR ON MEANS AND METHODS OF HOW TO CONSTRUCT THE PROJECT.

ABBREVIATIONS

| | |
|------|---------------------------|
| AC | ACE |
| BO | BLOWOFF |
| BOW | BOTTOM OF WALL |
| CI | CURB INLET |
| EG | EXISTING GRADE |
| FES | FLARED END SECTION |
| FPE | FINISHED FLOOR ELEVATIONS |
| FG | FINISHED GRADE |
| FP | FLAG POLE |
| FW | FIRE WATER |
| INV. | INVERT |
| LP | LINEAR FEET |
| UP | UPPER FEET |
| PP | POST INDICATOR VALVE |
| R/W | POWER POLE |
| RCP | REINFORCED CONCRETE PIPE |
| SDM | STORM DRAIN MANHOLE |
| SH | SQUARE FEET |
| TBOC | TOP BACK OF CURB |
| TOW | TOP OF WALL |
| WV | WATER VALVE |
| YI | YARD INLET |
| YL | YARD LIGHT |

AJINOMOTO
4202 AJINOMOTO DRIVE
RALEIGH, NORTH CAROLINA 27610

BUILDING EXPANSION
NOTES, LEGENDS, & ABBREVIATIONS

| REVISIONS | DATE |
|-----------|---------|
| PER COR | 1/25/22 |
| PER COR | 3/18/22 |

| ISSUED FOR | DATE |
|-----------------|--------|
| WATER/APPRAISAL | 3/8/21 |

| | |
|--------------|--------|
| PROJECT NO.: | 21-009 |
| DRAWN BY: | TAL |
| REVIEWED BY: | GJM |

SHEET NUMBER

C1

OF 28 SHEETS

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

1. PURPOSE AND SCOPE
This document provides the minimum standards for ground stabilization and materials handling during construction activities. It is intended to be used in conjunction with the NCG01 Self-Inspection, Recordkeeping and Reporting form.

2. REFERENCES
NC Department of Transportation (NCDOT) Standard Specifications for Construction, 2018 Edition.

3. DEFINITIONS
3.1. EROSION CONTROL MEASURES: Measures designed to prevent or reduce soil erosion during construction activities.

3.2. SEDIMENT CONTROL MEASURES: Measures designed to prevent or reduce sediment transport during construction activities.

