

# Administrative Site Review Application

Planning and Development Customer Service Center • One Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2500



This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

**Office Use Only:** Case #: \_\_\_\_\_ Planner (print): \_\_\_\_\_

Please review UDO Section 10.2.8. as amended by text change case [TC-14-19](#) to determine the site plan tier. If assistance determining a Site Plan Tier is needed a Site Plan Tier Verification request can be submitted online via the [Permit and Development Portal](#). (Note: There is a fee for this verification service.)

<b>Site Plan Tier:</b> Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>		
Building Type		Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision case #: _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	Scoping/sketch plan case #: <u>SCOPE-0123-2020</u>
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness #: _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment #: _____
		Zoning Case #: _____
		Administrative Alternate #: _____
GENERAL INFORMATION		
Development name: PACIFIC DRIVE APARTMENTS		
Inside City limits? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> ANNEXATION TO BE FILED		
Property address(es): 2001 PACIFIC DRIVE		
Site P.I.N.(s): 1716723524		
Please describe the scope of work. Include any additions, expansions, and change of use. THREE 4-STORY APARTMENT BUILDINGS AND ASSOCIATED SURFACE PARKING AND UTILITIES.		
Current Property Owner/Developer Contact Name: CORIGIN REAL ESTATE GROUP/ADRIENNE LOWE <b>NOTE: please attach purchase agreement when submitting this form.</b>		
Company: CORIGIN REAL ESTATE GROUP		Title: Senior Project Manager
Address: 500 FIFTH AVENUE, NEW YORK, NEW YORK, 10110		
Phone #: 516.780.4427	Email: <a href="mailto:alowe@corigin.com">alowe@corigin.com</a>	
Applicant Name: JONATHAN BALDERSON		
Company: MCADAMS	Address: ONE GLENWOOD AVE., RALEIGH, NC 27603	
Phone #: 919.287.0815	Email: BALDERSON@MCADAMSCO.COM	

**DEVELOPMENT TYPE + SITE DATE TABLE**

(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): RX-4-CU	Existing gross floor area (not to be demolished): 0
	Existing gross floor area to be demolished: 0
Gross site acreage: 10.56	New gross floor area: 201,800 SF
# of parking spaces required: 335	Total sf gross (to remain and new): 0
# of parking spaces proposed: 422	Proposed # of buildings: 3
Overlay District (if applicable):	Proposed # of stories for each: 4
Existing use (UDO 6.1.4): VACANT	
Proposed use (UDO 6.1.4): APARTMENT	

**STORMWATER INFORMATION**

Existing Impervious Surface: Acres: 0 Square Feet: 0	Proposed Impervious Surface: Acres: 5.94 Square Feet: 258,576
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: _____	
Alluvial soils: _____	
Flood study: _____	
FEMA Map Panel #: _____	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

**RESIDENTIAL DEVELOPMENTS**

Total # of dwelling units: 294	Total # of hotel units:
# of bedroom units: 1br 212 2br 82 3br	4br or more
# of lots: 1	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

**SIGNATURE BLOCK**

The undersigned indicates that the property owner(s) is aware of this application and that the proposed project described in this application will be maintained in all respects in accordance with the plans and specifications submitted herewith, and in accordance with the provisions and regulations of the City of Raleigh Unified Development Ordinance.

I, JONATHAN BALDERSON will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.

Signature:

Date:

Printed Name:



