



# Administrative Approval Action

Case File / Name: ASR-0103-2021  
DSLC - Pacific Drive Apartments

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This 10.56 acre site zoned RX-4-CU (Z-61-2020) is located on the north side of Pacific Drive and to the west of the intersection of Pacific Drive and Atlantic Avenue at 2001 Pacific Drive.

**REQUEST:** A multi-family apartment complex consisting of three buildings and 294 dwelling units and associated infrastructure. The total building size proposed is approximately 348,887 gross square feet.

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 25, 2022 by Mcadams.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **General**

1. Recordation of the subdivision plat (SUB-0009-2022) required prior to SPR approval
2. That all conditions of SUB-0009-2022 are satisfied.
3. That a functional alignment for Pacific Drive is included in the SPR drawings for SUB-0009-2022 and shown on the SPR drawings for this ASR.
4. All proposed fire lines shall have an approved backflow prevention device.
5. Any pool with any linear dimension greater 65 feet or with any area in excess of 4,000 square feet must be approved as special use permit in accordance with Sec. 10.2.9. Provide dimensions and square footage to proposed pool demonstrating compliance to 6.7.3 G 5.

### **Stormwater**

6. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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7. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
8. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

## Public Utilities

1. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.
2. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

## Stormwater

3. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
4. The City form document entitled Declaration of Maintenance Covenant and Grant of Protection Easement for Stormwater Control Facilities shall be approved by the City and recorded with the county register of deeds office (UDO 9.2.2.G).
5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
6. The maximum allocated impervious area for all applicable lots in the subdivision should be identified on all maps for recording.
7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## General



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1. THE EXTERIOR OF ALL BUILDINGS CONTAINING ANY RESIDENTIAL USE, EXCLUDING THE ROOF AND ANY WINDOW, DOOR, PORCH, OR OTHER OPENINGS, SHALL CONSIST OF ANY ONE, OR A COMBINATION OF, THE FOLLOWING MATERIALS: BRICK/MASONRY, CEMENTITIOUS MATERIAL, AND MIRATEK OR HARDEE MATERIAL. VINYL SIDING SHALL BE PROHIBITED ON ALL STRUCTURES ON THE PROPERTY (Z-61-2020, condition #2)
2. Street names for this development shall be approved by the Raleigh GIS Division and by Wake County.

## Engineering

3. A fee-in-lieu for Streets and sidewalks not extended to the property lines shall be paid to the City of Raleigh (UDO 8.1.10) as determined during the SPR approval.

## Public Utilities

4. A plat must be recorded at the Wake County Register of Deeds office for all utility easement dedications.
5. A Petition for Annexation into the City limits shall be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

## Urban Forestry

6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 8 street trees along Pacific Drive, and 24 street trees along proposed Street "A".
7. A public infrastructure surety for the 32 required street trees (8 along Pacific Dr and 24 along Proposed Street "A") shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

***The following are required prior to issuance of building occupancy permit:***

## General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

## Stormwater

3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).



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**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** October 5, 2025

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 10/05/2022  
Development Services Dir/Designee  
Staff Coordinator: Michael Walters





# CLIENT

CORIGIN REAL ESTATE GROUP  
500 FIFTH AVENUE  
NEW YORK, NEW YORK 10017



## PACIFIC DRIVE APARTMENTS ADMINISTRATIVE SITE REVIEW 2001 PACIFIC DRIVE RALEIGH, NORTH CAROLINA, 27604

# REVISIONS

| NO. | DATE       | DESCRIPTION                     |
|-----|------------|---------------------------------|
| 1   | 06.03.2022 | RESPONSE TO 357 C.O.R. COMMENTS |
| 2   | 07.15.2022 | RESPONSE TO 260 C.O.R. COMMENTS |
| 3   | 08.25.2022 | RESPONSE TO 380 C.O.R. COMMENTS |

# PLAN INFORMATION

PROJECT NO. 2020110394  
FILENAME CON2020110394.ASR-51  
CHECKED BY LJV  
DRAWN BY ILP  
SCALE 1" = 40'  
DATE 12.10.2021

