



Administrative Approval Action

Case File / Name: ASR-0106-2022
DSLC - Bloomsbury Apartments

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the north side of W. Hargett Street, south of Hillsborough Street at 121 & 131 S. Boylan Avenue.

REQUEST: Development of a 0.67 acre/29,001 sf tract, zoned DX-20-UL CU. A proposed 20 story mixed-use building with 259 residential units in 411,657 sf. The proposed building includes a 139,912 sf parking deck with 268,305 sf of residential space, 3,265 sf of Restaurant & 175 sf for Personal Services - Dog Wash.

Z-22-22 - South Boylan Avenue - rezoning to DX-20-UL. Adopted 10/18/22 and Effective 10/23/22.

DA-5-2023 - Approved 7/6/23. Reduce the 200'ft driveway space; relief from cross access requirement and reduction of transparency design requirements per UDO Sec.3.2.6.F and Sec.1.5.9 in the building zones; complete relief from 12'ft stepback requirements of Sec.3.3.3 and louver parking structure screening per Sec.7.2.5.F.2.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated December 8, 2023 by McAdams.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Applicant revises the elevation sheets Z4.01-Z4.02 and spot grade the Post-Development grades as shown on the grade table, along Boylan and Hargett St.
2. Applicant updates and demonstrates compliance with the additional amenity design features for Urban Frontages in -DX district, per UDO Sec.1.5.3.C. These features are shown on sheet Z1.04.

Engineering



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3. An encroachment submittal for bike rack and grease trap within the public right-of-way shall be approved by City Council. The executed encroachment agreement shall be filed with the Development Services Department for the approval by City and returned to the Owner. The Owner is responsible to record the executed encroachment agreement with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.

Public Utilities

4. A Downstream Sewer Capacity Study in compliance with the City of Raleigh Public Utilities Department Handbook shall be submitted by the Project Engineer for review and approval.

Stormwater

5. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
6. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

8. A tree impact permit for the removal of 5 existing street trees in the right-of-way along W. Hargett Street must be obtained with the issuance of a demolition permit or a grading permit, whichever comes first.

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering



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2. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
3. A sight distance easement shall be approved by the Transportation Department for recording in the Wake County Registry and shown on a plat approved for recordation.
4. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.

Public Utilities

5. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

6. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
7. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Comply with all conditions of Z-22-22.
2. A demolition permit shall be obtained.
3. A recombination map shall be recorded, recombining the existing lots into a single tract.

Stormwater



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4. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).
5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

Urban Forestry

6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees in tree grates along S. Boylan Avenue, 3 street trees in tree grates along W. Hargett Street, and 1 street tree in a tree lawn along W. Hargett Street for a total of 8 street trees.
7. A public infrastructure surety for 7 street trees in tree grates and 1 street tree in a tree lawn shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right-of-way street trees by Urban Forestry Staff.
2. All street lights and street signs required as part of the development approval are installed.

Stormwater

3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: January 10, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified



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time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 01/10/2024
Development Services Dir/Designee
Staff Coordinator: **Jermont Purifoy**

BLOOMSBURY MIXED USE

ADMINISTRATIVE SITE REVIEW 121 & 131 SOUTH BOYLAN AVENUE RALEIGH, NORTH CAROLINA 27603 PROJECT NUMBER: 2020110291 CITY OF RALEIGH CASE #: ASR-0106-2022

DATE: 11.14.2022
REVISED: 03.03.2023
REVISED: 05.17.2023
REVISED: 12.08.2023

Administrative Site Review Application

Form ASD-100 (Rev. 10/2019) - Administrative Site Review Application - Form ASD-100 (Rev. 10/2019)

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 15.2. Please check the appropriate building type and include the plan number on the following information.

Effective Date: 01/01/2020

Please review UDO Section 15.2.2 to determine the site plan fee. If assistance determining a Site Plan Fee is needed, please contact the Planning Department at (919) 977-2200.

Site Plan Fee: \$1,000.00

Building and Development Type: ☒ General

Site Transmittal History: ☒ Submittal

General Information: ☒ Submittal

General Information: ☒ Submittal

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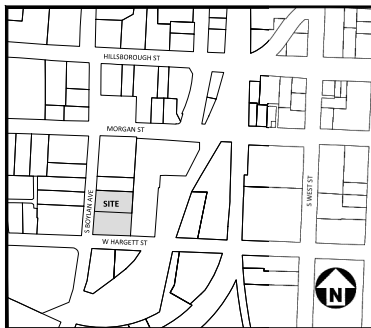
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VICINITY MAP
N.T.S.

SOLID WASTE COMPLIANCE STATEMENT:

- THE DEVELOPMENT WILL UTILIZE A PRIVATE WASTE HAULER FOR SOLID WASTE AND RECYCLING.
- FACILITIES WILL BE LOCATED AND SERVED FROM WITHIN THE PARKING GARAGE.
- WILL SERVICE LETTER IS LOCATED ON SHEET CD.00, APPROVAL FROM SOLID WASTE SERVICES HAS BEEN OBTAINED TO THE PLANNER.



Know what's below.
Call before you dig.

SITE DATA	
121 & 131 S. BOYLAN AVENUE, RALEIGH NORTH CAROLINA 27603	
PARCEL PIN NUMBER: 170348366 & 170348357	
EXISTING ZONING: DM-20-15-CU - DOWNTOWN MIXED USE, 20 STORY, URBAN LIMITED FRONTAGE, CONDITIONAL USE	
STREETSCAPE TYPE: NA	
OVERLAY DISTRICT: NA	
BLOCK PERIMETER: 2,000 FT	
EXISTING BLOCK: 2,780 FT (BLOCK WAS CREATED PRIOR TO SEPT 2013 AND IS LESS THAN 100% OF THE MINIMUM - UDO SEC. 8.2.3.2.1.4.W)	
WATERSHED: WALNUT CREEK	
FLOODPLAIN/FIRM PANEL: NA	
SITE AREA: 25,000 SF / 0.57 AC (EXISTING)	
2,133 SF / 0.048 AC (NEW DEDICATION)	
26,878 SF / 0.62 AC (PROPOSED, NET AREA AFTER R/W DEDICATION)	
EXISTING BUILDING TYPE: MULTI-FAMILY RESIDENTIAL	
PROPOSED BUILDING TYPES: MIXED-USE	
EXISTING USE: MIXED-USE: MIXED UNIT LIVING, RESTAURANT, AND PERSONAL SERVICE	
PROPOSED USE: STUDIO UNITS 90 ONE BEDROOM 114 TWO BEDROOM 55 TOTAL 259 UNITS	
PROPOSED BUILDING AREA: RESIDENTIAL: 268,305 SF RESTAURANT: 3,265 SF PARKING: 139,952 SF TOTAL: 411,522 SF	
PARKING DATA: VEHICLE PARKING	
STANDING REQUIREMENT: MAXIMUM ALLOWABLE PARKING IN DM-20-15-CU (UDO SEC. 7.1.3.A.1.3) STANDING/RED - 1.5 SF / UNIT, 204 UNITS + 306 SPACES OTHER UNITS - 2.0 SF / UNIT, 55 UNITS + 110 SPACES MAXIMUM ALLOWABLE PARKING FOR NON-RESIDENTIAL USES (PER UDO SEC. 7.1.3.C.1) RESTAURANT - 1.5 SF / 100 SF, 3,262 SF + 33 SPACES TOTAL ALLOWABLE PARKING SPACES + 440 SPACES PARKING PROVIDED (8 LEVELS OF STRUCTURED PARKING): 823 SPACES	
COMPACT SPACES: 30% ALLOWABLE + 127 SPACES 24 COMPACT PROVIDED	
ACCESSIBLE PARKING: REQUIRED: GARAGE LEVELS: 8 TOTAL ACCESSIBLE (2 VAN) PROVIDED: GARAGE LEVELS: 9 TOTAL ACCESSIBLE (2 VAN)	
BIKE PARKING: REQUIRED: 12 SHORT TERM, 40 LONG TERM SPACES RESIDENTIAL: 13 SHORT TERM, 40 LONG TERM RESTAURANT: 4 SHORT TERM, 4 LONG TERM PROVIDED: 14 SHORT TERM (ON THE SITE) 40 LONG TERM IN THE PARKING DECK (SEE SHEET 21.03)	
BUILDING - PARKING SETBACK: BUILDING SETBACKS: FROM PRIMARY STREET (MIN): 0' PER UDO SEC. 3.2.4.7 FROM SIDE STREET (MIN): 0' PER UDO SEC. 3.2.4.7 FROM SIDE LOT LINE (MIN): 0' OR 6' PER UDO SEC. 3.2.6.8 FROM REAR LOT LINE (MIN): 0' OR 6' PER UDO SEC. 3.2.6.8 FROM ALLEY (MIN): 5' PER UDO SEC. 3.2.6.8	
PARKING SETBACKS: FROM PRIMARY STREET (MIN): 30' PER UDO SEC. 3.2.6.2 FROM SIDE STREET (MIN): 10' PER UDO SEC. 3.2.6.2 FROM SIDE LOT LINE (MIN): 0' OR 6' PER UDO SEC. 3.2.6.2 FROM REAR LOT LINE (MIN): 0' OR 3' PER UDO SEC. 3.2.6.2 FROM ALLEY (MIN): 0' PER UDO SEC. 3.2.6.2	
URBAN LIMITED FRONTAGE REQUIREMENTS: BUILD-TO: PRIMARY STREET BUILD-TO: 0' / 20' BUILDING WIDTH IN PRIMARY BUILD-TO: 50%	
BUILDING SETBACKS: BUILDING SETBACKS: FROM PRIMARY STREET (MIN): 0' / 20' FROM SIDE STREET (MIN): 0' / 20' FROM SIDE LOT LINE (MIN): 0' / 20' FROM REAR LOT LINE (MIN): 0' / 20' FROM ALLEY (MIN): 0' / 20'	
BUILDING HEIGHT: BUILDING HEIGHT: MAXIMUM ALLOWED: 20 STORIES PROPOSED: 20 STORIES	
OUTDOOR AMENITY AREA: REQUIRED: 10% OF NET SITE AREA + 50 SF FOR LEVELS ABOVE 71 + 2,688 SF + 650 SF + 3,338 SF W/ 1,600 SF REQUIRED AT GRADE (50% OF THE REQUIRED) PROPOSED: AT GRADE (MIN 50% OF REQUIRED) 1,758 SF TOTAL AMENITY: 4,427 SF	
TREE CONSERVATION: PER UDO SECTION 9.2.2 TREE CONSERVATION IS NOT REQUIRED FOR SITES LESS THAN TWO ACRES IN SIZE.	

SHEET INDEX

	PROJECT NOTES
C0.00	EXISTING CONDITIONS
C1.00	DEMOLITION PLAN
C2.01	SITE PLAN - BASEMENT
C2.01	SITE PLAN - FIRST FLOOR
C3.00	GRADING & STORM DRAINAGE PLAN
C3.01	SCM DETAILS
C4.00	UTILITY PLAN
C8.00	SITE DETAILS
L5.00	LANDSCAPE PLAN
L6.01	LANDSCAPE NOTES & DETAILS
L6.01	LIGHTING PLAN
Z1.01	LEVEL B PLAN
Z1.02	LEVEL 1 PLAN
Z1.03	LEVEL 2-7 PLAN
Z1.04	LEVEL 8-20 PLAN
Z1.05	ROOF PLAN
Z4.01	OVERALL BUILDING ELEVATIONS - WEST
Z4.02	OVERALL BUILDING ELEVATIONS - SOUTH
Z4.03	OVERALL BUILDING ELEVATIONS - EAST
Z4.04	OVERALL BUILDING ELEVATIONS - NORTH
Z4.05	PERSPECTIVE VIEWS
Z4.06	MASSING
Z4.07	SUN STUDY

Trip Generation Summary											
Code	Land Use	Density	Unit	Enter	Exit	Total	Enter	Exit	Total	Enter	Exit
222	Multi-Family Housing (High-Rise)	259	Units	676	676	1351	20	56	76	56	34
612	High-Rise Office	3,265	SF	176	176	352	17	14	31	16	12
Total Trips				851	849	1700	37	70	107	74	46
Internal Capture (75% AT 5.0% PMU)				0	0	0	0	0	0	0	0
Total External Trips				851	849	1700	37	70	107	74	46
Pass-By Trips (HTSD 43% PMU)				0	0	0	0	0	0	0	0
Total Primary Trips				851	849	1700	37	70	107	74	46

SOLID WASTE COMPLIANCE STATEMENT:
DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

PER TC-SA-18 AND SEC. 1.5.4.C, THE PRIMARY STREET DESIGNATION SHALL BE BOYLAN AVE. AND WEST HARGETT ST.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCOT STANDARDS, SPECIFICATIONS AND DETAILS.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



The John R. McAdams Company, Inc.
621 Hillsborough Street
Suite 500
Raleigh, NC 27603
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CONTACT

