



Administrative Approval Action

Case File / Name: ASR-0111-2022
DSL - QUARRY STATE BUILDINGS

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of Rock Quarry Road, north of Martin Luther King, Jr Boulevard at 760 Quarry Street & 921 MLK Blvd.

REQUEST: Development of an existing 2-lot, 34 acre/14,983 sf tract zoned R-10. A total of .02 ac/722 sf of right-of-way dedication, leaving a net area of .32 ac/14,261 sf. Site development includes existing Lot 1 (.17 ac/7,496 sf) & Lot 2 (.17 ac/7,487 sf), 2 apartment building type townhomes condos, 3-stories/3-bedrooms, 8 units on lots 1, 2. This development is utilizing the Frequent Transit Development option overlay, per UDO Sec.2.7.1.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated by The Site Group.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. Update and label the planter landscaping walls, on SITE200, along the building fronts on Martin L. King Jr. Blvd.
2. Elevation sheet building references are revised, in the title block, to match those building # references identified on SITE200.

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).

Urban Forestry

5. A tree impact permit must be obtained for the removal of existing trees in the existing street right-of-way along Martin Luther King, Jr. Boulevard prior to issuance of a demolition permit or grading permit, whichever comes first.



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☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Right of Way Deed of Easement Required
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<input checked="" type="checkbox"/>	Utility Placement Deed of Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

2. A cross access agreement among the lots identified as PINs 1713144625 and 1713145675 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
3. A public street right-of-way deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
4. A public infrastructure surety shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion and 125% of the improvement cost for the City of Raleigh infrastructure.



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5. A 5' utility placement easement deed of easement (S State Street & Quarry Street frontages), in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Public Utilities

6. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

7. If demolition causes a land disturbance of more than 12,000 sf, a mass grading permit will be required. (UDO 9.4.6)
8. The maximum allocated impervious area for all applicable lots should be identified on all maps for recording.
9. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A demolition permit shall be obtained.

Engineering

2. A Traffic Control and Pedestrian (TCPED) Plan must be approved and a right-of-way occupancy permit must be obtained from Right-of-way Services for any construction activities within the right-of-way.

Stormwater

3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).



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4. Impervious restrictions for each lot must be recorded on a plat prior to building permit issuance.

Urban Forestry

5. A tree impact permit must be obtained for the approved streetscape tree installations in the rights-of-way. This development proposes 1 street tree along S. State Street, 8 street trees along Martin Luther King, Jr. Boulevard, and 1 street tree along Quarry Street for a total of 10 street tree
6. A public infrastructure surety for 10 street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 100% of the improvement cost for the NCDOT portion, 8 street trees, and 125% of the improvement cost for the City of Raleigh infrastructure, 2 street trees.

The following are required prior to issuance of building occupancy permit:

General

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Final inspection of all right of way street trees by Urban Forestry Staff.

Stormwater

3. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: February 28, 2027

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



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I hereby certify this administrative decision.

Signed: *Daniel L. Stegall* Date: 02/29/2024
Development Services Dir/Designee
Staff Coordinator: Jeff A. Caines

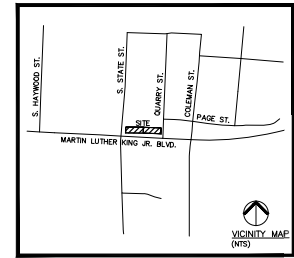
QUARRY-STATE BUILDINGS

921 MLK JR. BLVD. & 760 QUARRY ST.

RALEIGH, NORTH CAROLINA

TIER THREE SITE PLANS

PROJECT # ASR-0111-2022



Administrative Site Review Application

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.2. Please check the appropriate building type and include the plan checked document when submitting.

Office Use Only: Case # _____ Planner (print) _____

Please review UDO Section 10.2.2 to determine the site plan fee. If assistance determining a Site Plan Tier is needed, a Site Plan Tier Verification request can be submitted online via the [Raleigh and Developmental Design](#). (Note: There is a fee for this verification service.)

Site Plan Tier:	Tier Two Site Plan	Tier Three Site Plan	Site Transaction History
Building and Development Type (check all that apply)			
<input type="checkbox"/> Detached	<input type="checkbox"/> General	<input type="checkbox"/> Subdivision case # _____	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed use	<input type="checkbox"/> Scoping/plan case # _____	
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	<input type="checkbox"/> Certificate of Appropriateness # _____	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Cottage Court	<input type="checkbox"/> Board of Adjustment # _____	
<input type="checkbox"/> Tiny house	<input type="checkbox"/> Zoning Case # _____	<input type="checkbox"/> Zoning Case # _____	
<input type="checkbox"/> Open lot	<input type="checkbox"/> Design Alternate # _____	<input type="checkbox"/> Design Alternate # _____	

GENERAL INFORMATION	
Development name: Quarry-State Buildings	
Inside City limits? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	
Property address(es): 921 Martin Luther King Blvd. & 760 Quarry St.	
Site Plan (by): 1713-14-6675, 1713-14-6625	
Please describe the scope of work. Include any additions, deletions, and areas (UDO 6.1.4). THIS PROJECT PROPOSES THE DEMOLITION OF THE EXISTING RESIDENCE TO CONSTRUCT TWO, FOUR UNIT MULTI-FAMILY BUILDINGS. THESE PLANS COMPLY WITH THE NEW BUILDING CODE, DRIVE ACCESS FROM SOUTH STATE STREET AND QUARRY STREET TRASH BIN PICKUP AREAS, REQUIRED LANDSCAPING AND THE REQUIRED UTILITY CONNECTIONS. EACH UNIT CONTAINS ONE GARAGE. PLEASE SEE ARCHITECTURAL PLANS FOR FLOOR PLANS.	
Current Property Owner(s): Greg Gals	Tier: CEO
Company: DTR Properties, LLC	Address: 10800 Wilmore Drive, Raleigh 27614
Phone #: 919-835-7455	Email: greg@dtroperties.com
Applicant Name (if different from owner, list "who can apply" in instructions):	
Relationship to owner: <input type="checkbox"/> Lessee or contract purchaser <input checked="" type="checkbox"/> Owner's authorized agent <input type="checkbox"/> Easement holder	
Company: The Site Group, PLLC	Address: 1111 Oberlin Rd, Raleigh, NC 27605

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Phone #: 919-835-4787 Email: bdm@the-site-group.net

NOTE: please attach purchase agreement or contract, lease or easement when submitting this form.

Developer Contact: Greg Gals

Company: DTR Properties, LLC

Address: 10800 Wilmore Drive, Raleigh 27614

Phone #: 919-835-7455 Email: greg@dtroperties.com

Applicant Name: Brandon Moore, RLA

Company: The Site Group, PLLC

Address: 1111 Oberlin Rd

Phone #: 919-835-4787 Email: bdm@the-site-group.net

DEVELOPMENT TYPE & SITE DATA TABLE	
APPLICABLE TO ALL DEVELOPMENTS	
SITE DATA	BUILDING DATA
zoning district(s) (please provide the acreage of each): R-10	Existing gross floor area (not to be demolished): 0 SF
Gross site acreage: 0.34	Existing gross floor area to be demolished: 731 SF
# of parking spaces proposed: 16 (2 Garage)	New gross floor area: 5,340
Max # of parking spaces (17.2 C) N/A	Total # of gross to remain and new: 5,340
Overlay District if applicable: N/A	Proposed # of buildings: 2
Existing use (UDO 6.1.4): Single Family Residential	Proposed # of stories for each: 3
Proposed use (UDO 6.1.4): Multi-Family	Proposed # of basement levels (UDO 15.7 A.8): 0

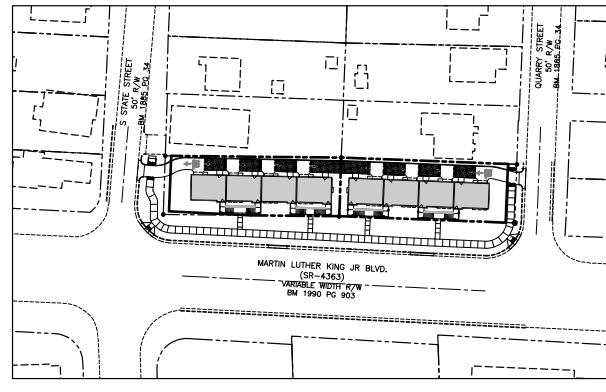
STORMWATER INFORMATION	
Impervious Area on Parcel(s):	Impervious Area for Compliance (includes ROW):
Existing (sq) 1,705	Proposed total (sq) 8,345
Existing (sq) 4,106	Proposed total (sq) 11,534

RESIDENTIAL & OVERLAP LANDING DEVELOPMENTS	
Total # of dwelling units: 8	1 Total # of total bedrooms: 0
# of bedroom units: 8	2 or 3 4 or more
# of lots: 2	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
	A frequent transit development? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Continue to Applicant Signature Block on Page Three.

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PUBLIC IMPROVEMENT QUANTITIES	
PHASE NUMBER	N/A
NUMBER OF LOTS	N/A
LOT NUMBERS BY PHASE	N/A
NUMBER OF UNITS	16
LIABLE BUILDINGS	0
PUBLIC WATER (LF)	0
PUBLIC SEWER (LF)	0
PUBLIC STREET (LF)	0
PUBLIC SIDEWALK (LF)	0
WATER SERVICE STUBS	0
SEWER SERVICE STUBS	0
*STUB COUNT INCLUDES TE-IN POINTS THAT NEED TO BE INSPECTED	

SOLID WASTE COMPLIANCE STATEMENT:
DEVELOPERS HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.

DRAWINGS INDEX:	
SITE 001	COVER SHEET
SITE 002	PROJECT NOTES
SITE 100	EXISTING CONDITIONS & DEMOLITION PLAN
SITE 200	SITE LAYOUT PLAN
SITE 201	IMPERVIOUS AREA PLAN
SITE 300	GRADING PLAN
SITE 400	UTILITY PLAN
SITE 500	LANDSCAPE PLAN
SITE 600	SITE DETAILS
SITE 601	SITE DETAILS
SITE 602	SITE DETAILS
A.1.1	BLDG A & B ROOF PLAN
A.2.1	BLDG A ELEVATIONS
A.2.2	BLDG B ELEVATION

NOTE:
PER SEC. 15.4.C, THE PRIMARY STREET DESIGNATIONS SHALL BE: MARTIN LUTHER KING JR. BLVD. & S. STATE ST.

FLOODPLAIN NOTE:
NO PORTION OF THIS SITE IS LOCATED IN A FLOOD HAZARD AREA ZONE ACCORDING TO FIRM PANEL 37201713006 DATED JULY 19TH, 2022.

TREE CONSERVATION EXEMPTION:
TREE CONSERVATION IS NOT REQUIRED FOR SITE PLANS OF PARCELS LESS THAN 2.0 LESS THAN 2 ACRES IN SIZE. (REFERENCE: RALEIGH UDO SECTION 9.1.2)

PROJECT SCOPE NOTE:
THIS PROJECT PROPOSES THE DEMOLITION OF THE EXISTING RESIDENCE TO CONSTRUCT TWO, FOUR UNIT MULTI-FAMILY BUILDINGS. THESE PLANS COMPLY WITH THE NEW BUILDING CODE, DRIVE ACCESS FROM SOUTH STATE STREET AND QUARRY STREET TRASH BIN PICKUP AREAS, REQUIRED LANDSCAPING AND THE REQUIRED UTILITY CONNECTIONS. EACH UNIT CONTAINS ONE GARAGE - PLEASE SEE ARCHITECTURAL PLANS FOR FLOOR PLANS.

