



Administrative Approval Action

Case File / Name: ASR-0116-2022
DSLCL - CROSSWINDS INDUSTRIAL PARK LOT 8

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Rock Quarry Road, east of Jones Sausage Road at 3811 Centurion Drive.

REQUEST: Development of a vacant 4.59 acre/199,889 sf tract zoned IX-3-CU, with 980 sf of right-of-way dedication leaving a net proposed area of 4.57 acres/198,909 sf. A proposed Open Lot of Light industrial with Limited Outdoor Storage primary use.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** Z-36B-1989 - Jones Sausage Road
FIL-0271-2023: DSENG - Fee-In-Lieu Estimator/Fee-In-Lieu Estimator
SPR-0142-2023: DSLCL - Site Permitting Review/Major [Signature Set]

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated May 12, 2023 by BRIAN O'KANE.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. A full lighting plan detail of fixture and design with photometric light levels, detailing the footcandle measurements, is submitted with the SPR plans set and demonstrate & meet compliance per UDO Sec.7.4, Sec.7.4.6.

Engineering

2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation prior to issuance of site permits.
3. A fee-in-lieu for 195 LF of 6' sidewalk along Centurion Dr is paid to the City of Raleigh (UDO 8.1.1)



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4. A cross access agreement among the lots identified as PINs 1722717258 and 1722715456 shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded offer of cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
5. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
6. A slope easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)

Stormwater

7. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
8. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

9. Submit a final tree conservation plan that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required (UDO 9.1.5).
10. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.
11. A tree conservation plat shall be recorded with metes and bounds showing the designated tree conservation areas (UDO 9.1).
12. A public infrastructure surety for the 4 required street trees shall be provided to City of Raleigh Transportation – Development Engineering Division (UDO 8.1.3) in the amount of 125% of the improvement cost for the City of Raleigh infrastructure.



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13. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees along Centurion Dr.

☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

| | |
|-------------------------------------|--|
| <input checked="" type="checkbox"/> | Cross Access Agreements Required |
| <input checked="" type="checkbox"/> | Right of Way Deed of Easement Required |

| | |
|-------------------------------------|---|
| <input checked="" type="checkbox"/> | Utility Placement Deed of Easement Required |
| <input checked="" type="checkbox"/> | Slope Easement Deed of Easement Required |

☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
2. A 5' utility placement easement deed of easement, in addition to a plat showing the location of the easement, shall be submitted to the Planning and Development Services Department for review, and if acceptable, approved for recordation. Approved plats must be recorded at the Wake County Register of Deeds Office on or before the 14th day following approval by the City. The 14-day expiration date shall be clearly indicated on the plat. By the end of the next business day following recordation of the plat, all required legal instruments (including deeds of easement) shall be recorded, and recorded copies of the plat and all legal instruments required by the City in association with development approval shall be provided to the City. (Reference: UDO 8.1.7.A; 10.2.5.F.4.d)
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The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all tree conservation areas and right of way street trees by Urban Forestry Staff

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: June 12, 2026

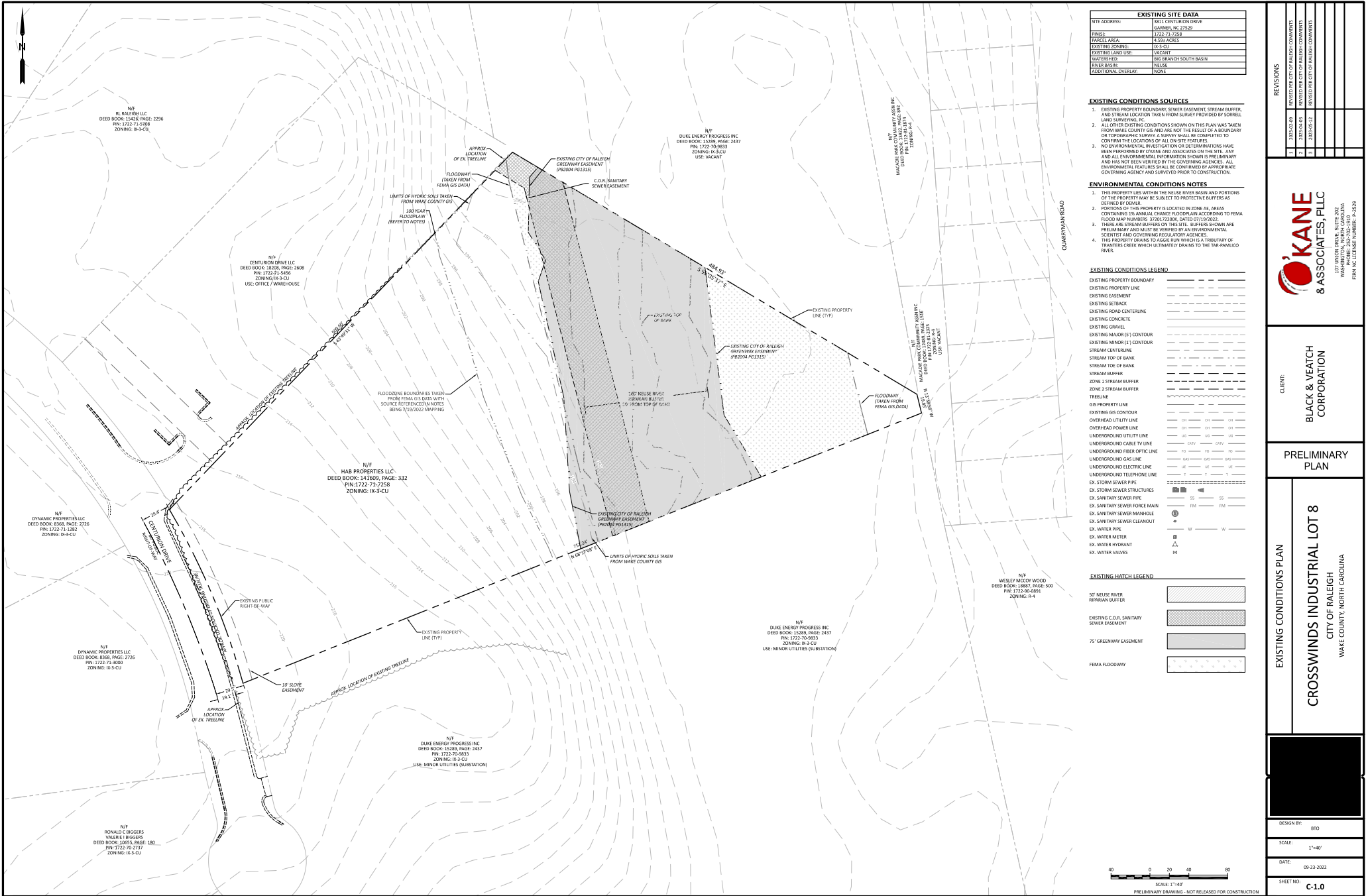
Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: Daniel L. Stegall Date: 06/12/2023
Development Services Dir/Designee
Staff Coordinator: Jermont Purifoy



| EXISTING SITE DATA | |
|---------------------|--|
| DATE ADDRESS: | 1811 CENTURION DRIVE GARNER, NC 27529 |
| PARCEL: | 1722-71-7258 |
| PARCEL AREA: | 4.591 ACRES |
| EXISTING ZONING: | IK-3-CU |
| EXISTING LAND USE: | VACANT |
| WATER-SHED: | BLK. BRANCH SOUTH BASIN |
| RIVER BASIN: | NEUSE |
| ADDITIONAL OVERLAY: | NONE |

- EXISTING CONDITIONS SOURCES**
1. EXISTING PROPERTY BOUNDARY, SEWER EASEMENT, STREAM BUFFER, AND STREAM LOCATION TAKEN FROM SURVEY PROVIDED BY SORRELL LAND SURVEYING, NC.
 2. ALL OTHER EXISTING CONDITIONS SHOWN ON THIS PLAN WAS TAKEN FROM WAKE COUNTY GIS AND ARE NOT THE RESULT OF A BOUNDARY OR TOPOGRAPHIC SURVEY. A SURVEY SHALL BE COMPLETED TO CORRELATE THE LOCATIONS OF ALL ON-SITE FEATURES.
 3. NO ENVIRONMENTAL INVESTIGATION OR DETERMINATIONS HAVE BEEN PERFORMED BY CH2M HILL ASSOCIATES ON THE SITE. ANY AND ALL ENVIRONMENTAL INFORMATION SHOWN IS PRELIMINARY AND HAS NOT BEEN VERIFIED BY THE GOVERNING AGENCIES. ALL ENVIRONMENTAL FEATURES SHALL BE CONFIRMED BY APPROPRIATE GOVERNING AGENCY AND SURVEYED PRIOR TO CONSTRUCTION.

- ENVIRONMENTAL CONDITIONS NOTES**
1. THIS PROPERTY LIES WITHIN THE NEUSE RIVER BASIN AND PORTIONS OF THE PROPERTY MAY BE SUBJECT TO PROTECTIVE BUFFERS AS DERIVED BY FEMA.
 2. PORTIONS OF THIS PROPERTY IS LOCATED IN ZONE AE, AREAS CONTAINING 1% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA FLOOD MAP NUMBERS 170172200K, DATED 07/18/2002.
 3. THERE ARE STREAM BUFFERS ON THIS SITE. BUFFERS SHOWN ARE PRELIMINARY AND MUST BE VERIFIED BY AN ENVIRONMENTAL SCIENTIST AND GOVERNING REGULATORY AGENCIES.
 4. THIS PROPERTY DRAINS TO AGUE RUN WHICH IS A TRIBUTARY OF TRANQUER CREEK WHICH ULTIMATELY DRAINS TO THE SARAWACCO RIVER.