# SHEET

## SITE PLAN

**C2.00**

# GENERAL NOTES:

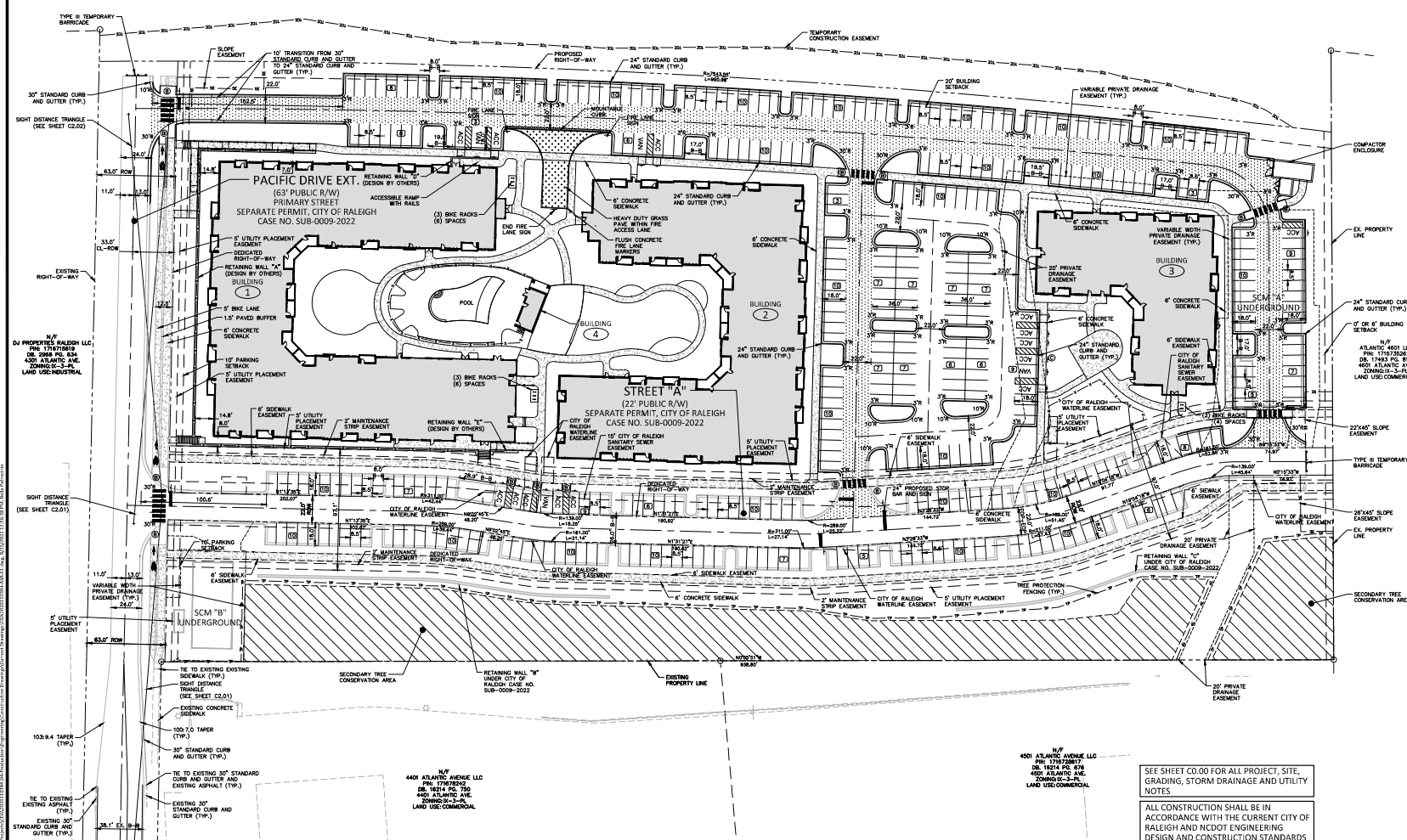
GEOTECHNICAL ENGINEER TO BE ON SITE TO EVALUATE THE TREE ACCESS BASE COURSE DURING CONSTRUCTION AND PROVIDE REPORTS TO DOCUMENT THE INSTALLATION. CONTRACTOR WILL PROVIDE THE DOCUMENTS TO RALEIGH FIRE DEPARTMENT.

# SITE LEGEND

|  |                              |  |                             |
|--|------------------------------|--|-----------------------------|
|  | SIGNAGE                      |  | PROPERTY LINE               |
|  | YARD LIGHTS                  |  | RIGHT-OF-WAY LINE           |
|  | LIGHT POLE                   |  | LOT LINE                    |
|  | POWER POLE                   |  | EASEMENT LINE               |
|  | TRAFFIC DIRECTIONAL ARROW    |  | CENTERLINE                  |
|  | ACCESSIBLE PARKING STALL     |  | FENCE                       |
|  | VAN ACCESSIBLE PARKING STALL |  | TREE PROTECTION FENCE       |
|  | PARKING SPACE COUNT          |  | HEAVY DUTY ASPHALT PAVEMENT |
|  | ACCESSIBLE RAMPS             |  | PROPOSED PAVEMENT           |
|  | ACCESSIBLE ROUTE             |  | TREE CONSERVATION AREA      |
|  | PHASE LINE                   |  |                             |

CSX RAILWAY  
RIGHT OF WAY WIDTH VARIES

N/E ATLANTIC 4601 LLC  
P/R 17/1675061  
DB 2008 PG 634  
4812 OLD WAVE FOREST RD.  
ZONING: O-3  
LAND USE: HORTICULTURE



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES  
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH AND NCDOT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**CLIENT**

CORIGIN REAL ESTATE GROUP  
500 FIFTH AVENUE  
NEW YORK, NEW YORK 10017

**corigin**

**PACIFIC DRIVE APARTMENTS  
ADMINISTRATIVE SITE REVIEW**  
2001 PACIFIC DRIVE  
RALEIGH, NORTH CAROLINA, 27604

**REVISIONS**

| NO. | DATE       | DESCRIPTION                     |
|-----|------------|---------------------------------|
| 1   | 06/01/2022 | RESPONSE TO 357 C.O.R. COMMENTS |
| 2   | 07/15/2022 | RESPONSE TO 260 C.O.R. COMMENTS |
| 3   | 08/25/2022 | RESPONSE TO 380 C.O.R. COMMENTS |

**PLAN INFORMATION**

PROJECT NO. 2020110394  
FILENAME CON2020110394-ASR-U1  
CHECKED BY LJV  
DRAWN BY ILP  
SCALE 1" = 40'  
DATE 12.10.2021  
**SHEET**

**UTILITY PLAN  
C4.00**

**UTILITY LEGEND**

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER METER
- WATER VALVE
- POST INDICATOR VALVE
- VALVE IN MANHOLE
- METER & VAULT
- BACKFLOW PREVENTER
- REDUCER
- PLUG
- BLOW-OFF ASSEMBLY
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- LINE BREAK SYMBOL
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEDGE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE

**SPRINKLER NOTE:**

BUILDINGS 2 AND 3 WILL BE EQUIPPED WITH SPRINKLER SYSTEMS OF NFPA 13B SYSTEM RATING. BUILDING 1 WILL BE EQUIPPED WITH A SPRINKLER SYSTEM OF NFPA 13 SYSTEM RATING.