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Phone: 919.244.9528

CLIENT

NEARI COLEMAN ASSOCIATES
115 S. SAINT MARYS STREET
RALEIGH, NC 27603
PHONE: 919.828.4808

PROJECT DIRECTORY

CIVIL ENGINEER + LAND PLANNING
MCADAMS
621 HILLSBOROUGH STREET, SUITE 500
RALEIGH NC, 27603

ARCHITECT

BB + M ARCHITECTURE
1900 W MOREHEAD STREET, SUITE 200
CHARLOTTE NC, 28208

REVISIONS

NO.	DATE	REVISION
1	03.03.2023	REVISED PER COR 1ST REVIEW COMMENTS
2	05.17.2023	REVISED PER COR 2ND REVIEW COMMENTS
3	12.08.2023	REVISED PER COR 3RD REVIEW COMMENTS

ADMINISTRATIVE SITE REVIEW FOR:

BLOOMSBURY MIXED-USE
RALEIGH, NORTH CAROLINA 27603
PROJECT NUMBER: 2020110291

SITE PLAN NOTES

1. NON-ALLEY LOADED DRIVEWAYS MAY INTERSECT A STREET NO CLOSER THAN 20 FEET FROM THE INTERSECTION OF THE STREET WITH CURBS. THE MINIMUM CORNER CLEARANCE FROM CURB LINE OR EDGE OF PAVEMENT OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE RADIUS OF CURVING. THE DISTANCE FROM THE INTERSECTION OF ROAD-OF-WAY LINES, WHICH EVER IS GREATER, THE RADIUS OF THE DRIVEWAY SHALL NOT ENDOACH ON THE MINIMUM CORNER CLEARANCE. REFER TO SECTION 6.5 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
2. WITHIN THE AREA DEFINED SIGHT TRIANGLES SHOWN ON THESE PLANS, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALLS, SIGN, FENCE, BENCH, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND 8 FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVEL WAY. IF NO SECTION 6.12 OF THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL FOR ADDITIONAL DETAILS.
3. MULTI-WAY STOP CONTROL WILL NOT BE USED AT ANY PUBLIC STREET INTERSECTION WITHOUT AN ENGINEERING STUDY TO PROVIDE DATA TO CITY OF RALEIGH TRANSPORTATION DIVISION THAT THE MULTI-STOP INSTALLATION WARRANTS CAN BE MET AND ORIGINATED BY CITY COUNCIL APPROVAL.
4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST CITY OF RALEIGH AND/OR NCDDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
5. ALL DIMENSIONS SHOWN ON SITE PLAN ARE MEASURED TO FACE OF CURB UNLESS OTHERWISE NOTED.
6. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONSTRUCTION. DRAWINGS SHALL BE GIVEN TO THE ENGINEER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE OWNER.
7. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER, BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
8. THE CONTRACTOR SHALL NOTE THAT THE DRAWINGS MAY NOT SHOW EVERY OFFSET, TRANSITION, FITTING, ETC. THAT MAY BE REQUIRED. THE CONTRACTOR SHALL INSTALL SUCH STANDARD IMPROVEMENTS AS REQUIRED TO CLOSELY FOLLOW THE GRADES AND ALIGNMENTS DEPICTED ON THE PLANS.
9. CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-432-4449) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". NOTIFY ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
10. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATIONS (I.E. POWER POLES, TELEPHONE, PEDESTALS, WATER METERS, ETC.).
11. PRIOR TO BEGINNING CONSTRUCTION BEYOND EROSION CONTROL MEASURES, THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE CITY OF RALEIGH PUBLIC WORKS DEPARTMENT (919) 996-2400 AND A REPRESENTATIVE OF THE ENGINEER AND OWNER. THE PURPOSE OF THIS MEETING IS TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THE FACILITIES DURING CONSTRUCTION.
12. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING CONSTRUCTION. THE ENGINEER IS NOT RESPONSIBLE FOR UNCORRECTED EXISTING OR PROPOSED TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLANT OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
13. ACCESSIBLE RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE (UDO) SECTION 22.04.01.
14. ALL SIDEWALKS THAT CONNECT TO THE PUBLIC RIGHT-OF-WAY MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION TO BE KEPT OPEN TO ALL PEDESTRIANS WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
15. TYPICAL PAVEMENT SECTION DETAILS ARE SHOWN WITHIN THIS SET AND INTENDED TO BE A MINIMUM PAVEMENT SECTION REQUIREMENT. THE CURRENT GEOTECHNICAL REPORT SHALL OVER-RIDE ALL TYPICAL PAVEMENT SECTIONS SHOWN, IF THE GEOTECHNICAL ENGINEER DEMS A HEAVIER SECTION IS REQUIRED.
16. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL HAVE ANY CLAIM FOR ADDITIONAL COST RELATED TO SUBSTITUTION OF ALTERNATE EQUIPMENT.
17. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO THE LATEST VERSION OF THE RALEIGH STREET DESIGN MANUAL AND CONTACT PUBLIC WORKS STAFF FOR FURTHER GUIDANCE.
18. ALL SIGNAGE ASSOCIATED WITH THE PUBLIC STREET SYSTEM SHALL ADHERE TO MUTCD STANDARDS AND SPECIFICATIONS.

TRAFFIC CONTROL NOTES

1. THE CONTRACTOR SHALL CONDUCT ALL WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (NCDDOT CURRENT EDITION).
3. PRIOR TO START OF WORK, A PRE CONSTRUCTION MEETING MUST BE SETUP WITH THE CONTRACTOR AND THE CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2400 TO SET UP THE MEETING.
4. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE, OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
5. A TEMPORARY STREET CLOSURE REQUEST MUST BE SUBMITTED AT LEAST A MINIMUM OF TWO WEEKS PRIOR TO THE START OF WORK. SEE "RIGHT-OF-WAY CLOSURE" ON WWW.RALEIGHNC.GOV. SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT REQUEST TO RIGHTWAYSERVICES@RALEIGHNC.GOV.
6. THE CONTRACTOR SHALL HAVE A COMPLETE SET OF CONTRACT DOCUMENTS AS WELL AS ALL PERMITS, APPROVALS AND EASEMENTS ON THE JOB SITE AT ALL TIMES.
7. THE CONTRACTOR SHALL REPAIR ALL DAMAGED DRIVEWAYS, DRIVEWAY PIPES, CURB AND GUTTER, SIDEWALKS AND STREETS TO EXISTING CONDITION OR BETTER.
8. SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. EXISTING PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION, WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

PAVEMENT MARKING NOTES

1. ALL PAVEMENT MARKINGS SHOWN IN THESE PLANS FOR CITY OF RALEIGH MAINTAINED STREETS ARE SUBJECT TO FINAL APPROVAL FROM PUBLIC WORKS TRANSPORTATION OPERATIONS DIVISION. CONTRACTOR SHALL CONTACT TRANSPORTATION OPERATIONS AT 919-996-3000 FOR COORDINATION AND FINAL APPROVAL PRIOR TO PLACEMENT OF PAVEMENT MARKINGS. MARKINGS WITHIN RIGHT-OF-WAYS SHALL BE IN COMPLIANCE WITH NCDDOT STANDARDS AND SPECIFICATIONS.
2. ALL SIGNS & PAVEMENT MARKINGS ASSOCIATED WITH THE PUBLIC STREET SYSTEM WILL REQUIRE APPROVAL BY CITY COUNCIL TO BE ORIGINATED FOR ENFORCEMENT.
3. ALL PAVEMENT MARKINGS SHALL BE PLACED PER THE NCDDOT DIVISION 12 STANDARD DETAILS. BICYCLE LANE MARKINGS SHALL BE PLACED PER CITY OF RALEIGH STANDARD BICYCLE FACILITIES DETAILS.

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or gas, as approved in these plans, is responsible for obtaining the Public Works Department approval at (919) 996-2400 and the Public Utilities Department at (919) 996-4540 at least twenty-four hours prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines and require reinstatement of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Pools on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDDOT STANDARDS, SPECIFICATIONS, AND DETAILS.

ALL TRAFFIC CONTROL/DETOUR PLANS AND PEDESTRIAN DETOUR PLANS TO BE PROVIDED BY CONTRACTOR AND COORDINATED WITH THE CITY OF RALEIGH TRANSPORTATION STAFF.

STANDARD NOTES

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, FOR NECESSARY PLANT OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS: FINAL RULE SHORT PART FOR SUBPART "D" APPLIES TO EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH requires the DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDDOT STANDARDS AND SPECIFICATIONS AS APPLICABLE.
4. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE CONTRACTOR. TIMING OF REMOVAL SHALL BE COORDINATED WITH THE EROSION CONTROL INSPECTOR.
5. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
6. SOIL UNDER BUILDINGS, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, FILLING AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
7. CONTRACTOR SHALL DETERMINE LOCATIONS FOR SPILL CURB TO PROVIDE POSITIVE DRAINAGE TO STORM STRUCTURES THROUGHOUT THE SITE. NO "BOMBHATS" SHALL BE CREATED WITHIN THE CURB AND GUTTER OR ASPHALT PAVED AREAS.

STORM DRAINAGE NOTES

1. ALL STORM DRAINAGE PIPES SHOWN SHALL BE CLASS 8 REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO ASHSTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED UP AND SMOOTHED TO AN ACCEPTABLE STANDARD, USING MORTAR MADE TO MANUFACTURER'S SPECIFICATIONS.
7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION, WASTE, CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAIL MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOBS OR PROOF ROLLING.
8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE OR GEOTECH AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95 % OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100 PERCENT STANDARD PROCTOR.
10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RUN IN UNBACKFILLED TRENCHES AFTER PIPE IS LAYED AND BEEN IN PLACE.
11. ALL CONCRETE PIPE AND PRECAST STORM STRUCTURES SHALL MEET NCDDOT STANDARDS AND STAMPED ACCORDINGLY BY MANUFACTURER.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING ALL PIPE AND STRUCTURES FOR CRACKS OR BREAKS. PRIOR TO INSTALLATION, ANY DAMAGED ITEMS SHALL NOT BE INSTALLED.
13. "KNOCK-OUT" BOXES OR HOPE PIPE SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAYS UNLESS APPROVED IN WRITING BY CITY OF RALEIGH STORMWATER DEPARTMENT.

RETAINING WALL NOTES

1. THE RETAINING WALL ALIGNMENT SHOWN ON THESE PLANS DEPICTS THE LOCATION OF THE FRONT FACE OF THE RETAINING WALL. AT THE TOP OF THE WALL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RETAINING WALLS ARE NOT LOCATED IN ANY STREAM BUFFERS, AND THEIR CONSTRUCTION DOES NOT ENDOACH INTO ANY ADJACENT PROPERTIES DUE TO ANY BATTER INCORPORATED IN THE DESIGN OF THE WALLS.
2. RETAINING WALLS ARE TO BE DESIGN-BUILD PROJECTS BY THE CONTRACTOR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN FINAL CONSTRUCTION DRAWINGS FROM A REGISTERED ENGINEER AND GAIN ALL REQUIRED PERMITS NECESSARY FOR THE CONSTRUCTION OF THE RETAINING WALLS.
3. RETAINING WALLS SHALL BE ASSUMED TO BE BACKFILLED WITH OFF-SITE BORROW MATERIAL, OR PROCESSED FILL UNLESS THE CONTRACTOR CAN PROVIDE TO THE OWNER WITH CONTRIBUTION FROM THE GEOTECHNICAL ENGINEER AND THE RETAINING WALL DESIGNER, THAT READILY AVAILABLE ON-SITE SOILS CAN BE USED.
4. THE TOP AND BOTTOM OF WALL ELEVATIONS SHOWN ON THESE PLANS IDENTIFY FINISHED GRADE ELEVATIONS. THE EXTENT THAT THE RETAINING WALL WILL EXTEND BELOW GRADE TO THE FOOTING OR ABOVE GRADE TO THE TOP OF THE CAP BLOCK COURSE SHALL BE DETERMINED ON THE RETAINING WALL CONSTRUCTION DRAWINGS.
5. ALL RETAINING WALLS OVER 30" HIGH SHALL HAVE A SAFETY FENCE (DESIGN BY OTHERS).
6. ANY PART OF ANY RETAINING WALL THAT EXTENDS INTO THE RIGHT-OF-WAY WILL REQUIRE AN ENCROACHMENT AGREEMENT/ENCROACHMENT AGREEMENTS FOR RETAINING WALLS SHALL BE APPROVED PRIOR TO CONSTRUCTION DRAWING APPROVAL.
7. ANY TIEBACK SYSTEMS FOR THE RETAINING WALLS SHALL NOT BE ALLOWED WITHIN PUBLIC RIGHT-OF-WAY.
8. STORMWATER RUN-OFF SHALL BE DIRECTED AWAY FROM RETAINING WALLS. ANY RUN-OFF FLOWING TO AND OVER A RETAINING WALL SHALL BE KEPT TO AN ABSOLUTE MINIMUM AND BROUGHT TO THE ATTENTION OF THE WALL DESIGNER PRIOR TO THEIR DESIGN.