| EXISTING CONDITIONS LEGEND | |
|-------------------------------|-----|
| EXISTING PROPERTY BOUNDARY | --- |
| EXISTING PROPERTY LINE | --- |
| EXISTING EASEMENT | --- |
| EXISTING SETBACK | --- |
| EXISTING ROAD CENTERLINE | --- |
| EXISTING CONCRETE | --- |
| EXISTING GRAVEL | --- |
| EXISTING MAJOR (5') CONTOUR | --- |
| EXISTING MINOR (1') CONTOUR | --- |
| STREAM CENTERLINE | --- |
| STREAM TOP OF BANK | --- |
| STREAM TOP OF BANK | --- |
| STREAM BUFFER | --- |
| ZONE 1 STREAM BUFFER | --- |
| ZONE 2 STREAM BUFFER | --- |
| GIS PROPERTY LINE | --- |
| EXISTING GIS CONTOUR | --- |
| OVERHEAD UTILITY LINE | --- |
| OVERHEAD POWER LINE | --- |
| UNDERGROUND UTILITY LINE | --- |
| UNDERGROUND CABLE TV LINE | --- |
| UNDERGROUND FIBER OPTIC LINE | --- |
| UNDERGROUND GAS LINE | --- |
| UNDERGROUND ELECTRIC LINE | --- |
| UNDERGROUND TELEPHONE LINE | --- |
| EX. STORM SEWER PIPE | --- |
| EX. SANITARY SEWER PIPE | --- |
| EX. SANITARY SEWER FORCE MAIN | --- |
| EX. SANITARY SEWER MANHOLE | --- |
| EX. SANITARY SEWER CLEANOUT | --- |
| EX. WATER PIPE | --- |
| EX. WATER METER | --- |
| EX. WATER HYDRANT | --- |
| EX. WATER VALVES | --- |

| EXISTING HATCH LEGEND | |
|--|-----|
| 50' NEUSE RIVER RIPARIAN BUFFER | --- |
| EXISTING C.O.B. SANITARY SEWER EASEMENT | --- |
| 75' GREENWAY EASEMENT | --- |
| FEMA FLOODWAY | --- |

REVISIONS

| NO. | DATE | REVISION |
|-----|------------|--------------------------------------|
| 1 | 2023-03-09 | REVISED PER CITY OF RALEIGH COMMENTS |
| 2 | 2023-04-03 | REVISED PER CITY OF RALEIGH COMMENTS |
| 3 | 2023-05-22 | REVISED PER CITY OF RALEIGH COMMENTS |

CLIENT:

BLACK & VEATCH CORPORATION

PRELIMINARY PLAN

CROSSWINDS INDUSTRIAL LOT 8
CITY OF RALEIGH
WAKE COUNTY, NORTH CAROLINA

EXISTING CONDITIONS PLAN

DESIGN BY: 810

SCALE: 1"=40'

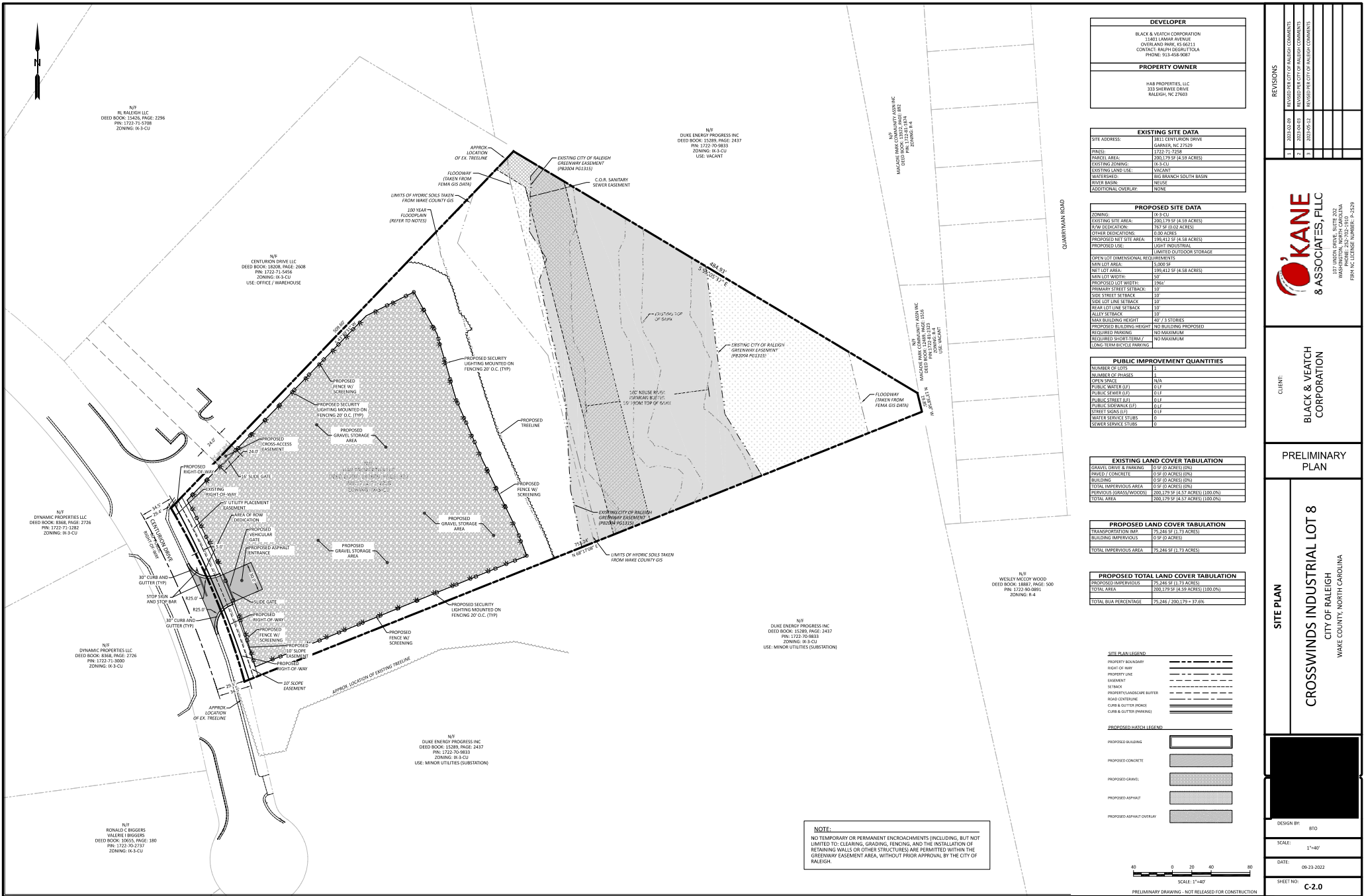
DATE: 09-23-2022

SHEET NO: C-1.0

KANE & ASSOCIATES, PLLC

101 UNION CIRCLE, SUITE 202
WAKE COUNTY, NC 27709
PHONE: 252-702-1510
FIRM NC LICENSE NUMBER: P-2529





| DEVELOPER | |
|---|--|
| BLACK & VEATCH CORPORATION 31401 LAMAR AVENUE OVERLAND PARK, KS 66211 CONTACT: RAUL DEGRUTOLA PHONE: 913-468-0807 | |
| PROPERTY OWNER | |
| HAB PROPERTIES, LLC 833 SHIRELINE DRIVE RALEIGH, NC 27603 | |

| EXISTING SITE DATA | |
|---------------------|--|
| SITE ADDRESS: | 3811 CENTURION DRIVE GAINES, NC 27520 |
| PARCELS: | 122-73-1728 |
| EXISTING ZONING: | 12-3-CU |
| EXISTING LAND USE: | VACANT |
| WATERSHED: | BIG BRANCH SOUTH BASIN |
| POUR BASIN: | NONE |
| ADDITIONAL OVERLAY: | NONE |

| PROPOSED SITE DATA | |
|--|-------------------------|
| ZONING: | 12-3-CU |
| EXISTING SITE AREA: | 280,179 SF (6.59 ACRES) |
| NEW EDUCATION: | 79 SF (0.00 ACRES) |
| OTHER DEDICATIONS: | 0.00 ACRES |
| PROPOSED NET SITE AREA: | 185,412 SF (4.26 ACRES) |
| PROPOSED USE: | LIGHT INDUSTRIAL |
| OPEN LOT DIMENSIONAL REQUIREMENTS: | LIMITED OUTDOOR STORAGE |
| MIN LOT AREA: | 5,000 SF |
| MIN LOT WIDTH: | 100'-0" (12.5' MIN) |
| PROPOSED LOT WIDTH: | 100'-0" |
| PRIMARY STREET SETBACK: | 10' |
| SIDE STREET SETBACK: | 10' |
| REAR LOT LINE SETBACK: | 10' |
| ALLEY SETBACK: | 10' |
| MAX BUILDING HEIGHT: | NO / 3 STORES |
| PROPOSED BUILDING HEIGHT: | NO BUILDING PROPOSED |
| REQUIRED PARKING: | NO MAXIMUM |
| REQUIRED SHORT-TERM / LONG-TERM BICYCLE PARKING: | NO MAXIMUM |

| PUBLIC IMPROVEMENT QUANTITIES | |
|-------------------------------|-----|
| NUMBER OF LOTS: | 1 |
| NUMBER OF PHASES: | 1 |
| OPEN SPACE: | N/A |
| PUBLIC WATER (LF): | 0.0 |
| PUBLIC SEWER (LF): | 0.0 |
| PUBLIC STREET (LF): | 0.0 |
| PUBLIC SIDEWALK (LF): | 0.0 |
| STREET SIGNS (LF): | 0.0 |
| WATER SERVICE STUBS: | 0 |
| SEWER SERVICE STUBS: | 0 |

| EXISTING LAND COVER TABULATION | |
|--------------------------------|----------------------------------|
| GRAVEL DRIVE & PARKING: | 0.5F (0 ACRES) (0%) |
| PAVED / CONCRETE: | 0.5F (0 ACRES) (0%) |
| BUILDINGS: | 0.5F (0 ACRES) (0%) |
| TOTAL IMPERVIOUS AREA: | 0.5F (0 ACRES) (0%) |
| PERVIOUS (GRASS/TREES): | 280,179 SF (6.59 ACRES) (100.0%) |
| TOTAL AREA: | 280,179 SF (6.59 ACRES) (100.0%) |

| PROPOSED LAND COVER TABULATION | |
|--------------------------------|------------------------|
| TRANSPORTATION IMP: | 75,246 SF (1.73 ACRES) |
| BUILDING IMPERVIOUS: | 0.5F (0 ACRES) |
| TOTAL IMPERVIOUS AREA: | 75,246 SF (1.73 ACRES) |

| PROPOSED TOTAL LAND COVER TABULATION | |
|--------------------------------------|----------------------------------|
| PROPOSED IMPERVIOUS: | 75,246 SF (1.73 ACRES) |
| TOTAL AREA: | 200,179 SF (4.59 ACRES) (100.0%) |
| TOTAL BLVA PERCENTAGE: | 75,246 / 200,179 = 37.6% |

| SITE PLAN LEGEND | |
|----------------------------|-----|
| PROPERTY BOUNDARY | --- |
| RIGHT-OF-WAY | --- |
| PROPERTY LINE | --- |
| EASEMENT | --- |
| SETBACK | --- |
| PROPERTY/LANDSCAPE CLUTTER | --- |
| ROAD CENTERLINE | --- |
| CURB & GUTTER (DOGS) | --- |
| CURB & GUTTER (OVERLAY) | --- |

| PROPOSED HATCH LEGEND | |
|--------------------------|-----|
| PROPOSED BUILDING | --- |
| PROPOSED CONCRETE | --- |
| PROPOSED GRAVEL | --- |
| PROPOSED ASPHALT | --- |
| PROPOSED ASPHALT OVERLAY | --- |

NOTE:
NO TEMPORARY OR PERMANENT ENCROACHMENTS (INCLUDING, BUT NOT LIMITED TO: CLEARING, GRADING, FENCING, AND THE INSTALLATION OF RETAINING WALLS OR OTHER STRUCTURES) ARE PERMITTED WITHIN THE GREENWAY EASEMENT AREA, WITHOUT PRIOR APPROVAL BY THE CITY OF RALEIGH.