3.3. STABILIZATION: The process of restoring disturbed soil to its original condition or better.

3.4. MULCHING: The application of organic or synthetic material to the soil surface to prevent erosion.

3.5. SEEDING: The process of sowing seeds to establish vegetation on disturbed soil.

3.6. FERTILIZATION: The application of nutrients to the soil to promote plant growth.

3.7. GRASSING: The process of establishing grass on disturbed soil.

3.8. SODDING: The process of laying sods to establish vegetation on disturbed soil.

3.9. HYDROSEEDING: The process of applying a mixture of seed, fertilizer, and mulch to the soil surface.

3.10. EROSION CONTROL PLAN: A plan that details the erosion control measures to be implemented on a project.

3.11. SEDIMENT CONTROL PLAN: A plan that details the sediment control measures to be implemented on a project.

3.12. STABILIZATION PLAN: A plan that details the stabilization measures to be implemented on a project.

3.13. MULCHING PLAN: A plan that details the mulching measures to be implemented on a project.

3.14. SEEDING PLAN: A plan that details the seeding measures to be implemented on a project.

3.15. FERTILIZATION PLAN: A plan that details the fertilization measures to be implemented on a project.

3.16. GRASSING PLAN: A plan that details the grassing measures to be implemented on a project.

3.17. SODDING PLAN: A plan that details the sodding measures to be implemented on a project.

3.18. HYDROSEEDING PLAN: A plan that details the hydroseeding measures to be implemented on a project.

3.19. EROSION CONTROL INSPECTION: An inspection of the erosion control measures implemented on a project.

3.20. SEDIMENT CONTROL INSPECTION: An inspection of the sediment control measures implemented on a project.

3.21. STABILIZATION INSPECTION: An inspection of the stabilization measures implemented on a project.

3.22. MULCHING INSPECTION: An inspection of the mulching measures implemented on a project.

3.23. SEEDING INSPECTION: An inspection of the seeding measures implemented on a project.

3.24. FERTILIZATION INSPECTION: An inspection of the fertilization measures implemented on a project.

3.25. GRASSING INSPECTION: An inspection of the grassing measures implemented on a project.

3.26. SODDING INSPECTION: An inspection of the sodding measures implemented on a project.

3.27. HYDROSEEDING INSPECTION: An inspection of the hydroseeding measures implemented on a project.