TRAFFIC CONTROL AND PEDESTRIAN PLAN (TCPED) NOTES:

- PRIOR TO ANY WORK THAT IMPACTS THE RIGHT-OF-WAY, CLOSING OR DETOURING OF ANY STREET, LAKE, OR SIDEWALK, THE CONTRACTOR MUST APPLY FOR A PERMIT WITH RIGHT-OF-WAY SERVICES. PLEASE DIRECT ANY QUESTIONS TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- THE CITY OF RALEIGH REQUIRES AN APPROVED RIGHT-OF-WAY OBSTRUCTION PERMIT FOR WORK ON ANY PUBLIC STREET OR SIDEWALK AND NCODD ROAD WITHIN RALEIGH'S JURISDICTION.
- A PERMIT REQUEST WITH A TCPEP PLAN SHALL BE SUBMITTED TO RIGHT-OF-WAY SERVICES THROUGH THE CITY OF RALEIGH PERMIT AND DEVELOPMENT PORTAL.
- PRIOR TO THE START OF WORK, THE CLIENT SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ENGINEERING INSPECTIONS COORDINATOR TO REVIEW THE SPECIFIC COMPONENTS OF THE APPROVED PLAN, AND ENSURE ALL PERMITS ARE ISSUED.
- ALL TCPEP PLANS SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS AND STANDARDS, INCLUDING BUT NOT LIMITED TO:
 - *MANUAL ON UNIFORM TRAFFIC CONTROL (MUTCD);
 - *PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG);
 - *AMERICAN DISABILITY ACT (ADA REQUIREMENTS);
 - *RALEIGH STREET DESIGN MANUAL (RSDM).
- ALL PUBLIC SIDEWALKS MUST BE ACCESSIBLE TO PEDESTRIANS WHO ARE VISUALLY IMPAIRED AND/OR PEOPLE WITH MOBILITY CONCERNS. EXISTING AND ALTERNATIVE PEDESTRIAN ROUTES DURING CONSTRUCTION SHALL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG). THE ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PERMITS MUST BE AVAILABLE AND VISIBLE ON SITE DURING THE OPERATION.

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY, TOPOGRAPHY, AND UTILITY INFORMATION IS TAKEN FROM A SURVEY BY TURNING POINT SURVEYING, PLLC, DATED MARCH 31ST, 2022. ADDITIONAL PROPERTY INFORMATION IS TAKEN FROM WAKE COUNTY GIS AND HAS NOT BEEN FIELD VERIFIED.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
- NO PORTION OF THE PROPERTY IS LOCATED IN THE 100 YEAR FLOOD PLAIN AS SHOWN ON FEMA FIRM MAP NO. 37201713006 EFFECTIVE DATE JULY 19, 2022.

OWNER:
ERIC TOWNES & MARILYN O'NEAL
760 QUARRY STREET
RALEIGH, NC 27601

OWNER:
DTR PROPERTIES LLC
ATTN: GABRIEL GALA
10800 WILMORE DRIVE
RALEIGH, NC 27614
PHONE: (919) 455-7455
EMAIL: gabriel@dtroperties.com

CONTACT/CIVIL ENGINEER:
THE SITE GROUP, PLLC
ATTN: BRANDON MOORE, RLA
1111 OBERLIN ROAD
RALEIGH, NC 27605
PHONE: (919) 835-4787
FAX: (919) 835-2255
EMAIL: bdm@the-site-group.net

ARCHITECT:
TORTILINES DESIGN
ATTN: CRAIG BETHEL, RA
15 W. HARGETT ST., SUITE 501
RALEIGH, NC 27601
PHONE: 919-834-3600
EMAIL: craig@tortilinesdesign.com

SITE DATA SUMMARY

PROJECT NAME:	QUARRY-STATE BUILDINGS
PROJECT OWNER:	DTR PROPERTIES LLC, ERIC O'NEAL & MARILYN TOWNES
FIN(S):	1713-14-6625 (#1), 1713-14-6675 (#2)
SITE ADDRESS:	921 MARTIN LUTHER KING BLVD. & 760 QUARRY ST.
JURISDICTION:	CITY OF RALEIGH
ZONING:	R-10
OVERLAY DISTRICT:	N/A
RIVER BASIN:	NEUSE
EXISTING GROSS SITE AREA (LOT #1, LOT#2):	7,496 SF / 0.17 AC., 7,487 SF / 0.17 AC.
RIGHT OF WAY DEDICATION (LOT #1, LOT#2):	340 SF / 0.01 AC., 382 SF / 0.01 AC.
NET SITE AREA (LOT #1, LOT#2):	7,156 SF / 0.16 AC., 7,105 SF / 0.16 AC.
TOTAL NET SITE AREA:	14,261 SF / 0.32 AC.
LOT AREA PER UNIT:	14,261 / 8 UNITS = 1,782 SF. PER UNIT
CURRENT USE:	SINGLE FAMILY RESIDENTIAL, W/AMT
PROPOSED USE:	MULTI-FAMILY (FREQUENT TRAVEL DEVELOPMENT)
EXISTING BUILDING SQUARE FOOTAGE:	731 SF. (LOT #1)
PROPOSED BUILDING SQUARE FOOTAGE:	5,870 SF. EACH
MAXIMUM BUILDING HEIGHT:	45' / 3 STORIES
PROPOSED BUILDING HEIGHT:	44'-11" HT. (3-STORY)
AMENITY AREA REQUIRED:	1,425 SF. (10% OF SITE)
AMENITY AREA PROVIDED:	1,445 SF.
EXISTING IMPERVIOUS AREA (LOT #1, LOT#2):	1,218 SF / 0.03 AC., 487 SF / 0.01 AC.
PROP. IMPERVIOUS SURFACE AREA (LOT#1, LOT#2):	4,189 SF / 0.10 AC., 4,156 SF / 0.10 AC.
LIMITS OF DISTURBANCE:	24,854 SF / 0.57 AC.
REQUIRED LOT DIMENSIONS (SEC. 27.1.B):	
AREA (MIN):	2,500 SF.
LOT WIDTH (MIN):	45'
DEPTH (MIN):	40'
DENSITY (MAX):	N/A
OUTDOOR AMENITY AREA (MIN):	108 SF
LOT AREA REQUIRED PER UNIT (SEC. 27.1.C):	800 SF
BUILDING SETBACKS (FTA OPTION 27.1.D):	
PRIMARY STREET:	10'
SIDE STREET:	10'
SIDE LOT:	5'
REAR LOT LINE:	15'
FROM ALLEY:	4' OR 20'
PARKING SETBACKS (FTA OPTION 27.1.F):	
FRONT STREET:	10'
SIDE STREET:	10'
SIDE LOT:	5'
REAR LOT LINE:	3'
FROM ALLEY:	4' OR 20'
PARKING REQUIRED:	16 SPACES (2/UNIT + 2 VISITORS)
PARKING PROVIDED:	NONE REQUIRED / NONE PROVIDED
SHORT-TERM & LONG-TERM BICYCLE PARKING:	CITY OF RALEIGH
WATER PROVIDER:	CITY OF RALEIGH
SEWER PROVIDER:	CITY OF RALEIGH
ELECTRIC PROVIDER:	DUKE ENERGY PROGRESS

DISTURBED AREA = 24,854 SF. (0.57 AC.)

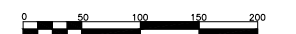


NORTH

COVER SHEET

SCALE: 1" = 50'

(DRAWING SCALED FOR 24x36 INCH PLOTS)



THE SITE GROUP
CIVIL ENGINEERS & LANDSCAPE ARCHITECTS
1111 Oberlin Road
Raleigh, NC 27605
Office: 919-835-4787
Fax: 919-835-2255
Email: info@thesitegroup.net

TIER THREE SITE PLANS (ASR-0111-2022) FOR:
QUARRY-STATE BUILDINGS
921 MARTIN LUTHER KING JR. BLVD. &
760 QUARRY ST.
RALEIGH, NORTH CAROLINA

Drawn By: RLA
Checked By: BDM
DATE: 21 NOV 2022
REVISED:
29 MAR 2023
26 JUN 2023
01 SEP 2023
27 OCT 2023

TIER THREE SITE PLANS

COVER SHEET

Job Code: GGMLK

Dwg No. 001



December 8, 2022

Greg Gale
Gale Investments LLC
105 Kilmayne Dr.
Cary, NC 27511

Attn: Greg and Tami

This is a letter of support for trash and recycling services for your new project being planned for 760 Quarry St. Raleigh, NC.
We have reviewed the plans and have found that GFL Environmental will be able to safely perform all commercial waste and recycling services for this property.
If the project design changes, this letter is void and a new letter must be issued. Additionally, this letter is non-transferable.

Current design plans include 8 Units that would need 8 - 96 gal carts for trash and 8-96 gal recycling carts with curbside pickup. There will be no cars allowed to park in the alley.
We look forward to providing waste and recycling services at your new property once it has been completed.

Should you have any questions or need more information, please contact me at greg.gale@flinn.com.

Sincerely,
Steve Smith
Account Manager
GFL Environmental - Raleigh
(41) 919-827-2899

8801 Benven Drive, Suite 801, Raleigh, NC 27603
Tel: 919-328-9000 | gflenv.com

THE SITE GROUP
CIVIL ENGINEERS - LANDSCAPE ARCHITECTS



THE SITE GROUP, PLLC
8111 Oberlin Road
Raleigh, NC 27615-1136 USA
Office: 919.835.4787
Fax: 919.835.4787
E-Mail: info@thesitegroup.net

TIER THREE SITE PLANS (JASR-0111-2022) FOR:
QUARRY-STATE BUILDINGS
921 MARTIN LUTHER KING JR. BLVD. &
760 QUARRY ST.
RALEIGH, NORTH CAROLINA