40 0 20 40 80
SCALE: 1"=40'
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

| | | |
|---|------------|--------------------------------------|
| 1 | 2023-03-09 | REVISED PER CITY OF RALEIGH COMMENTS |
| 2 | 2023-04-03 | REVISED PER CITY OF RALEIGH COMMENTS |
| 3 | 2023-05-22 | REVISED PER CITY OF RALEIGH COMMENTS |
| 4 | | |
| 5 | | |

CLIENT:

BLACK & VEATCH CORPORATION

SITE PLAN

CROSSWINDS INDUSTRIAL LOT 8
CITY OF RALEIGH
WAKE COUNTY, NORTH CAROLINA

DESIGN BY:

810

SCALE:

1"=40'

DATE:

09-23-2022

SHEET NO.:

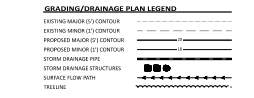
C-2.0

KANE & ASSOCIATES, PLLC

101 UNION CIRCLE, SUITE 202
WAKE COUNTY, NORTH CAROLINA
PHONE: 252-702-1510
FIRM NC LICENSE NUMBER: P-2529



- GRADING NOTES**
1. PROPOSED CONTOURS REPRESENT APPROXIMATE ELEVATIONS AT A POINT. PROPOSED SPOT ELEVATIONS AND ROADWAY PROFILES SUPERSEDE CONTOUR INFORMATION.
 2. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND SHALL MAINTAIN ADEQUATE DRAINAGE DURING CONSTRUCTION.
 3. ALL GRADING, BACKFILLING, EXCAVATION, ETC. SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE LOCAL GOVERNING AUTHORITY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COORDINATING ALL CONSTRUCTION ACTIVITIES WITH SAID AUTHORITY.
 4. CONTRACTOR IS TO CONTACT NORTH CAROLINA "ONE CALL" AT 811 FOR UNDERGROUND UTILITY LOCATION 48 HOURS PRIOR TO ANY DIGGING.
 5. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PER THESE PLANS AND MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND APPROVED FOR REMOVAL BY THE INSPECTOR.
 6. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LOADING RUNOFF TO ANY STORM DRAINAGE SYSTEMS.
 7. CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
 8. ALL GROUND COVER SHALL BE IN ACCORDANCE WITH THE SEEDING SCHEDULES ON THESE PLANS. THE SELECTED GROUND COVER WILL STABILIZE THE ON-SITE SOIL AND PREVENT EROSION.
 9. ANY AND ALL DISTURBED AREAS SHALL BE PRE-GRADED, SEEDING WITH PERMANENT GRASS SEEDING MIX AND STRAWED PRIOR TO DECOMPOSITION FROM THE SITE.
 10. SLOPES STEEPER THAN 3:1 V/H SHOULD BE EVALUATED AND DESIGNED BY A GEOTECHNICAL ENGINEER.



UDO 3.6 FEMA DESIGNATED SFHA STANDARDS

NO GRADING WILL OCCUR WITH THE FEMA DESIGNATED FLOODWAY. THE STORMWATER CONTROL MEASURE WILL BE PARTIALLY CONSTRUCTED WITHIN THE 100-YEAR FLOODPLAIN. THE ELEVATION OF THE OUTLET OF THE STORMWATER CONTROL MEASURE IS ABOVE THE 100-YEAR BASE FLOOD ELEVATION.

| REVISIONS | |
|-----------|-------------|
| NO. | DESCRIPTION |
| 1 | 2023-03-09 |
| 2 | 2023-04-03 |
| 3 | 2023-05-12 |

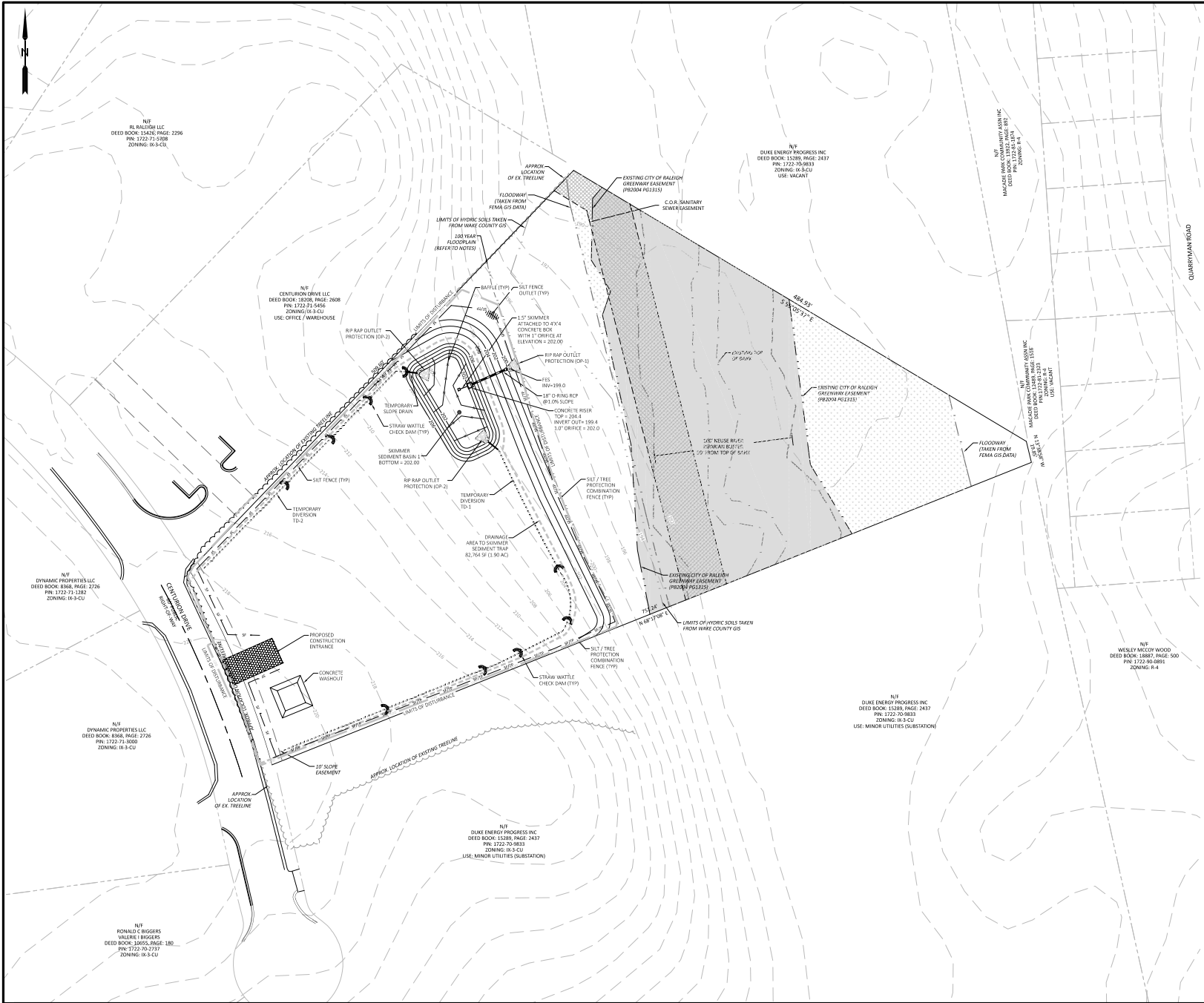
KANE & ASSOCIATES, PLLC
101 UNION CIRCLE, SUITE 202
WAKE COUNTY, NORTH CAROLINA 27601
PHONE: 919-232-1510
FIRM NC LICENSE NUMBER: P-2529

CLIENT: **BLACK & VEATCH CORPORATION**

GRADING AND DRAINAGE PLAN

CROSSWINDS INDUSTRIAL LOT 8
CITY OF RALEIGH
WAKE COUNTY, NORTH CAROLINA

| | |
|------------|------------|
| DESIGN BY: | 810 |
| SCALE: | 1"=40' |
| DATE: | 09-23-2022 |
| SHEET NO.: | C-3.0 |



EROSION CONTROL NOTES

- ALL GRADING, BACKFILLING, EXCAVATION, ETC. SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS SET FORTH BY THE LOCAL GOVERNING AUTHORITY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR COORDINATING ALL CONSTRUCTION ACTIVITIES WITH SAID AGENCY.
- CONTRACTOR IS TO CONTACT NORTH CAROLINA "ONE CALL" AT 811 FOR UNDERGROUND UTILITY LOCATION 48 HOURS PRIOR TO ANY DIGGING.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PER THESE PLANS AND MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND APPROVED FOR REMOVAL BY THE EROSION CONTROL INSPECTOR.
- ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LATER RUNOFF TO ANY STORM DRAINAGE SYSTEM.
- CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL GROUND COVER SHALL BE IN ACCORDANCE WITH THE SEEDING SCHEDULES ON THESE PLANS. THE SELECTED GROUND COVER WILL STABILIZE THE ON-SITE SOIL AND PREVENT EROSION.
- ANY AND ALL DISTURBED AREAS SHALL BE FINE GRADED, SEEDING WITH PERMANENT GRASS SEEDING MIX AND STAKED PRIOR TO DEMONSTRATION FROM THE SITE.
- PURSUANT TO G.S. 115A-515(c), THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PURSUANT TO G.S. 115A-515(b), PROVIDING FOR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE ACCOMPISHED FOR ALL DISTURBED AREAS WITH 14 CALENDAR DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.

