



# Administrative Approval Action

Case File / Name: ASR-SR-30-2019  
City of Raleigh Fire Station #22

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2492  
currentplanning@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This 1.97 acre site is located on the north side of Durant Road between Camp Durant Road and Deponie Drive at 10050 Durant Road.

**REQUEST:** Development of a 1.97 acre recombined site zoned IX-3-PK, and within a Urban Watershed Protection Overlay District into a 15,765 square foot civic use (City of Raleigh Fire Station #22) with associated infrastructure.  
One Hardship Variance and One Design Adjustment have been approved for this project, noted below.  
A-128-2019 (Design Adjustments for the following)  
An alternative street scape cross section waiving the requirement for the 5' utility easement (8.5.1 B 1 a, and 8.4.6 B), waiving dedication of additional right of way width (8.5.1 B 1 and 8.4.6 B), and waiving of the required C2 street yard 8.5.1 B 1 A, and 8.4.6 B) . Also approved was a reduction in the driveway spacing standard. (8.3.5 C 3 C)  
A-129-19 (Hardship Variances for the following)  
Allowance of a stormwater conveyance device within the protective yard (3.4.3 F), as well as an amenity area within a protective yard (3.4.3 F)

**DESIGN  
ADJUSTMENT(S)/  
ALTERNATES, ETC:** SPR-0081-2020: DSLC - Site Permitting Review/Major [Signature Set]

**FINDINGS:** **City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated February 14, 2020 by CLH design.**

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Site Permitting Review plans:***

### **Engineering**

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

### **Stormwater**

3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).



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4. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).
5. Prior to commencing land disturbing activities, a mass grading permit will be required. (UDO 9.4.6)

## Urban Forestry

6. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

***The following items must be approved prior to the issuance of building permits:***

## General

1. A recombination map shall be recorded prior to the issuance of building permits

## Stormwater

2. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

## Urban Forestry

3. A wooded area plat shall be recorded with metes and bounds showing the designated wooded areas (UDO 9.1.9).

***The following are required prior to issuance of building occupancy permit:***

## General

1. Final inspection of all wooded areas by Urban Forestry Staff.

## Stormwater

2. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).
3. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review



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approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

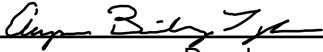
**3-Year Expiration Date:** March 10, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 03/10/2020  
Development Services Dir/Designee

Staff Coordinator: Michael Walters









## DEMOLITION LEGEND

### STRUCTURES/UTILITIES TO REMAIN

OVERHEAD ELECTRICAL	----- E -----	LIGHT POLE	☆ LP
UNDERGROUND ELECTRICAL	----- UE -----	UTILITY POLE	⊗ PP
FIRE PROTECTION	----- FP -----	MANHOLE	⊙ MH
GAS	----- G -----	CLEAN OUT	⊙ CO
SANITARY SEWER	----- SS -----	DROP INLET, CATCH BASIN	□ DI, CB
TELEPHONE	----- T -----	FIRE HYDRANT	⊕ FH
UNDERGROUND TELEPHONE	----- UT -----	WATER VALVE	⊕ WV
FIBER OPTIC	----- FO -----	INDIVIDUAL TREE TO REMAIN	⊗
WATER	----- W -----		
STORM DRAIN	=====		

### STRUCTURES/UTILITIES TO BE REMOVED

OVERHEAD ELECTRICAL	----- E -----	LIGHT POLE	☆ LP
UNDERGROUND ELECTRICAL	----- UE -----	UTILITY POLE	⊗ PP
FIRE PROTECTION	----- FP -----	MANHOLE	⊙ MH
GAS	----- G -----	CLEAN OUT	⊙ CO
SANITARY SEWER	----- SS -----	DROP INLET, CATCH BASIN	□ DI, CB
TELEPHONE	----- T -----	FIRE HYDRANT	⊕ FH
UNDERGROUND TELEPHONE	----- UT -----	WATER VALVE	⊕ WV
FIBER OPTIC	----- FO -----	INDIVIDUAL TREE TO BE REMOVED	⊗
WATER	----- W -----		
STORM DRAIN	=====		