3.28. EROSION CONTROL REPORT: A report that details the results of an erosion control inspection.

3.29. SEDIMENT CONTROL REPORT: A report that details the results of a sediment control inspection.

3.30. STABILIZATION REPORT: A report that details the results of a stabilization inspection.

3.31. MULCHING REPORT: A report that details the results of a mulching inspection.

3.32. SEEDING REPORT: A report that details the results of a seeding inspection.

3.33. FERTILIZATION REPORT: A report that details the results of a fertilization inspection.

3.34. GRASSING REPORT: A report that details the results of a grassing inspection.

3.35. SODDING REPORT: A report that details the results of a sodding inspection.

3.36. HYDROSEEDING REPORT: A report that details the results of a hydroseeding inspection.

3.37. EROSION CONTROL PLAN

3.37.1. The Erosion Control Plan (ECP) shall be prepared by the contractor and approved by the engineer before construction begins. It shall include a description of the project, a map of the site showing the location of the erosion control measures, and a detailed description of the measures to be implemented. The ECP shall be updated as the project progresses and as the engineer requires.

3.37.2. The ECP shall include a description of the project, a map of the site showing the location of the erosion control measures, and a detailed description of the measures to be implemented. The ECP shall be updated as the project progresses and as the engineer requires.

3.37.3. The ECP shall include a description of the project, a map of the site showing the location of the erosion control measures, and a detailed description of the measures to be implemented. The ECP shall be updated as the project progresses and as the engineer requires.

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3.37.8. The ECP shall include a description of the project, a map of the site showing the location of the erosion control measures, and a detailed description of the measures to be implemented. The ECP shall be updated as the project progresses and as the engineer requires.

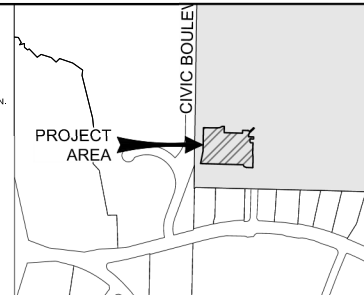
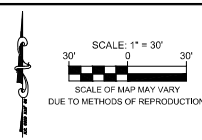
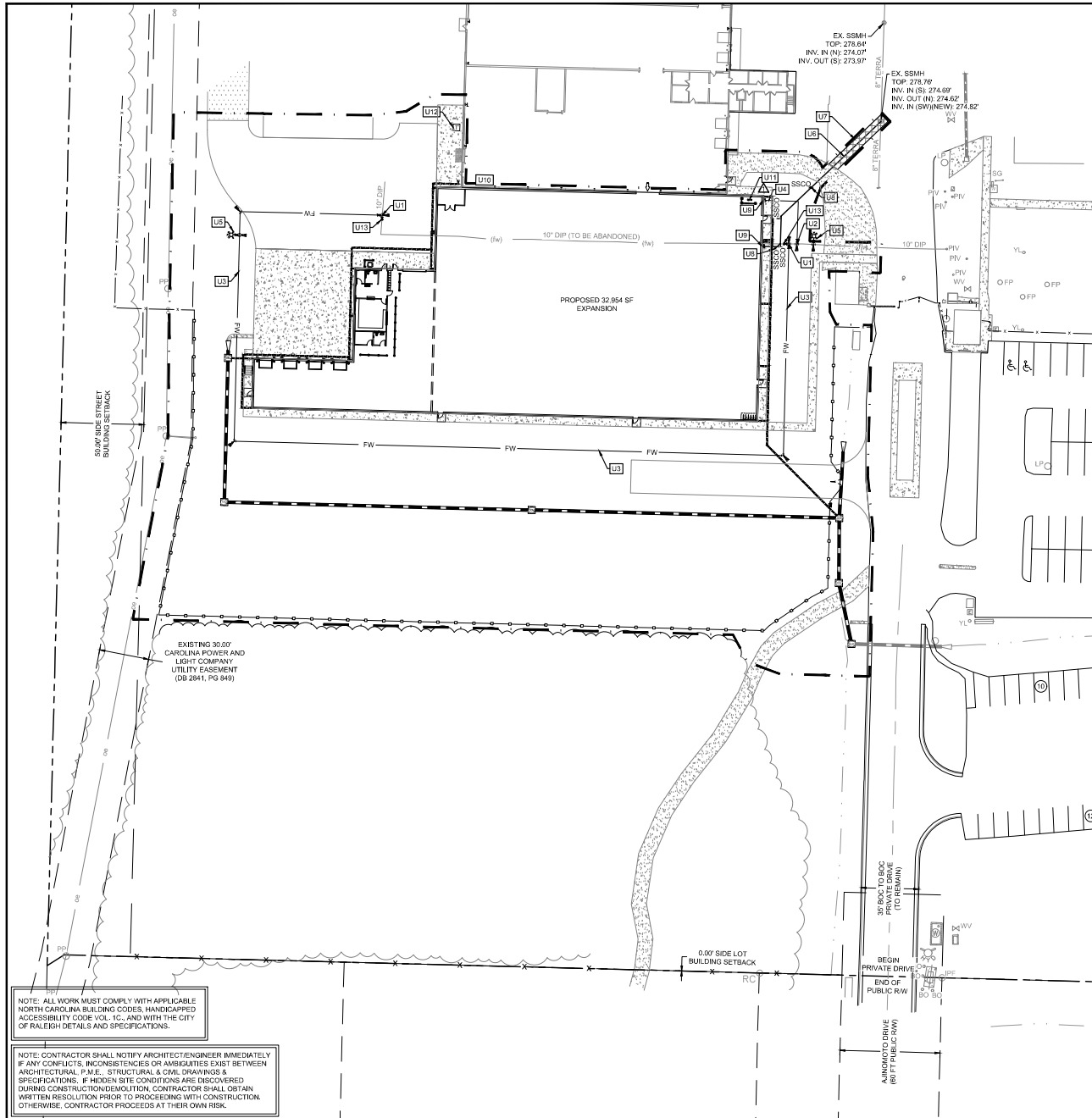
3.37.9. The ECP shall include a description of the project, a map of the site showing the location of the erosion control measures, and a detailed description of the measures to be implemented. The ECP shall be updated as the project progresses and as the engineer requires.