**SANITARY SEWER NOTE:**

SANITARY SERVICE LINE SHALL HAVE A SANITARY CLEANOUT PLACED AT THE CITY OF RALEIGH PUBLIC SEWER EASEMENT BOUNDARY.

CSX RAILWAY  
RIGHT OF WAY WIDTH VARIES

N/E  
ATLANTIC 4601 LLC  
PIN: 176725045  
DB: 17453 PG: 814  
4601 ATLANTIC AVE.  
ZONING: 3-3-PL  
LAND USE: COMMERCIAL

EXISTING ROADWAY

TEMPORARY CONSTRUCTION EASEMENT

DEDICATED RIGHT-OF-WAY

VARIABLE WIDTH STORM DRAINAGE EASEMENT (TYP.)

COMPACTOR ENCLOSURE

EX. PROPERTY LINE

N/E  
ATLANTIC 4601 LLC  
PIN: 176725045  
DB: 17453 PG: 814  
4601 ATLANTIC AVE.  
ZONING: 3-3-PL  
LAND USE: COMMERCIAL

22' VAST SLOPE EASEMENT

8" BLOW-OFF ASSEMBLY

EX. PROPERTY LINE

8" BLOW-OFF ASSEMBLY

8" BLOW-OFF ASSEMBLY

8" BLOW-OFF ASSEMBLY

8" BLOW-OFF ASSEMBLY

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8" BLOW-OFF ASSEMBLY



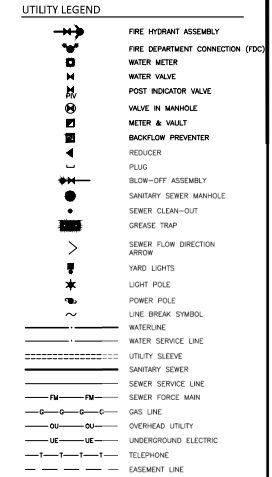
GRAPHIC SCALE  
1 inch = 40 ft.

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





**McADAMS**  
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**PACIFIC DRIVE APARTMENTS**  
ADMINISTRATIVE SITE REVIEW  
2001 PACIFIC DRIVE  
RALEIGH, NORTH CAROLINA, 27604

**REVISIONS**

| NO. | DATE       | DESCRIPTION                     |
|-----|------------|---------------------------------|
| 1   | 06.01.2022 | RESPONSE TO 3RD C.O.R. COMMENTS |
| 2   | 07.15.2022 | RESPONSE TO 2ND C.O.R. COMMENTS |
| 3   | 08.25.2022 | RESPONSE TO 3RD C.O.R. COMMENTS |