APPEARANCE COMMISSION - DECISION FOR DESIGN ALTERNATES

DA-5-2023 - 7/6/23

Decision: Approved as Requested

WHEREAS Raleigh Florence St MMM LLC, property owner, requests the following design alternatives: (1) to reduce the minimum 2000' driveway spacing required per UDO Section 8.3.5.C.3.c to 1200' on the proposed driveway 1 on S Boylan Avenue and existing driveway 1 on the adjacent property; (2) to reduce the minimum 2000' driveway spacing required per UDO Section 8.3.5.C.3.c to 760' between proposed driveway 2 on W Hargett Street and existing driveway 2 on the adjacent property; (3) for complete relief from the cross access requirement set forth in UDO Section 8.3.5.4. (4) to provide 100% (46%) of transparency in the 08 to 120 zone in lieu of the minimum 146sf (66%) required, and a minimum 431sf (29%) of transparency in the 30 to 88 zone in lieu of the minimum 736sf (50%) required on the ground story of the S Boylan Avenue building facade per UDO Sections 3.2.6.F and 1.5.9. (5) to provide 35% (20%) of transparency in the 08 to 120 zone in lieu of the minimum 1166sf (66%) required, and a minimum

162sf (13%) of transparency in the 30 to 88 zone in lieu of the minimum 584sf (50%) required on the ground story of the W Hargett Street building facade per UDO Sections 3.2.6.F and 1.5.9. (6) for complete relief from the 12th setback requirement set forth in UDO Section 3.3.3 along S Boylan Avenue; (7) for complete relief from the 12th setback requirement set forth in UDO Section 3.3.3 along W Hargett Street; and (8) to allow lower parking structure screening per UDO Section 7.2.5.F.2. All requests are in conjunction with the construction of a mixed-use building on the approximately 0.62-acre property zoned DX-20-UL-CU located at 121 and 131 S Boylan Avenue.

This case was continued from the June 1, 2023, meeting.

CITY OF RALEIGH PUBLIC UTILITIES STANDARD UTILITY NOTES (AS APPLICABLE)

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCED CORRESPONDING HANDBOOK, CURRENT EDITION).
2. UTILITY SEPARATION REQUIREMENTS:
 - a) A DISTANCE OF 100" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, PERIODIC SANITARY SEWER PIPS SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 27" FROM A PRIVATE WELL OR 10" FROM A PUBLIC WELL.
 - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE MINIMUM LATERAL SEPARATION SHALL BE 10" FROM A PRIVATE WELL OR 10" FROM A PUBLIC WELL. THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIVISION. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10" ON EACH SIDE OF CROSSING SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS M-41 & S-49).
 - f) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
3. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
4. CONTRACTOR SHALL MAINTAIN THE MINIMUM REQUIREMENTS, THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JONNE HARTLEY AT (919) 996-5923 OR JONNE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
5. 1.0' MINIMUM CLEARANCE IS REQUIRED ON ALL WATER MAINS & SEWER FOREWALLS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
6. IF IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING A NECESSARY PART OF A DEVELOPMENT, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR DISMANTLING PER CORPUS HANDBOOK PROCEDURE.
7. INSTALLED 1/4" COPPER WATER SERVICE MAINS SHALL BE LOCATED AT ROW OR WITHIN A 2'2" WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
8. PURPOSES SHALL BE REMOVED AND REPLACED WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
9. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSIG. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1' ABOVE THE NEXT UPSTREAM MANHOLE.
10. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDDO, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
11. NCDDOT 7 RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
12. GRADE INTERCEPT / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FSD PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 220-7825 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
13. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-C OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JONNE HARTLEY AT (919) 996-5923 OR JONNE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

ADDITIONAL UTILITY NOTES:

1. ALL WATER MAINS, SERVICES AND FIRE SERVICES GREATER THAN 2" DIAMETER ARE TO BE DUCTILE IRON PIPES. 2" & SMALLER DOMESTIC SERVICES MUST BE TYPE K SOFT COPPER (WITHOUT FITTINGS) TO THE WATER MAIN.
2. ALL SEWER MAINS SHALL BE EITHER PVC OR DUCTILE IRON PIPE AS SHOWN ON THE PLANS. ALL PIPE MATERIAL SHALL MEET CITY OF RALEIGH STANDARDS AND SPECIFICATIONS AS REFERRED IN THE LATEST ISSUE OF THE PUBLIC UTILITIES HANDBOOK AND/OR UNIFORM DEVELOPMENT ORDINANCE (UDO).
3. ALL FIRE HYDRANTS ALONG PUBLIC R/W LINES SHALL HAVE A 3"x3" CITY OF RALEIGH WATERLINE EASEMENT ONTO ADJACENT PROPERTY.
4. ALL SANITARY SEWER INTERCEPTOR LINES (12" AND LARGER), AS WELL AS MANHOLES AND FITTINGS ASSOCIATED WITH THE INTERCEPTOR LINE, SHALL BE INTERNALLY LINED WITH PROTECTO 401 OR APPROVED EQUAL TO PREVENT HYDROLYSIS SULFIDE CORROSION. SEE THE CURRENT CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT HANDBOOK FOR APPROVED COATINGS AND APPLICATION METHODS.
5. IN ACCORDANCE WITH GENERAL STATUTE 87-12101, ALL UNDERGROUND UTILITIES INSTALLED AFTER OCTOBER 1, 2014 SHALL BE ELECTRONICALLY LOCATABLE. CONTRACTOR SHALL COORDINATE DIRECTLY WITH THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FOR DETAILS AND SPECIFICATIONS FOR MEETING THESE REQUIREMENTS.
6. EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
7. ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE OWNED, OPERATED, AND MAINTAINED BY THE CITY OF RALEIGH.
8. ALL WATER AND SEWER MAINS NOT WITHIN PUBLIC EASEMENTS OR RIGHTS-OF-WAY TO BE PRIVATELY OWNED, OPERATED, AND MAINTAINED BY THE PROPERTY OWNER.
9. ALL UTILITY SLEEVES SHALL BE SCHEDULE 40 PVC AND INSTALLED WITH 2" MINIMUM COVER. BOTH ENDS SHALL BE CAPTED AND MARKED.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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**BLOOMSBURY MIXED-USE
ADMINISTRATIVE SITE REVIEW
121 & 131 S. BOYLAN AVENUE
RALEIGH, NC**

REVISIONS

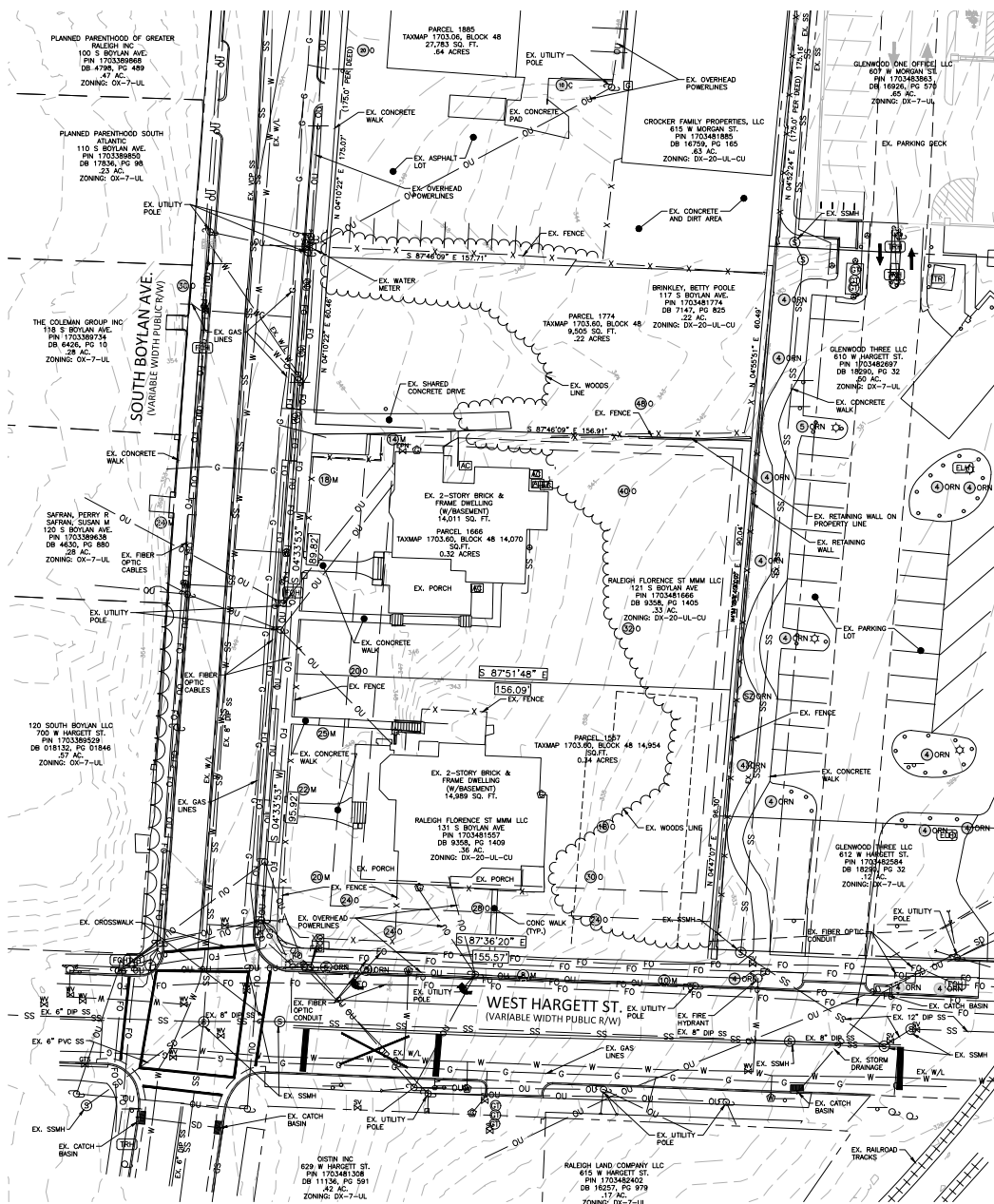
NO.	DATE	REVISION
1	05.09.2023	REVISED PER COR 1ST REVIEW COMMENTS
2	05.17.2023	REVISED PER COR 2ND REVIEW COMMENTS
3	12.08.2023	REVISED PER COR 3RD REVIEW COMMENTS

PLAN INFORMATION

PROJECT NO. 2020-110391
FILENAME 2020110391-N1
CHECKED BY DMB
DRAWN BY JNU
SCALE NTS
DATE 11.14.2022
SHEET

PROJECT NOTES

C0.00



LEGEND

●	EXISTING IRON PIPE	⊕	ACCESSIBLE PARKING
○	IRON PIPE SET	⊕	IRRIGATION CONTROL VALVE
⊕	CALCULATED POINT	⊕	FLOOD LIGHT
⊕	BORE HOLE	⊕	MAIL BOX
⊕	SANITARY SEWER MANHOLE	⊕	MONITORING WELL
⊕	SANITARY SEWER CLEANOUT	⊕	SUMMER CONNECTION
⊕	WATER VALVE	⊕	SHIM
⊕	WATER METER	⊕	WELL
⊕	FIRE HYDRANT	⊕	WATER MANHOLE
⊕	TELEPHONE PEDESTAL	⊕	LIGHT SINGLE
⊕	TELEPHONE MANHOLE	⊕	LIGHT DOUBLE
⊕	ELECTRIC BOX	⊕	CABLE BOX
⊕	LIGHT POLE	⊕	FIBER OPTIC VAULT
⊕	POWER POLE	⊕	SPRINKLER HEAD
⊕	CURB INLET	⊕	STORM DRAIN PIPE
⊕	STORM DRAINAGE MANHOLE	⊕	OVERHEAD UTILITY LINES
⊕	YARD INLET	⊕	WATER LINE
⊕	AIR CONDITIONER	⊕	SANITARY SEWER LINE
⊕	ADDRESS BOX	⊕	TELEPHONE LINE
⊕	BOLLARD	⊕	GAS LINE
⊕	FIRE CONNECTION	⊕	UNDERGROUND ELECTRIC
⊕	FIBER OPTIC MARKER	⊕	UNDERGROUND TELEPHONE
⊕	GREASE PIT	⊕	FENCE LINE

GENERAL NOTES:

- BOUNDARY, TOPOGRAPHICAL, AND PLANI-METRIC INFORMATION PROVIDED BY NEARI COLEMAN ASSOCIATES AND SUPPLEMENTED WITH WAKE COUNTY GIS DATA.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN (IF ANY) IS APPROXIMATE ONLY; UTILITIES MAY EXIST WHICH ARE NOT SHOWN.
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.