3.37.10. The ECP shall include a description of the project, a map of the site showing the location of the erosion control measures, and a detailed description of the measures to be implemented. The ECP shall be updated as the project progresses and as the engineer requires.

3.37.11. The ECP shall include a description of the project, a map of the site showing the location of the erosion control measures, and a detailed description of the measures to be implemented. The ECP shall be updated as the project progresses and as the engineer requires.

3.37.12. The ECP shall include a description of the project, a map of the site showing the location of the erosion control measures, and a detailed description of the measures to be implemented. The ECP shall be updated as the project progresses and as the engineer requires.

3.37.13. The ECP shall include a description of the project, a map of the site showing the location of the erosion control measures, and a detailed description of the measures to be implemented. The ECP shall be updated as the project progresses and as the engineer requires.



VICINITY MAP
SCALE: 1"=500'

| UTILITY IMPROVEMENTS KEYNOTES | |
|-------------------------------|---|
| U1 | CONNECT TO EXISTING 10" DIP FIRE LINE WITH 10" X 6" TEE AND GATE VALVE ASSEMBLY FOR 10" FIRE MAIN CONNECTION. |
| U2 | CONNECT TO EXISTING 10" DIP FIRE LINE WITH 10" X 6" TEE AND GATE VALVE ASSEMBLY FOR 6" SPRINKLER RISER CONNECTION. |
| U3 | INSTALL APPROX. 684 LF 10" DIP FIRE LINE AROUND PROPOSED EXPANSION AS SHOWN. INSTALL THRUST BLOCKING RESTRAINTS AND RODDED RESTRAINTS AT ALL FITTINGS (SEE DETAIL W-8/C14). |
| U4 | INSTALL APPROX. 47 LF 6" DIP SPRINKLER RISER TO PROPOSED EXPANSION AS SHOWN. INSTALL THRUST BLOCKING RESTRAINTS AND RODDED RESTRAINTS AT ALL FITTINGS (SEE DETAIL W-8/C14). SEE MEP PLANS AND FIRE SPRINKLER PLANS FOR DETAILS. |
| U5 | INSTALL NEW 8" FIRE HYDRANT AND VALVE ASSEMBLY. |
| U6 | INSTALL APPROX. 112 LF OF NEW 4" PVC SANITARY SEWER SERVICE FROM BUILDING EXPANSION TO EXISTING SANITARY SEWER MANHOLE AT MIN SLOPE = 1/4" PER FT. |
| U7 | OPEN CUT EXISTING ROAD FOR SANITARY SEWER CONNECTION. REPAIR ASPHALT PER DETAIL S-3/C14. |
| U8 | INSTALL SANITARY SEWER CLEANOUTS EVERY 75 FT AND AT ALL BENDS (SEE DETAIL S-9/C14). |
| U9 | END SITE UTILITIES WITHIN 5 FT OUTSIDE OF BUILDING (SEE MEP PLANS FOR DETAILS ON UTILITIES INSIDE OF BUILDING). |
| U10 | POTABLE WATER SHALL BE EXTENDED FROM EXISTING BUILDING TO PROPOSED EXPANSION. SEE PLUMBING PLANS FOR DETAILS. |
| U11 | FIRE SPRINKLER RISER ROOM LOCATION. BACKFLOW DEVICE SHALL BE INSIDE RISER ROOM. (SEE SPRINKLER PLANS FOR DETAILS). |
| U12 | PROPOSED LOCATION OF NEW ELECTRICAL TRANSFORMER (BY OTHERS). |
| U13 | INSTALL 10" GATE VALVE, BLIND FLANGE, RODDED RESTRAINTS & THRUST BLOCKING TO ABANDON APPROX. 252 LF OF EXISTING FIRE LINE. |

FIRE PROTECTION NOTE: FIRE PROTECTION FOR ALL BUILDINGS MUST REMAIN IN SERVICE THROUGHOUT ALL PHASES OF CONSTRUCTION. EXISTING FIRE MAIN SECTION MAY NOT BE ABANDONED UNTIL NEW FIRE MAIN IS PRESSURE TESTED, DISINFECTED AND INSPECTED BY COMPU.

ELECTRICAL & GAS SERVICES NOTE: ELECTRICAL SERVICE AND TRANSFORMERS SHALL BE PROVIDED BY OTHERS (DUKE ENERGY). CONTRACTOR SHALL COORDINATE SERVICES WITH SERVICE PROVIDERS DIRECTLY.

NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND INSTALLATION OF ALL UTILITIES FOR THE PROPOSED BUILDING. CONTRACTOR SHALL COORDINATE BETWEEN UTILITY PROVIDERS AND PROPERTY OWNER FOR INSTALLATION OF ALL TEMPORARY AND PERMANENT UTILITIES NECESSARY FOR THE PROJECT.

NOTE: ALL EXISTING UTILITIES AND ELEVATIONS OF UTILITIES ARE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL FIELD VERIFY LOCATION, SIZE AND ELEVATION/DEPTH OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION OR DEMOLITION.

UTILITY NOTE: SOME EXISTING UTILITIES MAY BE EXTENDED FROM EXISTING BUILDING INTO PROPOSED BUILDING EXPANSION (I.E. ETHERNET, CABLE, FIBER, PHONE, WATER, SECURITY, GAS, ETC.). CONTRACTOR SHALL COORDINATE ALL INTERIOR UTILITY EXTENSIONS WITH OWNER, TENANT, ARCHITECT AND MEP ENGINEER AS NEEDED. ALL SERVICES TO TENANT SHALL REMAIN IN SERVICE THROUGHOUT CONSTRUCTION AS MUCH AS PRACTICABLE. ANY OUTAGES MUST BE COORDINATED WITH TENANT AND OWNER AT LEAST 30 DAYS PRIOR TO ANTICIPATED OUTAGE.

NOTE: ALL WORK MUST COMPLY WITH APPLICABLE NORTH CAROLINA BUILDING CODES. HANDICAPPED ACCESSIBILITY CODE VOL. 1C, AND WITH THE CITY OF RALEIGH DETAILS AND SPECIFICATIONS.

NOTE: CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER IMMEDIATELY IF ANY CONFLICTS, INCONSISTENCIES OR AMBIGUITIES EXIST BETWEEN ARCHITECTURAL P.M.E., STRUCTURAL & CIVIL DRAWINGS & SPECIFICATIONS. IF HIDDEN SITE CONDITIONS ARE DISCOVERED DURING CONSTRUCTION/DEMOLITION, CONTRACTOR SHALL OBTAIN WRITTEN RESOLUTION PRIOR TO PROCEEDING WITH CONSTRUCTION. OTHERWISE, CONTRACTOR PROCEEDS AT THEIR OWN RISK.