# PACIFIC DRIVE APARTMENTS

2001 PACIFIC DRIVE  
RALEIGH, NORTH CAROLINA 27604

## ADMINISTRATIVE SITE REVIEW CITY OF RALEIGH CASE #: ASR-0103-2021 PROJECT NUMBER: 2020110394

DATE: DECEMBER 10, 2021

### SHEET INDEX

C0.00	PROJECT NOTES AND STREET SECTIONS
1-1	ALTA/NSPS LAND TITLE SURVEY
C1.01	DEMOLITION PLAN
C2.00	SITE PLAN
C2.01	SITE DISTANCE TRIANGLES AND AMENITY AREA PLAN
C2.02	SIGNAGE AND PAVEMENT MARKING PLAN
C2.03	EASEMENT PLAN
C2.04	OFFSITE TRAFFIC PLAN
C3.00	GRADING AND STORM DRAINAGE PLAN
C3.01	AVERAGE GRADE PLAN CALCULATIONS
C4.00	UTILITY PLAN
C8.00	SITE DETAILS
C8.01	SITE DETAILS
C8.02	WATER DETAILS
C8.03	STORM DRAINAGE DETAILS
C8.04	SANITARY SEWER DETAILS
L5.00	LANDSCAPE PLAN
L8.00	TREE CONSERVATION PLAN
L8.01	TREE CONSERVATION PLAN
L8.02	TREE CONSERVATION PLAN

### BY OTHERS:

A201	BUILDING TYPE I ELEVATIONS
A201A	BUILDING TYPE I ELEVATIONS
A202	BUILDING TYPE II ELEVATIONS
A202A	BUILDING TYPE II ELEVATIONS
A203	BUILDING TYPE III ELEVATIONS
A203A	BUILDING TYPE III ELEVATIONS
22-0207A	SITE LIGHTING PLAN

### Administrative Site Review Application

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Site Plan Tier: Tier Two Site Plan <input type="checkbox"/> Tier Three Site Plan <input checked="" type="checkbox"/>	
<b>Building Type</b>	<b>Site Transaction History</b>
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic

Development name: PACIFIC DRIVE APARTMENTS  
Inside City limits? Yes ☐ No ☒ ANNEXATION TO BE FILED  
Property address(es): 2001 PACIFIC DRIVE

Site P.I.N.(s): 1716723524  
Please describe the scope of work. Include any additions, expansions, and change of use.  
THREE 4-STORY APARTMENT BUILDINGS AND ASSOCIATED SURFACE PARKING AND UTILITIES.

Current Property Owner/Developer Contact Name: CORIGIN REAL ESTATE GROUP/ADRIENNE LOWE  
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Company: CORIGIN REAL ESTATE GROUP Title: Senior Project Manager  
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Phone #: 516.780.4427 Email: [alowecorigin.com](mailto:alowecorigin.com)  
Applicant Name: JONATHAN BALDERSON  
Company: MCADAMS Address: ONE GLENWOOD AVE., RALEIGH, NC 27603  
Phone #: 919.287.0815 Email: [BALDERSON@MCADAMSCO.COM](mailto:BALDERSON@MCADAMSCO.COM)

Page 1 of 2  
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DEVELOPMENT TYPE + SITE DATE TABLE (Applicable to all developments)	
<b>SITE DATA</b>	<b>BUILDING DATA</b>
Zoning district (if more than one, please provide the acreage of each): RX-4-CU	Existing gross floor area (not to be demolished): 0 Existing gross floor area to be demolished: 0
Gross site acreage: 10.56	New gross floor area: 348,887 SF
# of parking spaces required: 335	Total sf gross (to remain and new): 0
# of parking spaces proposed: 413	Proposed # of buildings: 3
Overlay District (if applicable):	Proposed # of stories for each: 4
Existing use (UDO 6.1.4): VACANT	
Proposed use (UDO 6.1.4): APARTMENT	
<b>STORMWATER INFORMATION</b>	
Existing Impervious Surface: Acres: 0 Square Feet: 0	Proposed Impervious Surface: Acres: 5.95 Square Feet: 259,254
Is this a flood hazard area? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	
If yes, please provide: Alluvial soils: _____ Flood study: _____ FEMA Map Panel #: _____	
Neuse River Buffer Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>	Wetlands Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
<b>RESIDENTIAL DEVELOPMENTS</b>	
Total # of dwelling units: 294	Total # of hotel units:
# of bedroom units: 1br 213 2br 81 3br	4br or more
# of lots: 1	Is your project a cottage court? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>