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BLOOMSBURY MIXED-USE ADMINISTRATIVE SITE REVIEW 121 & 131 S. BOYLAN AVENUE RALEIGH, NC

REVISIONS	
NO.	DATE
1	09.01.2021 REVISED PER COR 1ST REVIEW COMMENTS
2	05.17.2022 REVISED PER COR 2ND REVIEW COMMENTS
3	12.08.2022 REVISED PER COR 3RD REVIEW COMMENTS

PLAN INFORMATION	
PROJECT NO.	2020-110291
FILENAME	2020110291-XC1
CHECKED BY	DNB
DRAWN BY	JNU
SCALE	1"=20'
DATE	11.14.2022

**EXISTING
CONDITIONS**

C1.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

CLIENT

NEARI COLEMAN ASSOCIATES
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RALEIGH, NC 27603
PHONE: 919.828.4808

BLOOMSBURY MIXED-USE ADMINISTRATIVE SITE REVIEW 121 & 131 S. BOYLAN AVENUE RALEIGH, NC

REVISIONS

NO.	DATE
1	09.01.2023
2	05.17.2023
3	12.08.2023

PLAN INFORMATION

PROJECT NO. 2020-110291
FILENAME 2020110291-DM1
CHECKED BY DMB
DRAWN BY JNU
SCALE 1"=20'
DATE 11.14.2022

SHEET

DEMOLITION PLAN

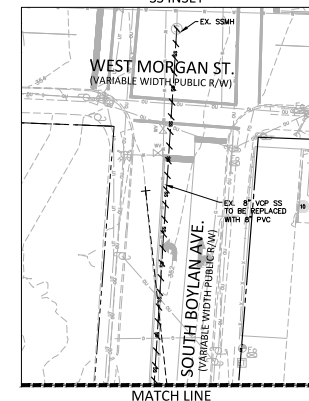
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DEMOLITION LEGEND

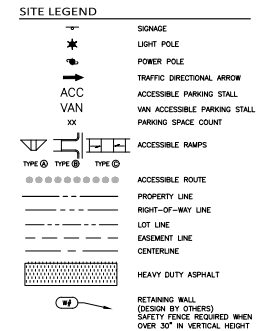
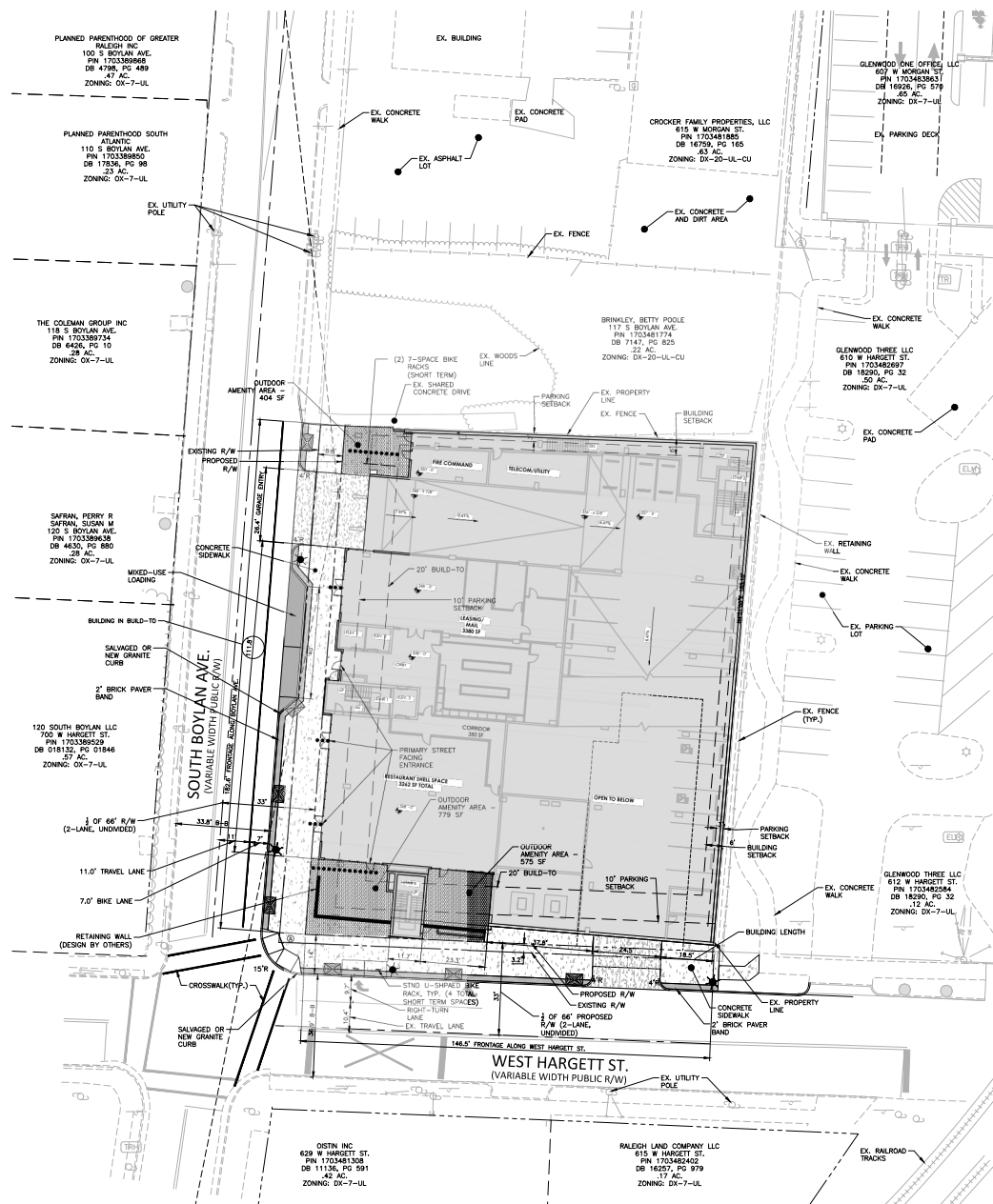
- ✖ TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY TO BE REMOVED
- AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.

SS INSET



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



NOTE: ALL AMENITY AREAS MUST BE 50% ADA ACCESSIBLE.

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BLOOMSBURY MIXED-USE
ADMINISTRATIVE SITE REVIEW
121 & 131 S. BOYLAN AVENUE
RALEIGH, NC

REVISIONS

NO.	DATE	REVISION
1	09.01.2023	REVISED PER COR 1ST REVIEW COMMENTS
2	05.17.2023	REVISED PER COR 2ND REVIEW COMMENTS
3	12.08.2023	REVISED PER COR 3RD REVIEW COMMENTS

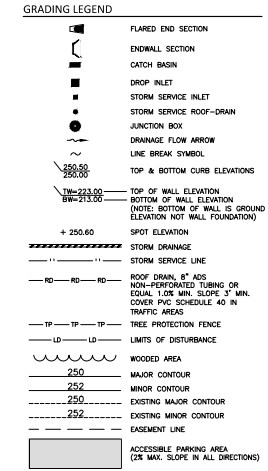
PLAN INFORMATION

PROJECT NO.: 2020-110291
FILENAME: 2020110291-51
CHECKED BY: DMB
DRAWN BY: JNU
SCALE: 1"=20'
DATE: 11.14.2022

SHEET
SITE PLAN-
FIRST FLOOR
C2.01

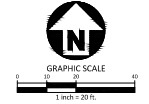
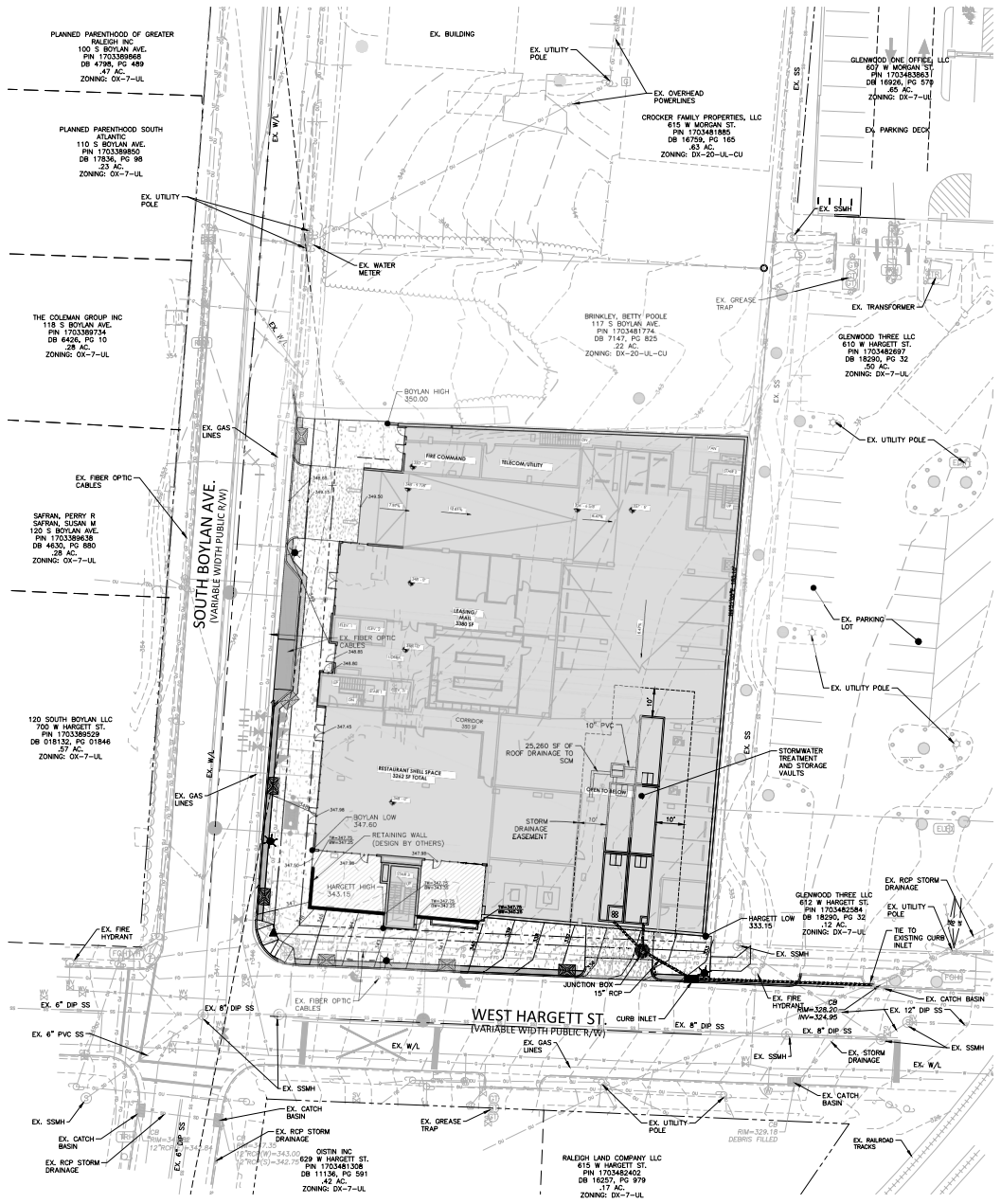
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

BLOOMSBURY MIXED-USE
ADMINISTRATIVE SITE REVIEW
121 & 131 S. BOYLAN AVENUE
RALEIGH, NC



AVERAGE GRADE CALCULATION

	HIGH	LOW	AVERAGE
BOYLAN AVENUE	350.00	347.60	348.80
HARGETT STREET	343.15	333.15	338.15



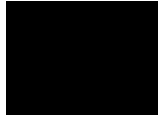
REVISIONS

NO.	DATE	REVISION
1	09.01.2023	REVISED PER COR 1ST REVIEW COMMENTS
2	05.17.2023	REVISED PER COR 2ND REVIEW COMMENTS
3	12.08.2023	REVISED PER COR 3RD REVIEW COMMENTS

PLAN INFORMATION

PROJECT NO.	2020-110291
FILENAME	2020110291-01
CHECKED BY	DMB
DRAWN BY	JNU
SCALE	1"=20'
DATE	11.14.2022

SHOOT
GRADING AND STORM DRAINAGE PLAN
C3.00



REVISIONS

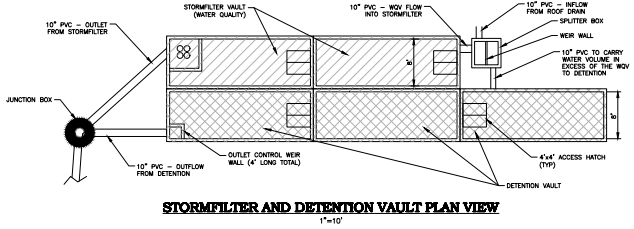
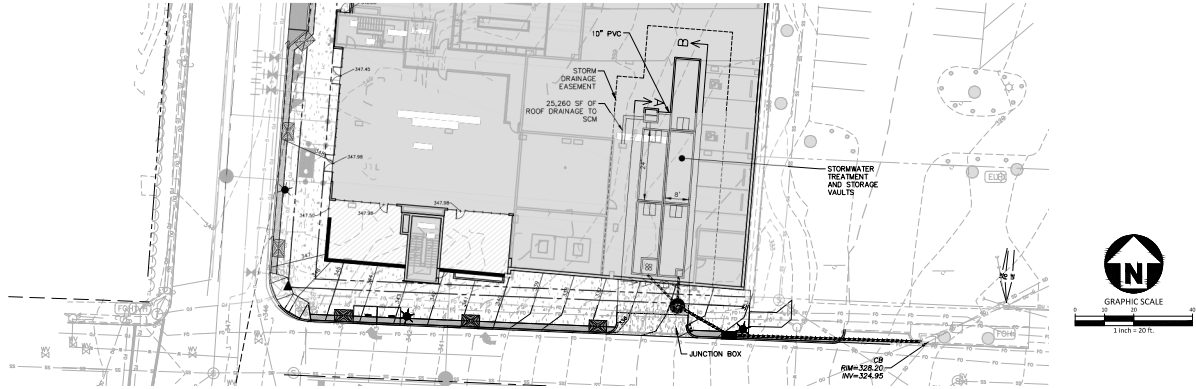
NO.	DATE	REVISION
1	09.01.2021	REVISED PER COR 1ST REVIEW COMMENTS
2	05.17.2022	REVISED PER COR 2ND REVIEW COMMENTS
3	12.08.2022	REVISED PER COR 3RD REVIEW COMMENTS