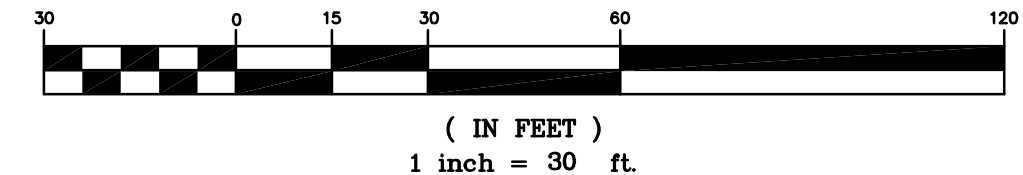
## GENERAL NOTES

- ALL EXISTING STRUCTURES AND UTILITIES SHALL BE REMOVED AS NEEDED TO ALLOW NEW CONSTRUCTION. IN GENERAL, FEATURES INDICATED IN BOLD ON THIS PLAN SHALL BE REMOVED. UNDERGROUND ELECTRICAL LINES MAY BE ABANDONED IN PLACE OUTSIDE OF NEW BUILDING LIMITS. COORDINATE PROPER ABANDONMENT WITH UTILITY COMPANY.
- ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT FOR NEW PAVEMENT, SIDEWALK, OR CURB AND GUTTER, ETC. ANY EXISTING PAVEMENT, SIDEWALK, CURB AND GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS TO MATCH PRE-CONSTRUCTION CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS) TO BE REMOVED.
- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
- ALL WASTE MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
- EXISTING SITE SURVEY INFORMATION WAS TAKEN FROM TOPOGRAPHIC SURVEY BY MOJIM & CREED, PERFORMED 2-1-2016. THESE PLANS DO NOT ASSUME ANY LIABILITY FOR ANY EXISTING INFORMATION BOTH SHOWN AND NOT SHOWN ON THE SURVEY AND ANY CHANGES TO THE EXISTING CONDITIONS THAT MAY HAVE OCCURRED AFTER THE SURVEY WAS ISSUED. CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION.
- INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. CLEAR AND GRUB ALL AREAS AS SHOWN AND REQUIRED TO PERMIT INSTALLATION OF NEW CONSTRUCTION PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL CONFLICT WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS). ALL CONTRACTORS SHALL VISIT THE SITE AND OBSERVE EXISTING CONDITIONS PRIOR TO BIDDING.
- TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE INTERIOR EDGE OF CLEARING LIMITS, THE CONTRACTOR SHALL CUT 2-FT DEEP TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT, RATHER THAN TEAR ROOTS.
- PRIOR TO DEMOLISHING EXISTING STRUCTURES, MAKE AN INSPECTION FOR ANY HAZARDOUS MATERIALS. CONTACT ARCHITECT IMMEDIATELY IF ANY HAZARDOUS MATERIALS ARE DISCOVERED. CAP AND REMOVE UTILITY SERVICES, FUEL TANKS AND SEPTIC SYSTEMS. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS.
- VERIFY ALL ILLUSTRATED UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
- CONTACT UTILITY LOCATING SERVICE AT LEAST 48-HRS PRIOR TO EXCAVATION.
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, REPAIR IMMEDIATELY AS DIRECTED BY THE ARCHITECT.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- ALL EXISTING VAULTS, MANHOLES, STORM DRAIN STRUCTURES, CLEANOUTS, ETC. SHALL BE ADJUSTED AS NEEDED TO MATCH FINISH GRADE. DEMOLITION AND PATCHING OF PAVEMENT, SIDEWALK, CURB AND GUTTER AND OTHER EXISTING PAVED SURFACES IN ADDITION TO THAT INDICATED ON THIS PLAN SHALL BE PERFORMED AS REQUIRED TO CONSTRUCT AND INSTALL NEW UTILITIES. ALL SUCH DEMOLITION AND PATCHING SHALL BE INCLUDED IN THE BASE BID SCOPE OF WORK.
- THIS SITE IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS AS DETERMINED BY FEMA AND DEPICTED ON F.I.R.M. MAP #3720172800, DATED 5-2-2006 AS BEING WITHIN ZONE "X-OTHER AREA".