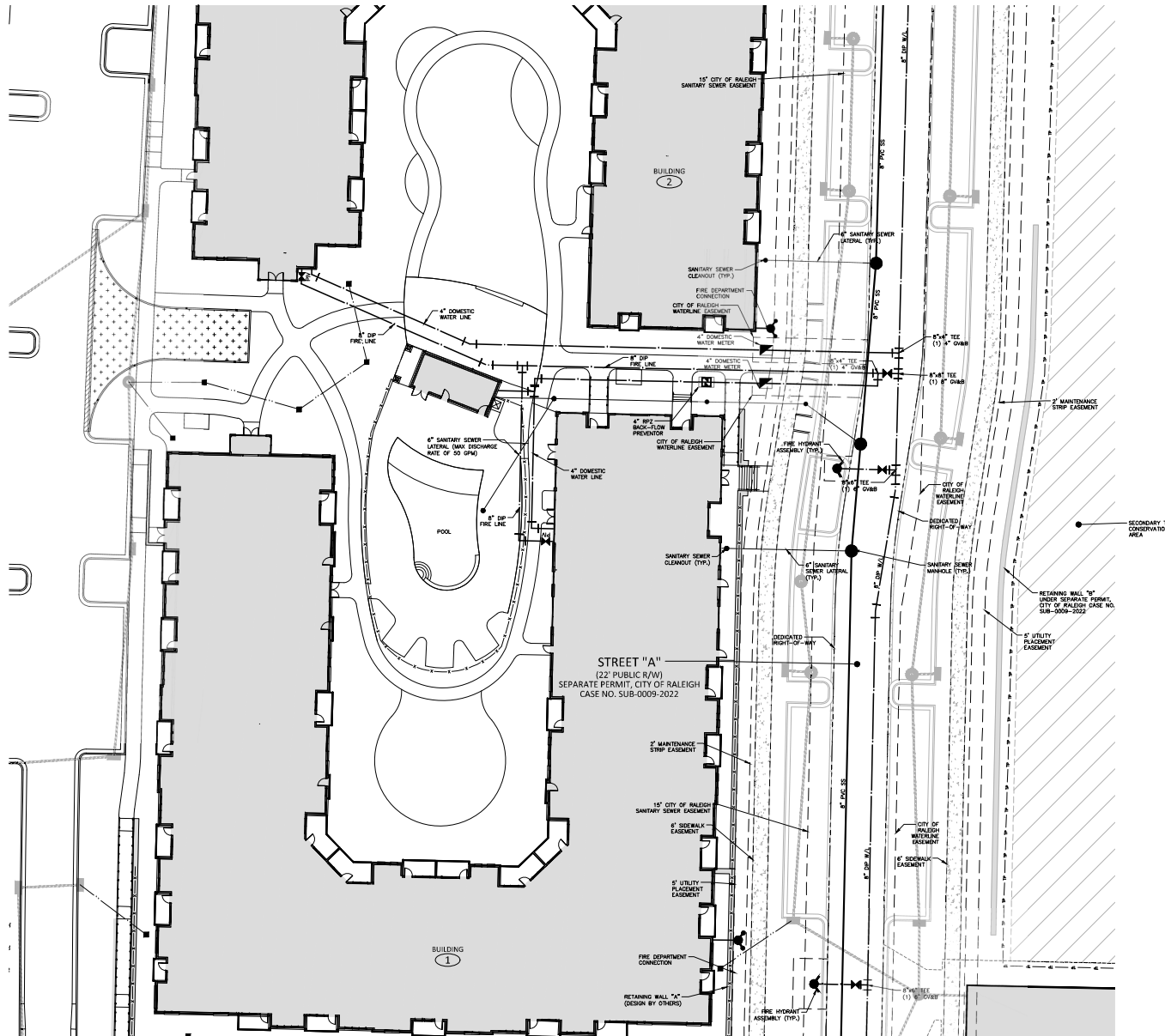
**PLAN INFORMATION**

|             |                      |
|-------------|----------------------|
| PROJECT NO. | 2020110394           |
| FILENAME    | CON2020110394-ASR-U1 |
| CHECKED BY  | LJV                  |
| DRAWN BY    | ILP                  |
| SCALE       | 1" = 20'             |
| DATE        | 12.10.2021           |

**DETAILED UTILITY PLAN**

**C4.01**

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



**SPRINKLER NOTE:**

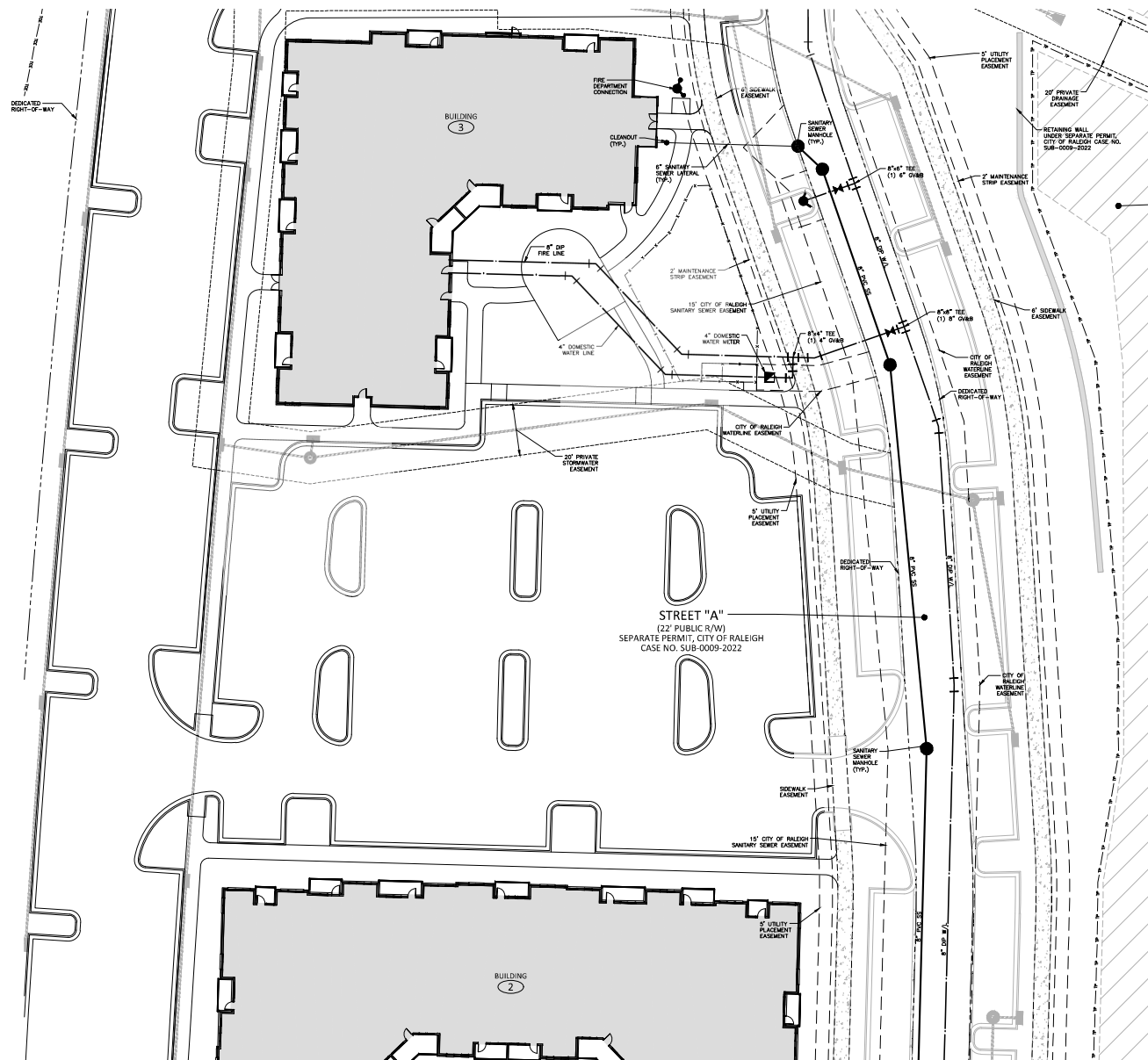
BUILDINGS 1 AND 2 WILL BE EQUIPPED WITH SPRINKLER SYSTEMS OF NFPA 13A SYSTEM RATINGS. BUILDING 1 WILL BE EQUIPPED WITH A SPRINKLER SYSTEM OF NFPA 13 SYSTEM RATING.