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I, <u>JONATHAN BALDERSON</u> , will serve as the agent regarding this application, and will receive and respond to administrative comments, resubmit plans and applicable documentation, and will represent the property owner(s) in any public meeting regarding this application.	
I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is subject to the filing calendar and submittal policy, which states applications will expire after 180 days of inactivity.	
Signature: <u>Adrienne Lowe</u>	Digitally signed by Adrienne Lowe Date: 2021.12.08 08:54:59 -05'00'
Printed Name: _____	

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### BUILDING HEIGHT

MAX ALLOWABLE: 4 STORIES (68')  
MAX PROVIDED: 4 STORIES (50')

### OUTDOOR AMENITY AREA

REQUIRED: 0.94 ACRES (10.0% OF 9.42 ACRES)  
PROVIDED: 0.96 ACRES (10.2%)

### SITE DATA

SITE ADDRESS:	2001 PACIFIC DRIVE, RALEIGH, NC 27604
PARCEL PIN NUMBER:	1716723524
GROSS/ NET SITE AREA:	OVERALL GROSS SITE AREA: 10.56 OVERALL NET SITE AREA: 9.42
EXISTING ZONING:	RX-4-CU
OVERLAY DISTRICT:	NONE APPLICABLE
WATERSHED:	N/A
FLOODPLAIN/FIRM PANEL:	N/A
EXISTING USE:	VACANT
PROPOSED USE:	APARTMENTS
IMPERVIOUS AREA:	EXISTING IMPERVIOUS: 0.00 AC PROPOSED IMPERVIOUS: 5.95 AC
BLOCK PERIMETER:	BLOCK PERIMETER IS BEING COMPLIED WITH THE INCLUSION OF THE MULTIFAMILY STREET CONNECTING TO THE NORTHERN PARCEL.

### PARKING + BUILD-TO DATA

APARTMENT UNIT MIX PER BUILDING:	BUILDING 1: 138 UNITS (108 ONE BED; 30 TWO BED) BUILDING 2: 112 UNITS (84 ONE BED; 28 TWO BED) BUILDING 3: 44 UNITS (21 ONE BED; 23 TWO BED)
PARKING DATA: VEHICLE AND BICYCLE PARKING REQUIREMENTS PER UDO SECTION 7.3.2.C SEE PARKING CALCULATION TABLE THIS PAGE	VEHICLE PARKING REQUIRED: 335 SPACES PROVIDED: 413 SPACES
	ACCESSIBLE PARKING REQUIRED: 16 SPACES (3 VAN SPACES) PROVIDED: 18 SPACES (4 VAN SPACES)
	BIKE PARKING REQUIRED: 15 SHORT-TERM SPACES (APARTMENT USE (294 UNITS X 1/20)); 0 LONG TERM PROVIDED: 16 SPACES
BUILDING + PARKING SETBACK:	BUILD-TO NOT APPLICABLE PER ZONING RX-4-CU, UDO SECTION 3.2.4
	SETBACKS PARKING SETBACK PRIMARY STREET: 10' PARKING SETBACK SIDE/REAR LOT LINE: 0' APARTMENT BUILDING SETBACK FROM PRIMARY/SIDE STREET: 5' APARTMENT BUILDING SETBACK SIDE/REAR LOT LINE: 0' OR 6'



SCALE: 1" = 500'



REQUIRED PARKING DATA - PACIFIC DRIVE APARTMENTS		CODE REQUIREMENT		SPACES
STUDIO	20	7%	1.0 SPACE PER UNIT	= 20
ONE BEDROOM	192	65%	1.0 SPACES PER UNIT	= 192
TWO BEDROOM	82	28%	1.5 SPACES PER UNIT	= 123
<b>TOTAL UNITS</b>	<b>294</b>			
ADA PARKING			1.0 SPACE/TYPE A UNIT	= 9
STANDARD ACCESSIBLE	9		2% OF TOTAL PARKING	= 7
VAN			1.0 SPACE/6 ACC. SPACES	= 3
<b>CITY REQUIRED PARKING</b>				<b>= 335</b>
<b>HUD REQUIRED PARKING (2% OF TOTAL PARKING + 1 SPACE/TYPE-A UNIT)</b>				<b>= 16</b>