Drawn By: RLA
Checked By: BDM

DATE:
12 JUN 2023
REVISED:
26 JUN 2023
01 SEP 2023

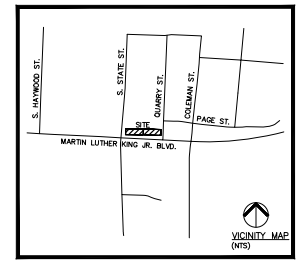
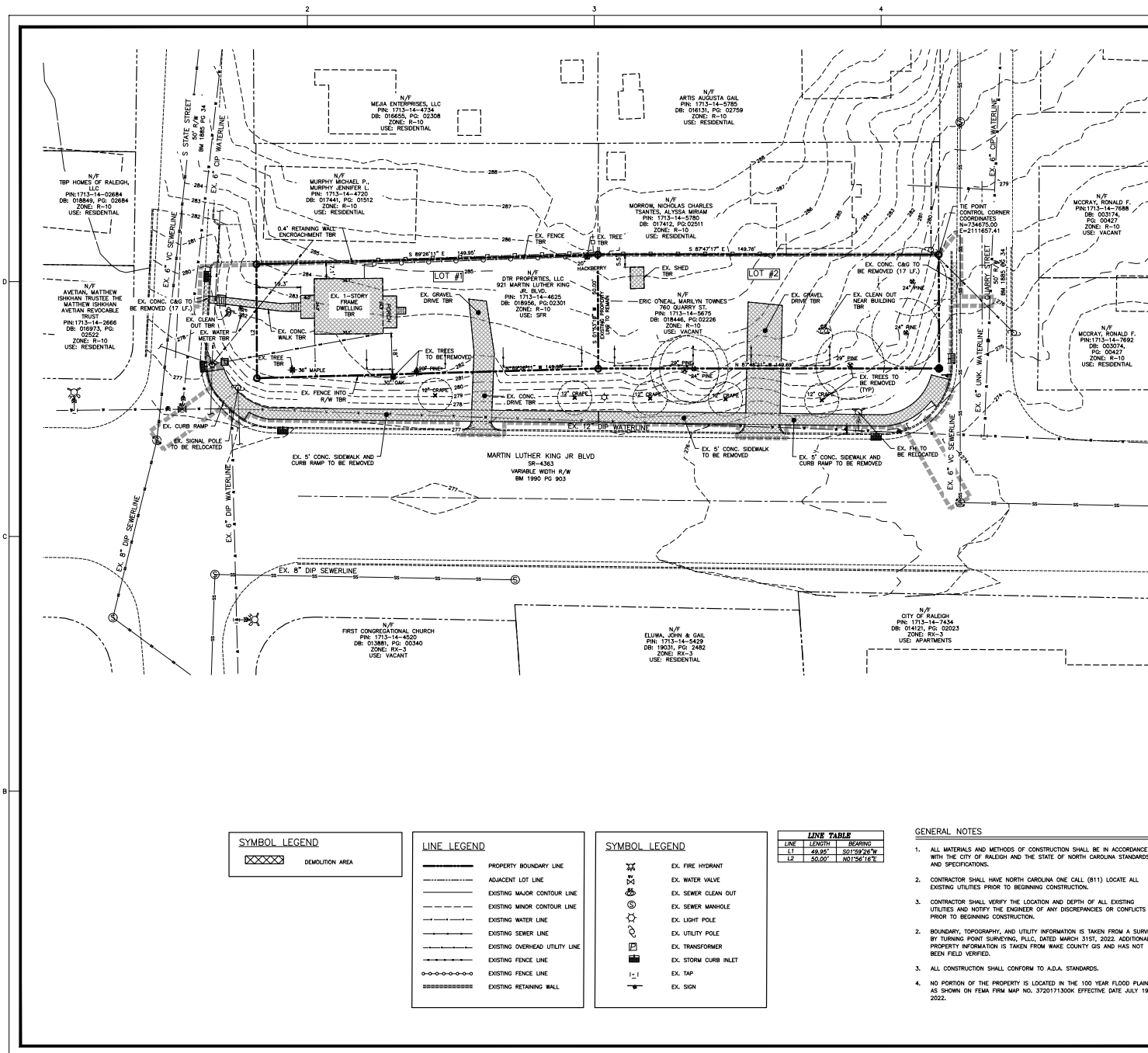
TIER THREE
SITE PLANS

PROJECT
NOTES

Job Code: GGMLK

Dwg No.
**SITE
002**

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SITE DATA SUMMARY

PROJECT NAME:	QUARRY-STATE BUILDINGS
PROJECT OWNER:	DTR PROPERTIES LLC, ERIC O'NEAL & MARILYN TOWNES
PNWS:	1713-14-4025 (P1), 1713-14-5075 (P2)
SITE ADDRESS:	921 MARTIN LUTHER KING BLVD. & 760 QUARRY ST.
JURISDICTION:	CITY OF RALEIGH
ZONING:	R-10
OVERLAY DISTRICT:	NEUSE
RIVER BASIN:	NEUSE
EXISTING GROSS SITE AREA (LOT #1, LOT#2):	7,496 SF / 0.17 AC, 7,487 SF / 0.17 AC
RIGHT OF WAY DEDICATION (LOT #1, LOT#2):	340 SF / 0.01 AC, 382 SF / 0.01 AC
NET SITE AREA (LOT #1, LOT#2):	7,156 SF / 0.16 AC, 7,105 SF / 0.16 AC
TOTAL NET SITE AREA:	14,261 SF / 0.32 AC
LOT AREA PER UNIT:	14,261 SF / 0.32 AC = 1,782 SF / 0.04 AC
CURRENT USE:	SINGLE FAMILY RESIDENTIAL/VACANT
PROPOSED USE:	MULTI-FAMILY RESIDENTIAL/TRANSIT DEVELOPMENT
EXISTING BUILDING SQUARE FOOTAGE:	731 SF. (LOT #1)
PROPOSED BUILDING SQUARE FOOTAGE:	2,670 SF. EACH
MAXIMUM BUILDING HEIGHT:	45' / 3 STORES
PROPOSED BUILDING HEIGHT:	44'-11" HT. (3-STOREY)
AMENITY AREA REQUIRED:	1,425 SF. (10% OF SITE)
AMENITY AREA PROVIDED:	1,445 SF.
EXISTING IMPERVIOUS AREA (LOT #1, LOT#2):	1,219 SF / 0.03 AC, 487 SF / 0.01 AC
PROP. IMPERVIOUS SURFACE AREA (LOT#1, LOT#2):	4,189 SF / 0.10 AC, 4,156 SF / 0.10 AC
LIMITS OF DISTURBANCE:	24,854 SF / 0.57 AC
REQUIRED LOT DIMENSIONS (SEC. 2.7.1.8.):	
AREA (MIN):	2,500 SF.
LOT WIDTH (MIN):	45'
DEPTH (MIN):	60'
DENSITY (MAX):	N/A
OUTDOOR AMENITY AREA (MIN):	10%
LOT AREA REQUIRED PER UNIT (SEC. 2.7.1.C.):	800 SF
BUILDING SETBACKS (FTA OPTION 2.7.1.D):	
PRIMARY STREET:	10'
SIDE STREET:	10'
SIDE LOT:	5'
REAR LOT LINE:	5'
FROM ALLEY:	4' OR 20'
PARKING SETBACKS (FTA OPTION 2.7.1.F):	
FRONT STREET:	10'
SIDE STREET:	10'
SIDE LOT:	0'
REAR LOT LINE:	3'
FROM ALLEY:	4' OR 20'
PARKING REQUIRED:	NO MAX
PARKING PROVIDED:	18 SPACES (2/UNIT + 2 VISITOR)
SHORT-TERM & LONG-TERM BICYCLE PARKING:	NONE REQUIRED / NONE PROVIDED
WATER PROVIDER:	CITY OF RALEIGH
SEWER PROVIDER:	CITY OF RALEIGH
ELECTRIC PROVIDER:	DUKE ENERGY PROGRESS

SYMBOL LEGEND	
	DEMOLITION AREA

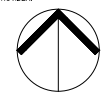
LINE LEGEND	
	PROPERTY BOUNDARY LINE
	ADJACENT LOT LINE
	EXISTING MAJOR CONTOUR LINE
	EXISTING MINOR CONTOUR LINE
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING OVERHEAD UTILITY LINE
	EXISTING FENCE LINE
	EXISTING RETAINING WALL

SYMBOL LEGEND	
	EX. FIRE HYDRANT
	EX. WATER VALVE
	EX. SEWER CLEAN OUT
	EX. SEWER MANHOLE
	EX. LIGHT POLE
	EX. UTILITY POLE
	EX. TRANSFORMER
	EX. STORM CURB INLET
	EX. TAP
	EX. SIGN

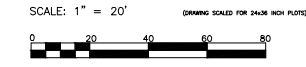
LINE TABLE		
LINE	LENGTH	BEARING
L1	49.85'	S01°29'26"W
L2	50.00'	N01°56'16"E

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY, TOPOGRAPHY, AND UTILITY INFORMATION IS TAKEN FROM A SURVEY BY TURNING POINT SURVEYING, PLLC, DATED MARCH 31ST, 2022. ADDITIONAL PROPERTY INFORMATION IS TAKEN FROM WAKE COUNTY GIS AND HAS NOT BEEN FIELD VERIFIED.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
- NO PORTION OF THE PROPERTY IS LOCATED IN THE 100 YEAR FLOOD PLAIN AS SHOWN ON FEMA FIRM MAP NO. 3720171300K EFFECTIVE DATE JULY 19, 2022.



EXISTING CONDITIONS & DEMOLITION PLAN

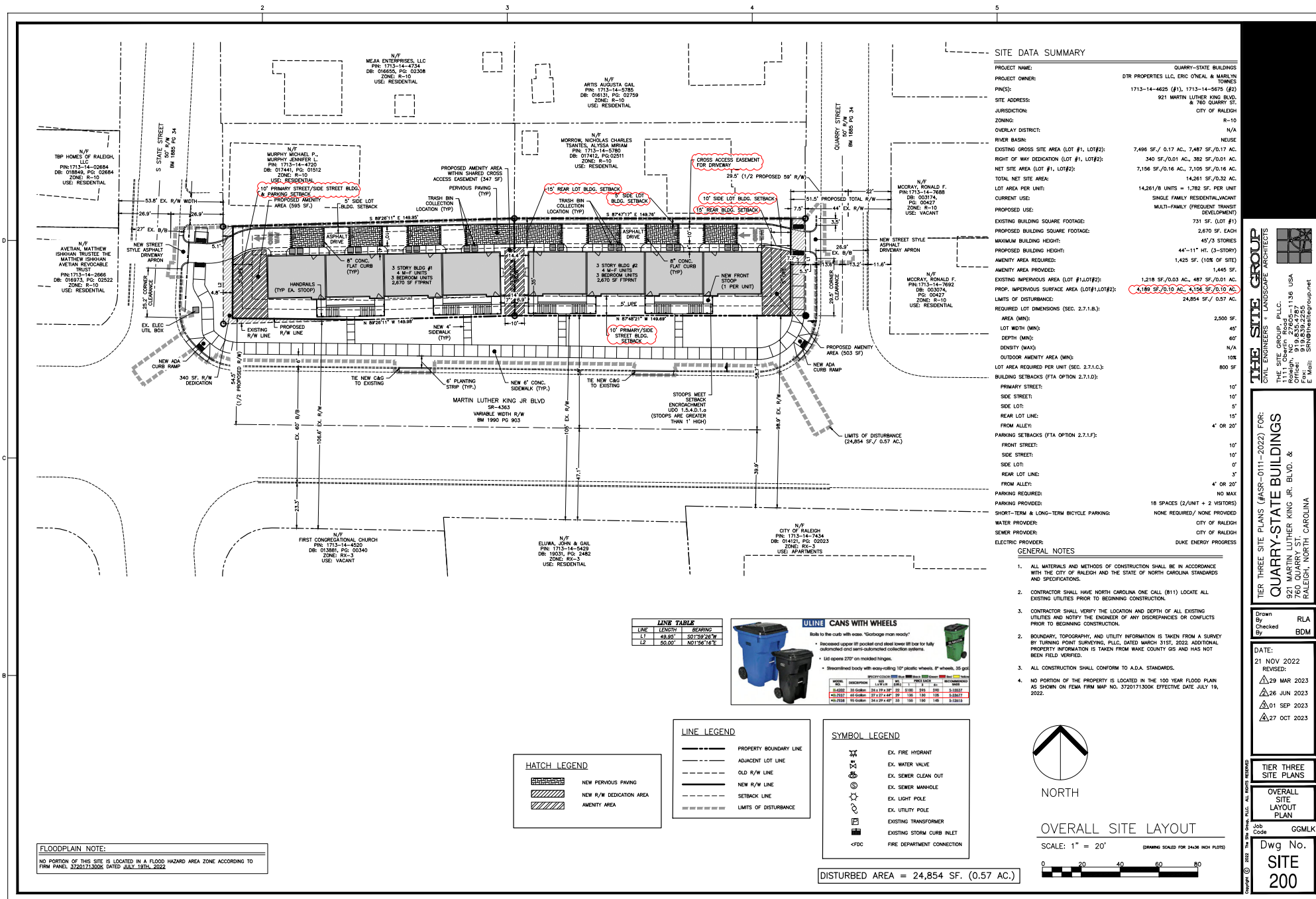


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TIER THREE SITE PLANS (JASR-011-2022) FOR:
QUARRY-STATE BUILDINGS
921 MARTIN LUTHER KING JR. BLVD. &
760 QUARRY ST.
RALEIGH, NORTH CAROLINA