FINAL DRAWING
FOR REVIEW
PURPOSES ONLY

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411NOMOTO
4020 AINOMOTO DRIVE
RALEIGH, NORTH CAROLINA 27610

BUILDING EXPANSION
PROPOSED UTILITY IMPROVEMENTS

| REVISIONS | DATE |
|-----------|---------|
| 1 PER COR | 1/25/22 |
| 2 PER COR | 3/15/22 |

| ISSUED FOR: | DATE: |
|-----------------|---------|
| REVIEW/APPROVAL | 3/26/21 |

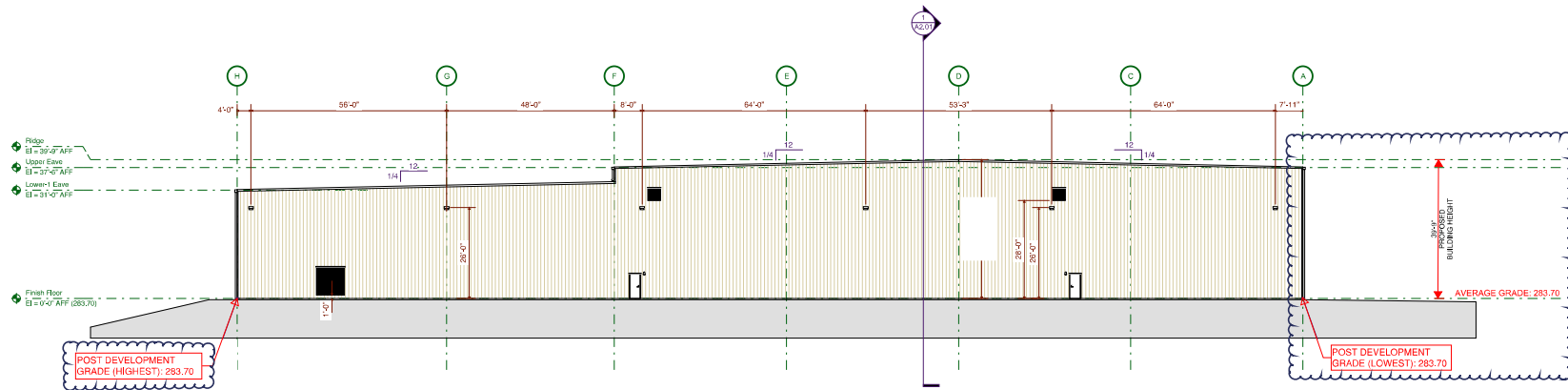
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|--------------|--------|
| PROJECT NO.: | 21-009 |
| DRAWN BY: | TAL |
| REVIEWED BY: | GJM |

SHEET NUMBER

C11

OF 22 SHEETS





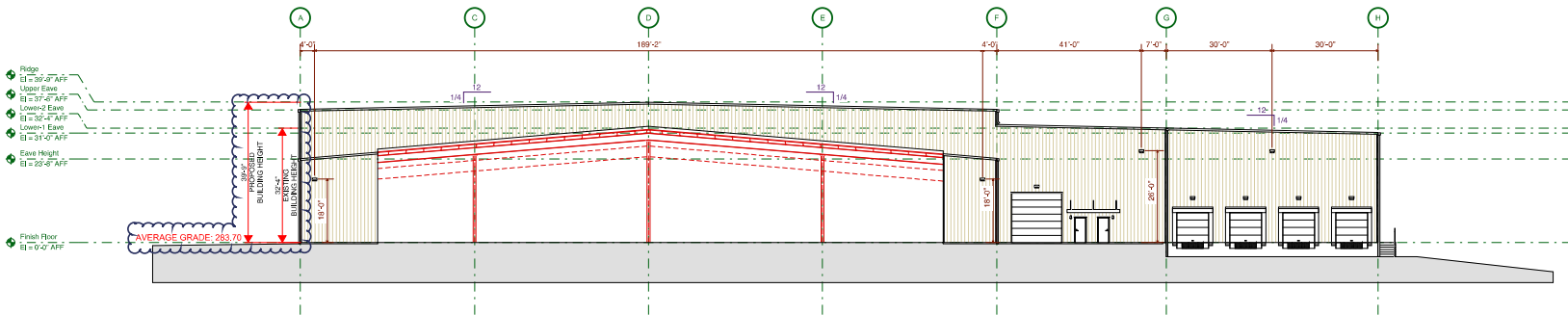
Per UDO Section 4.4.1, there are no transparency requirements for projects zoned Heavy Industrial.