### ZONING CONDITIONS

- THE FOLLOWING PRINCIPLE USES SHALL BE PROHIBITED ON THE PROPERTY: OUTDOOR SPORTS OR ENTERTAINMENT FACILITIES.  
NO OUTDOOR SPORTS OR ENTERTAINMENT FACILITIES ARE PROPOSED ON THE PROPERTY.
- THE EXTERIOR OF ALL BUILDINGS CONTAINING ANY RESIDENTIAL USE, EXCLUDING THE ROOF AND ANY WINDOW, DOOR, PORCH, OR OTHER OPENINGS, SHALL CONSIST OF ANY ONE, OR A COMBINATION OF, THE FOLLOWING MATERIALS: BRICK/MASONRY, CEMENTITIOUS MATERIAL, AND MIRATEK OR HARDEE MATERIAL. VINYL SIDING SHALL BE PROHIBITED ON ALL STRUCTURES ON THE PROPERTY.  
PROPOSED EXTERIOR MATERIALS CONSIST OF FIBER CEMENT PANEL SIDING AND BRICK VENEER.

### NOTES

- THE MINIMUM CORNER CLEARANCE FOR A DRIVEWAY FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCR OACH ON THIS MINIMUM CORNER CLEARANCE. RSDM SECTION 6.5.2.D.
- WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

### ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540 at least twenty four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



June 28, 2022

Jonathan Balderson  
One Glenwood Ave.  
Suite 201  
Raleigh, NC 27603

RE: Pacific Drive Apartments

Attn: Jonathan Balderson

This is a letter of support for trash and recycling services for your new facility Pacific Drive Apartments being planned at 2001 Pacific Drive, Raleigh, North Carolina. We have reviewed the plans and have found that GFL Environmental will be able to safely perform all needed services.

If the project design changes, this letter is void and a new letter must be issued. Additionally, this letter is non-transferable.

We want to visit the site during the initial phases of construction to ensure that the site will continue to be safe to service.

We look forward to providing waste and recycling services at your new property once it has been completed.

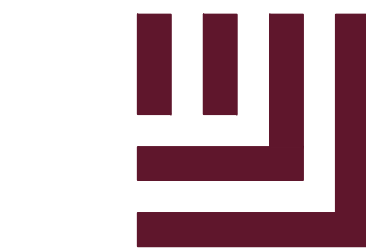
Should you have any questions or need more information, please contact me at [cbialek@glenv.com](mailto:cbialek@glenv.com).

Sincerely,

Christie Bialek  
Account Manager  
GFL Environmental – Raleigh  
3741 Conquest Drive  
Garner NC 27529  
(M) 919-449-1692

Cc : Adrienne Lowe

3301 Benson Drive, Suite 601, Raleigh, NC 27609  
Tel: 919-325-3000 ; [glenv.com](mailto:glenv.com)



McADAMS

The John R. McAdams Company, Inc.  
One Glenwood Avenue  
Suite 201  
Raleigh, NC 27603  
phone 919. 823. 4300  
fax 919. 361. 2269  
license number: C-0293, C-187

[www.mcadamsco.com](http://www.mcadamsco.com)

### CONTACT

JONATHAN BALDERSON  
[BALDERSON@mcadamsco.com](mailto:BALDERSON@mcadamsco.com)  
PHONE: 919. 287. 0815

### CLIENT

CORIGIN REAL ESTATE GROUP  
505 FIFTH AVENUE  
NEW YORK, NEW YORK 10017



### PROJECT DIRECTORY

DEVELOPER  
CORIGIN REAL ESTATE GROUP  
505 FIFTH AVENUE  
NEW YORK, NEW YORK

LAND PLANNING, ENGINEER &  
LANDSCAPE ARCHITECTURE  
MCADAMS CO  
ONE GLENWOOD AVE  
RALEIGH, NORTH CAROLINA 27603

ARCHITECT  
SGA|NARMOUR WRITE DESIGN  
1815 S TRYON STREET  
SUITE A  
CHARLOTTE, NC 28203

### REVISIONS

NO.	DATE	
1.	06.01.2022	RESPONSE TO 1ST C.O.R. COMMENTS
2.	07.15.2022	RESPONSE TO 2ND C.O.R.COMMENTS
3.	08.25.2022	RESPONSE TO 3RD C.O.R.COMMENTS