PLAN INFORMATION

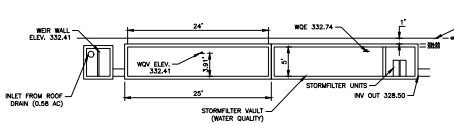
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FILENAME	2020110291-G1
CHECKED BY	DMB
DRAWN BY	JNJ
SCALE	1"=20'
DATE	11.14.2022

SHEET

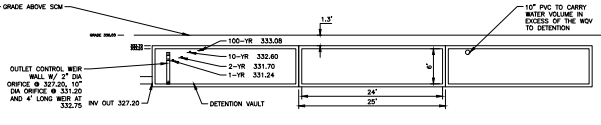
**STORMWATER
MANAGEMENT PLAN
C3.01**



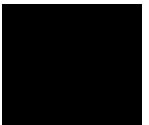
STORMFILTER AND DETENTION VAULT PLAN VIEW
1"=10'



STORMFILTER AND DETENTION VAULT SECTION VIEW A-A
1"=10'



STORMFILTER AND DETENTION VAULT SECTION VIEW B-B
1"=10'



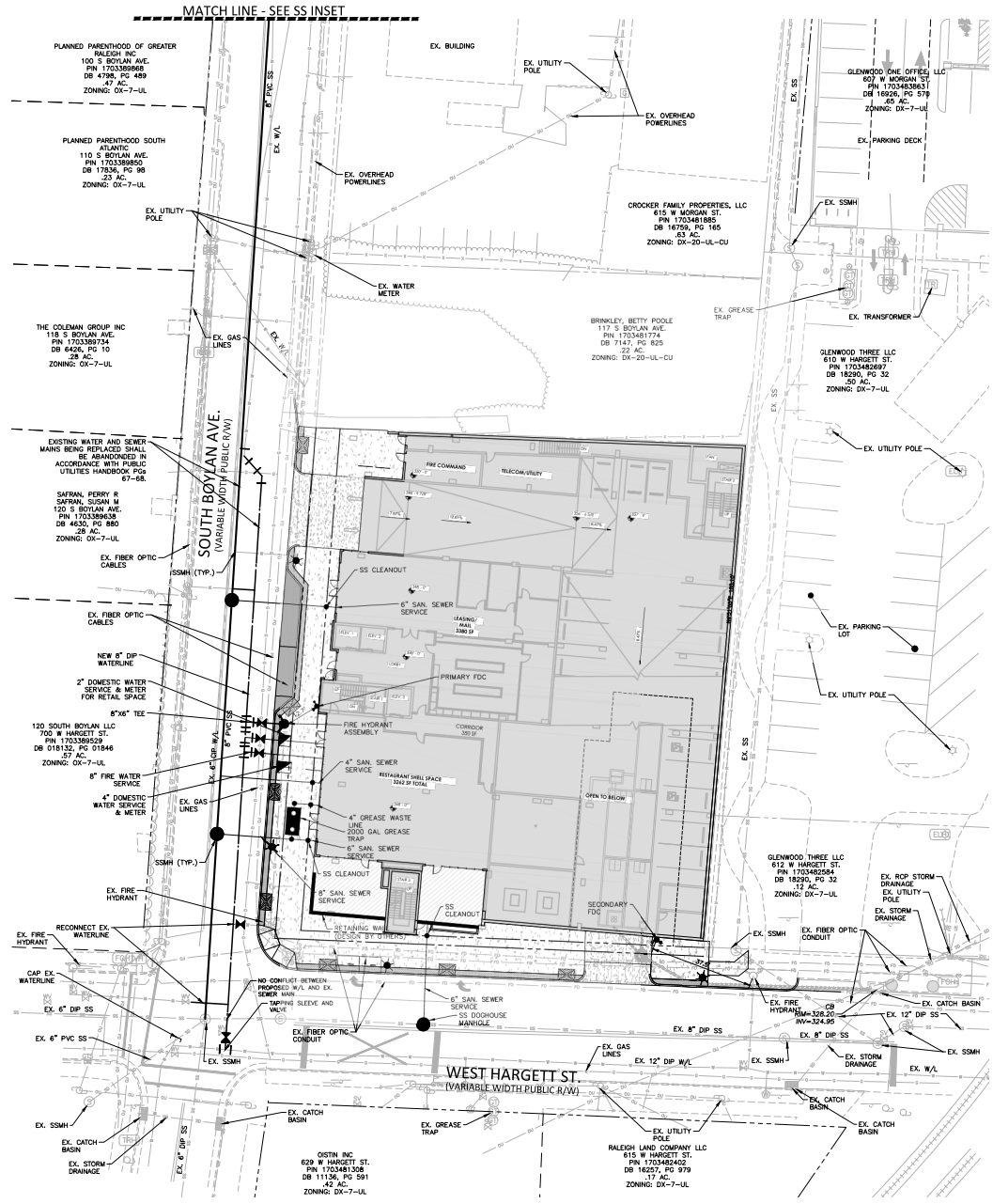
REVISIONS

NO.	DATE	REVISION
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2	05.17.2023	REVISED PER COR 2ND REVIEW COMMENTS
3	12.08.2023	REVISED PER COR 3RD REVIEW COMMENTS

PLAN INFORMATION

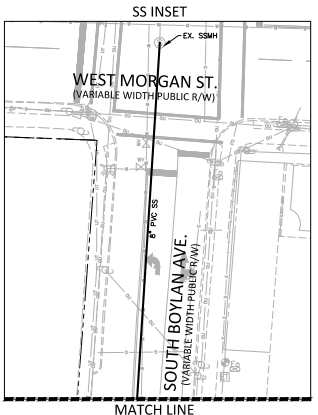
PROJECT NO.	2020-110291
FILENAME	2020110291-01
CHECKED BY	DMB
DRAWN BY	JNU
SCALE	1"=20'
DATE	11.14.2022

SHEET



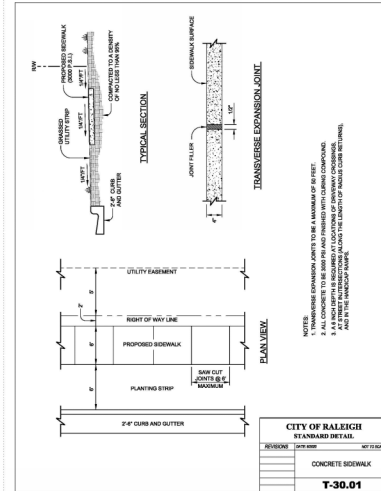
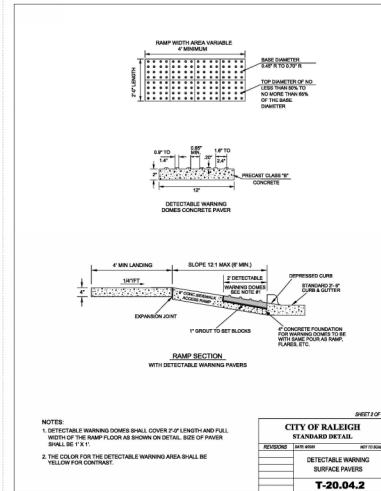
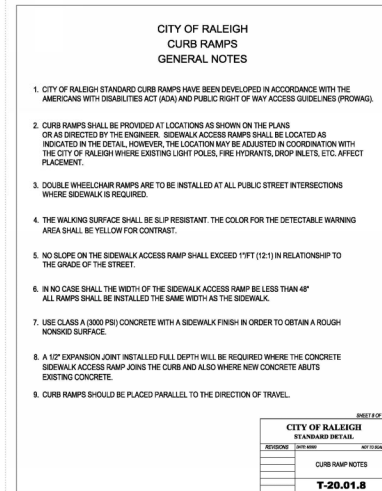
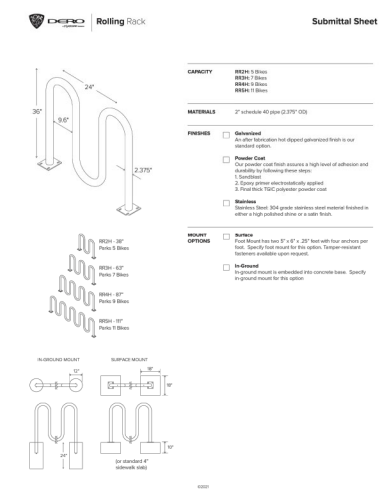
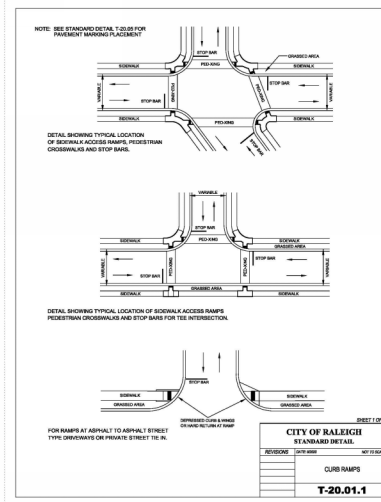
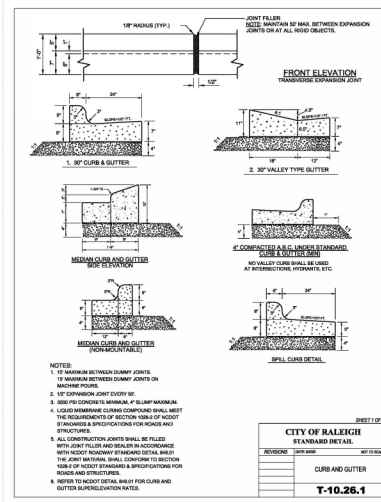
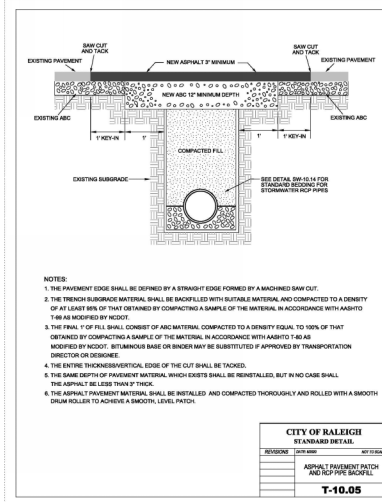
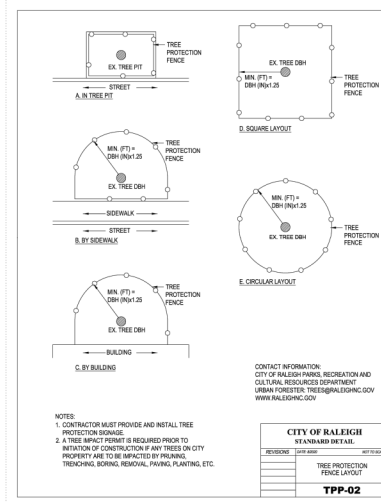
UTILITY LEGEND

[Symbol]	FIRE HYDRANT ASSEMBLY
[Symbol]	FIRE DEPARTMENT CONNECTION (FDC)
[Symbol]	WATER METER
[Symbol]	WATER VALVE
[Symbol]	PORT INDICATOR VALVE
[Symbol]	VALVE IN MANHOLE
[Symbol]	METER & VALVE
[Symbol]	BACKFLOW PREVENTER
[Symbol]	REDUCER
[Symbol]	PLUG
[Symbol]	BLOW-OFF ASSEMBLY
[Symbol]	SANITARY SEWER MANHOLE
[Symbol]	SEWER CLEAN-OUT
[Symbol]	GREASE TRAP
[Symbol]	SEWER FLOW DIRECTION
[Symbol]	ARROW
[Symbol]	YARD LIGHTS
[Symbol]	POWER POLE
[Symbol]	LINE BREAK SYMBOL
[Symbol]	WATERLINE
[Symbol]	WATER SERVICE LINE
[Symbol]	UTILITY SLEEVE
[Symbol]	SANITARY SEWER
[Symbol]	SEWER SERVICE LINE
[Symbol]	SEWER FORCE MAIN
[Symbol]	GAS LINE
[Symbol]	OVERHEAD UTILITY
[Symbol]	UNDERGROUND ELECTRIC
[Symbol]	TELEPHONE
[Symbol]	EASEMENT LINE



NOTE: ALL SEWER AND WATER SERVICES BEING INTERRUPTED BY MAIN REPLACEMENTS TO BE RECONNECTED TO NEW MAINS.