STAGE 1 CONSTRUCTION SEQUENCE

- SUBMIT DOCUMENTATION REQUIRED UNDER THE SITE NPDES STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY (REG000000) TO STORMWATER INSPECTIONS THROUGHOUT THE PROJECT.
- PRIOR TO BEGINNING CONSTRUCTION, CALL THE STORMWATER INSPECTIONS REGIONAL COORDINATOR TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING.
- INSTALL ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS SHOWN ON THE STAGE 1 PLAN. LIMIT CLEARING AND LAND DISTURBANCE ACTIVITY TO ONLY THE AREA NECESSARY TO INSTALL THE PREPARED MEASURES.
- INSTALL THE CONCRETE WASHOUT AREA.
- CALL THE SARP RESPONSE NUMBER (818) 657-4412 TO SCHEDULE A STORMWATER SITE INSPECTION.
- UPON APPROVAL OF THE STORMWATER SITE INSPECTION, COMMENCE PERMITTED LAND DISTURBING ACTIVITY - CLEARING AND GROUNDING.
- SILT FENCE AND COMBINATION TREE PROTECTION/SILT FENCE MUST REMAIN IN PLACE UNTIL THE AREA ABOVE IT HAS BEEN STABILIZED.
- TREE PROTECTION FENCE AROUND THE TREE CONSERVATION AREAS SHALL REMAIN IN PLACE UNTIL ALL GRADING IS COMPLETE, AND ALL CONSTRUCTION ADJACENT TO THE TREE CONSERVATION AREAS IS COMPLETE.
- ADDITIONAL MEASURES MAY BE NECESSARY TO PREVENT SEDIMENT FROM LEAVING THE SITE.
- ALL EROSION CONTROL MEASURES SHALL BE INSPECTED AND MAINTAINED, IF NEEDED, AT LEAST ONCE PER WEEK AND AFTER EVERY RAINFALL EVENT. STABILIZATION IS REQUIRED WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING OR INACTIVITY ON PROJECT SITE.

EROSION CONTROL LEGEND

LIMITS OF DISTURBANCE

SILT FENCE

TREE PROTECTION FENCE

SILT/TREE PROTECTION FENCE

SILT FENCE OUTLET

INLET PROTECTION

CONSTRUCTION ENTRANCE

| OUTLET PROTECTION - OP-3-3 | |
|----------------------------|----------------|
| COLOR | 7.5 CFS |
| APPROX LENGTH | 8.0 FEET |
| APPROX WIDTH | 5.0 FEET |
| APPROX THICKNESS | 12 INCHES |
| STONE SIZE | NO. 20 CLASS A |

| SKIMMER BASIN | |
|-------------------------|----------|
| STRAINING AREA | 11.16 AC |
| VOLUME REQUIRED | 1,620.00 |
| VOLUME PROVIDED | 4,800.00 |
| STORAGE AREA REQUIRED | 1,620.00 |
| SURFACE AREA PROVIDED | 1,679.50 |
| FOOT OF ABOVE ELEV. | 285.0 |
| FOOT TOWN OF TRAP ELEV. | 252.0 |
| SEDIMENT DEPTH | 1.0 FT |
| SPILLWAY LENGTH | 25.0 FT |
| SPILLWAY ELEV. | 285.4 |
| SKIMMER SIZE | 1.5 IN. |
| SKIMMER OFFICE SIZE | 1.0 IN. |

TOTAL DISTURBED AREA = 2.18 ACRES

SILT FENCE OUTLETS MAY BE ADJUSTED IN THE FIELD TO MATCH LOW POINTS ALONG SILT FENCE

0 20 40 80

SCALE: 1"=40'

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

REVISIONS

| # | DATE | DESCRIPTION |
|---|------------|--------------------------------------|
| 1 | 2023-02-09 | REVISED PER CITY OF RALEIGH COMMENTS |
| 2 | 2023-04-03 | REVISED PER CITY OF RALEIGH COMMENTS |
| 3 | 2023-05-22 | REVISED PER CITY OF RALEIGH COMMENTS |

CLIENT:

KANE & ASSOCIATES, PLLC
101 UNION CIRCLE, SUITE 202
WAKE COUNTY, NORTH CAROLINA
PHONE: 919-232-1510
FIRM LICENSE NUMBER: P-2529

BLACK & VEATCH CORPORATION

PRELIMINARY PLAN

EROSION CONTROL PLAN - STAGE 1

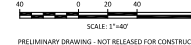
CROSSWINDS INDUSTRIAL LOT 8
CITY OF RALEIGH
WAKE COUNTY, NORTH CAROLINA

DESIGN BY: 810

SCALE: 1"=40'





DATE: 09-23-2022

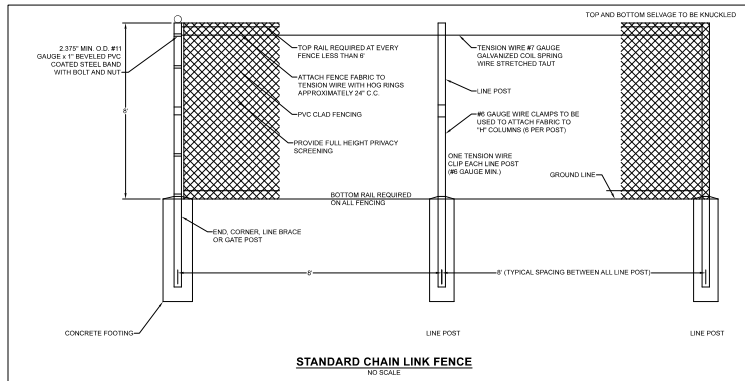
SHEET NO: C-4.0



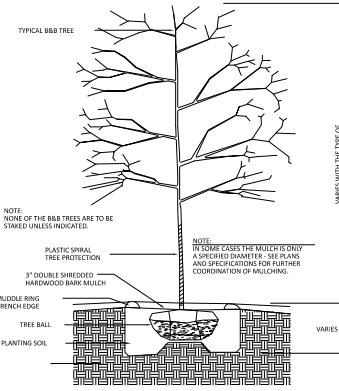
| | |
|------------|------------|
| DESIGN BY: | STO |
| SCALE: | 1"=40' |
| DATE: | 09-23-2022 |
| SHEET NO: | C-4.2 |

SHEET NO: **C-5.0**

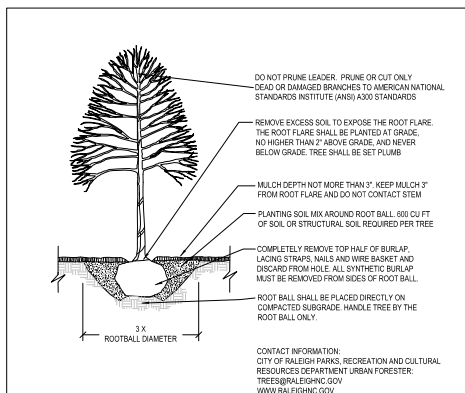
| STREET TREE BLACK GUM; <i>Nyssa sylvatica</i> |  | |
|--|---|--|
| EVERGREEN SHRUB WAX MYRTLE; <i>Morella cerifera</i> |  | |
| PLANT LIST | | |
| Quantity | Symbol | Key Scientific Name Common Name Size Spacing |
| 2 |  | NS <i>Nyssa sylvatica</i> BLACK GUM 3" DBH 40' |
| 22 |  | MC <i>Morella cerifera</i> WAX MYRTLE 24" SPREAD 3.3' O.C. |



STANDARD CHAIN LINK FENCE
NO SCALE



TREE PLANTING DETAIL




- NOTES:
1. TREES MUST MEET THE TREE QUALITY STANDARDS IN CH. 2 OF THE CITY TREE MANUAL.
 2. CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
 3. TREES SHALL BE PLANTED BETWEEN OCTOBER 1ST AND APRIL 30TH.
 4. A TREE IMPACT PERMIT IS REQUIRED.
 5. ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.
 6. IF STAKING IN ACCORDANCE WITH THE CITY TREE MANUAL, THE STAKING MUST BE REMOVED WITHIN ONE YEAR.
 7. TREES WILL HAVE A MINIMUM 1 YEAR WARRANTY AFTER THE INITIAL PLANTING IS APPROVED BY THE CITY.

| CITY OF RALEIGH | | |
|----------------------|------------|--------------|
| STANDARD DETAIL | | |
| REVISED | DATE | NOT TO SCALE |
| 02/2019 | 05/18/2019 | |
| TREE PLANTING DETAIL | | |
| TPP-03 | | |