### ADMINISTRATIVE SITE REVIEW FOR:

PACIFIC DRIVE APARTMENTS 2001  
PACIFIC DRIVE  
RALEIGH, NORTH CAROLINA, 27604  
PROJECT NUMBER: 202011199

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





McAdams

The John R. McAdams Company, Inc.  
One Glenwood Avenue  
Suite 201  
Raleigh, NC 27603  
phone 919. 823. 4300  
fax 919. 361. 2269  
license number: C-0293, C-187

www.mcadamsco.com

#### CLIENT

CORIGIN REAL ESTATE GROUP  
500 FIFTH AVENUE  
NEW YORK, NEW YORK 10017

corigin

## PACIFIC DRIVE APARTMENTS ADMINISTRATIVE SITE REVIEW

2001 PACIFIC DRIVE  
RALEIGH, NORTH CAROLINA, 27604

#### REVISIONS

NO.	DATE	REVISION
1	06.03.2022	RESPONSE TO 1ST C.O.R. COMMENTS
2	07.15.2022	RESPONSE TO 2ND C.O.R. COMMENTS
3	08.25.2022	RESPONSE TO 3RD C.O.R. COMMENTS

#### PLAN INFORMATION

PROJECT NO.	2020110394
FILENAME	CGN2020110394-ASR-S1
CHECKED BY	LJV
DRAWN BY	ILP
SCALE	1" = 40'
DATE	12.10.2021

#### SHEET

#### SITE PLAN

C2.00

#### GENERAL NOTES:

GEOTECHNICAL ENGINEER TO BE ONSITE TO EVALUATE THE FIRE ACCESS BASE COURSE DURING CONSTRUCTION AND PROVIDE REPORTS TO DOCUMENT THE INSTALLATION. CONTRACTOR WILL PROVIDE THE DOCUMENTS TO RALEIGH FIRE DEPARTMENT.

#### SITE LEGEND

	SIGNAGE		PROPERTY LINE
	YARD LIGHTS		RIGHT-OF-WAY LINE
	LIGHT POLE		LOT LINE
	POWER POLE		EASEMENT LINE
	TRAFFIC DIRECTIONAL ARROW		CENTERLINE
	ACCESSIBLE PARKING STALL		FENCE
	VAN ACCESSIBLE PARKING STALL		TREE PROTECTION FENCE
	PARKING SPACE COUNT		HEAVY DUTY ASPHALT PAVEMENT
	ACCESSIBLE RAMPS		PROPOSED PAVEMENT
	ACCESSIBLE ROUTE		TREE CONSERVATION AREA
	PHASE LINE		

CSX RAILWAY  
RIGHT OF WAY WIDTH VARIES

N/F  
ATLANTIC 4601 LLC  
PIN: 1716637026  
DB: 2968 PG. 634  
4812 OLD WAKE FOREST RD.  
ZONING: IX-3-PL  
LAND USE: HORTICULTURE

N/F  
4501 ATLANTIC AVENUE LLC  
PIN: 1716728617  
DB: 16214 PG. 676  
4501 ATLANTIC AVE.  
ZONING: IX-3-PL  
LAND USE: COMMERCIAL

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH AND NCDOT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

M:\Projects\CEG\2020110394\04-Production\Engineering\Construction\Drawings\Current\Drawings\CGN2020110394-ASR-S1.dwg, 8/25/2022 12:56:38 PM, Bella Patrosino



Progress Drawings

Not for pricing,  
permitting or  
construction. If used  
for estimating, it must  
be understood by all  
that the drawings and  
specifications at this  
point in time are  
incomplete and  
cannot be assumed to  
be the basis for  
correct budgeting or  
bidding.

