



Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Case #: _____ Planner (print): _____


Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

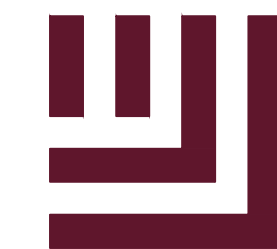
Site Plan Tier: Tier Two Site Plan <input type="checkbox"/>		Tier Three Site Plan <input checked="" type="checkbox"/>	
Building Type		Site Transaction History	
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: <u>SUB-0059-2022</u>	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: _____	
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____	
		Zoning Case #: <u>Z-01-21</u>	
		Administrative Alternate #: _____	
GENERAL INFORMATION			
Development name: <u>The Alexan</u>			
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
Property address(es): <u>5060 Edwards Mill Rd. Raleigh, NC 27612</u>			
Site P.I.N.(s): <u>0795399646</u>			
Please describe the scope of work. Include any additions, expansions, and change of use. <u>Construction of four apartment buildings along with associated amenity areas and surface parking.</u>			
Current Property Owner/Developer Contact Name: NOTE: please attach purchase agreement when submitting this form.			
Company: <u>Trammell Crow Residential</u>		Title: <u>Emily White, Development Associate</u>	
Address: <u>4509 Creedmore Rd Ste 308, Raleigh, NC 27612</u>			
Phone #: <u>919.876.8310</u>		Email: <u>ewhite@tcr.com</u>	
Applicant Name: <u>David Boyette, PE</u>			
Company: <u>McAdams</u>		Address: <u>621 Hillsborough , Suite 500 Raleigh 27603</u>	
Phone #: <u>919.244.9528</u>		Email: <u>boyette@mcadamsco.com</u>	

DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): CX-7-CU CX-12-CU	Existing gross floor area (not to be demolished): 0 sf
	Existing gross floor area to be demolished: 78,156 sf
Gross site acreage: 12.67 ac	New gross floor area: 365,964 sf
# of parking spaces required: 717 max.	Total sf gross (to remain and new): 365,964 sf
# of parking spaces proposed: 489	Proposed # of buildings: 4
Overlay District (if applicable): n/a	Proposed # of stories for each: 5 stories
Existing use (UDO 6.1.4): Multi-unit living	
Proposed use (UDO 6.1.4): Multi-unit living	

STORMWATER INFORMATION	
Existing Impervious Surface: Acres: 4.52 Square Feet: 197,100	Proposed Impervious Surface: Acres: 7.98 Square Feet: 347,700
Is this a flood hazard area? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: n/a	
Flood study: n/a	
FEMA Map Panel #: 3720079500K, 3720079600K	
Neuse River Buffer Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

RESIDENTIAL DEVELOPMENTS	
Total # of dwelling units: 402	Total # of hotel units: 0
# of bedroom units: 1br 250 2br 152 3br	4br or more 0
# of lots: 1	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

SIGNATURE BLOCK	
<p>The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.</p> <p>I, <u>David M Boyette, PE</u> will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.</p> <p>I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.</p>	
Signature: 	Date: 2022.10.25
Printed Name: David M Boyette, PE	



McADAMS

The John R. McAdams Company, Inc.
One Glenwood Avenue
Suite 201
Raleigh, NC 27603
phone 919. 823. 4300
fax 919. 361. 2269
license number: C-0293, C-187

www.mcadamsco.com

CONTACT

DAVID BOYETTE
boyette@mcadamsco.com
PHONE: 919. 823. 4300

CLIENT

TRAMMELL CROW RESIDENTIAL
4509 CREEDMOOR ROAD, SUITE 308
RALEIGH, NC 27612
PHONE: 919. 876. 3103

PROJECT DIRECTORY

DEVELOPER
TRAMMELL CROW RESIDENTIAL
4509 CREEDMOOR ROAD, SUITE 308
RALEIGH, NC 27612
PHONE: 919. 876. 8310

ARCHITECT
DWELL DESIGN STUDIO
8200 GREENSBORO DRIVE, SUITE 650
MCLEAN, VA, 22102
PHONE: 571. 253. 6950

THE ALEXAN

ADMINISTRATIVE SITE REVIEW

5060 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA, 27612

PROJECT NUMBER: TCR-22002
PROJECT CASE #: ASR-XXX-2022

DATE: OCTOBER 26, 2022

SUB-0059-2022 is under review.
Site is located in a Frequent Transit Area. -Planning
Notes