Drawn By: RLA
Checked By: BOM
DATE: 21 NOV 2022
REVISED:
29 MAR 2023
26 JUN 2023
01 SEP 2023
27 OCT 2023

EXISTING CONDITIONS & DEMOLITION PLAN
Job Code: GGMLK
Dwg No.: **SITE 100**



SITE DATA SUMMARY

PROJECT NAME:	QUARRY-STATE BUILDINGS
PROJECT OWNER:	DTR PROPERTIES LLC, ERIC O'NEAL & MARILYN TOWNES
PN(S):	1713-14-4625 (#1), 1713-14-5675 (#2)
SITE ADDRESS:	921 MARTIN LUTHER KING BLVD. & 760 QUARRY ST.
JURISDICTION:	CITY OF RALEIGH
ZONING:	R-10
OVERLAY DISTRICT:	N/A
RIVER BASIN:	NEUSE
EXISTING GROSS SITE AREA (LOT #1, LOT#2):	7,488 SF / 0.17 AC., 7,487 SF / 0.17 AC.
RIGHT OF WAY DEDICATION (LOT #1, LOT#2):	340 SF / 0.01 AC., 382 SF / 0.01 AC.
NET SITE AREA (LOT #1, LOT#2):	7,156 SF / 0.16 AC., 7,105 SF / 0.16 AC.
TOTAL NET SITE AREA:	14,261 SF / 0.32 AC.
LOT AREA PER UNIT:	14,261/8 UNITS = 1,782 SF. PER UNIT
CURRENT USE:	SINGLE FAMILY RESIDENTIAL/VACANT
PROPOSED USE:	MULTI-FAMILY (FREQUENT TRANSIT DEVELOPMENT)
EXISTING BUILDING SQUARE FOOTAGE:	731 SF. (LOT #1)
PROPOSED BUILDING SQUARE FOOTAGE:	2,670 SF. EACH
MAXIMUM BUILDING HEIGHT:	45/3 STORES
PROPOSED BUILDING HEIGHT:	44'-11" HT. (3-STORY)
AMENITY AREA PROVIDED:	1,425 SF. (10% OF SITE)
AMENITY AREA REQUIRED:	1,445 SF.
EXISTING IMPERVIOUS AREA (LOT #1, LOT#2):	1,218 SF / 0.03 AC., 487 SF / 0.01 AC.
PROP. IMPERVIOUS SURFACE AREA (LOT#1, LOT#2):	4,180 SF / 0.10 AC., 4,156 SF / 0.10 AC.
LIMITS OF DISTURBANCE:	24,854 SF / 0.57 AC.
REQUIRED LOT DIMENSIONS (SEC. 27.1.1.B):	
AREA (MIN):	2,500 SF.
LOT WIDTH (MIN):	45'
DEPTH (MIN):	60'
DENSITY (MAX):	N/A
OUTDOOR AMENITY AREA (MIN):	10%
LOT AREA REQUIRED PER UNIT (SEC. 27.1.1.C):	800 SF
BUILDING SETBACKS (F.T.A. OPTION 27.1.D):	
PRIMARY STREET:	10'
SIDE STREET:	10'
SIDE LOT:	5'
REAR LOT LINE:	15'
FROM ALLEY:	4' OR 20'
PARKING SETBACKS (F.T.A. OPTION 27.1.F):	
FRONT STREET:	10'
SIDE STREET:	10'
SIDE LOT:	0'
REAR LOT LINE:	3'
FROM ALLEY:	4' OR 20'
PARKING REQUIRED:	NO MAX
PARKING PROVIDED:	18 SPACES (2/UNIT + 2 VISITORS)
SHORT-TERM & LONG-TERM BICYCLE PARKING:	NONE REQUIRED / NONE PROVIDED
WATER PROVIDER:	CITY OF RALEIGH
SEWER PROVIDER:	CITY OF RALEIGH
ELECTRIC PROVIDER:	DUKE ENERGY PROGRESS

GENERAL NOTES

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
4. BOUNDARY, TOPOGRAPHY, AND UTILITY INFORMATION IS TAKEN FROM A SURVEY BY TURNING POINT SURVEYING, PLLC, DATED MARCH 31ST, 2022. ADDITIONAL PROPERTY INFORMATION IS TAKEN FROM WAKE COUNTY GIS AND HAS NOT BEEN FIELD VERIFIED.
5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
6. NO PORTION OF THE PROPERTY IS LOCATED IN THE 100 YEAR FLOOD PLAIN AS SHOWN ON FEMA FIRM MAP NO. 3702171300K EFFECTIVE DATE JULY 18, 2022.

LINE TABLE		
LINE	LENGTH	BEARING
L1	49.85	S 01° 58' 26" W
L2	50.00	N 01° 58' 26" E

ULINE CANS WITH WHEELS

Bole to the curb with wheel. "Garbage man ready"

- Recycled upper fill pocket and steel lower fill box for fully automated and semi-automated collection systems.
- Lot opens 270° on rounded hinges.
- Recycled body with heavy-duty 10" plastic wheels, 8" wheels, 35 gal.

MODEL	REAR OPENING	FRONT OPENING	FRONT WHEELS	REAR WHEELS
40-2022	28 inches	28 inches	28 inches	28 inches
40-2022	48 inches	48 inches	48 inches	48 inches
40-2028	48 inches	48 inches	48 inches	48 inches

HATCH LEGEND	
	NEW PERVIOUS PAVING
	NEW R/W DEDICATION AREA
	AMENITY AREA

LINE LEGEND	
	PROPERTY BOUNDARY LINE
	ADJACENT LOT LINE
	OLD R/W LINE
	NEW R/W LINE
	SETBACK LINE
	LIMITS OF DISTURBANCE

SYMBOL LEGEND	
	EX. FIRE HYDRANT
	EX. WATER VALVE
	EX. SEWER CLEAN OUT
	EX. SEWER MANHOLE
	EX. LIGHT POLE
	EX. UTILITY POLE
	EXISTING TRANSFORMER
	EXISTING STORM CURB INLET
	FIRE DEPARTMENT CONNECTION



OVERALL SITE LAYOUT

SCALE: 1" = 20'

(DRAWING SCALES FOR 36X48 INCH PLOTS)

FLOODPLAIN NOTE:

NO PORTION OF THIS SITE IS LOCATED IN A FLOOD HAZARD AREA ZONE ACCORDING TO FIRM PANEL 3702171300K DATED JULY 18TH, 2022

THE SITE GROUP

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E-Mail: SNG@thesitegroup.net

TIER THREE SITE PLANS (JASR-0111-2022) FOR:

QUARRY-STATE BUILDINGS

921 MARTIN LUTHER KING JR. BLVD. &
760 QUARRY ST.
RALEIGH, NORTH CAROLINA

Drawn By: RLA
Checked By: BDM

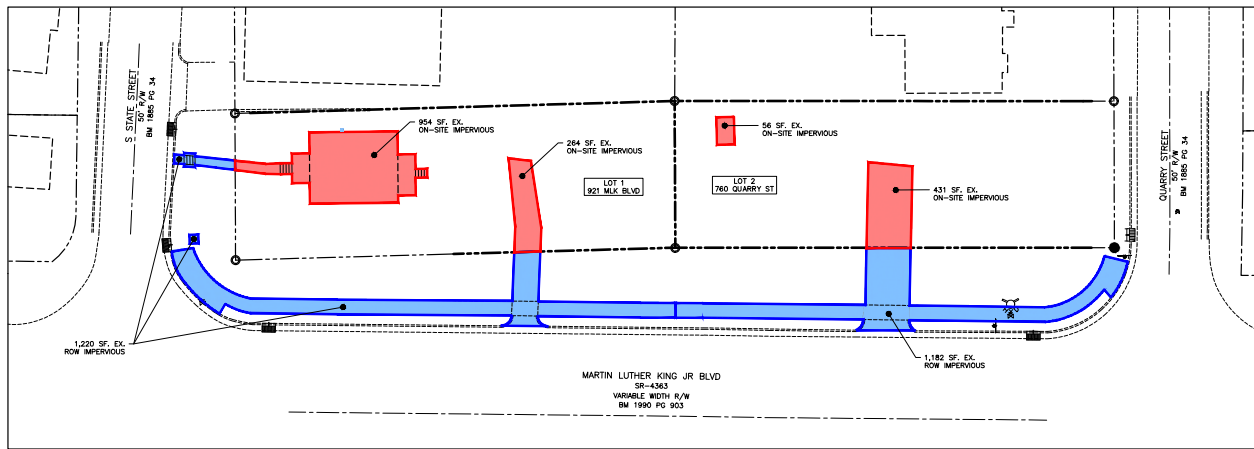
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01 SEP 2023
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TIER THREE SITE PLANS