1 Primary Building Elevation (South)

Scale: 1/16" = 1'-0"

AVERAGE GRADE CALCULATION

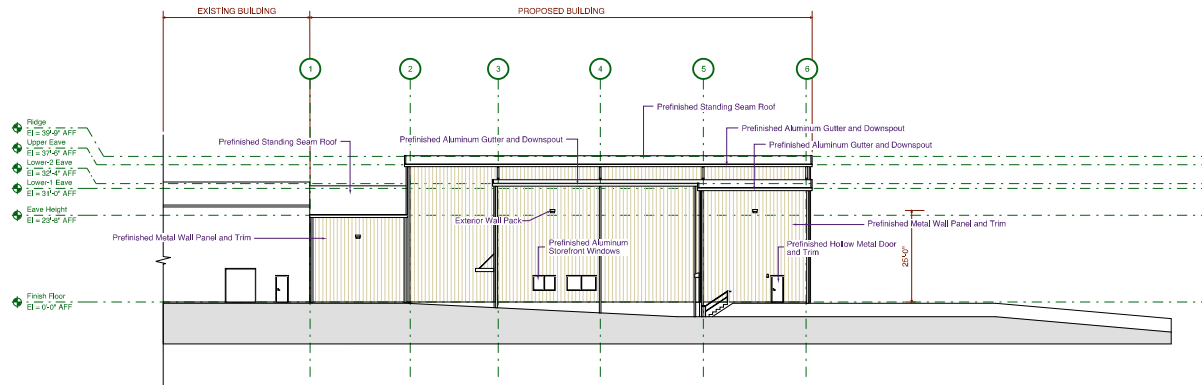
HIGHEST POST DEVELOPMENT GRADE: 283.70
LOWEST POST DEVELOPMENT GRADE: 283.70
AVERAGE GRADE: (HIGHEST GRADE + LOWEST GRADE) / 2
(283.70 + 283.70) / 2 = 283.70



Per UDO Section 4.4.1, there are no transparency requirements for projects zoned Heavy Industrial.

2 Overall Elevation (North)

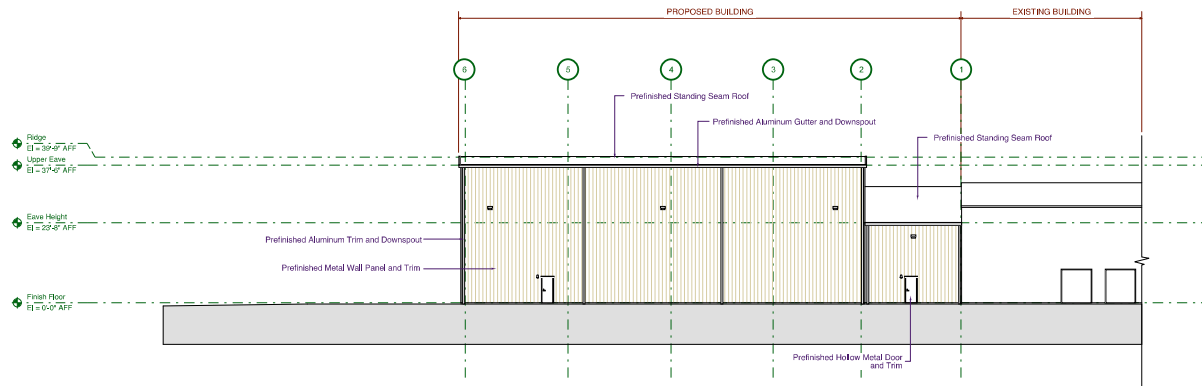
Scale: 1/16" = 1'-0"



Per UDO Section 4.4.1, there are no transparency requirements for projects zoned Heavy Industrial.

1 Overall Elevation (West)
Scale: 1/16" = 1'-0"

20' 0' 4' 8' 12' 16' 20'



Per UDO Section 4.4.1, there are no transparency requirements for projects zoned Heavy Industrial.

2 Overall Elevation (East)
Scale: 1/16" = 1'-0"

20' 0' 4' 8' 12' 16' 20'