**SANITARY SEWER NOTE:**

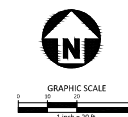
SANITARY SERVICE LINE SHALL HAVE A SANITARY CLEANOUT PLACED AT THE CITY OF RALEIGH PUBLIC SEWER EASEMENT BOUNDARY.

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| UTILITY LEGEND |                                  |
|----------------|----------------------------------|
|                | FIRE HYDRANT ASSEMBLY            |
|                | FIRE DEPARTMENT CONNECTION (FDC) |
|                | WATER METER                      |
|                | POST INDICATOR VALVE             |
|                | VALVE IN MANHOLE                 |
|                | METER & VAULT                    |
|                | BACKFLOW PREVENTER               |
|                | REDUCER                          |
|                | PLUG                             |
|                | BLOW-OFF ASSEMBLY                |
|                | SANITARY SEWER MANHOLE           |
|                | SEWER CLEAN-OUT                  |
|                | GREASE TRAP                      |
|                | SEWER FLOW DIRECTION ARROW       |
|                | YARD LIGHTS                      |
|                | LIGHT POLE                       |
|                | POWER POLE                       |
|                | LINE BREAK SYMBOL                |
|                | WATERLINE                        |
|                | WATER SERVICE LINE               |
|                | UTILITY SLEEVE                   |
|                | SANITARY SEWER                   |
|                | SEWER SERVICE LINE               |
|                | SEWER FORCE MAIN                 |
|                | GAS LINE                         |
|                | OVERHEAD UTILITY                 |
|                | UNDERGROUND ELECTRIC             |
|                | TELEPHONE                        |
|                | EASEMENT LINE                    |



#### SPRINKLER NOTE:

BUILDINGS 2 AND 3 WILL BE EQUIPPED WITH SPRINKLER SYSTEMS OF NFPA 13R SYSTEM RATINGS. BUILDING 1 WILL BE EQUIPPED WITH A SPRINKLER SYSTEM OF NFPA 13 SYSTEM RATING.

#### SANITARY SEWER NOTE:

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#### REVISIONS

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CHECKED BY LJV  
DRAWN BY ILP  
SCALE 1" = 20'  
DATE 12.10.2021

#### SHEET

#### DETAILED UTILITY PLAN

**C4.02**

# VEHICLE PARKING LOT CALCULATIONS:

PARKING LOT:  
TREES REQUIRED:  
TREES PROVIDED:  
C3 PROTECTIVE YARD:  
SHRUBS REQUIRED:  
SHRUBS PROVIDED:

# PLANT SCHEDULE

| TREES  | CODE | QTY | COMMON NAME               | BOTANICAL NAME              | DAL     | HEIGHT  | REMARKS |
|--------|------|-----|---------------------------|-----------------------------|---------|---------|---------|
|        | ACF  | 6   | Southern Sugar Maple      | Acer floridanum             | 3" min  | 10' min |         |
|        | ONU  | 6   | Nuttall Oak               | Quercus nuttallii           | 3" min  | 10' min |         |
|        | QUP  | 5   | Willow Oak                | Quercus phellos             | 3" min  | 10' min |         |
|        | QUS  | 14  | Shumard Red Oak           | Quercus shumardii           | 3" min  | 10' min |         |
|        | UAP  | 9   | American Elm              | Ulmus americana "Princeton" | 3" min  | 10' min |         |
| SHRUBS | CODE | QTY | COMMON NAME               | BOTANICAL NAME              | HEIGHT  | SPACING | REMARKS |
|        | ICNS | 26  | Needlepoint Chinese Holly | Ilex cornuta "Needlepoint"  | 24" min |         |         |

# PLANT SCHEDULE STREET TREES

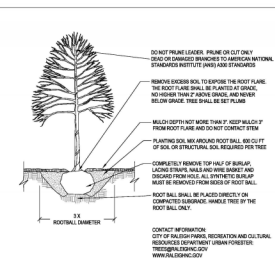
| TREES | CODE | QTY | COMMON NAME     | BOTANICAL NAME                  | DAL    | HEIGHT  | REMARKS |
|-------|------|-----|-----------------|---------------------------------|--------|---------|---------|
|       | ONU  | 14  | Nuttall Oak     | Quercus nuttallii               | 3" min | 10' min |         |
|       | QUP  | 28  | Willow Oak      | Quercus phellos                 | 3" min | 10' min |         |
|       | QUS  | 23  | Shumard Red Oak | Quercus shumardii               | 3" min | 10' min |         |
|       | UAP  | 14  | American Elm    | Ulmus americana "Princeton"     | 3" min | 10' min |         |
|       | ZSV  | 31  | Sawleaf Zeltova | Zeltova serrata "Village Green" | 3" min | 10' min |         |