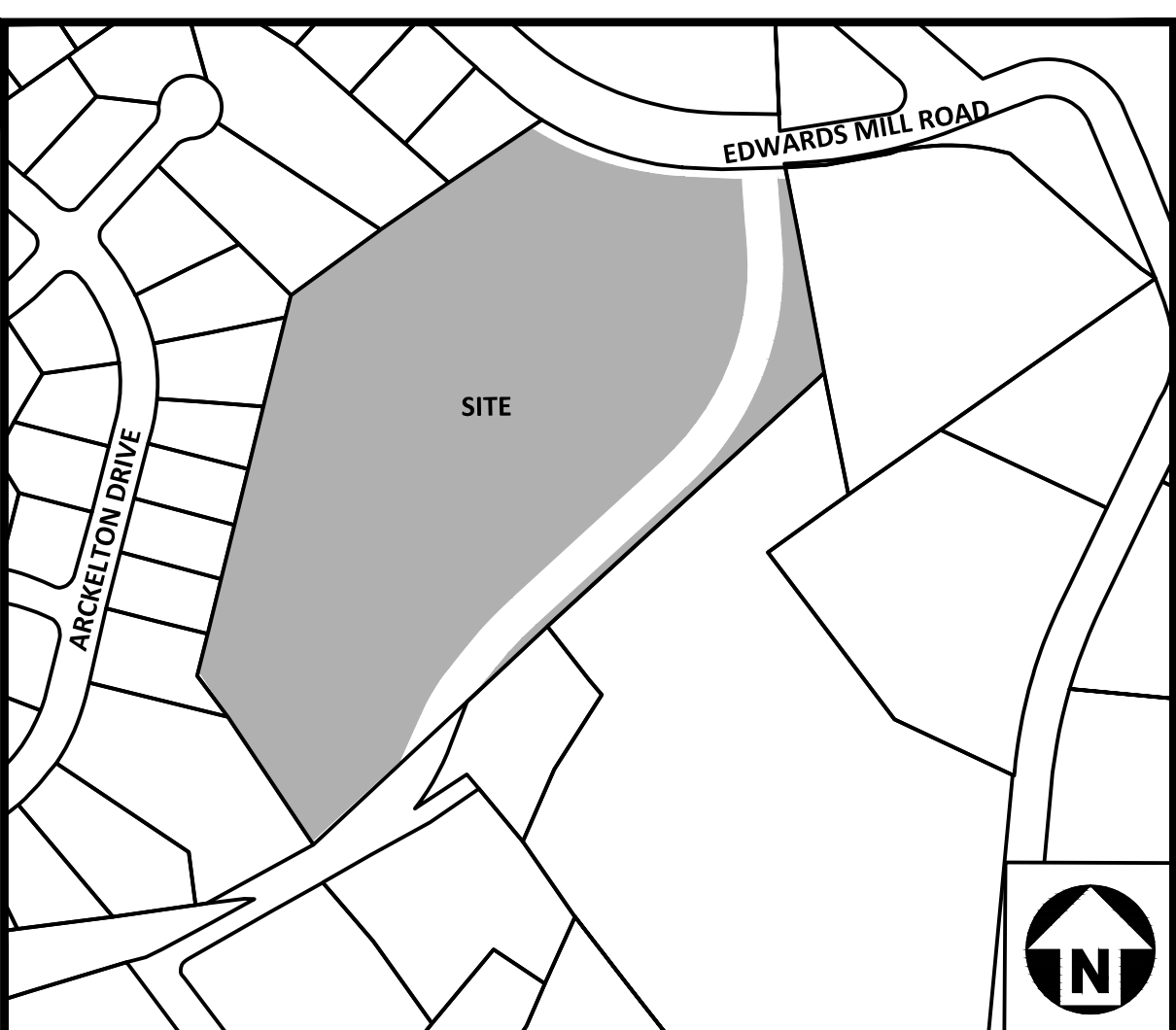
Administrative Site Review Application form with fields for project details, applicant information, and site data.

Table with 2 columns: SITE DATA and BUILDING DATA. Includes zoning, acreage, and parking information.