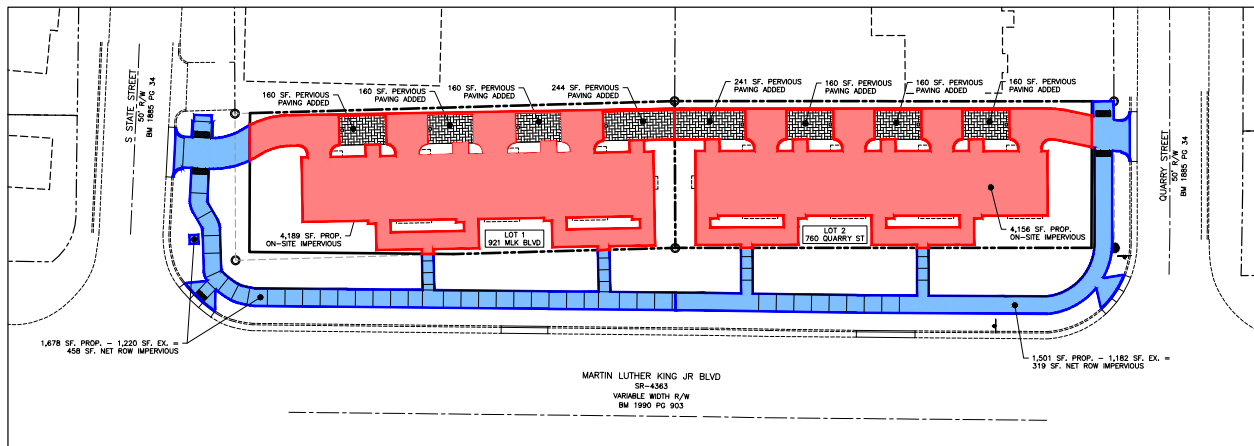
OVERALL SITE LAYOUT PLAN

Job Code: GGMLK

Dwg No. **SITE 200**



EXISTING CONDITIONS



PROPOSED CONDITIONS

HATCH LEGEND

	PROPOSED PERVIOUS PAVING
	EXISTING/PROPOSED ON-SITE IMPERVIOUS AREA
	EXISTING/PROPOSED ROW IMPERVIOUS AREA

IMPERVIOUS AREA CALCULATIONS

	Lot 1 (SF)	Lot 2 (SF)
Net Area	7154	7105
65% of Net Area	4651	4618
Existing Impervious in R/W	1220	1182
Proposed Impervious in R/W	1678	1501
Net Impervious in R/W	458	319
Maximum Impervious on Lot	4193	4299
Impervious on Lot	4186	4156



NORTH
IMPERVIOUS
AREA PLAN

SCALE: 1" = 20'



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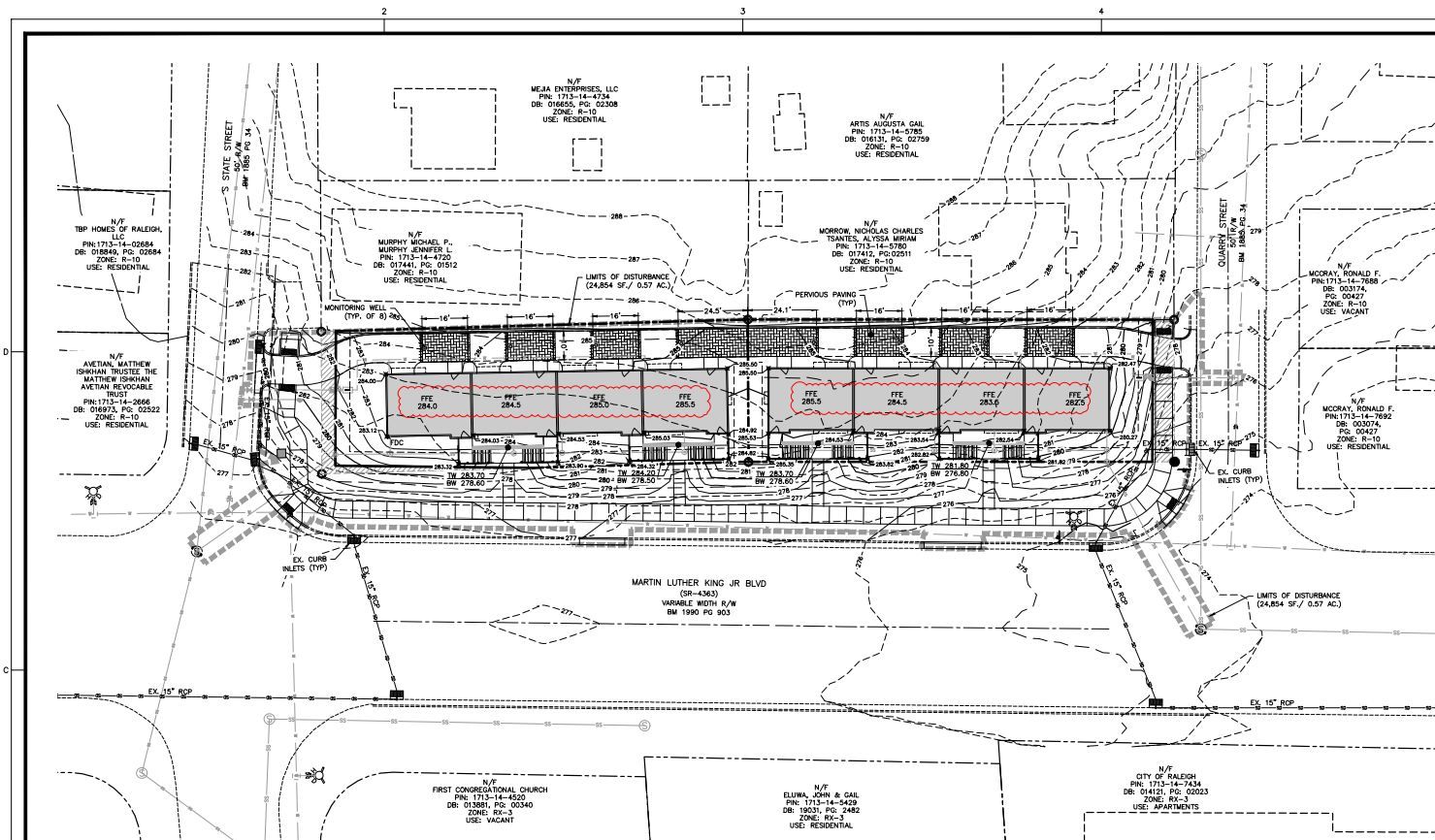
DATE:
27 OCT 2023

TIER THREE
SITE PLANS

IMPERVIOUS
AREA
PLAN

Job Code: GGMLK

Dwg No.
**SITE
201**



STORMWATER NOTE:

THIS PROJECT IS EXEMPT FROM THE NEUSE RULES BASED ON CITY OF RALEIGH STORMWATER DESIGN MANUAL SECTION 12.6.2:

THE FOLLOWING DEVELOPMENT ACTIVITIES ARE EXEMPT FROM THE NEUSE RULES:

(4) ANY PLOT PLAN AND SITE PLAN, INCLUDING THEIR ACCESSORY USES, PLACED WITHIN ANY SUBDIVISION OF ONE-HALF ACRE OR LESS IN AGGREGATE SIZE APPROVED AFTER THE APPLICATION OF THIS REGULATION WHICH CUMULATIVELY CONTAINS LESS THAN TWELVE THOUSAND (12,000) SQUARE FEET OF IMPERVIOUS SURFACE, INCLUDING IMPERVIOUS SURFACES OF RELATED ON-SITE OR OFF-SITE FACILITIES."

THIS PROPERTY IS A 0.36 ACRES AND THE TOTAL IMPERVIOUS IS 9,572 SF, SO THIS PROJECT MEETS THE ABOVE CRITERIA.

SYMBOL LEGEND		LINE LEGEND	
	EX. FIRE HYDRANT		PROPERTY BOUNDARY LINE
	EX. WATER VALVE		ADJACENT LOT LINE
	EX. SEWER CLEAN OUT		OLD R/W LINE
	EX. SEWER MANHOLE		NEW R/W LINE
	EX. LIGHT POLE		SETBACK LINE
	EX. UTILITY POLE		LIMITS OF DISTURBANCE
	EXISTING TRANSFORMER		EXISTING STORM DRAIN
	EXISTING STORM CURB INLET		NEW STORM DRAIN
	FIRE DEPARTMENT CONNECTION		

- GRADING & EROSION CONTROL NOTES**
1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
 2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
 4. SURVEY & BASE INFORMATION PROVIDED BY PREVIOUSLY APPROVED PRELIMINARY SUBDIVISION PLANS BY WITHERS & RAVENEL, DATED JULY 15 2020. ADDITIONAL PROPERTY INFORMATION IS TAKEN FROM CITY OF RALEIGH GIS.
 5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING, COORDINATING, AND PAYMENT FOR ALL NECESSARY LOCATING SERVICES INCLUDING INDEPENDENT LOCATING SERVICES. THE CONTRACTOR SHALL HAVE ALL EXISTING UTILITIES LOCATED AT LEAST 48 HOURS PRIOR TO BEGINNING DEMOLITION, EXCAVATION, OR ANY OTHER FORM OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTS. EXISTING IMPROVEMENTS DAMAGED OR DESTROYED BY THE CONTRACTOR DURING CONSTRUCTION SHALL BE RESTORED OR REPLACED TO ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL PERMITS, INSPECTIONS, CERTIFICATIONS, AND OTHER REQUIREMENTS WHICH MUST BE MET UNDER THIS CONTRACT ARE OBTAINED.
 8. IF DEPARTURES FROM THE PROJECT DRAWINGS OR SPECIFICATIONS ARE DEEMED NECESSARY BY THE CONTRACTOR, DETAILS OF SUCH DEPARTURES AND REASONS THEREFOR SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO CONSTRUCTION. NO DEPARTURES FROM THE CONTRACT DOCUMENTS SHALL BE MADE WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE OWNER'S REPRESENTATIVE.
 9. THE ENGINEER DISCLAIMS ANY ROLE IN THE CONSTRUCTION MEANS AND/OR METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
 10. THE STREETS IN FRONT OF THE PROJECT WILL BE KEPT CLEAR AT ALL TIMES OR A WORK STATION WILL BE REQUIRED.
 11. A NCDOT PERMIT IS REQUIRED PRIOR TO STARTING ANY WORKING IN THE NCDOT RIGHT OF WAY. ANY CHANGES RESULTING FROM NCDOT'S REVIEW WILL REQUIRE AN SPR REVISION, WHICH SHALL BE REVIEWED AND APPROVED BY CITY STAFF.

- GENERAL NOTES**
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 2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
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 5. ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
 6. NO PORTION OF THE PROPERTY IS LOCATED IN THE 100 YEAR FLOOD PLAIN AS SHOWN ON FEMA FIRM MAP NO. 3202171000K EFFECTIVE DATE JULY 19, 2022.



GRADING PLAN

SCALE: 1" = 20'



DISTURBED AREA = 24,854 SF. (0.57 AC.)