PACIFIC DRIVE APARTMENTS

RALEIGH, NC

PROJECT NUMBER:  
20-151-01  
ISSUE DATE:  
7/13/2022  
DRAWN BY: LW  
CHECKED BY: RC

PACIFIC DRIVE ASR  
SGA | NW DESIGN PROJECT NUMBER  
20-151-01

Revision Schedule		
#	Description	Date

BUILDING TYPE I  
ELEVATIONS

A201

THIS PRELIMINARY DESIGN IS FOR ILLUSTRATIVE PURPOSES ONLY. THE  
DESIGN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.



3 BUILDING 1 - WEST ELEVATION  
1/8" = 1'-0"



2 BUILDING 1 - NORTH ELEVATION  
1/8" = 1'-0"



1 BUILDING 1 - EAST ELEVATION  
1/8" = 1'-0"



THESE DOCUMENTS PROVIDED BY SGA | NARMOURWRIGHT  
DESIGN ARE SUBJECT TO THE ARCHITECTURAL WORKS  
COPYRIGHT PROTECTION ACT AS INTELLECTUAL PROPERTY.  
SIMILAR PROTECTION IS ALSO APPLICABLE TO ELECTRONIC  
INFORMATION IN ANY FORM. THE USE OF THESE  
DOCUMENTS OR THE ELECTRONIC INFORMATION THAT  
PRODUCES THEM IS PROHIBITED UNLESS OTHERWISE  
PROVIDED IN WRITING BY AND COMPENSATION TO THE  
ARCHITECT.

Progress Drawings

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PACIFIC DRIVE APARTMENTS  
RALEIGH, NC

PROJECT NUMBER:  
20-151-01  
ISSUE DATE:  
7/13/2022  
DRAWN BY: LW  
CHECKED BY: RC

PACIFIC DRIVE ASR  
SGA | NW DESIGN PROJECT NUMBER  
20-151-01

Revision Schedule

#	Description	Date
---	-------------	------

BUILDING TYPE I  
ELEVATIONS

A201a

THIS PRELIMINARY DESIGN IS FOR ILLUSTRATIVE PURPOSES ONLY. THE DESIGN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE



1 BUILDING I - SOUTH ELEVATION  
1/8" = 1'-0"



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RALEIGH, NC

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20-151-01  
ISSUE DATE:  
7/13/2022  
DRAWN BY: LW  
CHECKED BY: RC

PACIFIC DRIVE ASR  
SGA | NW DESIGN PROJECT NUMBER  
20-151-01

Revision Schedule		
#	Description	Date

BUILDING TYPE II  
ELEVATIONS

A202

THIS PRELIMINARY DESIGN IS FOR ILLUSTRATIVE PURPOSES ONLY. THE  
DESIGN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.



1 BUILDING TYPE II - NORTH ELEVATION  
1/8" = 1'-0"



2 BUILDING TYPE II - EAST ELEVATION  
1/8" = 1'-0"



3 BUILDING TYPE II - SOUTH ELEVATION  
1/8" = 1'-0"



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PACIFIC DRIVE APARTMENTS  
RALEIGH, NC

PROJECT NUMBER:  
20-151-01  
ISSUE DATE:  
7/13/2022

DRAWN BY: LW  
CHECKED BY: RC

PACIFIC DRIVE ASR  
SGA | NW DESIGN PROJECT NUMBER  
20-151-01

Revision Schedule		
#	Description	Date

BUILDING TYPE II  
ELEVATIONS

A202a

THIS PRELIMINARY DESIGN IS FOR ILLUSTRATIVE PURPOSES ONLY. THE  
DESIGN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.



② BUILDING TYPE II- WEST ELEVATION  
1/8" = 1'-0"



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DOCUMENTS OR THE ELECTRONIC INFORMATION THAT  
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PROVIDED IN WRITING BY AND COMPENSATION TO THE  
ARCHITECT.

Progress Drawings

Not for pricing,  
permitting or  
construction. If used  
for estimating, it must  
be understood by all  
that the drawings and  
specifications at this  
point in time are  
incomplete and  
cannot be assumed to  
be the basis for  
correct budgeting or  
bidding.