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BLOOMSBURY MIXED-USE
 ADMINISTRATIVE SITE REVIEW
 121 & 131 S. BOYLAN AVENUE
 RALEIGH, NC



REVISIONS

NO.	DATE	REVISION
1	09.01.2021	REVISED PER COR 1ST REVIEW COMMENTS
2	05.17.2021	REVISED PER COR 2ND REVIEW COMMENTS
3	12.08.2021	REVISED PER COR 3RD REVIEW COMMENTS

PLAN INFORMATION

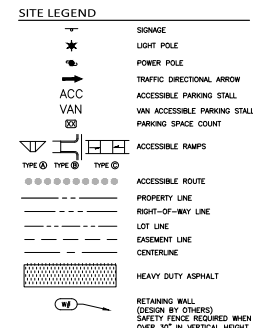
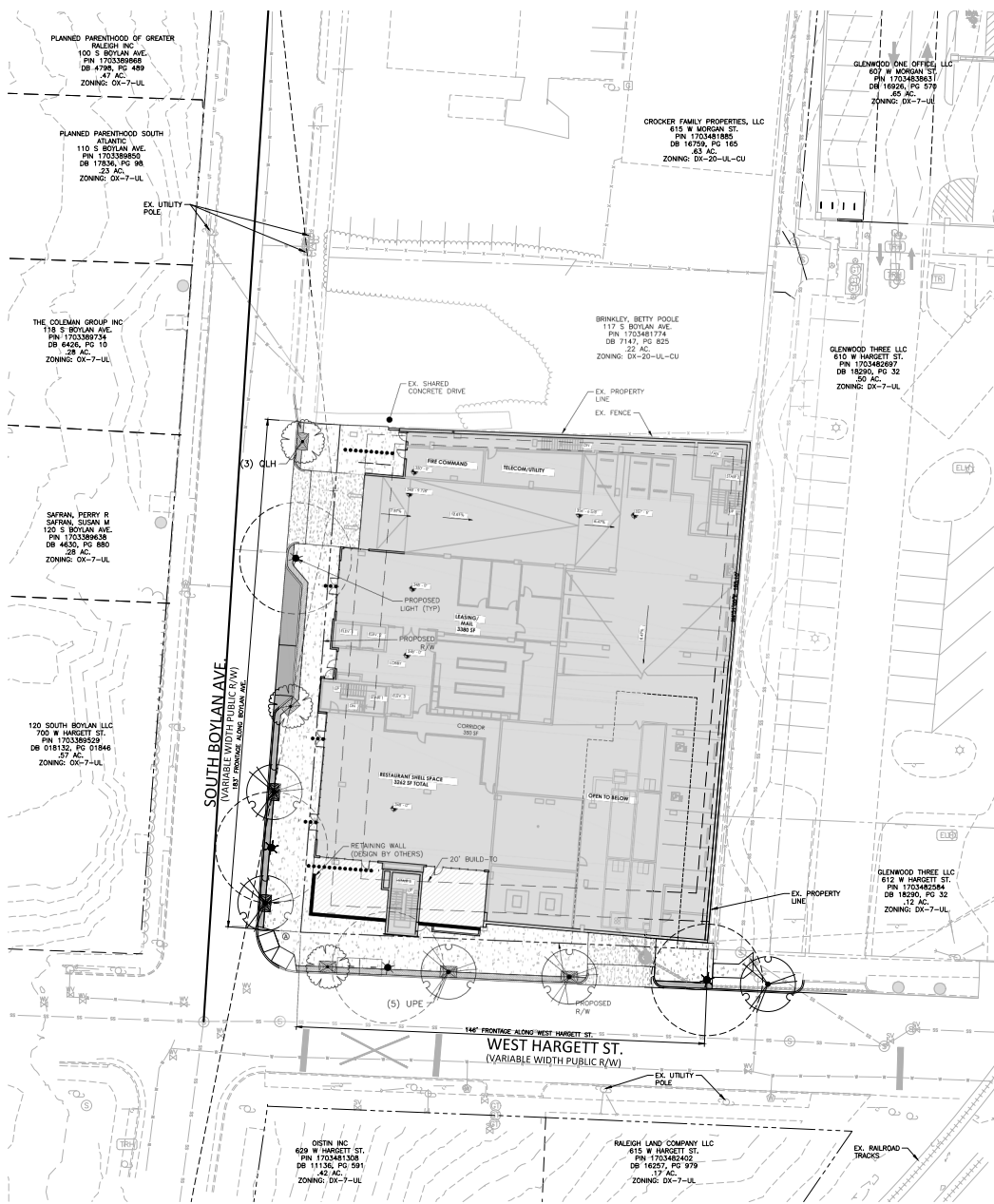
PROJECT NO.	2020-110291
FILENAME	2020110291-01
CHECKED BY	DMB
DRAWN BY	JNU
SCALE	1"=20'
DATE	06.08.2022

SHEET

SITE DETAILS

C8.00

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL
QLH	3		Highbeam Overcup Oak	Quercus lyrata 'QLTB' TM	4.0" min
UPE	5		Loebark Elm	Ulmus parvifolia	4.0" min

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BLOOMSBURY MIXED-USE
ADMINISTRATIVE SITE REVIEW
121 & 131 S. BOYLAN AVENUE
RALEIGH, NC

REVISIONS

NO.	DATE	REVISION
1	09.01.2021	REVISED PER COR 1ST REVIEW COMMENTS
2	05.17.2022	REVISED PER COR 2ND REVIEW COMMENTS
3	12.08.2022	REVISED PER COR 3RD REVIEW COMMENTS

PLAN INFORMATION
PROJECT NO.: 2020-110291
FILENAME: 2020110291-L51
CHECKED BY:
DRAWN BY:
SCALE: 1"=20'
DATE: 11.14.2022
SHEET

LANDSCAPE PLAN
L5.00

GENERAL LANDSCAPE NOTES:

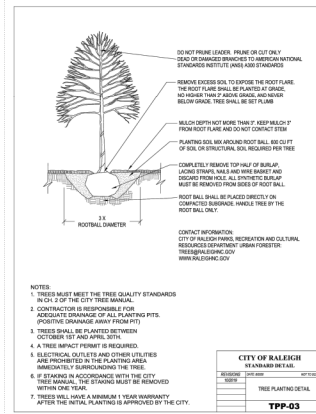
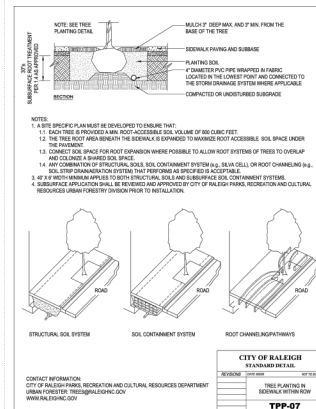
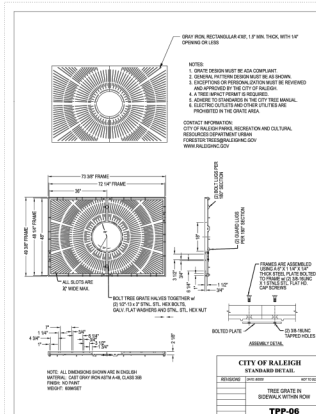
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.

- [illegible]

LANDSCAPE CALCULATIONS	
STREET TREES	
SOUTH BOYLAN AVE:	183 LF
TREES REQUIRED:	4 (1/40 LF)
TREES PROVIDED:	4

NOTES:

1. SEATING AREAS SHALL INCLUDE BUT NOT BE LIMITED TO BENCHES, CHAIRS, OUTDOOR DINING TABLES, MOVABLE/PERMANENT CHAIRS AND/OR SEAT WALLS. SEATING SHALL BE PROVIDED AND LOCATED WITHIN THE OUTDOOR AMENITY AREAS OR ALONG THE STREETSCAPE. PLANT PROTECTION TO BE MAINTAINED BY BUILDING PERMIT OR ENHANCED LANDSCAPE/HARDSCAPE DRAINAGE BY OTHERS.
2. ALL TREES LOCATED WITHIN A SIGHT DISTANCE TRAVELING SHALL BE LIMITED TO 10 FEET MAXIMUM CANOPY HEIGHTS EXCEPT FOR TREES WITH A TRUNK DIAMETER OF 12 INCHES OR GREATER.
3. "STREET TREES SHALL BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH TREE PLANTING DETAIL: PP-006, TP-02 BETWEEN OCT 1 AND APRIL 30. A LANDSCAPE AGREEMENT IS NEEDED IF CERTIFICAT OF OCCUPANCY IS REQUIRED OUTSIDE THE PLANTING WINDOW. CONTACT THE URBAN FORESTRY INSPECTOR WITH QUESTIONS.
4. STREET TREES MUST BE MAINTAINED FOR A PERIOD OF ONE YEAR FOLLOWING THE CITY'S APPROVAL OF THE STREET TREE PLANTING.
5. PLANTING BEDS AND POTS TO BE IRRIGATED. CONTRACTOR TO PROVIDE IRRIGATION TO IRRIGATE SYSTEMS. PROVIDE IRRIGATION, MAINTENANCE AND OPERATING MANUAL. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.
6. STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
7. ALL STREET TREES ARE TO BE PLANTED IN ACCORDANCE WITH CITY OF RALEIGH TREE PLANTING DETAIL: PP-006, TP-02.



SITE LEGEND	
	SIGNAGE
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	CENTERLINE
	HEAVY DUTY ASPHALT
	RETAINING WALL (DESIGN OTHERS) SAFETY FENCE REQUIRED WHEN OVER 30" IN VERTICAL HEIGHT



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BLOOMSBURY MIXED-USE
ADMINISTRATIVE SITE REVIEW
121 & 131 S. BOYLAN AVENUE
RALEIGH, NC

NO.	DATE	
1	03.03.2023	REVISED PER COR 1ST REVIEW COMMENTS
2	05.17.2023	REVISED PER COR 2ND REVIEW COMMENT
3	12.08.2023	REVISED PER COR 3RD REVIEW COMMENT

PROJECT NO. 2020-110291
 FILENAME 2020110291-LS1
 CHECKED BY
 DRAWN BY
 SCALE 1"=20'
 DATE 11. 14. 2022

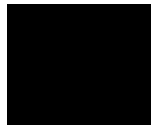
SHEET

L5.01

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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**BLOOMSBURY MIXED-USE
ADMINISTRATIVE SITE REVIEW
121 & 131 S. BOYLAN AVENUE
RALEIGH, NC**



REVISIONS

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2	05.17.2023	REVISED PER COR 2ND REVIEW COMMENTS
3	12.08.2023	REVISED PER COR 3RD REVIEW COMMENTS

PLAN INFORMATION

PROJECT NO.	2020-110291
FILENAME	2020110291-L11
CHECKED BY	DMB
DRAWN BY	JNU
SCALE	NTS
DATE	11.14.2022

**LIGHTING PLAN
L6.00**

PROPRIETARY & CONFIDENTIAL

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STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
S. Boylane Ave	X	0.8 fc	1.3 fc	0.2 fc	6.5:1	4.0:1
W Hargett Street	X	0.5 fc	0.7 fc	0.1 fc	7.0:1	5.0:1

SCHEDULE

Symbol	Label	Quantity	Description	Lumens Per Lamp	Light Loss Factor
⦿	A	5	LED Top Hat Fix - Type V - 3000K	5400	0.80

ISODOT/CANBIE CURVES

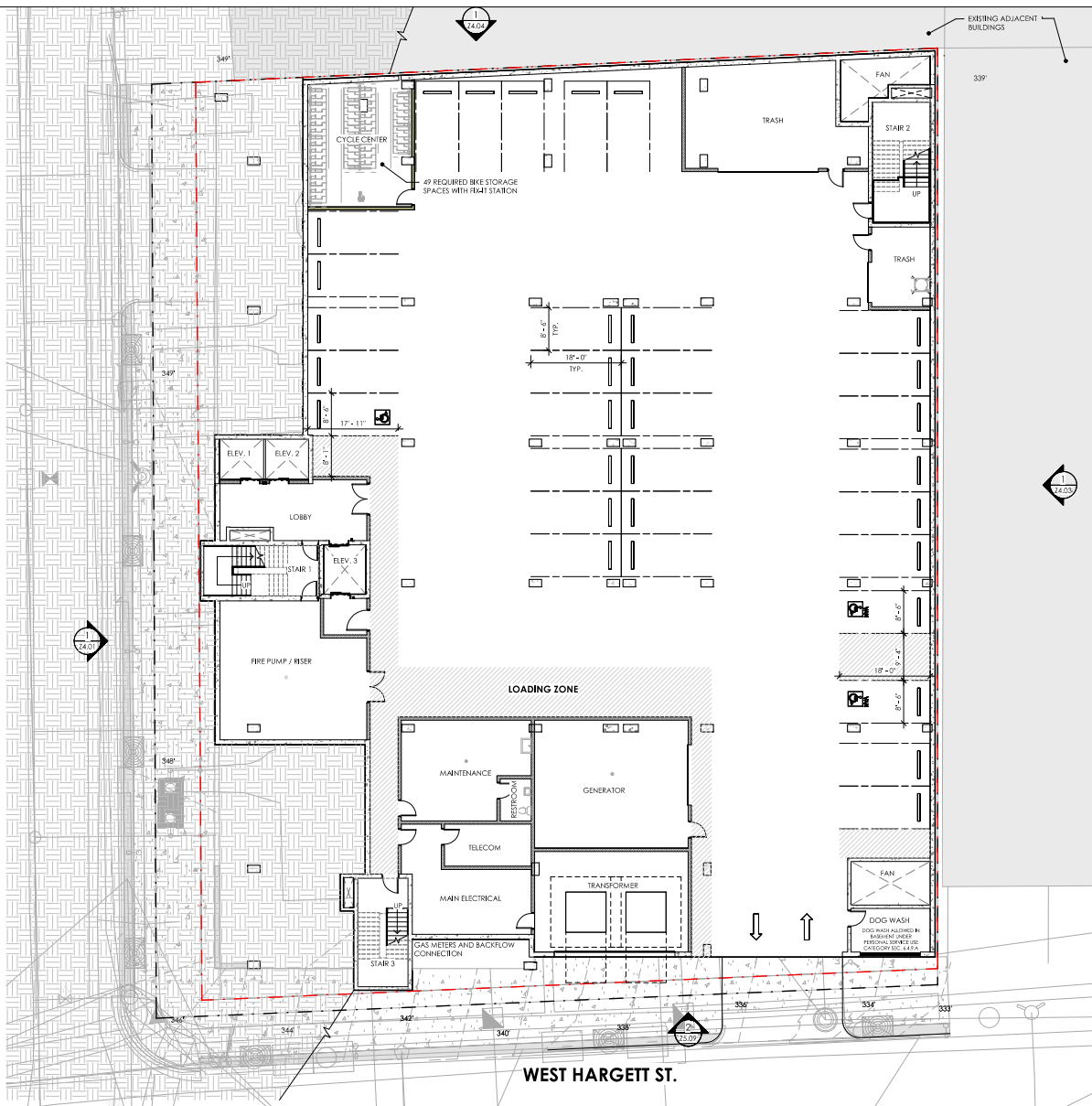
FOR THE PROPOSED MIXED-USE DEVELOPMENT, THE PROPOSED LIGHTING PLAN IS BASED ON THE FOLLOWING ASSUMPTIONS:

- 1. THE PROPOSED DEVELOPMENT IS A MIXED-USE DEVELOPMENT.
- 2. THE PROPOSED DEVELOPMENT IS A MIXED-USE DEVELOPMENT.
- 3. THE PROPOSED DEVELOPMENT IS A MIXED-USE DEVELOPMENT.