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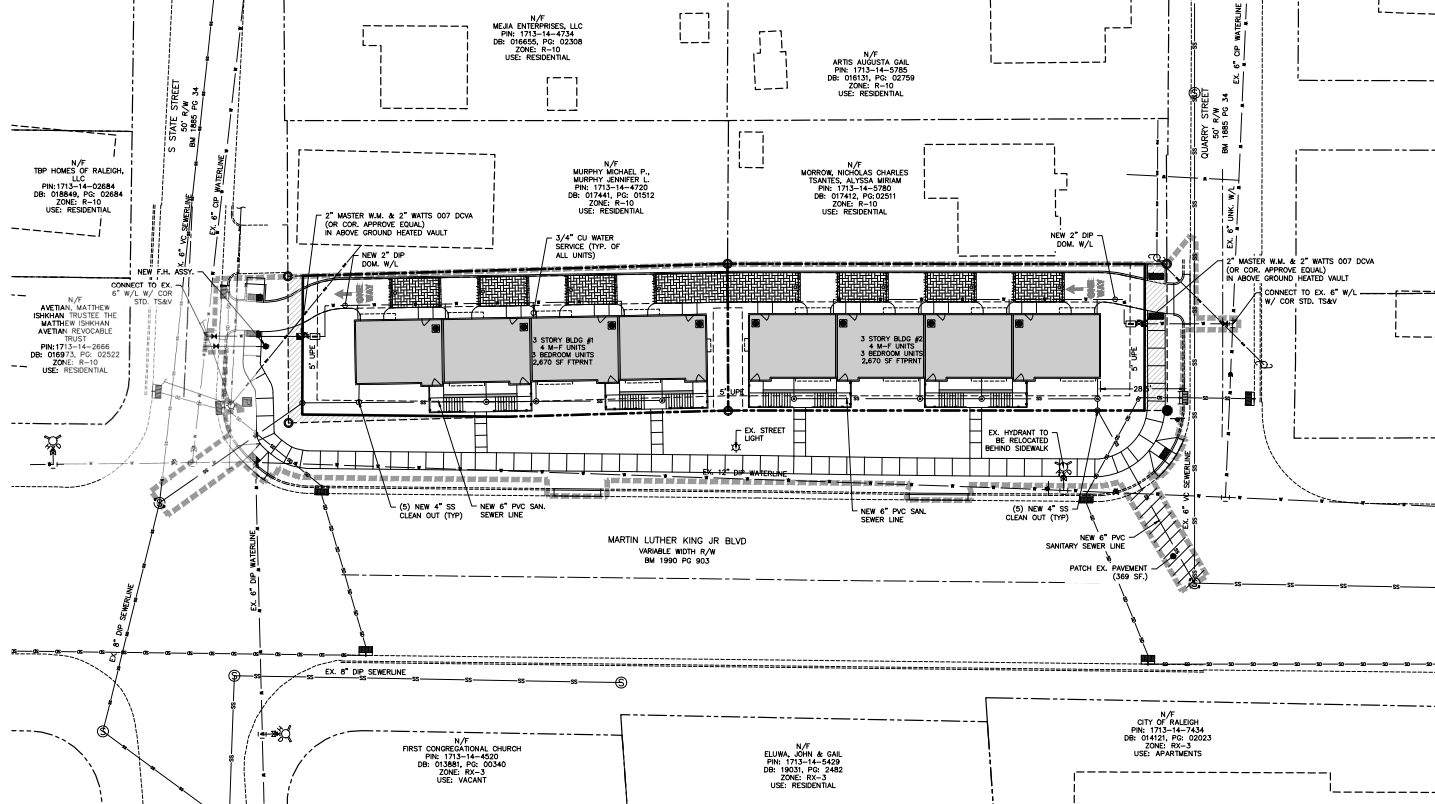
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TIER THREE SITE PLANS

GRADING PLAN

Job Code: GGMLK

Dwg No. **SITE 300**



COR STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER, IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CHAMBER HAVING 6" MIN. CLEARANCE PER CORPUS DETAILS 8-41 & 8-49.
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE.
- INSTALL 4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'x2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 986-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE CONNECTION OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 986-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- EDIT TYPICAL SERVICE SIZE & MATERIAL AS APPROPRIATE.

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY, TOPOGRAPHY, AND UTILITY INFORMATION IS TAKEN FROM A SURVEY BY TURNING POINT SURVEYING, PLLC, DATED MARCH 31ST, 2022. ADDITIONAL PROPERTY INFORMATION IS TAKEN FROM WAKE COUNTY GIS AND HAS NOT BEEN FIELD VERIFIED.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.

UTILITY NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ELECTRIC, GAS AND TELEPHONE SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
- THIS PLAN IS DIAGNOSTIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL AND PROPOSED LOCATION OF UTILITIES TO AVOID CONFLICTS.

LINE LEGEND

---	PROPERTY BOUNDARY LINE
---	ADJACENT LOT LINE
---	OLD R/W LINE
---	NEW R/W LINE
---	EXISTING MAJOR CONTOUR LINE
---	EXISTING MINOR CONTOUR LINE
---	EXISTING WATER LINE
---	NEW WATER LINE
---	EXISTING SEWER LINE
---	NEW SEWER LINE
---	EXISTING OVERHEAD UTILITY LINE

SYMBOL LEGEND

⊗	EX. FIRE HYDRANT
⊕	EX. WATER VALVE
⊙	EX. SEWER CLEAN OUT
⊕	EX. SEWER MANHOLE
⊙	EX. LIGHT POLE
⊕	EX. UTILITY POLE
⊙	EXISTING TRANSFORMER
⊕	EXISTING STORM CURB INLET



UTILITY PLAN

SCALE: 1" = 20'



DISTURBED AREA = 24,854 SF. (0.57 AC.)

THE SITE GROUP
CIVIL ENGINEERS / LANDSCAPE ARCHITECTS
1111 Ocean Road, Suite 1136
Raleigh, NC 27605
Office: 919.855.4287
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Email: info@thesitegroup.net

TIER THREE SITE PLANS (JASR-0111-2022) FOR:
QUARRY-STATE BUILDINGS
921 MARTIN LUTHER KING JR. BLVD. &
760 QUARRY ST.
RALEIGH, NORTH CAROLINA

Drawn By: RLA
Checked By: BOM

DATE: 21 NOV 2022
REVISED:
29 MAR 2023
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01 SEP 2023
27 OCT 2023

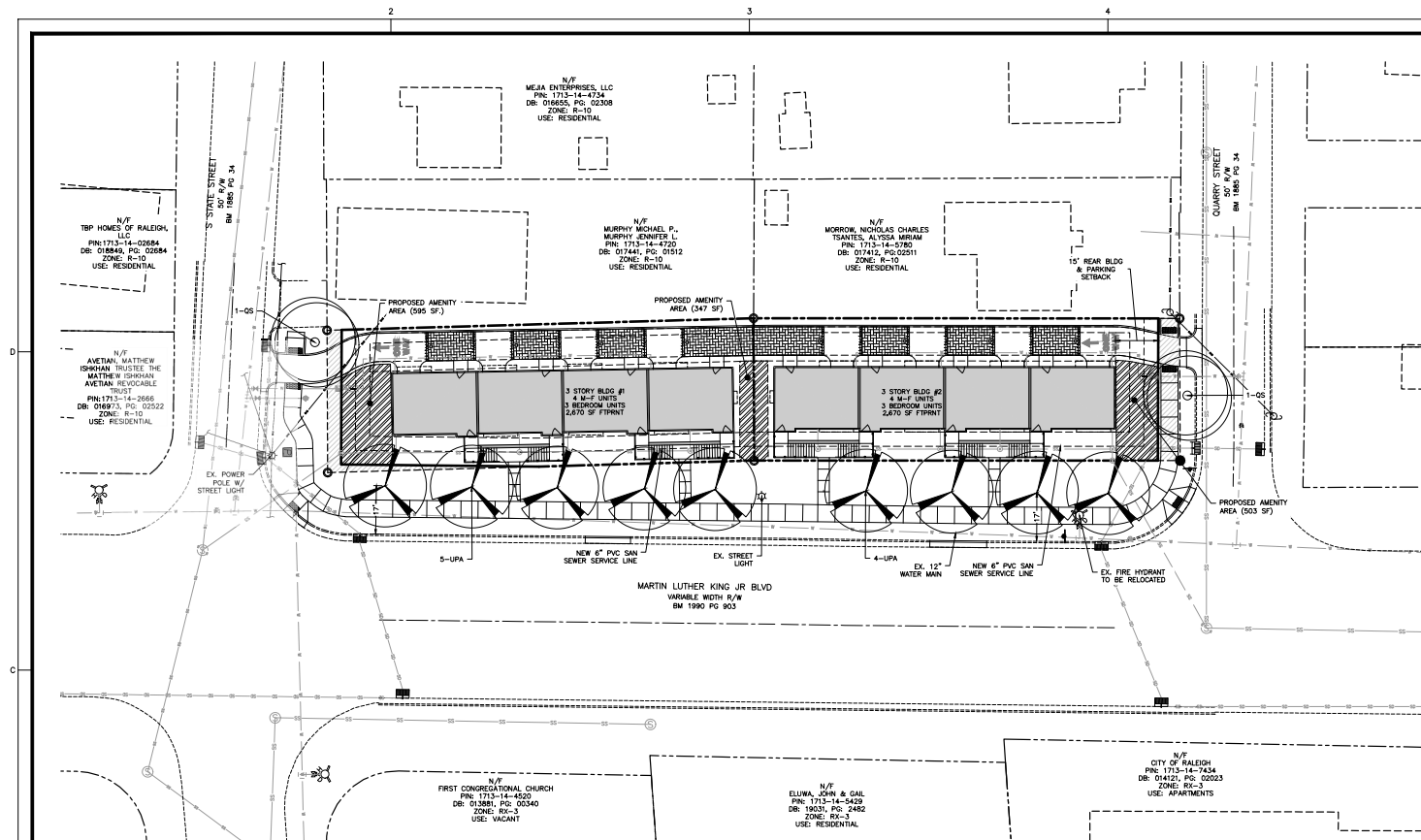
TIER THREE SITE PLANS

UTILITY PLAN

Job Code: GGMLK

Dwg No. **SITE 400**

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DO NOT PRUNE LEADER, PRUNE OR CUT ONLY
LEADER BRANCHES BRANCHED TO AMERICAN NATIONAL
STANDARDS INSTITUTE (ANSI) AND STANDARDS

REMOVE EXCESS SOIL TO EXPOSE THE ROOT FLARE.
THE ROOT FLARE SHALL BE PLANTED AT GRADE.
NO HIGHER THAN 2" ABOVE GRADE AND NO DEEPER
BELOW GRADE. THIS SHALL BE SET PLUMB

MULCH DEPTH NOT MORE THAN 2". KEEP MULCH 1" FROM
ROOT FLARE AND DO NOT CONTACT STEM

PLANTING SOIL MIN. AROUND ROOT BALL AND CUT OFF
OF SOIL OR STRUCTURAL SOIL REQUIRED PER TREE

COMPLETELY REMOVE TOP HALF OF BURLAP
LACING STRAPS. NAILS AND WIRE BASKET AND
BASKET FROM HOLE. ALL SYNTHETIC BURLAP
MUST BE REMOVED FROM BASES OF ROOT BALL

ROOT BALL SHALL BE PLACED DIRECTLY ON
COMPACTED SUBGRADE. PROTECT TREE BY THE
ROOT BALL ONLY.