LANDSCAPING NOTES

1. THE GENERAL CONTRACTOR SHALL LEAVE THIS SITE AT FINISHED GRADE. THE LANDSCAPE CONTRACTOR SHALL REVISE GRADES AT A MINIMUM TO ENSURE SMOOTH TRANSITIONS BETWEEN PLANTING BEDS AND ADJACENT AREAS.
2. PLANT GUARANTEE: ALL PLANTS SHALL BE GUARANTEED TO LIVE FOR TWELVE MONTHS. THE GUARANTEE SHALL COMMENCE UPON FINAL ACCEPTANCE OF THE PROJECT. IF ANY PLANTS ARE DEAD OR IN AN UNHEALTHY CONDITION BEFORE FINAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHALL REPLACE THEM AT HIS EXPENSE. THIS REPLACEMENT SHALL NOT BE CONSIDERED A GUARANTEED REPLACEMENT.
3. ALL PLANTING SHALL BE PLACED WITHIN A MULCHED PLANTING BED.
4. ALL STRAPPING AND THE TOP 2/3 OF WIRE BASKETS MUST BE CUT AWAY AND REMOVED FROM ROOT BALLS PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
5. ALL LANDSCAPE WORK SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARD DETAILS AND SPECIFICATIONS.
6. ALL DISTURBED AREAS OUTSIDE PLANTING BEDS SHALL BE SOODED WITH FESCUE SOO.
7. SITE LIGHTING SHALL NOT BE PLACED IN CONTACT WITH PLANTED TREES.
8. TREE PROTECTION FENCING TO BE PROVIDED AROUND TREE PRESERVATION AREAS IN ACCORDANCE WITH COUNTY STANDARDS.
9. COORDINATE ALL WORK WITH UTILITY LOCATIONS AND SITE GRADING, DRAINAGE & UTILITIES PLAN.
10. VERIFY LOCATION OF UTILITIES BEFORE PLANTING.
11. MULCH ALL AREAS, THAT ARE NOT SEEDED OR SOODED, WITH DOUBLE SHREDDED HARDWOOD MULCH TO A DEPTH OF 3\".
12. THE SELECTION AND INSTALLATION OF PLANTS AND PLANTING METHODS SHALL CONFORM WITH THE STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERMEN OR THE CITY STANDARD DETAILS AND SPECIFICATIONS, WHICHEVER IS STRICTER.
13. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES. DRAWINGS SHALL RULE OVER PLANT LISTS.
14. SUBSTITUTIONS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. SUBSTITUTIONS MAY REQUIRE ADDITIONAL APPROVAL BY THE GOVERNING JURISDICTION.
15. ALL LANDSCAPING SOIL AND FILL SHALL BE FREE FROM WEEDS, REFUSE, AND DEBRIS AT ALL TIMES.
16. TREES AND LARGE SHRUBS SHALL BE ADEQUATELY SUPPORTED, AS NECESSARY. USE SHAKES AND GUTS SUCH SUPPORTS SHALL BE DESIGNED SO AS TO PROTECT TREES AND SHRUBS FROM INJURY. TREES AND SHRUBS SHALL BE FASTENED TO THE SUPPORT WITH AN ACCEPTABLE COMMERCIAL TIE OF PLASTIC OR ROPE COVERED WIRE.
17. NO SIGN OF OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BURNING, PARKED VEHICLES OR SOIL BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT FEET ABOVE CURB LINE ELEVATION, OR THE NEAREST TRAVELLED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY COINHERED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY, AS SET FORTH BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION'S POLICY ON STREET AND DRIVEWAY ACCESS TO NORTH CAROLINA HIGHWAYS MANUAL, AND ALL SUBSEQUENT AMENDMENTS THERETO.
18. PLANTING SOIL TO BE USED SHALL HAVE THE FOLLOWING CHARACTERISTICS: FERTILE, FIBRILE, NATURAL, TOPSOIL OF GRAY CHARACTER, WITHOUT AD MIXTURE OF SUBSOIL MATERIAL, OBTAINED FROM WELL-DRAINABLE ARABLE SITE, REASONABLY FREE FROM CLAY LUMP, COARSE SAND, STONES, ROCK AND LARGER, PLANTS, GRASS, WEEDS, ROOTS, STICKS, AND OTHER FOREIGN MATERIALS. TOPSOIL SHALL CONFORM TO ASTM D5536 WITH A PH RANGE OF 5.5 TO 7.0, AND A MIN. 4 PERCENT ORGANIC MATERIAL.
19. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO VERIFY QUANTITIES OF PLANTS AND SOO.
20. RE-DO ANY DAMAGE LAWN DISTURBED BY THIS WORK.
21. REPAIR ANY PLANT MATERIALS DAMAGED BY THIS WORK.
22. EXISTING PLANT MATERIALS BEING REMOVED, MAY BE TRANSPORTED IN NEW PLANT BEDS.
23. REPLACE ANY REQUIRED LANDSCAPING THAT HAS DIED OR HAS BEEN REMOVED (SUCH AS: IN LANDSCAPE ISLANDS, BUFFERS AND EVERGREEN HERDS). ALL REQUIRED LANDSCAPING SHOULD BE IN PLACE BEFORE THE DRAINING SITE INSPECTION.

| REVISIONS | | REVISIONS | |
|-----------|------------|-----------|------------|
| 1 | 2023-02-09 | 1 | 2023-02-09 |
| 2 | 2023-04-03 | 2 | 2023-04-03 |
| 3 | 2023-05-12 | 3 | 2023-05-12 |
| 4 | | 4 | |
| 5 | | 5 | |



KANE & ASSOCIATES, PLLC

137 JORDAN CRESCENT, SUITE 202
WAKE FOREST, NC 27157
PHONE: 336-232-1501
FAX: 336-232-1501

CLIENT:

BLACK & VEATCH CORPORATION

LANDSCAPE DETAILS

CROSSWINDS INDUSTRIAL LOT 8

CITY OF RALEIGH

WAKE COUNTY, NORTH CAROLINA

PRELIMINARY PLAN

LOT 8

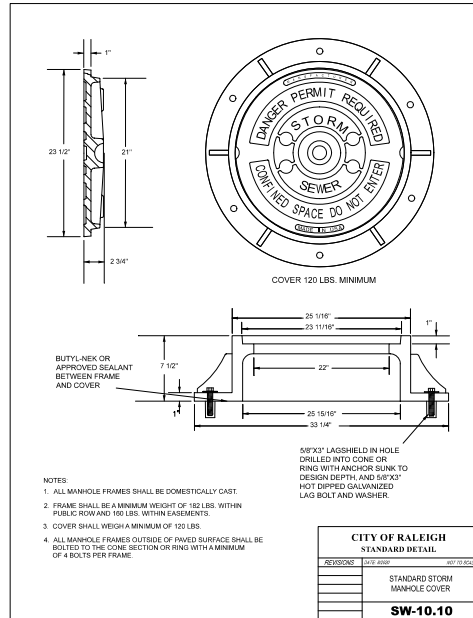
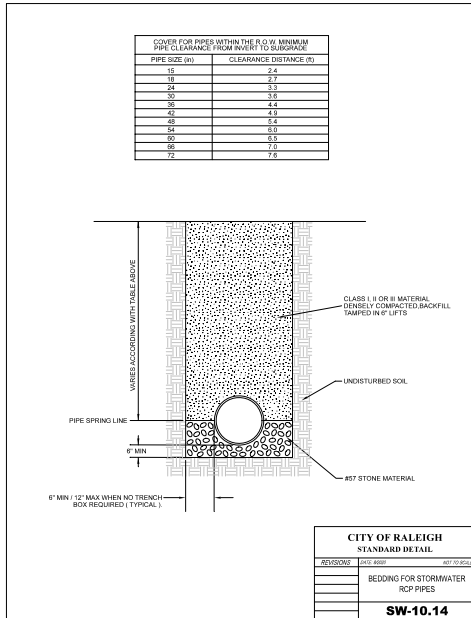
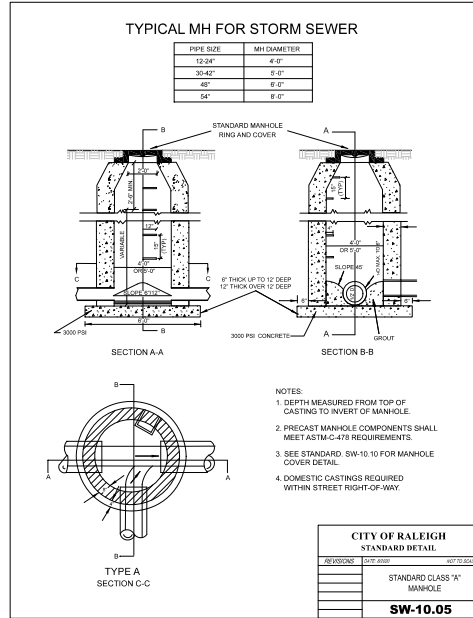
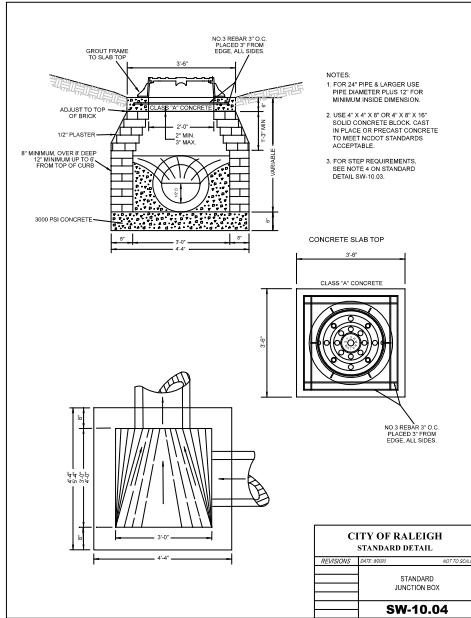
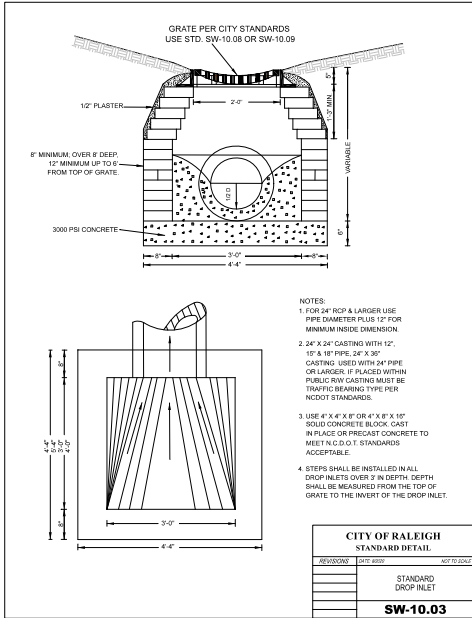
DESIGN BY: 810

SCALE: N.T.S.