NOTE: THE PROPOSED DEVELOPMENT IS A MIXED-USE DEVELOPMENT. THE PROPOSED DEVELOPMENT IS A MIXED-USE DEVELOPMENT. THE PROPOSED DEVELOPMENT IS A MIXED-USE DEVELOPMENT.

LEGEND

OUTER TO INNER: 0.1M, 0.2M, 0.3M, 0.4M, 0.5M, 0.6M, 0.7M, 0.8M, 0.9M, 1.0M, 1.1M, 1.2M, 1.3M, 1.4M, 1.5M, 1.6M, 1.7M, 1.8M, 1.9M, 2.0M, 2.1M, 2.2M, 2.3M, 2.4M, 2.5M, 2.6M, 2.7M, 2.8M, 2.9M, 3.0M, 3.1M, 3.2M, 3.3M, 3.4M, 3.5M, 3.6M, 3.7M, 3.8M, 3.9M, 4.0M, 4.1M, 4.2M, 4.3M, 4.4M, 4.5M, 4.6M, 4.7M, 4.8M, 4.9M, 5.0M, 5.1M, 5.2M, 5.3M, 5.4M, 5.5M, 5.6M, 5.7M, 5.8M, 5.9M, 6.0M, 6.1M, 6.2M, 6.3M, 6.4M, 6.5M, 6.6M, 6.7M, 6.8M, 6.9M, 7.0M, 7.1M, 7.2M, 7.3M, 7.4M, 7.5M, 7.6M, 7.7M, 7.8M, 7.9M, 8.0M, 8.1M, 8.2M, 8.3M, 8.4M, 8.5M, 8.6M, 8.7M, 8.8M, 8.9M, 9.0M, 9.1M, 9.2M, 9.3M, 9.4M, 9.5M, 9.6M, 9.7M, 9.8M, 9.9M, 10.0M, 10.1M, 10.2M, 10.3M, 10.4M, 10.5M, 10.6M, 10.7M, 10.8M, 10.9M, 11.0M, 11.1M, 11.2M, 11.3M, 11.4M, 11.5M, 11.6M, 11.7M, 11.8M, 11.9M, 12.0M, 12.1M, 12.2M, 12.3M, 12.4M, 12.5M, 12.6M, 12.7M, 12.8M, 12.9M, 13.0M, 13.1M, 13.2M, 13.3M, 13.4M, 13.5M, 13.6M, 13.7M, 13.8M, 13.9M, 14.0M, 14.1M, 14.2M, 14.3M, 14.4M, 14.5M, 14.6M, 14.7M, 14.8M, 14.9M, 15.0M, 15.1M, 15.2M, 15.3M, 15.4M, 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PARKING NOTES:
TOTAL PARKING SPACES:
LEVEL B: 32
LEVEL 1: 21
LEVEL 2: 48
LEVEL 3: 51
LEVEL 4: 51
LEVEL 5: 51
LEVEL 6: 51
LEVEL 7: 18
TOTAL: 323
TOTAL ADA PARKING SPACES (INC. VAN: 9
TOTAL ADA VAN PARKING SPACES: 2
TOTAL BIKE RACKS IN DECK: 49

B+B+M
ARCHITECTURE

BEACHAM BUNCE + MANLEY ARCHITECTURE PLLC

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SUITE 200
CHARLOTTE, NC 28208
704.334.1716

WWW.BBM-ARCH.COM



ADMINISTRATIVE SITE REVIEW -
NOT FOR CONSTRUCTION

BLOOMSBURY MIXED-USE

LOCATION / RALEIGH, NC
PROJECT # / 21CNA190
DATE / 03/24/23
DRAWN / AS

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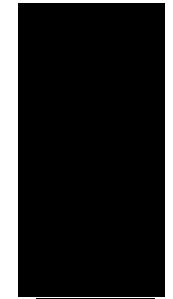
Revisions		
No.	Description	Date

LEVEL B PLAN

Z1.01

LEVEL B PLAN - ASR SUBMITTAL
SCALE: 3/32" = 1'-0"





ADMINISTRATIVE REVIEW -
NOT FOR CONSTRUCTION

BLOOMSBURY MIXED-USE

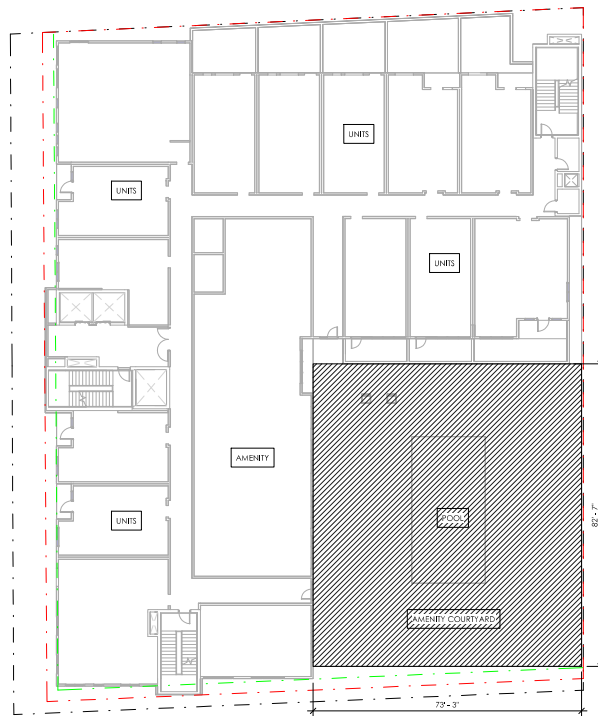
LOCATION / RALEIGH, NC
PROJECT # / 21CNA190
DATE / 05/10/23
DRAWN / AS

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Revisions		
No.	Description	Date

LEVELS 8-20 PLAN

Z1.04



2
Z1.04

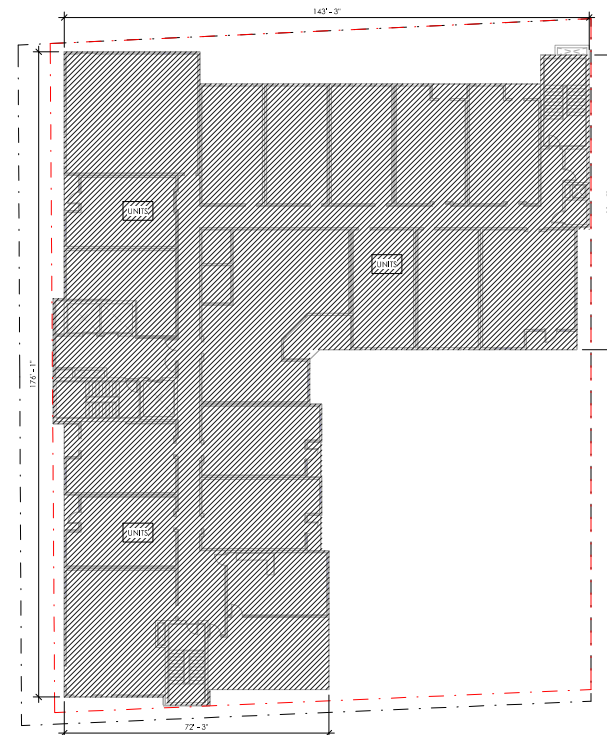
LEVEL 8

SCALE: 1/16" = 1'-0"

PER UDO SEC. 1.5.3.C.2.3 THE FOLLOWING WILL BE PROVIDED FOR
THE REQUIRED OUTDOOR AMENITY AREA

- 128 LINEAR FEET OF SEATING
- ADDITIONAL 650 SF REQUIRED ON TOP OF THE MINIMUM

OUTDOOR AMENITY ABOVE GRADE: **1,669 SF**



1
Z1.04

TYP. UPPER LEVELS 9-20

SCALE: 1/16" = 1'-0"

ALLOWABLE SQUARE FOOTAGE ABOVE THE 12TH STORY = 30,000 SF / STORY
NUMBER OF STORIES ABOVE 12 = 8 STORIES
TOTAL ALLOWABLE SQUARE FOOTAGE = 30,000 SF * 8 STORIES = 240,000 SF

PROVIDED SQUARE FOOTAGE ABOVE 12TH STORY = 8 STORIES @ 17,500 SF
= 140,000 SF

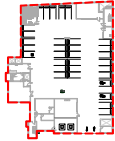


BASEMENT EXPOSURE CALCULATIONS:

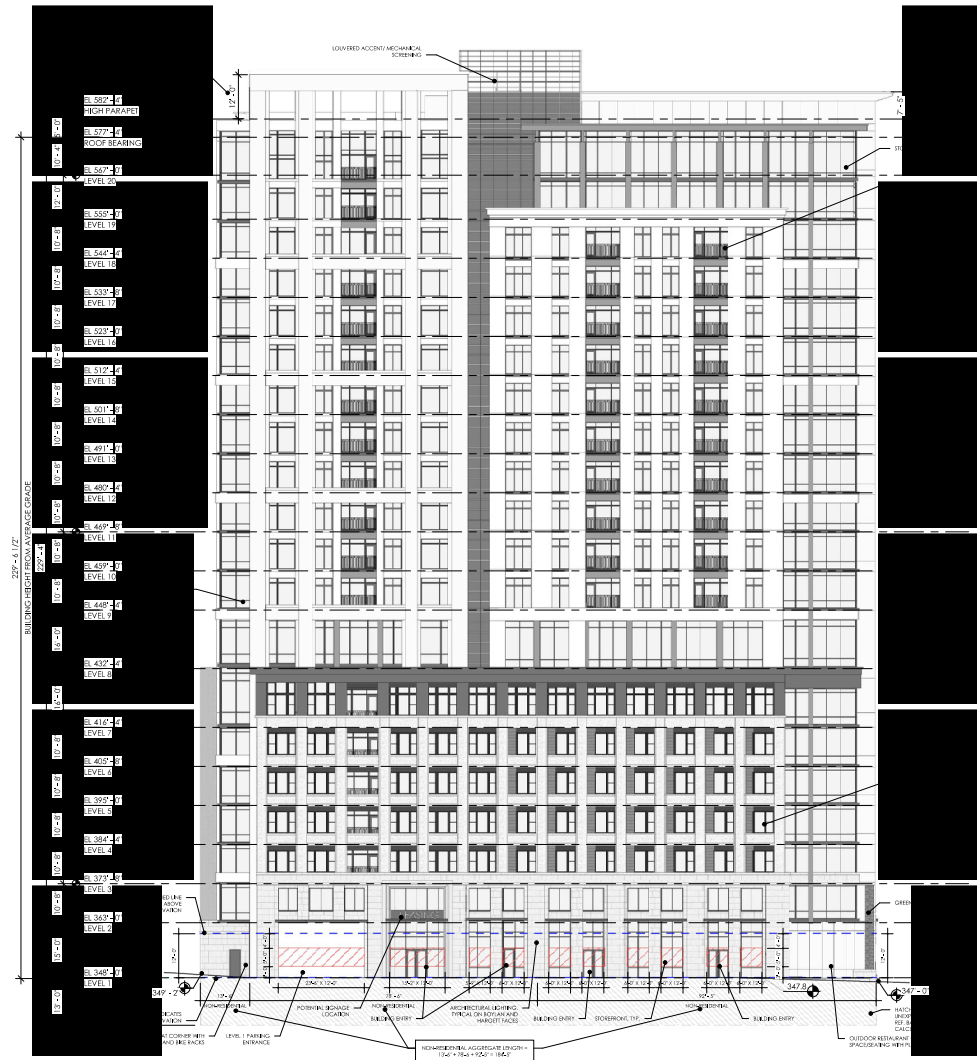
	SF OF UNEXPOSED FACADE @ LVL 2	SF TOTAL OF WALL AREA @ LVL 2	TOTAL FACADE % EXPOSED
WEST	2376 SF	2397 SF	99%
SOUTH	685 SF	1913 SF	35.8%
EAST	354 SF	2320 SF	15.2%
NORTH	1425 SF	1941 SF	73.4%
AVERAGE % BELOW GRADE			55.85%

PER UDO SECTION 1.5.7.A.6 LEVEL B IS CONSIDERED A BASEMENT BECAUSE 50% OR MORE OF THE PERIMETER WALL AREA IS LOCATED BELOW GRADE.