CONTACT INFORMATION:
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL
RESOURCES DEPARTMENT URBAN FORESTER:
TREES@RALEIGH.GOV
WWW.PALMWORKS.COM

NOTES:

- TREES MUST MEET THE TREE QUALITY STANDARDS
IN CH. 2 OF THE CITY TREE MANUAL.
- CONTRACTOR IS RESPONSIBLE FOR
ADEQUATE DRAINAGE OF ALL PLANTING PITS.
POSITIVE DRAINAGE AWAY FROM PIT.
- TREES SHALL BE PLANTED BETWEEN
OCTOBER 1ST AND APRIL 30TH.
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES
ARE PROHIBITED IN THE PLANTING AREA
IMMEDIATELY SURROUNDING THE TREE.
- IF STAKING IS IN ACCORDANCE WITH THE CITY
TREE MANUAL, THE STAKING MUST BE REMOVED
WITHIN ONE YEAR.
- TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY
AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

CITY OF RALEIGH
URBAN FORESTER
TREES@RALEIGH.GOV
WWW.PALMWORKS.COM

TTP-03

SOIL LEVEL TO BE SLIGHTLY HIGHER
THAN SURROUNDING
GRADE TO ALLOW FOR
BACKFILL SETTLEMENT

PRUNE TO REMOVE DEAD OR
BROKEN BRANCHES

MULCH 1" MIN AWAY FROM
TRUNK OF PLANT

2" SHREDDED HARDWOOD
BARK FORM SAUCER AS SHOWN

ROOT MASS
REMOVE CONTAINER AND
LOOSEN ROOTS OF POTENTIAL
PLANTS BY SCORING OR PULLING
PROVIDE DRAINAGE IN PLANTING PIT
IF NECESSARY

BACKFILL SOIL
1 PT. SAND
1 PT. ORGANIC MATERIAL
1 PT. TOPSOIL

BOTTOM LAYER BACKFILL
SHALL BE LIGHTLY TAMPED
AND SET WITH WATER
PRIOR TO PLACEMENT

EXISTING SOIL

NOTES:

- TO PROMOTE AERATION AND PERCOLATION IN
HEAVY SOIL, PLANT ROOTBALL ABOVE EXISTING
GRADE AS SHOWN.
- PROVIDE AN EARTH SAUCER FOR WATER
RETENTION.
- BACKFILL WITH 80% PARENT MATERIAL AND 20%
DECOMPOSED ORGANIC MATERIAL BY VOLUME
WELL MIXED AS APPROVED BY THE ARCHITECT.
- PROVIDE A MINIMUM OF BACKFILL ON EACH SIDE
OF ROOTBALL TO PROMOTE RUST PREVENTION.
- PROVIDE MINIMUM 4" THICK PINE STRAW IN 8" WIDE
PLANTING BED OR AS DIRECTED ON PLANS.
- SHRUBS WILL HAVE A MINIMUM 1 YEAR WARRANTY
FROM DATE OF INSTALLATION.

SHRUB PLANTING DETAIL
SPD-01

LANDSCAPE REQUIREMENTS:

- THE SITE SHALL BE STABILIZED AND SEEDING PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- ALL MECHANICAL EQUIPMENT, WASTE DISPOSAL FACILITIES, AND VEHICULAR USE AREAS (DRIVES AND PARKING) SHALL BE SCREENED FROM PUBLIC VIEW.
- ALL ABOVE GROUND UTILITY EQUIPMENT AND FACILITIES ASSOCIATED WITH ON-SITE ELECTRIC, CABLE, TELEPHONE, GAS OR OTHER SIMILAR UTILITY SHALL BE LOCATED IN THE SIDE OF REAR YARD AREA OF THE SITE AND SCREENED TO THE EXTENT POSSIBLE WITH EXISTING PLANTING. PLANTINGS SHALL ALLOW FOR A MINIMUM OF 4" CLEARANCE AROUND THE STRUCTURE TO ALLOW FOR ACCESS. ADDITIONALLY, ANY SIDE OF THE STRUCTURE INVOLVING A DOOR OR WINDOW, THE PLANTINGS SHALL ALLOW FOR A 10" CLEARANCE. THE AMOUNT OF CLEARANCE SHALL ACCOUNT FOR THE SIZE OF THE PLANT MATERIAL AT MATURITY.
- THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUNKER OVERHANG FROM THE BACK OF CURB. NO TREE SHALL BE LOCATED WITHIN 5' OF A SIDEWALK AND WITHIN 20' OF A LIGHTING LOCATION. ALL SHRUBS INSTALLED AS VERTICAL USE SCREENING WILL BE MAINTAINED AS A CONTINUOUS HEDGE AT A MINIMUM HEIGHT OF 36" INCHES. ALL FOUNDATION PLANTINGS SHALL BE DESIGNED TO CITY OF RALEIGH UDO SECTION REQUIREMENTS.
- WHERE EXISTING OR PROPOSED VEGETATION FAILS TO FUNCTION ADEQUATELY AS REQUIRED, THE CITY OF RALEIGH SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE LANDSCAPE PLAN BASED ON ACTUAL FIELD CONDITIONS.
- UPON ESTABLISHMENT OF FINISHED GRADES AND PRIOR TO BEGINNING INSTALLATION OF ANY TREES, A SOIL AMENDMENT SCHEDULE FOR ALL TREE PLANTINGS SHALL BE PREPARED BY A CERTIFIED LANDSCAPE ARCHITECT AND BE PROVIDED TO THE CITY OF RALEIGH PLANNING DEPARTMENT.
- PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, A CERTIFIED STATEMENT SHALL BE PROVIDED TO TOWN STAFF SITE INSPECTOR ATTESTING TO THE FACT THAT THE SOIL AMENDMENT SCHEDULE WAS FOLLOWED AS SPECIFIED IN THE APPROVED SITE AND/OR SUBDIVISION PLAN. THIS STATEMENT SHALL BE CERTIFIED BY A REGISTERED LANDSCAPE ARCHITECT, CERTIFIED ARBORIST, OR OTHER SPECIALIST AS DETERMINED ACCEPTABLE BY THE PLANNING DIRECTOR.
- THE PROPERTY OWNER OR DEVELOPER SHALL PROVIDE FOR CONTINUOUS MAINTENANCE OF THE LANDSCAPE AREAS AFTER OCCUPANCY OF THE BUILDING. THE PROPERTY OWNER SHALL ENSURE THAT PERFORMANCE CRITERIA WITHIN THIS ORDINANCE AND/OR INCLUDED ON THE APPROVED SITE AND/OR SUBDIVISION PLAN ARE MET. FAILURE TO CORRECT DEFICIENCIES IN A TIMELY MANNER SHALL RESULT IN A CITATION FOR VIOLATION OF THIS ORDINANCE IN ACCORDANCE WITH CHAPTER 11.

LANDSCAPE MAINTENANCE PLAN:

- THE OWNERS OF THE PROPERTY AND THEIR AGENTS, HEREIN, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESENTATION AND MAINTENANCE OF ALL PLANTINGS AND PHYSICAL FEATURES SHOWN ON THIS PLAN. THE OWNERS SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT LIMITED TO:
- EXTERIOR:** FERTILIZE LAWN TWICE PER YEAR (FEBRUARY 15-MARCH 15 AND AGAIN SEPTEMBER 1-OCTOBER 31) ACCORDING TO SOIL TEST. FERTILIZE WARM SEASON GRASSES ONCE DURING THE GROWING SEASON PER SOIL TEST.
 - PRUNING:** PRUNING SHALL BE LIMITED TO REMOVAL OF DEAD WOOD OR BRANCHES FOR TREES OR FOR SIGHT DISTANCES/SAFETY REASONS. THE ANSI A300 STANDARDS SHOULD BE ADHERED TO. THE PRUNING OF SHRUBS SHALL BE LIMITED TO THE PRUNING NECESSARY TO MAINTAIN THE NATURAL SHAPE OF THE PLANT EXCEPT FOR SHEARED HEDGES.
 - PEST CONTROL:** PRE-EMERGENT WEED CONTROL FOR SHRUB BEDS MAY BE APPLIED IN FEBRUARY. CHEMICAL TREATMENT FOR INSECT INFESTATION AND DISEASE MAY BE APPLIED AND SHALL BE SPECIFIC TO THE PROBLEM.
 - MULCHING:** MULCHING SHALL BE MAINTAINED AT A DEPTH OF 2-3" IN SHRUB BEDS. MULCH SHALL BE REPLACED EVERY TWO YEARS, AS NECESSARY TO MAINTAIN THE AVERAGE DEPTH OF THE PLANT BED.
 - MOWING:** PRIMARY PESTUCIDE LAWNS SHALL BE MAINTAINED AT A HEIGHT OF 2" AND SHALL BE MOWED APPROXIMATELY 30 TIMES PER YEAR. SECONDARY TURF AREAS MAY BE MAINTAINED HIGHER AND LESS FREQUENTLY. MAIN SEASON GRASSES SHALL BE MOWED AS NEEDED DURING THE GROWING SEASON TO MAINTAIN THE RECOMMENDED HEIGHT OF THE SPECIES OF TURF GRASS.
 - FLANK PROTECTION:** AVOID EXCESS INFILTRATION INTO THE ROOT ZONE AREA OF ESTABLISHED PLANTINGS.
 - WATERING:** IF ANY IRRIGATION SYSTEM IS UTILIZED, THE SYSTEM SHALL BE REGULATED TO PROVIDE APPROXIMATELY 1" OF RAINFALL PER WEEK DURING THE GROWING SEASON. (PENDING CITY OF RALEIGH WATER IRRIGATION SURVEYS).
 - PLANT REPLACEMENT:** ANY REQUIRED PLANTING, WHICH IS REMOVED OR DIES AFTER DATE OF PLANTING SHALL BE REPLACED DURING THE NEXT PLANTING SEASON. ALSO, ANY TREE IN A TREE PRESERVATION AREA WHICH IS REMOVED OR DIES SHALL BE REPLACED DURING THE NEXT PLANTING SEASON.
 - REMOVAL OF INVASIVE NATURAL:** SHALL BE ALLOWED SO LONG AS REQUIRED SHRUBS ARE REPLACED AT THE REQUIRED RATES AND SIZES.
 - FAILURE TO MAINTAIN REQUIRED LANDSCAPE AREAS** SHALL CONSTITUTE A VIOLATION OF THIS UDO ENFORCEABLE UNDER THE PROVISIONS OF SECTION 10-20-ENFORCEMENT.

OVERALL PLANT LIST

KEY	QTY	BOTANICAL NAME	COMMON NAME	USE	CALIPER/HEIGHT AT PLANTING	MATURE HEIGHT /CROWN SPREAD	ROOT	REMARKS
CANOPY TREES								
UPA	9	ULMUS PARVIFOLIA "ALLEE"	ALLEE CHINESE ELM	STREET TREES	3" CAL/10' HT.	40'/40'	B&B	AS SHOWN
OS	2	QUERCUS "SHUMARDI"	SHUMARD OAK	STREET TREES	3" CAL/10' HT.	60'/50'	B&B	AS SHOWN

PLANTING NOTES:
LOCATE PLANTS AND PLANTING BEDS BY USING SCALED DIMENSIONS FROM STREET, PROPERTY LINES, BACK OF CURB, BUILDINGS, WALLS, ETC. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. FOR NURSERY STOCK SUPPLIED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C. NO SUBSTITUTIONS SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND/OR THE LANDSCAPE ARCHITECT.

SYMBOLS: B&B = BALLED & BURLAPPED; B.R. = BARE ROOT; CONT. = CONTAINER; O.C. = ON-CENTER; (R) = TO REMAIN

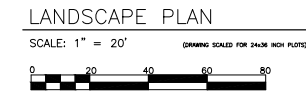
MULCH: MULCH ALL BED AREAS WITH FRESH PINE STRAW TO A DEPTH OF 3".