DATE: 09-23-2022

SHEET NO: C-5.1

TPP-03



| REVISIONS | | | |
|-----------|------------|--------------------------------------|--|
| 1 | 2023-03-09 | REVISED PER CITY OF RALEIGH COMMENTS | |
| 2 | 2023-04-03 | REVISED PER CITY OF RALEIGH COMMENTS | |
| 3 | 2023-05-22 | REVISED PER CITY OF RALEIGH COMMENTS | |
| | | | |
| | | | |

KANE & ASSOCIATES, PLLC
1371 UNION CIRCLE, SUITE 202
WAKE COUNTY, NORTH CAROLINA
PHONE: 252-232-1501
FIRM INC. LICENSE NUMBER: P-2529

CLIENT: **BLACK & VEATCH CORPORATION**

PRELIMINARY PLAN

SITE DETAILS

CROSSWINDS INDUSTRIAL LOT 8
CITY OF RALEIGH
WAKE COUNTY, NORTH CAROLINA

DESIGN BY: **BITO**

SCALE: **N.T.S.**

DATE: **09-23-2022**

SHEET NO: **C-6.0**

| REVISIONS | | |
|-----------|------------|--------------------------------------|
| 1 | 2013-02-09 | REVISED PER CITY OF RALEIGH COMMENTS |
| 2 | 2013-04-03 | REVISED PER CITY OF RALEIGH COMMENTS |
| 3 | 2013-05-12 | REVISED PER CITY OF RALEIGH COMMENTS |
| | | |
| | | |
| | | |
| | | |



CLIENT: BLACK & VEATCH CORPORATION

PRELIMINARY
PLAN

CROSSWINDS INDUSTRIAL LOT 8

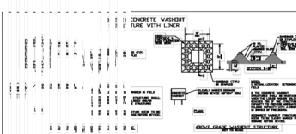
SITE DETAILS

CITY OF RALEIGH

WAKE COUNTY, NORTH CAROLINA

| | |
|------------|------------|
| DESIGN BY: | BTO |
| SCALE: | N.T.S. |
| DATE: | 09-23-2022 |
| SHEET NO: | C-6.2 |

| Category | Sub-category | Item | Value | Unit | Notes |
|---------------|--------------|-----------------|-------|------|-------|
| Agriculture | Crops | Wheat | 100 | kg | |
| | | Rice | 200 | kg | |
| | | Maize | 150 | kg | |
| | | Barley | 120 | kg | |
| Livestock | Animals | Cattle | 5 | head | |
| | | Sheep | 10 | head | |
| | | Pigs | 3 | head | |
| | | Poultry | 20 | head | |
| Manufacturing | Products | Textiles | 50 | kg | |
| | | Food Processing | 30 | kg | |
| | | Chemicals | 20 | kg | |
| | | Metals | 10 | kg | |
| Services | Activities | Transportation | 10 | kg | |
| | | Healthcare | 5 | kg | |
| | | Education | 3 | kg | |
| | | Retail | 2 | kg | |

[illegible][illegible]

| Temporary Stabilization | Permanent Stabilization |
|--|---|
| <ul style="list-style-type: none"> Temporary grass seed mixed with straw or other mulches and tackifiers Hydroseeding Rolls/erosion control products without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting | <ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls |

- Effect is not a guarantee: provide reduction of portable toilet behind solid fence or place on a gravel pad and surround with sand bags.
- Ice/snow stacking or encroaching of portable toilets during periods of high winds or in areas of low traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

LANDFILL STOCKPILE MANAGEMENT

- Shore stockpile locations on plans. Locate earthen material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment control and surface water flows if can be shown no other alternatives are reasonably

HERBICIDES, PESTICIDES AND ROPE | | | |

1. Store and apply herbicides, pesticides and insecticides in accordance with label, which lists directions for accidental poisoning.
2. Do not store herbicides, pesticides or insecticides where they may spill onto surface area. If a spill occurs, clean it up immediately.

[illegible]

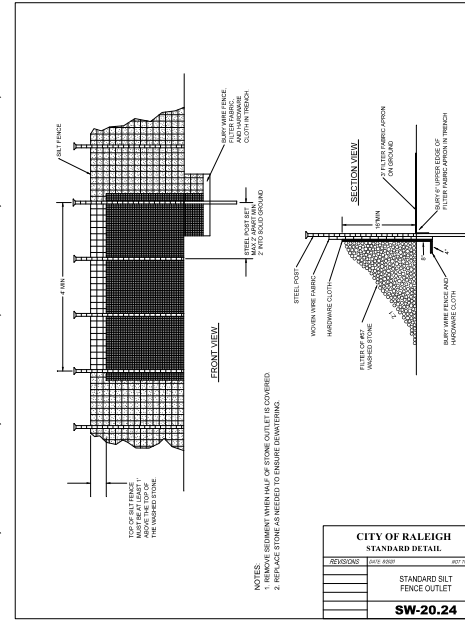
2. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
3. Provide stable slope access point when feasible.
4. Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetation, physical or chemical erosion-control techniques that will control sedimentation on disturbed soils for temporary or permanent control needs.

| HAZARDOUS AND TOXIC WASTE | |
|---|--------------------------|
| 1. Create designated hazardous waste container. | <input type="checkbox"/> |
| 2. Place hazardous waste containers in designated area. | <input type="checkbox"/> |
| 3. Do not store hazardous chemicals in the laboratory. | <input type="checkbox"/> |