REFERENCE GRAY HATCH ON ELEVATION SHEETS FOR
PORTIONS OF UNEXPOSED BASEMENT FACADE AND PLAN
BELOW FOR BASEMENT EXTENTS PLAN



BASEMENT EXTENTS PLAN AT LEVEL B



OVERALL ELEVATION - WEST (S.
BOYLAN AVE)

ZONING NOTES:

ZONING: DX-20-UL-CU
DOWNTOWN MIXED USE
20 STORIES MAX ALLOWED

TRANSPARENCY REQUIREMENTS
GROUND STORY: 66%
UPPER STORY: 20%
BLANK WALL AREA: 20' MAX.

GROUND FLOOR TRANSPARENCY CALCULATION (PER UDO 1.5.9)

WEST ELEVATION (STREET FACING)	0' - 12' ZONE	3' - 8' ZONE
GROUND STORY TOTAL AREA	2213 SF (164' x 12')	
GROUND STORY REQUIRED AREA	1461 SF (60%)	736.3 SF (33%)
GROUND STORY PROVIDED AREA	1056 SF (48%)	431 SF (19%)



AVERAGE GRADE PLANE

	HIGH	LOW	AVERAGE
BOYAN AVENUE	149.10	146.50	147.80
HARGITT STREET	146.50	113.15	139.83



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NOT FOR CONSTRUCTION

BLOOMSBURY MIXED-USE

LOCATION / RALEIGH, NC
PROJECT # / 21CNA190
DATE / 03/24/23
DRAWN / BSM

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[illegible]

OVERALL BUILDING ELEVATIONS - WEST

Z4.01

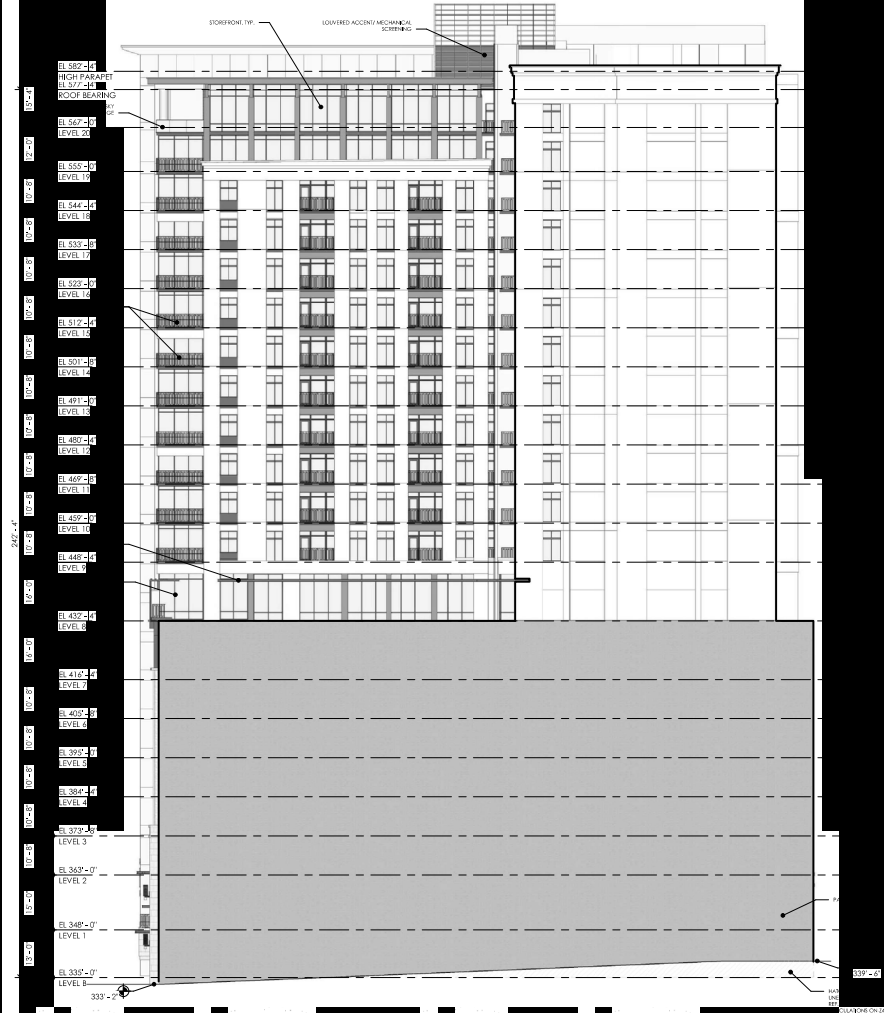


ZONING NOTES:

ZONING: DX-25-ML-CU
DOWNTOWN MIXED USE
20 STORES MAX ALLOWED

TRANSPARENCY REQUIREMENTS
GROUND STORY: 66%
UPPER STORIES: 33%
MIN. 10' CLEARANCE

NON-STREET FACING FACADE - NO TRANSPARENCY REQUIREMENTS

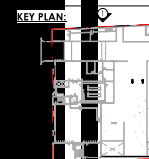


ZONING: DX-20-UL-CU
DOWNTOWN MIXED USE
20 STORIES MAX ALLOWED

TRANSPARENCY REQUIREMENTS
GROUND STORY: 66%
UPPER STORY: 20%
R [REDACTED] TY M [REDACTED]

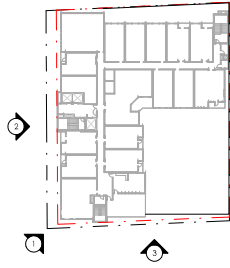


SCALE: 1/16" = 1'-0"



Z4.04

KEY PLAN:



VIEW 1



VIEW 2

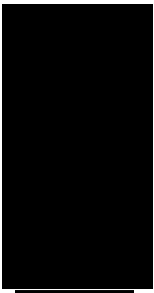


VIEW 3



Revisions		
No.	Description	Date

PERSPECTIVE VIEWS



ADMINISTRATIVE SITE REVIEW -
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BLOOMSBURY MIXED-USE

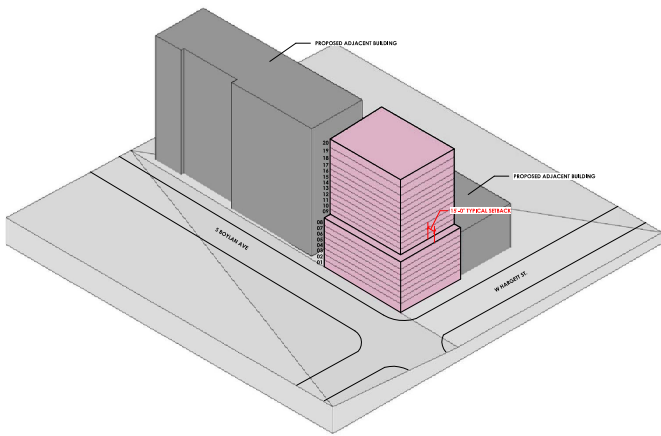
LOCATION / RALEIGH, NC
PROJECT # / 21CNA190
DATE / 03/24/23
DRAWN / BSM

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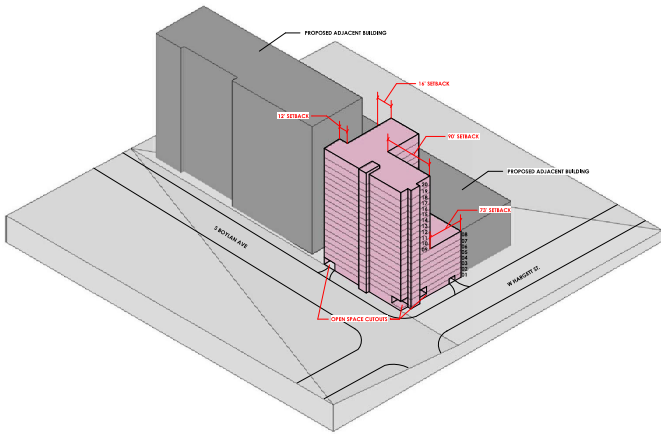
Revisions		
No.	Description	Date

MASSING

75.02



BY-RIGHT MASSING



PROPOSED MASSING



ADMINISTRATIVE SITE REVIEW -
NOT FOR CONSTRUCTION

BLOOMSBURY MIXED-USE

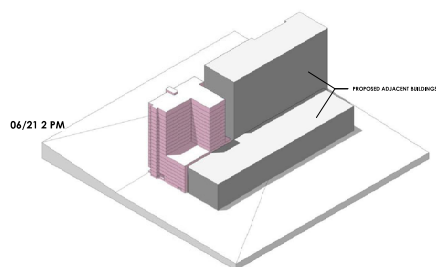
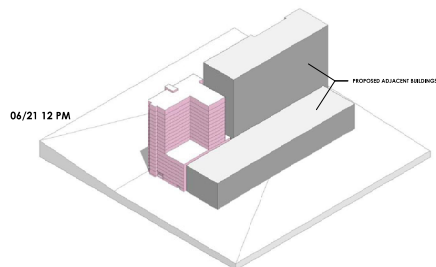
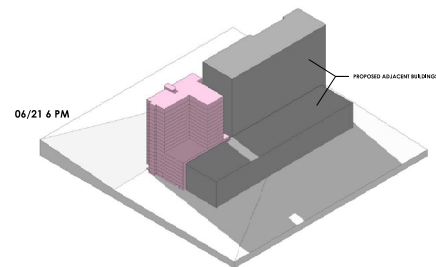
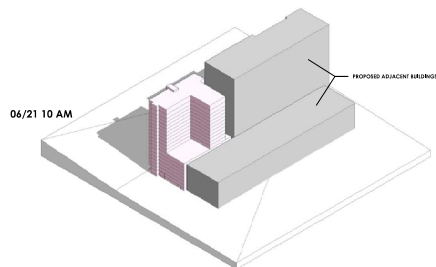
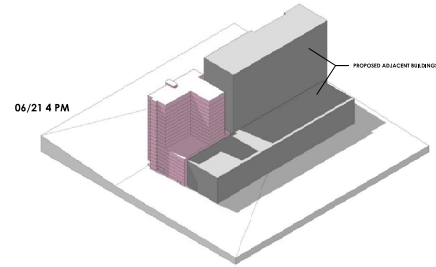
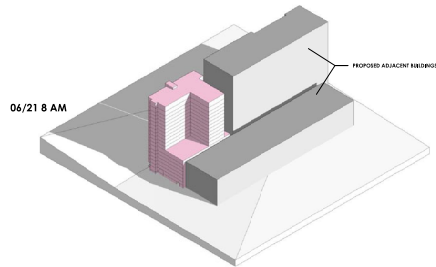
LOCATION / RALEIGH, NC
PROJECT # / 21CNA190
DATE / 03/24/23
DRAWN / BSM

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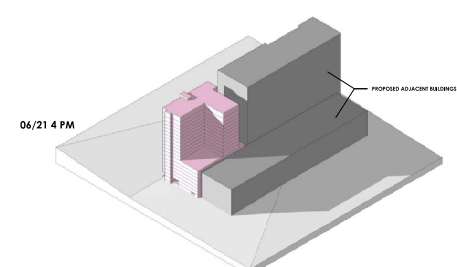
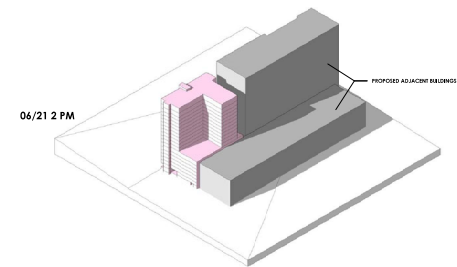
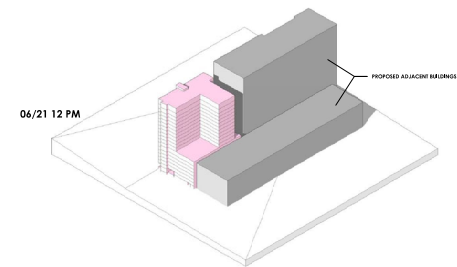
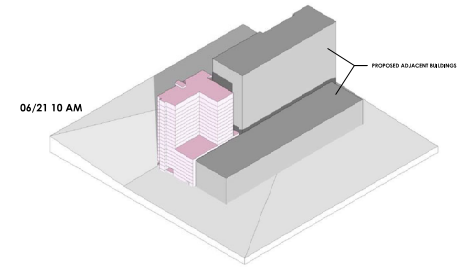
Revisions		
No.	Description	Date

SUN STUDY

Z5.03



SUMMER SOLSTICE SUN STUDY



WINTER SOLSTICE SUN STUDY