PACIFIC DRIVE APARTMENTS  
RALEIGH, NC

PROJECT NUMBER:  
20-151-01  
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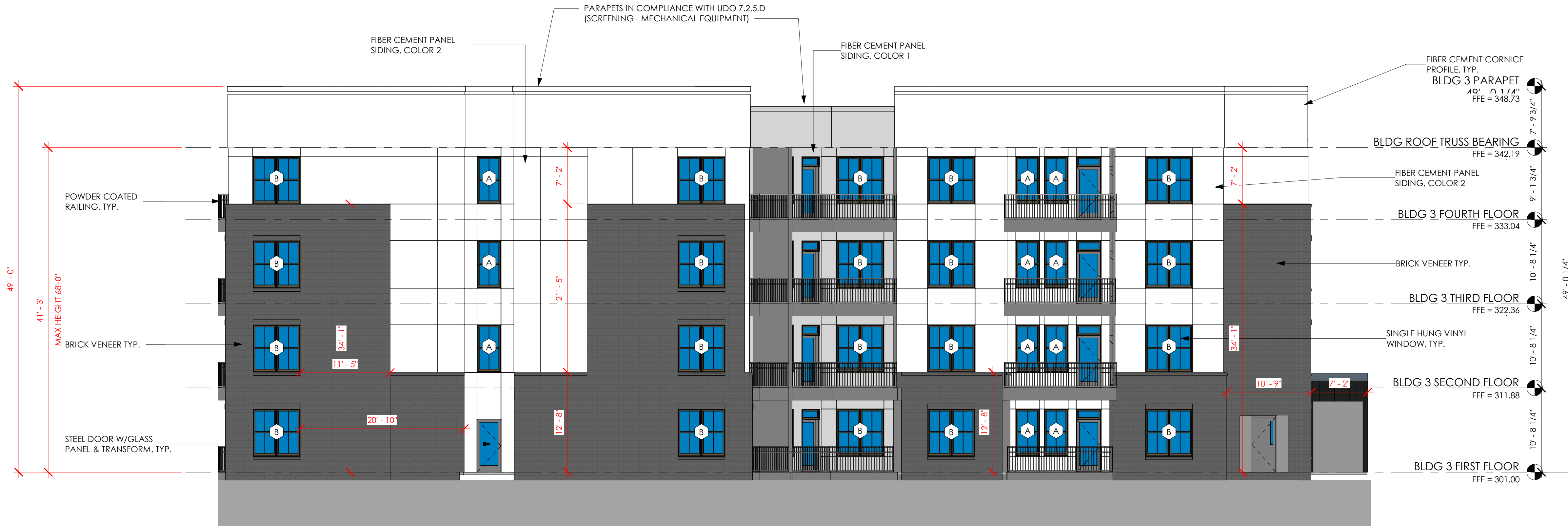
PACIFIC DRIVE ASR  
SGA | NW DESIGN PROJECT NUMBER  
20-151-01

Revision Schedule		
#	Description	Date

BUILDING TYPE III  
ELEVATIONS

A203

THIS PRELIMINARY DESIGN IS FOR ILLUSTRATIVE PURPOSES ONLY. THE  
DESIGN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.



② BUILDING TYPE III - NORTH ELEVATION  
1/8" = 1'-0"



① BUILDING TYPE III - WEST ELEVATION  
1/8" = 1'-0"



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Progress Drawings

Not for pricing, permitting or construction. If used for estimating, it must be understood by all that the drawings and specifications at this point in time are incomplete and cannot be assumed to be the basis for correct budgeting or bidding.

PACIFIC DRIVE APARTMENTS  
RALEIGH, NC

PROJECT NUMBER:  
20-151-01  
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PACIFIC DRIVE ASR  
SGA | NW DESIGN PROJECT NUMBER  
20-151-01

Revision Schedule		
#	Description	Date

BUILDING TYPE III  
ELEVATIONS

A203a

THIS PRELIMINARY DESIGN IS FOR ILLUSTRATIVE PURPOSES ONLY. THE DESIGN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.



② BUILDING TYPE III - SOUTH ELEVATION  
1/8" = 1'-0"



① BUILDING TYPE III - EAST ELEVATION  
1/8" = 1'-0"