REGISTRATION AND MATERIALS HANDLING

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185 | 186 | 187 | 188 | 189 | 190 | 191 | 192 | 193 | 194 | 195 | 196 | 197 | 198 | 199 | 200 | 201 | 202 | 203 | 204 | 205 | 206 | 207 | 208 | 209 | 210 | 211 | 212 | 213 | 214 | 215 | 216 | 217 | 218 | 219 | 220 | 221 | 222 | 223 | 224 | 225 | 226 | 227 | 228 | 229 | 230 | 231 | 232 | 233 | 234 | 235 | 236 | 237 | 238 | 239 | 240 | 241 | 242 | 243 | 244 | 245 | 246 | 247 | 248 | 249 | 250 | 251 | 252 | 253 | 254 | 255 | 256 | 257 | 258 | 259 | 260 | 261 | 262 | 263 | 264 | 265 | 266 | 267 | 268 | 269 | 270 | 271 | 272 | 273 | 274 | 275 | 276 | 277 | 278 | 279 | 280 | 281 | 282 | 283 | 284 | 285 | 286 | 287 | 288 | 289 | 290 | 291 | 292 | 293 | 294 | 295 | 296 | 297 | 298 | 299 | 300 | 301 | 302 | 303 | 304 | 305 | 306 | 307 | 308 | 309 | 310 | 311 | 312 | 313 | 314 | 315 | 316 | 317 | 318 | 319 | 320 | 321 | 322 | 323 | 324 | 325 | 326 | 327 | 328 | 329 | 330 | 331 | 332 | 333 | 334 | 335 | 336 | 337 | 338 | 339 | 340 | 341 | 342 | 343 | 344 | 345 | 346 | 347 | 348 | 349 | 350 | 351 | 352 | 353 | 354 | 355 | 356 | 357 | 358 | 359 | 360 | 361 | 362 | 363 | 364 | 365 | 366 | 367 | 368 | 369 | 370 | 371 | 372 | 373 | 374 | 375 | 376 | 377 | 378 | 379 | 380 | 381 | 382 | 383 | 384 | 385 | 386 | 387 | 388 | 389 | 390 | 391 | 392 | 393 | 394 | 395 | 396 | 397 | 398 | 399 | 400 | 401 | 402 | 403 | 404 | 405 | 406 | 407 | 408 | 409 | 410 | 411 | 412 | 413 | 414 | 415 | 416 | 417 | 418 | 419 | 420 | 421 | 422 | 423 | 424 | 425 | 426 | 427 | 428 | 429 | 430 | 431 | 432 | 433 | 434 | 435 | 436 | 437 | 438 | 439 | 440 | 441 | 442 | 443 | 444 | 445 | 446 | 447 | 448 | 449 | 450 | 451 | 452 | 453 | 454 | 455 | 456 | 457 | 458 | 459 | 460 | 461 | 462 | 463 | 464 | 465 | 466 | 467 | 468 | 469 | 470 | 471 | 472 | 473 | 474 | 475 | 476 | 477 | 478 | 479 | 480 | 481 | 482 | 483 | 484 | 485 | 486 | 487 | 488 | 489 | 490 | 491 | 492 | 493 | 494 | 495 | 496 | 497 | 498 | 499 | 500 | 501 | 502 | 503 | 504 | 505 | 506 | 507 | 508 | 509 | 510 | 511 | 512 | 513 | 514 | 515 | 516 | 517 | 518 | 519 | 520 | 521 | 522 | 523 | 524 | 525 | 526 | 527 | 528 | 529 | 530 | 531 | 532 | 533 | 534 | 535 | 536 | 537 | 538 | 539 | 540 | 541 | 542 | 543 | 544 | 545 | 546 | 547 | 548 | 549 | 550 | 551 | 552 | 553 | 554 | 555 | 556 | 557 | 558 | 559 | 560 | 561 | 562 | 563 | 564 | 565 | 566 | 567 | 568 | 569 | 570 | 571 | 572 | 573 | 574 | 575 | 576 | 577 | 578 | 579 | 580 | 581 | 582 | 583 | 584 | 585 | 586 | 587 | 588 | 589 | 590 | 591 | 592 | 593 | 594 | 595 | 596 | 597 | 598 | 599 | 600 | 601 | 602 | 603 | 604 | 605 | 606 | 607 | 608 | 609 | 610 | 611 | 612 | 613 | 614 | 615 | 616 | 617 | 618 | 619 | 620 | 621 | 622 | 623 | 624 | 625 | 626 | 627 | 628 | 629 | 630 | 631 | 632 | 633 | 634 | 635 | 636 | 637 | 638 | 639 | 640 | 641 | 642 | 643 | 644 | 645 | 646 | 647 | 648 | 649 | 650 | 651 | 652 | 653 | 654 | 655 | 656 | 657 | 658 | 659 | 660 | 661 | 662 | 663 | 664 | 665 | 666 | 667 | 668 | 669 | 670 | 671 | 672 | 673 | 674 | 675 | 676 | 677 | 678 | 679 | 680 | 681 | 682 | 683 | 684 | 685 | 686 | 687 | 688 | 689 | 690 | 691 | 692 | 693 | 694 | 695 | 696 | 697 | 698 | 699 | 700 | 701 | 702 | 703 | 704 | 705 | 706 | 707 | 708 | 709 | 710 | 711 | 712 | 713 | 714 | 715 | 716 | 717 | 718 | 719 | 720 | 721 | 722 | 723 | 724 | 725 | 726 | 727 | 728 | 729 | 730 | 731 | 732 | 733 | 734 | 735 | 736 | 737 | 738 | 739 | 740 | 741 | 742 | 743 | 744 | 745 | 746 | 747 | 748 | 749 | 750 | 751 | 752 | 753 | 754 | 755 | 756 | 757 | 758 | 759 | 760 | 761 | 762 | 763 | 764 | 765 | 766 | 767 | 768 | 769 | 770 | 771 | 772 | 773 | 774 | 775 | 776 | 777 | 778 | 779 | 780 | 781 | 782 | 783 | 784 | 785 | 786 | 787 | 788 | 789 | 790 | 791 | 792 | 793 | 794 | 795 | 796 | 797 | 798 | 799 | 800 | 801 | 802 | 803 | 804 | 805 | 806 | 807 | 808 | 809 | 810 | 811 | 812 | 813 | 814 | 815 | 816 | 817 | 818 | 819 | 820 | 821 | 822 | 823 | 824 | 825 | 826 | 827 | 828 | 829 | 830 | 831 | 832 | 833 | 834 | 835 | 836 | 837 | 838 | 839 | 840 | 841 | 842 | 843 | 844 | 845 | 846 | 847 | 848 | 849 | 850 | 851 | 852 | 853 | 854 | 855 | 856 | 857 | 858 | 859 | 860 | 861 | 862 | 863 | 864 | 865 | 866 | 867 | 868 | 869 | 870 | 871 | 872 | 873 | 874 | 875 | 876 | 877 | 878 | 879 | 880 | 881 | 882 | 883 | 884 | 885 | 886 | 887 | 888 | 889 | 890 | 891 | 892 | 893 | 894 | 895 | 896 | 897 | 898 | 899 | 900 | 901 | 902 | 903 | 904 | 905 | 906 | 907 | 908 | 909 | 910 | 911 | 912 | 913 | 914 | 915 | 916 | 917 | 918 | 919 | 920 | 921 | 922 | 923 | 924 | 925 | 926 | 927 | 928 | 929 | 930 | 931 | 932 | 933 | 934 | 935 | 936 | 937 | 938 | 939 | 940 | 941 | 942 | 943 | 944 | 945 | 946 | 947 | 948 | 949 | 950 | 951 | 952 | 953 | 954 | 955 | 956 | 957 | 958 | 959 | 960 | 961 | 962 | 963 | 964 | 965 | 966 | 967 | 968 | 969 | 970 | 971 | 972 | 973 | 974 | 975 | 976 | 977 | 978 | 979 | 980 | 981 | 982 | 983 | 984 | 985 | 986 | 987 | 988 | 989 | 990 | 991 | 992 | 993 | 994 | 995 | 996 | 997 | 998 | 999 | 1000 | 1001 | 1002 | 1003 | 1004 | 1005 | 1006 | 1007 | 1008 | 1009 | 1010 | 1011 | 1012 | 1013 | 1014 | 1015 | 1016 | 1017 | 1018 | 1019 | 1020 | 1021 | 1022 | 1023 | 1024 | 1025 | 1026 | 1027 | 1028 | 1029 | 1030 | 1031 | 1032 | 1033 | 1034 | 1035 | 1036 | 1037 | 1038 | 1039 | 1040 | 1041 | 1042 | 1043 | 1044 | 1045 | 1046 | 1047 | 1048 | 1049 | 1050 | 1051 | 1052 | 1053 | 1054 | 1055 | 1056 | 1057 | 1058 | 1059 | 1060 | 1061 | 1062 | 1063 | 1064 | 1065 | 1066 | 1067 | 1068 | 1069 | 1070 | 1071 | 1072 | 1073 | 1074 | 1075 | 1076 | 1077 | 1078 | 1079 | 1080 | 1081 | 1082 | 1083 | 1084 | 1085 | 1086 | 1087 | 1088 | 1089 | 1090 | 1091 | 1092 | 1093 | 1094 | 1095 | 1096 | 1097 | 1098 | 1099 | 1100 | 1101 | 1102 | 1103 | 1104 | 1105 | 1106 | 1107 | 1108 | 1109 | 1110 | 1111 | 1112 | 1113 | 1114 | 1115 | 1116 | 1117 | 1118 | 1119 | 1120 | 1121 | 1122 | 1123 | 1124 | 1125 | 1126 | 1127 | 1128 | 1129 | 1130 | 1131 | 1132 | 1133 | 1134 | 1135 | 1136 | 1137 | 1138 | 1139 | 1140 | 1141 | 1142 | 1143 | 1144 | 1145 | 1146 | 1147 | 1148 | 1149 | 1150 | 1151 | 1152 | 1153 | 1154 | 1155 | 1156 | 1157 | 1158 | 1159 | 1160 | 1161 | 1162 | 1163 | 1164 | 1165 | 1166 | 1167 | 1168 | 1169 | 1170 | 1171 | 1172 | 1173 | 1174 | 1175 | 1176 | 1177 | 1178 | 1179 | 1180 | 1181 | 1182 | 1183 | 1184 | 1185 | 1186 | 1187 | 1188 | 1189 | 1190 | 1191 | 1192 | 1193 | 1194 | 1195 | 1196 | 1197 | 1198 | 1199 | 1200 | 1201 | 1202 | 1203 | 1204 | 1205 | 1206 | 1207 | 1208 | 1209 | 1210 | 1211 | 1212 | 1213 | 1214 | 1215 | 1216 | 1217 | 1218 | 1219 | 1220 | 1221 | 1222 | 1223 | 1224 | 1225 | 1226 | 1227 | 1228 | 1229 | 1230 | 1231 | 1232 | 1233 | 1234 | 1235 | 1236 | 1237 | 1238 | 1239 | 1240 | 1241 | 1242 | 1243 | 1244 | 1245 | 1246 | 1247 | 1248 | 1249 | 1250 | 1251 | 1252 | 1253 | 1254 | 1255 | 1256 | 1257 | 1258 | 1259 | 1260 | 1261 | 1262 | 1263 | 1264 | 1265 | 1266 | 1267 | 1268 | 1269 | 1270 | 1271 | 1272 | 1273 | 1274 | 1275 | 1276 | 1277 | 1278 | 1279 | 1280 | 1281 | 1282 | 1283 | 1284 | 1285 | 1286 | 1287 | 1288 | 1289 | 1290 | 1291 | 1292 | 1293 | 1294 | 1295 | 1296 | 1297 | 1298 | 1299 | 1300 | 1301 | 1302 | 1303 | 1304 | 1305 | 1306 | 1307 | 1308 | 1309 | 1310 | 1311 | 1312 | 1313 | 1314 | 1315 | 1316 | 1317 | 1318 | 1319 | 1320 | 1321 | 1322 | 1323 | 1324 | 1325 | 1326 | 1327 | 1328 | 1329 | 1330 | 1331 | 1332 | 1333 | 1334 | 1335 | 1336 | 1337 | 1338 | 1339 | 1340 | 1341 | 1342 | 1343 | 1344 | 1345 | 1346 | 1347 | 1348 | 1349 | 1350 | 1351 | 1352 | 1353 | 1354 | 1355 | 1356 | 1357 | 1358 | 1359 | 1360 | 1361 | 1362 | 1363 | 1364 | 1365 | 1366 | 1367 | 1368 | 1369 | 1370 | 1371 | 1372 | 1373 | 1374 | 1375 | 1376 | 1377 | 1378 | 1379 | 1380 | 1381 | 1382 | 1383 | 1384 | 1385 | 1386 | 1387 | 1388 | 1389 | 1390 | 1391 | 1392 | 1393 | 1394 | 1395 | 1396 | 1397 | 1398 | 1399 | 1400 | 1401 | 1402 | 1403 | 1404 | 1405 | 1406 | 1407 | 1408 | 1409 | 1410 | 1411 | 1412 | 1413 | 1414 | 1415 | 1416 | 1417 | 1418 | 1419 | 1420 | 1421 | 1422 | 1423 | 1424 | 1425 | 1426 | 1427 | 1428 | 1429 | 1430 | 1431 | 1432 | 1433 | 1434 | 1435 | 1436 | 1437 | 1438 | 1439 | 1440 | 1441 | 1442 | 1443 | 1444 | 1445 | 1446 | 1447 | 1448 | 1449 | 1450 | 1451 | 1452 | 1453 | 1454 | 1455 | 1456 | 1457 | 1458 | 1459 | 1460 | 1461 | 1462 | 1463 | 1464 | 1465 | 1466 | 1467 | 1468 | 1469 | 1470 | 1471 | 1472 | 1473 | 1474 | 1475 | 1476 | 1477 | 1478 | 1479 | 1480 | 1481 | 1482 | 1483 | 1484 | 1485 | 1486 | 1487 | 1488 | 1489 | 1490 | 1491 | 1492 | 1493 | 1494 | 1495 | 1 |
|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-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[illegible]

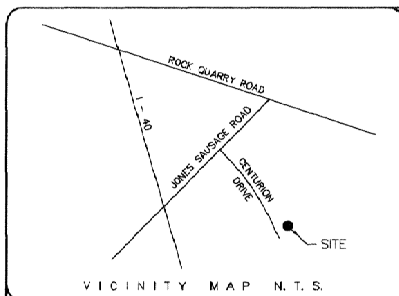
| | | |
|-----------------|-------------------------------|-------|
| CITY OF RALEIGH | | |
| STANDARD DETAIL | | |
| REVISIONS | DATE: 8/20/01 | NOTES |
| | STANDARD SILT FENCE OUTLET | |
| | SW-20.24 | |



NORTH CAROLINA
Environmental Quality

EFFECTIVE: 04/01/

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



| LINE DATA | | |
|-----------|---------------|----------|
| NUMBER | BEARING | DISTANCE |
| L-1 | S 08°12'13" E | 20.07' |
| L-2 | S 08°11'44" E | 115.09' |

| CURVE DATA | | | | |
|------------|---------------|--------|--------|----------|
| NUMBER | BEARING | RADIUS | ARC | DISTANCE |
| C-1 | N 18°43'57" W | 750.00 | 184.54 | 193.99 |
| C-2 | N 33°28'25" W | 750.00 | 190.51 | 190.00 |

"I, the undersigned Planning Director of the City of Raleigh, and Review Officer for Wake County, do hereby certify that this map or plat meets all the statutory requirements for recording, and that the City of Raleigh, as provided by its City Code, on this day of August in the year 2004, approved this plat or map, and accompanying sheets and accepted for the City of Raleigh the dedication as shown thereon, but on the further condition that the City assumes no responsibility to open or maintain the same until the dedication and approval of the governing body of the City of Raleigh. It is in the public interest to do so.