Table with 2 columns: STORMWATER INFORMATION and RESIDENTIAL DEVELOPMENTS. Includes impervious surface, flood hazard, and unit counts.

SIGNATURE BLOCK section with signature lines for David M. Boyette, PE.

Ordinance (2021) 248 ZC 425
Adopted: 03/23/2021
Z-1-21 - 5060 Edwards Mill Road, located approximately 0.6 miles east of the intersection of Edwards Mill Road and Creedmoor Road (NC-50), being Wake County PIN 0795399646, approximately 14.98 acres zoned to Commercial Mixed Use-7, Special-Conditional Use (CX-7, CU) and Commercial Mixed Use-12, Special-Conditional Use (CX-12, CU).



VICINITY MAP
1"=300'



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

SITE DATA table containing parcel information, zoning, floodplain, and parking requirements.

SHEET INDEX

- CO.00 PROJECT NOTES
C1.00 OVERALL EXISTING CONDITIONS
C1.01 EXISTING CONDITIONS AREA "A"
C1.02 EXISTING CONDITIONS AREA "B"
C1.03 DEMOLITION PLAN AREA "A"
C1.04 DEMOLITION PLAN AREA "B"
C2.00 OVERALL SITE PLAN
C2.01 SITE PLAN AREA "A"
C2.02 SITE PLAN AREA "B"
C3.00 GRADING PLAN AREA "A"
C3.01 GRADING PLAN AREA "B"
C4.00 OVERALL UTILITY PLAN
C4.01 UTILITY PLAN AREA "A"
C4.02 UTILITY PLAN AREA "B"
C8.00 SITE DETAILS
C8.01 UTILITY DETAILS
C8.02 STORM DRAINAGE DETAILS
L2.00 TREE CONSERVATION PLAN
L6.00 OVERALL LIGHTING PLAN
L1.0 LANDSCAPE PLAN 'AREA A'
L1.1 LANDSCAPE PLAN 'AREA B'
L2.0 LANDSCAPE PLAN NOTES, CALCULATIONS, DETAILS
A5 ELEVATION - BUILDING 1000 NORTH & EAST SIDE
A6 ELEVATION - BUILDING 1000 SOUTH & WEST SIDE
A7 ELEVATION - BUILDING 2000/4000 NORTH & EAST SIDE
A8 ELEVATION - BUILDING 2000/4000 SOUTH & WEST SIDE
A9 ELEVATION - BUILDING 3000 NORTH & EAST SIDE
A10 ELEVATION - BUILDING 3000 SOUTH & WEST SIDE

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

ATTENTION CONTRACTORS

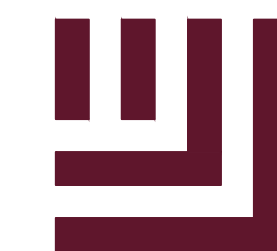
The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction. Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure. Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

REVISIONS

NO. DATE

ADMINISTRATIVE SITE REVIEW FOR:

THE ALEXAN
RALEIGH, NORTH CAROLINA 27603
PROJECT NUMBER: TCR-22002



McADAMS

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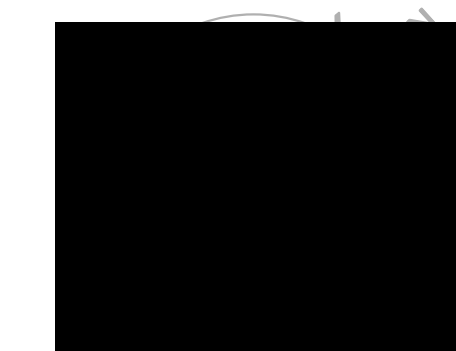
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CLIENT

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4509 CREEDMOOR ROAD, SUITE 308
RALEIGH, NC 27612
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TCR
TRAMMELL CROW RESIDENTIAL