NOTE:

- ANY TREES IN SIGHT TRIANGLES WILL BE LIMBED UP TO A HEIGHT OF 8'. ALL SHRUBS LOCATED IN SIGHT TRIANGLES WILL BE MAINTAINED BELOW 2'.
- ALL SHRUB SPECIES SHALL REACH A MINIMUM OF 36" WITHIN THREE YEARS OF INSTALLATION.

FLOODPLAIN NOTE:
NO PORTION OF THIS SITE IS LOCATED IN A FLOOD HAZARD AREA ZONE ACCORDING TO FIRM PANEL 3200131006, DATED JULY 1973-2002.

TREE CONSERVATION EXEMPTION:
TREE CONSERVATION IS NOT REQUIRED FOR SITE PLANS OF PARCELS LESS THAN 2.0 LESS THAN 2 ACRES IN SIZE. (REFERENCE: RALEIGH UDO SECTION 9.1.2)



THE SITE GROUP
CIVIL ENGINEERS LANDSCAPE ARCHITECTS

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E-MAIL: SING@thesitegroup.net

TIER THREE SITE PLANS (JASR-011-2022) FOR:
QUARRY-STATE BUILDINGS
760 MARTIN LUTHER KING JR. BLVD. &
760 QUARRY ST.
RALEIGH, NORTH CAROLINA

Drawn By: RLA
Checked By: BDM

DATE: 21 NOV 2022
REVISED:
29 MAR 2023
26 JUN 2023
01 SEP 2023
27 OCT 2023

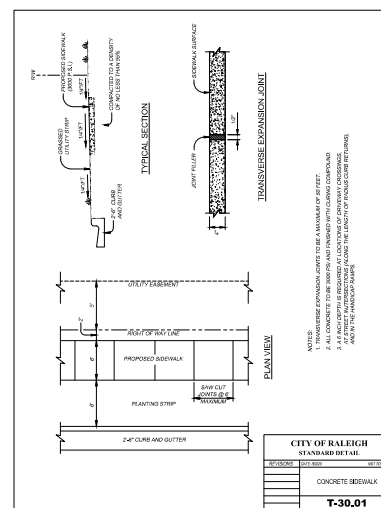
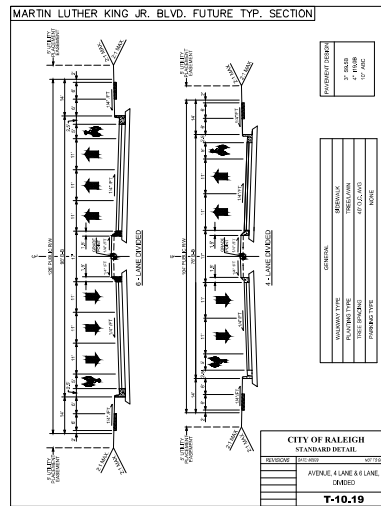
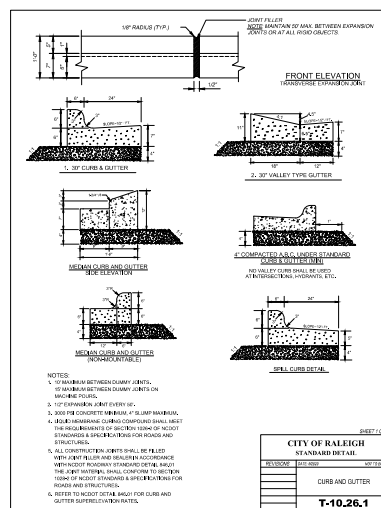
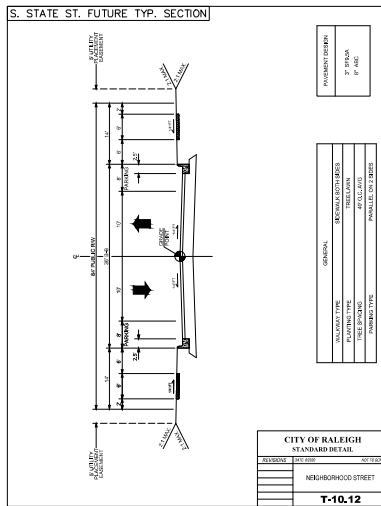
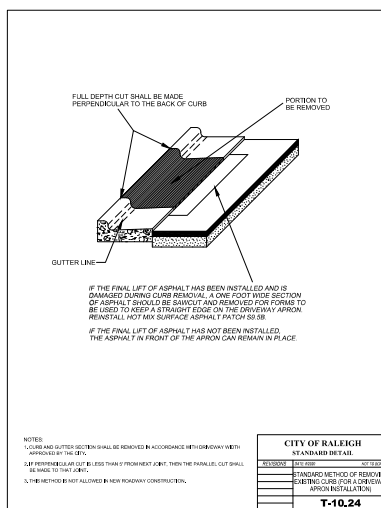
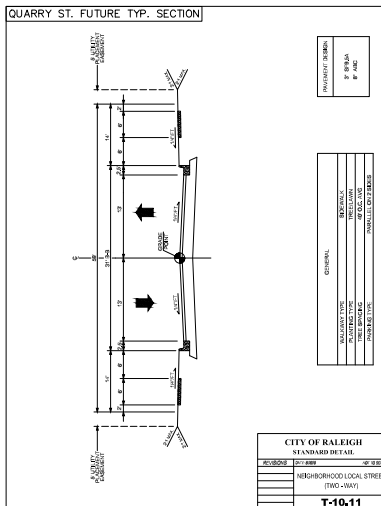
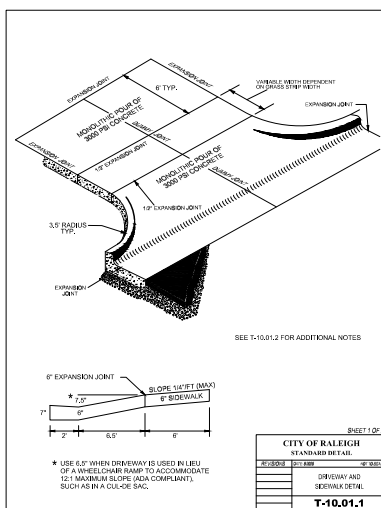
TIER THREE SITE PLANS

LANDSCAPE PLAN

Job Code: GGMLK

Dwg No. **SITE 500**

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TIER THREE SITE PLANS (ASR-011-2022) FOR:
QUARRY-STATE BUILDINGS
921 MARTIN LUTHER KING JR. BLVD. &
760 QUARRY ST.
RALEIGH, NORTH CAROLINA

Drawn By: RLA
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TIER THREE SITE PLANS

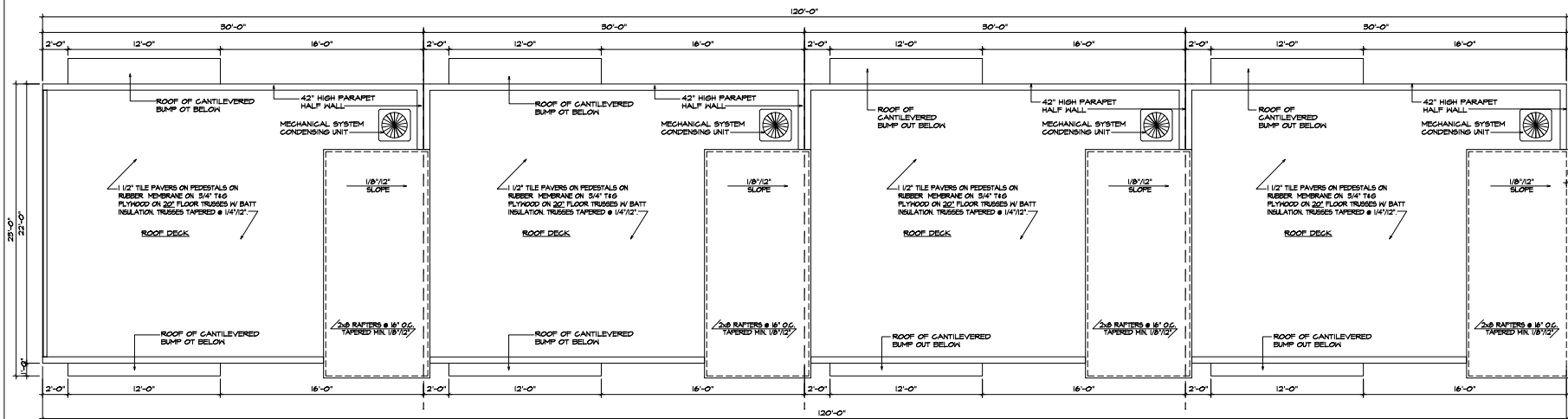
SITE DETAILS

Job Code: GGMLK

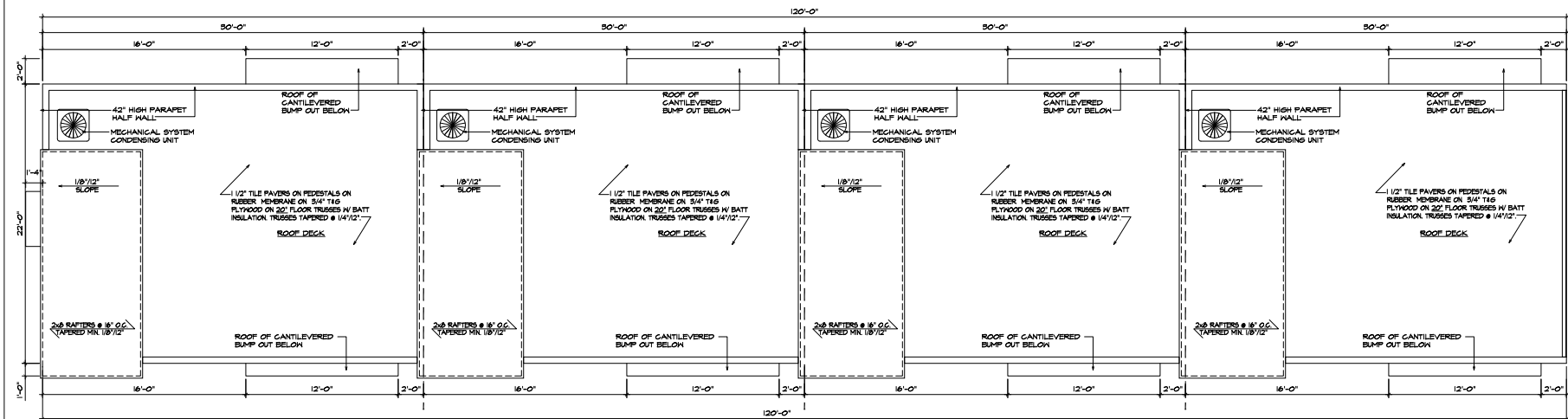
Dwg No. SITE 600

Job Code GGMLK

Dwg No. SITE 602



1 BUILDING-A ROOF PLAN
1/4" = 1'-0"



2 BUILDING-B ROOF PLAN
1/4" = 1'-0"

921 MLK Blvd.
Raleigh, NC

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**921 MLK
Condos**

date 10.18.23
drafter D.A.S.
checked by C.L.B.
proj. no. T-22035.1
revisions date

Building A & B
Roof Plan

A1.1





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Elevations:
Building B

A2.2