NOTE: ABOVE PLANT SCHEDULE PER APPROVED SUB-0009-2022 LANDSCAPE PLAN

# NOTES:

- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY OF RALEIGH STREET TREE MANUAL. STREET TREES SHALL BE LOCATED NO CLOSER THAN 8' FROM STOP SIGNS, 8' FROM CURBS, 8' FROM SIDEWALKS, 8' FROM DRIVEWAYS, 8' FROM A FIRE HYDRANT AND 8' FROM ANY LIGHT POLES. SEE RALEIGH CITY TREE MANUAL FOR ADDITIONAL VARIATIONS. STREETSIDE TREES SHALL BE PLANTED TO THE STREET TIE.
- CONTRACTOR SHALL REPLACE ANY EXISTING STREET TREE WHICH IS DAMAGED OR DESTROYED DURING CONSTRUCTION WITH AN EQUAL SPECIES AND SIZE TO BE APPROVED BY LANDSCAPE ARCHITECT AND/OR CITY ENGINEER.
- ALL EXISTING STREET TREES AND THEIR CRITICAL ROOT ZONES SHALL BE PROTECTED TO THE MAXIMUM EXTENT POSSIBLE THROUGHOUT CONSTRUCTION.
- ALL TREE LOCATED WITHIN 8' OF THE STREET SHALL BE MAINTAINED UP TO A MINIMUM OF 4' ABOVE THE STREET GRADE.
- A TREE IMPACT PLANT SHALL BE REQUIRED BEFORE THE INSTALLATION OF ANY TREES IN THE RIGHT-OF-WAY.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



- NOTES:
- TREES MUST MEET THE TREE QUALITY STANDARDS IN ALL OF THE CITY TREE MANUAL.
  - CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. POSITIVE DRAINAGE AWAY FROM TREE.
  - TREES SHALL BE PLANTED BETWEEN EXISTING TREES AND 4' FROM CURB.
  - A TREE IMPACT PERMIT IS REQUIRED. IMMEDIATELY REMOVED THE TREES.
  - IF STANDING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STANDING TREES BE REMOVED WITHIN ONE YEAR.
  - TREES SHALL HAVE A MINIMUM 4' VERTICAL CLEARANCE AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