THE ALEXAN
ADMINISTRATIVE SITE REVIEW
5060 EDWARDS MILL ROAD
RALEIGH, NORTH CAROLINA 27612



REVISIONS

NO. DATE

PLAN INFORMATION

PROJECT NO. TCR-22002
FILENAME TCR22002-S1
CHECKED BY DB
DRAWN BY JJ
SCALE 1" = 50'
DATE 10.26.2022

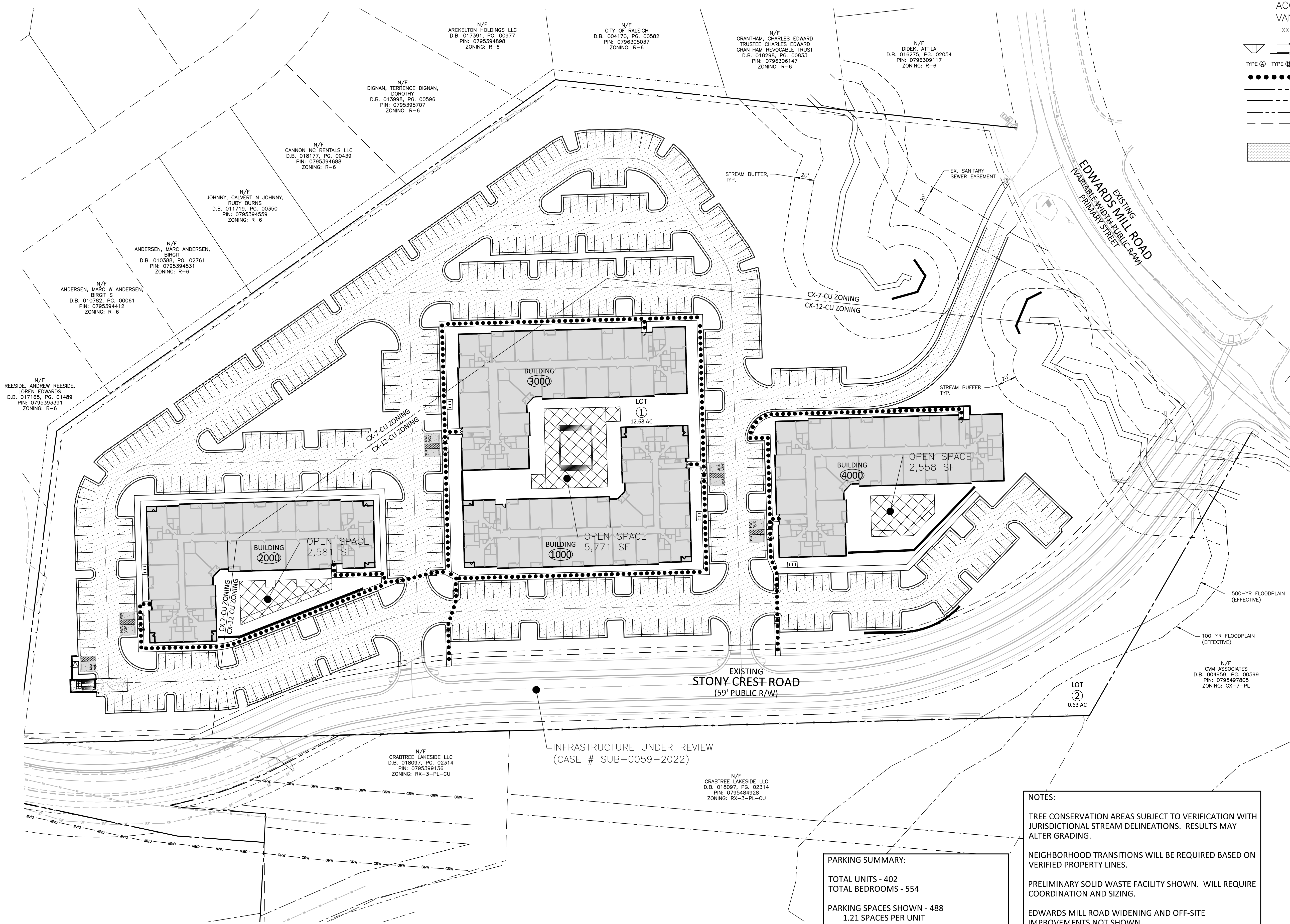
SHEET

OVERALL SITE PLAN

C2.00

SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- PARKING SPACE COUNT
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT



PARKING SUMMARY:

TOTAL UNITS - 402
TOTAL BEDROOMS - 554

PARKING SPACES SHOWN - 488
1.21 SPACES PER UNIT
0.88 SPACES PER BEDROOM

NOTES:

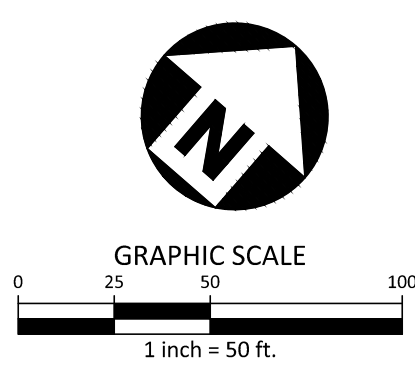
TREE CONSERVATION AREAS SUBJECT TO VERIFICATION WITH JURISDICTIONAL STREAM DELINEATIONS. RESULTS MAY ALTER GRADING.

NEIGHBORHOOD TRANSITIONS WILL BE REQUIRED BASED ON VERIFIED PROPERTY LINES.

PRELIMINARY SOLID WASTE FACILITY SHOWN. WILL REQUIRE COORDINATION AND SIZING.

EDWARDS MILL ROAD WIDENING AND OFF-SITE IMPROVEMENTS NOT SHOWN.

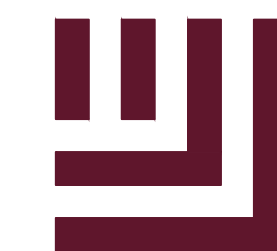
BUILDINGS REQUIRE STEPS/SPLIT CONDITIONS. FURTHER REVIEW WITH ZONING CONDITIONS REQUIRED.



ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\TCR\TCR22002\Production\Engineering\Construction\Drawings\Current\Drawings\TCR22002-S1.dwg, 10/26/2022 10:59:14 AM, John Jackson



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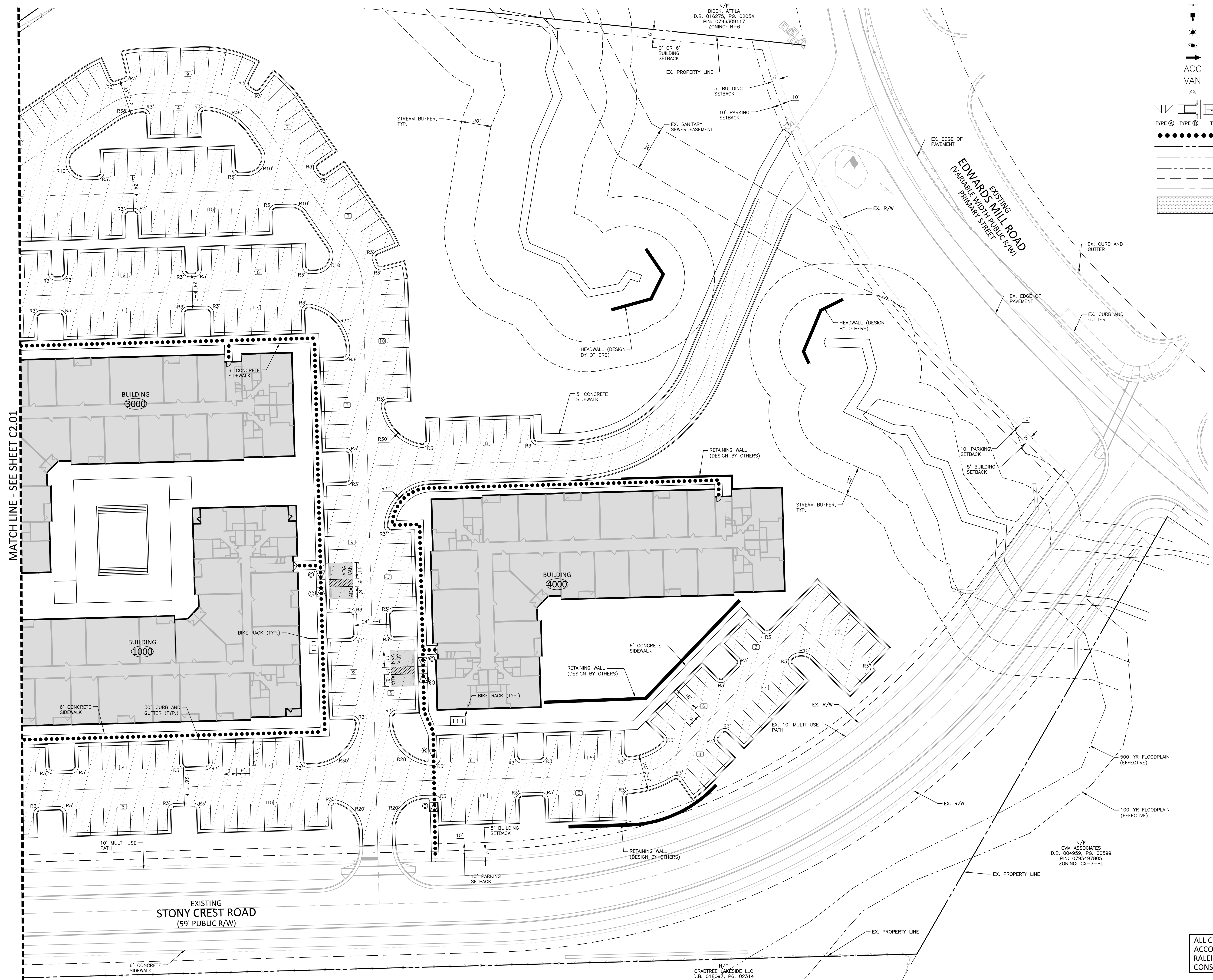
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SITE LEGEND