Seagr B. Chaparral
Planning Director, Wake County Review Officer

THIS PLAT NOT TO BE RECORDED
AFTER _____ DAY OF _____
1 COPY TO BE RETAINED FOR THE
CITY.
THIS PLAT IS _____ IN _____ OUT OF
THE CITY LIMITS.

FLOOD PLAIN ORDINANCE
FEMA MAP NUMBER 335
OTHER _____
APPROVED BY June 7/20/04

CERTIFICATE OF OWNERSHIP

"This certificate warrants that the undersigned is (are) the sole owner(s) of the property shown on this map or plat and any accompanying sheets subject to the exceptions on record having acquired the property in fee simple by deed (a) recorded in the Office of the Registrar of Deeds of Wake County North Carolina, or otherwise, as shown below and as such has (have) the right to convey the property in fee simple and that the dedications of all persons who have or may hereafter acquire an interest in the property shown on this map or plat are hereby accepted and that the City of Raleigh for the benefit of the public, said dedications shall be irrevocable provided any dedication of easement for storm drainage are not made to the City of Raleigh but are previously made to the subsequent owners of any and all parcels shown hereon for their use and benefit subject to conditions of subsections (b) (c) (d) and (f) of Section 1 and Section 4 of the "City Storm Drainage Policy" (Resolution 1970-742 as the same may be from time to time amended).

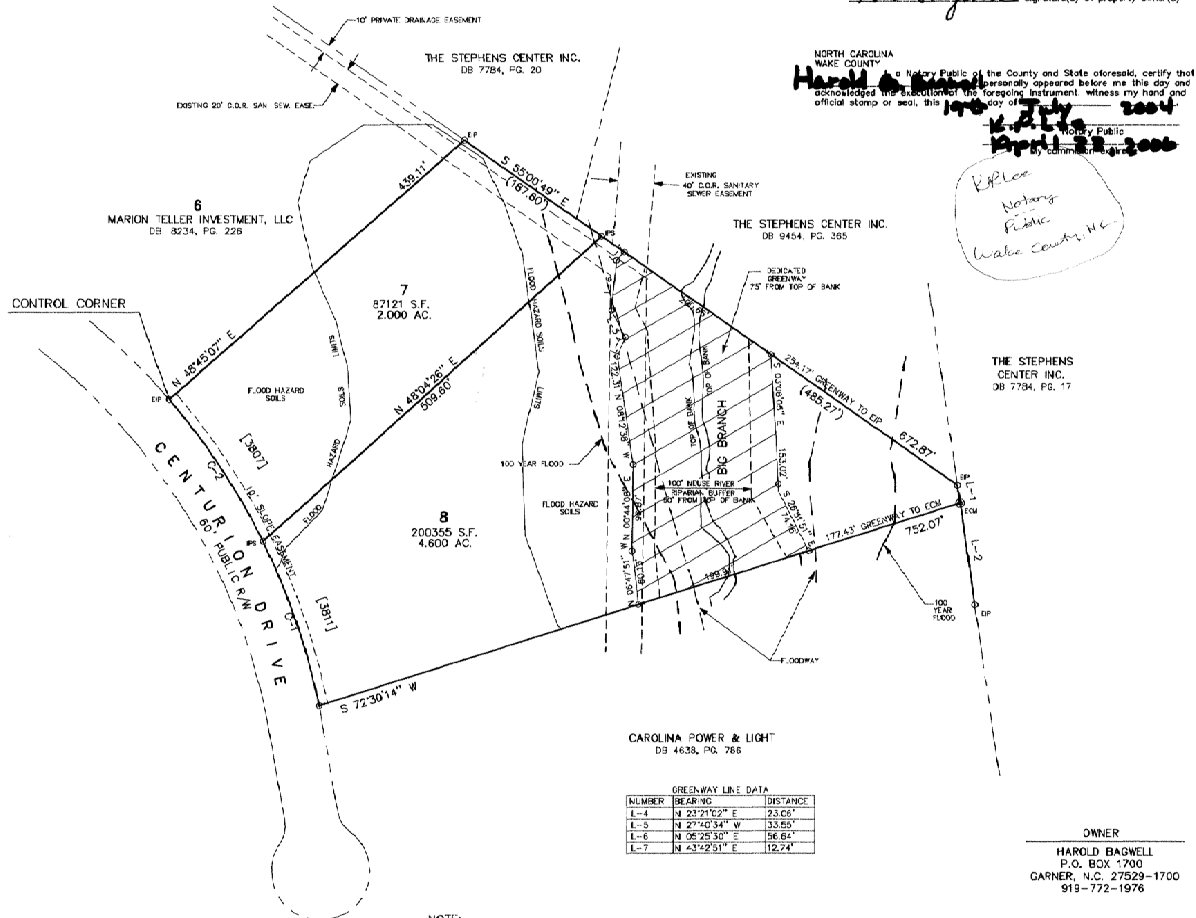
Book No. _____

Page No. _____

H. B. Bagwell Signature(s) of property owner(s)

NORTH CAROLINA
WAKE COUNTY
I, Harold B. Bagwell, a duly qualified and duly sworn Surveyor, do hereby certify that I am the duly qualified and duly sworn Surveyor of the property shown on this map or plat and that I am the duly qualified and duly sworn Surveyor of the property shown on this map or plat and that I am the duly qualified and duly sworn Surveyor of the property shown on this map or plat.

Noting
Wake County, NC



| GREENWAY LINE DATA | | |
|--------------------|---------------|----------|
| NUMBER | BEARING | DISTANCE |
| L-4 | N 23°21'22" E | 23.06' |
| L-5 | N 21°40'34" W | 33.65' |
| L-6 | N 06°25'30" E | 36.84' |
| L-7 | N 43°25'11" E | 12.24' |

NOTE:

FLOOD HAZARD SOILS LOCATIONS PER GREEN ENGINEERING, BOM 1998, PG. 813
THERE IS A MAXIMUM LIMIT OF 70% IMPERVIOUS SURFACE AND 50% FLOOR AREA RATIO ON ANY LOT IN THIS DEVELOPMENT PER Z-36B-99

THE SITE MAY NOT CONTAIN HOTELS, MOTELS, FAST-FOOD RESTAURANTS, GROCERY STORES OF OVER 10,000 SQUARE FEET OR DRUG STORES

FEMA REFERENCE

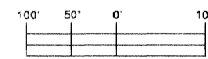
FEMA MAP NUMBER 37183C0555 E
EFFECTIVE DATE: MARCH 3, 1992

LOT SUMMARY

| | |
|---------------|-----------|
| NO. OF LOTS | 2 |
| AVG. LOT SIZE | 3,300 AC. |
| MIN. LOT SIZE | 2,000 AC. |
| AREA IN LOTS | 6,600 AC. |

PLAT REFERENCE

LOT 7 CROSSWINDS INDUSTRIAL PARK
PHASE TWO, AS RECORDED IN
BOM 1999, PAGE 113 W.C.R.



1" = 100'
HORIZONTAL GROUND DISTANCE
AREA COMPILED BY COORD.
GEOMETRY METHOD

WAKE COUNTY, NC 35
LAURA M RIDDICK
REGISTER OF DEEDS
PRESENTED & RECORDED ON
07/21/2004 AT 09:19:23

BOOK: BH2004 PAGE: 01315

THIS PLAT RECORDED IN B.O.M. / P.B. / P.C. 2004 P.S. 1315 COUNTY REGISTRY RA035666 (S-13-04)

LEGEND

--- LINES SURVEYED
--- LINES NOT SURVEYED
E.I.P. --- EXISTING IRON PIPE
R.P.S. --- IRON PIPE SET
C.M.S. --- CONCRETE MONUMENT SET
E.C.M. --- EXISTING CONCRETE MONUMENT
P.K.S. --- P.K. NAIL SET
E.P.K. --- EXISTING P.K. NAIL
R/W --- RIGHT OF WAY
D.B. --- DEED BOOK
P.P. --- POWER POLE
O.H.P. --- OVER HEAD POWER
R.R.S. --- RAILROAD SPIKE
(1234) --- ADDRESSES

- X a. This survey creates a subdivision of land within the area of a county or municipality that has an ordinance that regulates parcels of land.
b. This survey is located in a portion of a county or municipality that is unregulated as to an ordinance that regulates parcels of land.
c. Any of the following:
1. That the survey is of an existing parcel or parcels of land and does not create a new street or change an existing street.
2. That the survey is of an existing building or other structures, or natural feature, such as a watercourse, or
3. That the survey is a control survey.
d. This survey is of another category, such as the recombination of existing parcels, a court-ordered survey, or other exception to the definition of subdivision.
e. The information available to the surveyor is such that the surveyor is unable to make a determination to the best of the surveyor's professional ability as to provisions contained in (a) through (d) above.

Registered Land Surveyor

This parcel is located in the RALEIGH Planning jurisdiction.

NORTH CAROLINA
WAKE COUNTY

I, Barry L. Scott, certify that this plat was drawn under my supervision from (an actual survey made under my supervision) (a deed description recorded in Book 3606, page 338, etc.) (other), that the ratio of precision as calculated by latitude and departures is 1/10,000, that the boundaries not surveyed are shown as broken lines plotted from information found in Book 3606, page 338, that this plat was prepared in accordance with the G.S. 47-30 as amended. Witness my original signature, registration number and seal this 14th day of JANUARY, A.D. 2004.

PROPERTY OF
SUBDIVISION PLAT

CROSSWINDS INDUSTRIAL PARK
LOTS 7 & 8

PIN(S): 1722.20 71 6377
STATE OF NORTH CAROLINA, U.S.A.

TAX MAP:
ZONED: IND-1
TOWNSHIP: ST. MARY'S
COUNTY: WAKE

DATE: 01-14-04
FIELD BOOK: SLT
REVISED
DATE: 7-2-04
DATE: 7-19-04

B.L. SCOTT & CO.
PROFESSIONAL LAND SURVEYORS
P.O. BOX 1700
RALEIGH, NC 27602
JOB NO.: 04-01-08