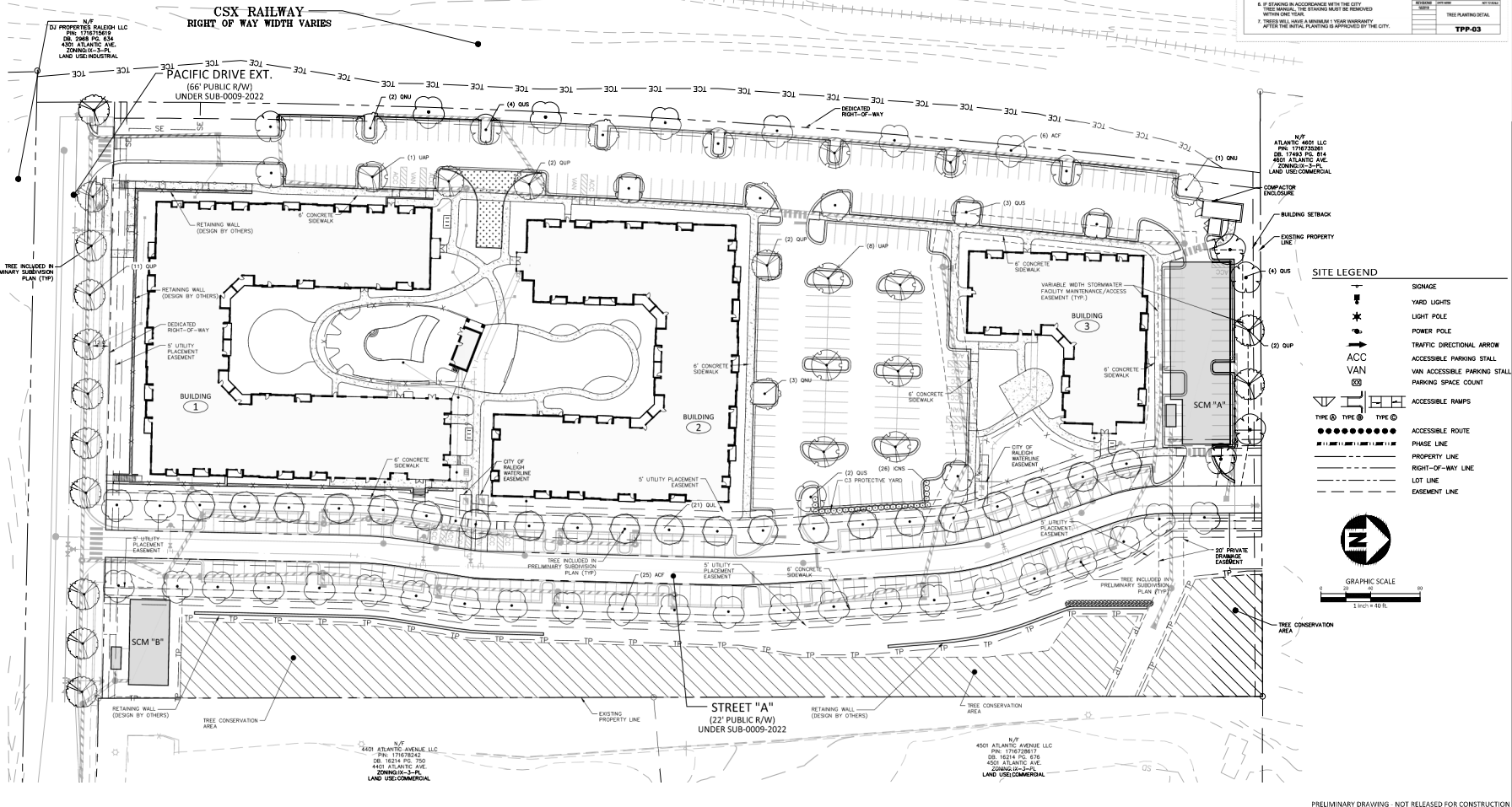
CITY OF RALEIGH  
STANDARD SPECIFICATIONS  
TREES  
TYP-03

# STREET TREE CALCULATIONS:

STREET TREES:  
PACIFIC DRIVE EXTENSION (NORTH SIDE):  
STREET TREES REQUIRED:  
STREET TREES PROVIDED:

STREET "A" BOTH SIDES:  
STREET TREES REQUIRED:  
STREET TREES PROVIDED:

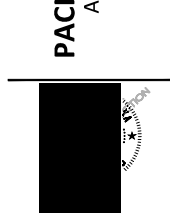
STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY STREET MANUAL.



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| 2   | 07/15/2022 | RESPONSE TO 260 C.O.R. COMMENTS |
| 3   | 08/25/2022 | RESPONSE TO 380 C.O.R. COMMENTS |

PLAN INFORMATION

|             |                       |
|-------------|-----------------------|
| PROJECT NO. | 2020110394            |
| FILENAME    | CON2020110394-ASR-L5R |
| CHECKED BY  | JGY                   |
| DRAWN BY    | ALM                   |
| SCALE       | 1" = 40'              |
| DATE        | 12.10.2021            |

**LANDSCAPE PLAN  
L5.00**

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

Progress Drawings

Not for pricing, permitting or construction. If used for estimating, it must be understood by all that the drawings and specifications at this point in time are incomplete and cannot be assumed to be the basis for correct budgeting or bidding.

PACIFIC DRIVE APARTMENTS  
RALEIGH, NC

PROJECT NUMBER:  
20-151-01  
ISSUE DATE:  
7/15/2022  
DRAWN BY: LW  
CHECKED BY: RC

PACIFIC DRIVE ASR  
SGA | NW DESIGN PROJECT NUMBER  
20-151-01

| Revision Schedule |             |      |
|-------------------|-------------|------|
| #                 | Description | Date |

BUILDING TYPE I  
ELEVATIONS

A201





Progress Drawings

Not for pricing,  
permitting or  
construction. If used  
for estimating, it must  
be understood by all  
that the drawings and  
specifications at this  
point in time are  
incomplete and  
cannot be assumed to  
be the basis for  
correct budgeting or  
bidding.

PACIFIC DRIVE APARTMENTS  
RALEIGH, NC

PROJECT NUMBER:  
20-151-01  
ISSUE DATE:  
7/13/2022  
DRAWN BY: LW  
CHECKED BY: RC

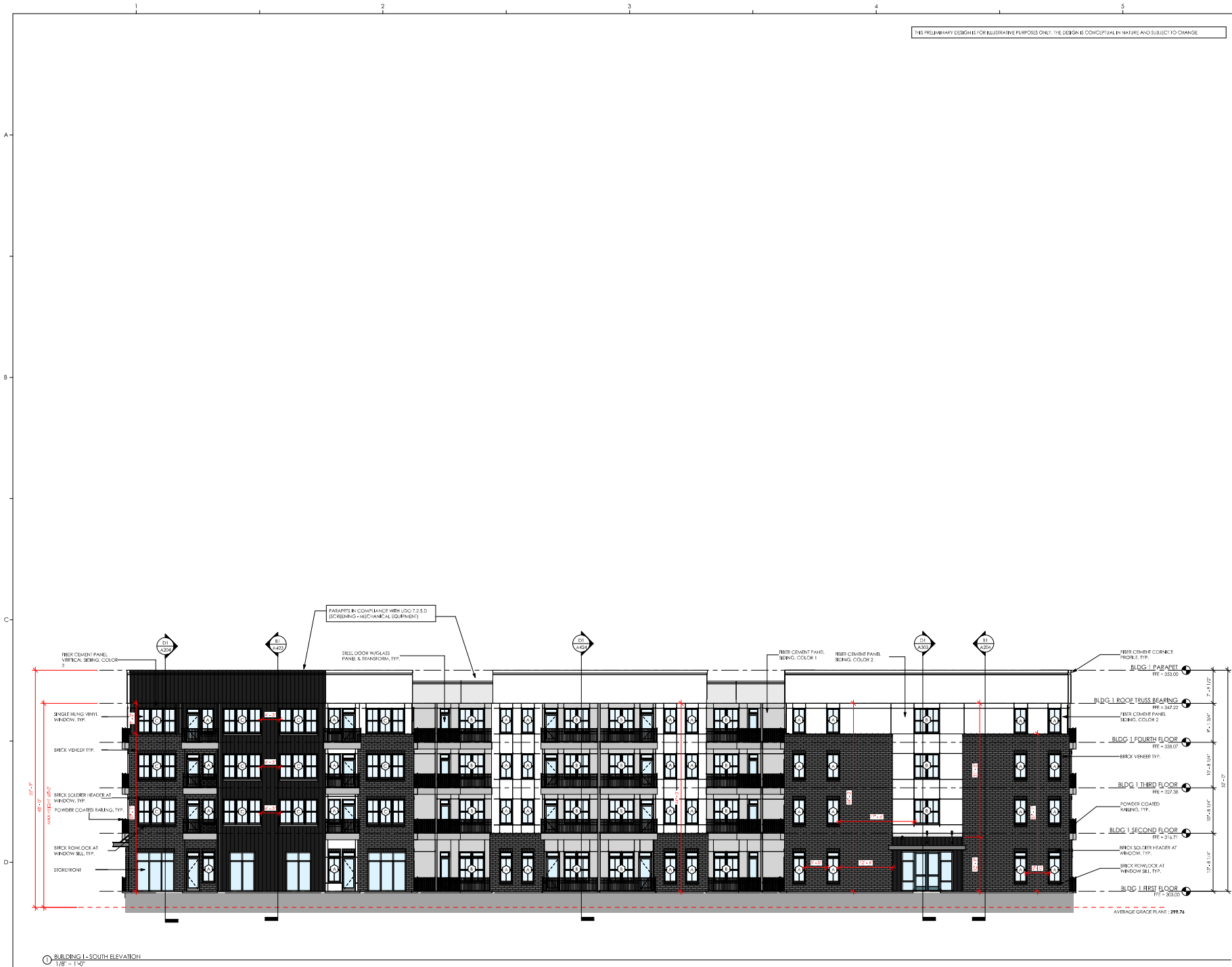
PACIFIC DRIVE ASR  
SGA | NW DESIGN PROJECT NUMBER  
20-151-01