	SIGNAGE
	YARD LIGHTS
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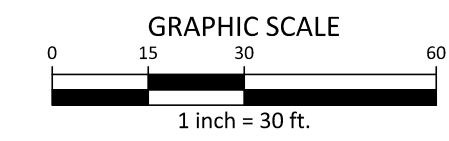
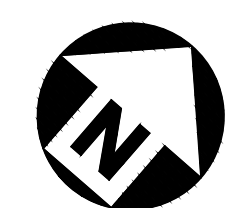


MATCH LINE - SEE SHEET C2.01

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N/F
CVM ASSOCIATES
D.B. 004959, PG. 00599
P/N: 0795497805
ZONING: CX-7-PL

N/F
CRABTREE LAKESIDE LLC
D.B. 018087, PG. 02314
P/N: 0795484928
ZONING: RX-3-PL-CU



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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

NO.	DATE

PLAN INFORMATION

PROJECT NO.	TCR-22002
FILENAME	TCR22002-S1
CHECKED BY	DB
DRAWN BY	JJ
SCALE	1" = 30'
DATE	10.26.2022

SHEET

SITE PLAN AREA 'B'
C2.02

Material Legend - Typical Materials

1. Brick Masonry Type 1 Running Bond
2. Brick Masonry Type 2 Herrigbone Pattern
3. Cast Stone Lintel- Smooth Finish 1 (Limestone)
4. Fiber Cement Wall Panels - Smooth Finish (Painted)
5. 36"x72" + 18"x36" Vinyl Windows - Typical (Off-White)
6. Lap Siding
7. Pilaster Expression - fiber Cement Panel and Trim
8. 5/4 x 3 Trim Typical
9. Aluminum Railing System (Mesh Panel)
10. Cast Stone 1'x2' Running Bond
11. Cast Stone Cornice
12. Steel Canopy System
13. Storefront System



Elevation - Building 1000 North Side
Scale: 1/8" = 1'-0"

- 5 4 13 2 11 7 8 3 10 9 12 7 6 2 1



Elevation - Building 1000 East Side
Scale: 1/8" = 1'-0"



Elevation - Building 1000 South Side
Scale: 1/8" = 1'-0"



Elevation - Building 1000 West Side
Scale: 1/8" = 1'-0"



Elevation - Building 2000/4000 North Side
Scale: 1/8" = 1'-0"



Elevation - Building 2000/4000 East Side
Scale: 1/8" = 1'-0"



Elevation - Building 2000/4000 South Side
Scale: 1/8" = 1'-0"



Elevation - Building 2000/4000 West Side
Scale: 1/8" = 1'-0"



Elevation - Building 3000 North Side
Scale: 1/8" = 1'-0"



Elevation - Building 3000 East Side
Scale: 1/8" = 1'-0"



Elevation - Building 3000 South Side
Scale: 1/8" = 1'-0"



Elevation - Building 3000 West Side
Scale: 1/8" = 1'-0"