| Revision Schedule |             |      |
|-------------------|-------------|------|
| #                 | Description | Date |

BUILDING TYPE I  
ELEVATIONS

A201a

THIS PRELIMINARY DESIGN IS FOR ILLUSTRATIVE PURPOSES ONLY. THE DESIGN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.



BUILDING I - SOUTH ELEVATION  
1/8" = 1'-0"





Progress Drawings

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PACIFIC DRIVE APARTMENTS  
RALEIGH, NC

PROJECT NUMBER:  
20-151-01  
ISSUE DATE:  
7/13/2022  
DRAWN BY: LW  
CHECKED BY: RC

PACIFIC DRIVE ASR  
SGA | NW DESIGN PROJECT NUMBER  
20-151-01

| Revision Schedule |             |      |
|-------------------|-------------|------|
| #                 | Description | Date |

BUILDING TYPE II  
ELEVATIONS

A202

PROJECT NUMBER:  
20-151-01  
ISSUE DATE:  
7/13/2022  
DRAWN BY: LW  
CHECKED BY: RC

| Revision Schedule |             |      |
|-------------------|-------------|------|
| #                 | Description | Date |

**A202a**

Progress Drawings

Not for pricing, permitting or construction. If used for estimating, it must be understood by all that the drawings and specifications at this point in time are incomplete and cannot be assumed to be the basis for correct budgeting or bidding.

PACIFIC DRIVE APARTMENTS  
RALEIGH, NC

PROJECT NUMBER:  
20-151-01  
ISSUE DATE:  
7/13/2022  
DRAWN BY: LW  
CHECKED BY: RC

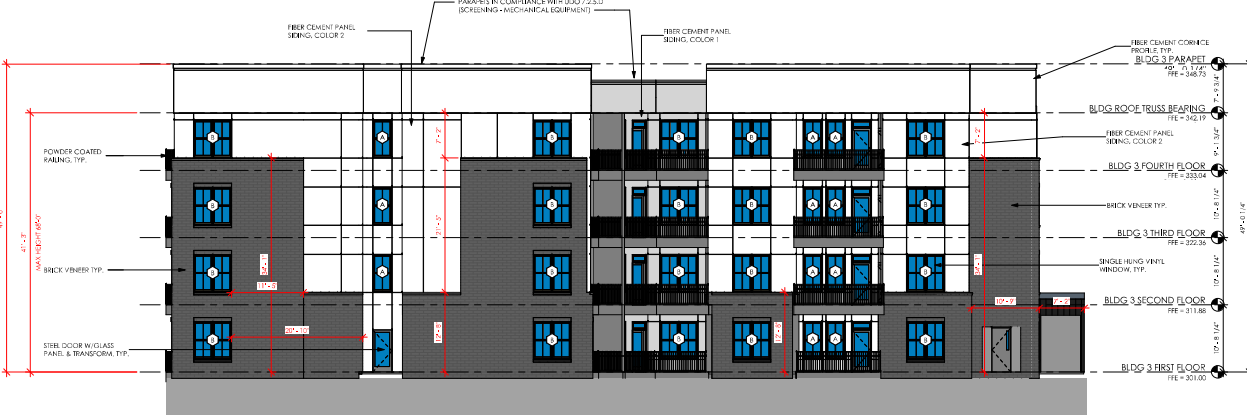
PACIFIC DRIVE ASR  
SGA | NW DESIGN PROJECT NUMBER  
20-151-01

| Revision Schedule |             |      |
|-------------------|-------------|------|
| #                 | Description | Date |

BUILDING TYPE III  
ELEVATIONS

A203

THE PRELIMINARY DESIGN IS FOR ILLUSTRATIVE PURPOSES ONLY. THE DESIGN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE.



2 BUILDING TYPE III - NORTH ELEVATION  
1/8" = 1'-0"



1 BUILDING TYPE III - WEST ELEVATION  
1/8" = 1'-0"

Not for pricing, permitting or construction. If used for estimating, it must be understood by all that the drawings and specifications at this point in time are incomplete and cannot be assumed to be the basis for correct budgeting or bidding.

## A203a