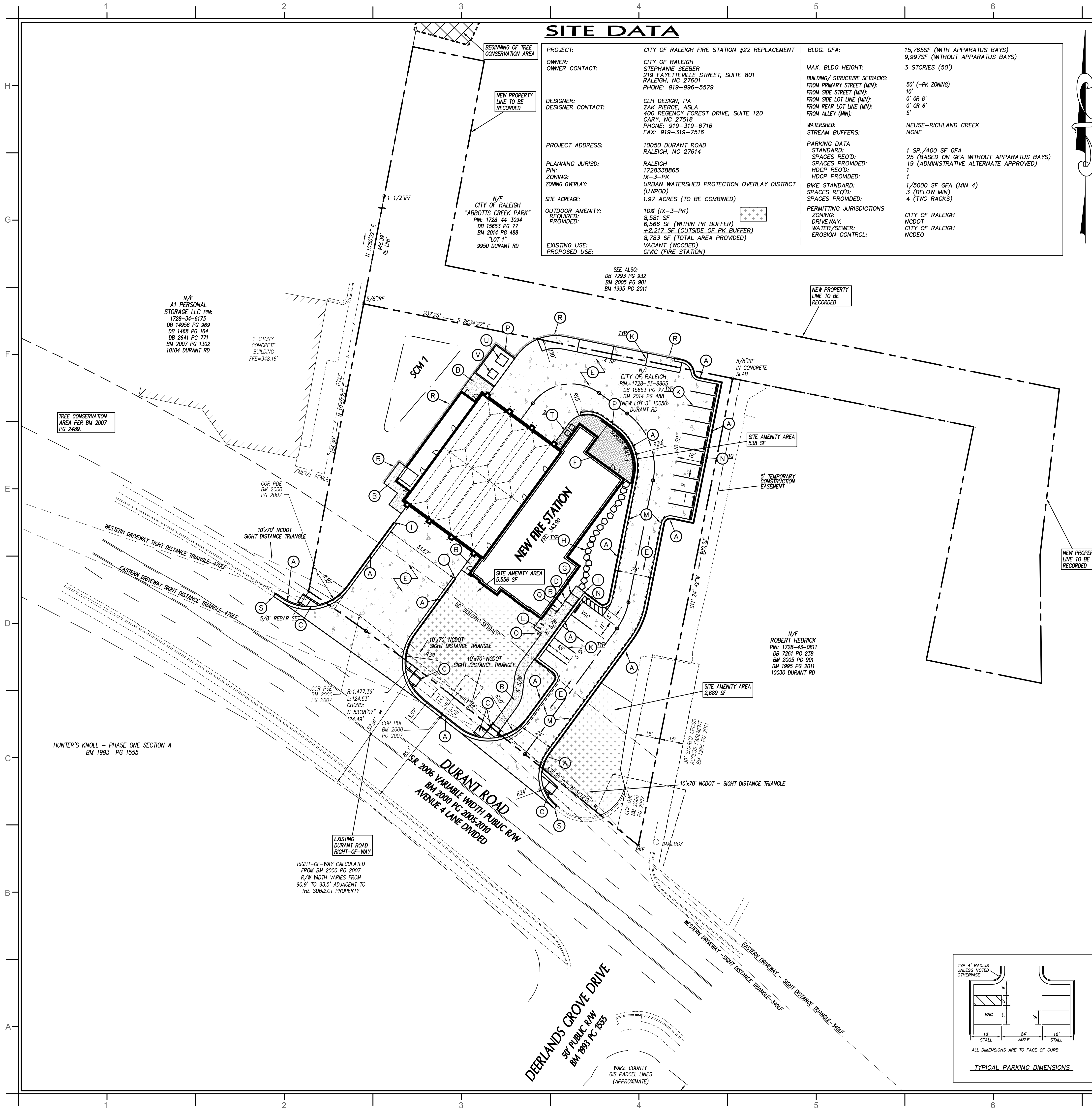
## KEY NOTES

- (A) TEMP. TREE PROTECTION FENCE, SEE DETAIL SHEET C-7.10.
- (B) SAWCUT AND REMOVE EXISTING PAVEMENT.
- (C) CLEAR, GRUB, REMOVE EXISTING STUMPS, AND STRIP TOPSOIL WITHIN CONSTRUCTION LIMITS.
- (D) STORM STRUCTURES TO BE REMOVED.
- (E) BUS STOP SIGN TO BE REMOVED AND RELOCATED. SEE STAKING PLAN FOR UPDATED LOCATION.
- (F) EXISTING LIGHT POLE TO BE REMOVED AND RELOCATED BY LOCAL UTILITY COMPANY.
- (G) EXISTING STRIPING TO BE REMOVED.

## GRAPHIC SCALE







SITE DATA

PROJECT:	CITY OF RALEIGH FIRE STATION #22 REPLACEMENT	BLDG. GFA:	15,765SF (WITH APPARATUS BAYS) 9,997SF (WITHOUT APPARATUS BAYS)
OWNER:	CITY OF RALEIGH	MAX. BLDG HEIGHT:	3 STORIES (50')
OWNER CONTACT:	STEPHANIE SEEBER 219 FAYETTEVILLE STREET, SUITE 801 RALEIGH, NC 27601 PHONE: 919-996-5579	BUILDING/STRUCTURE SETBACKS:	
DESIGNER:	CLH DESIGN, PA	FROM PRIMARY STREET (MIN):	50' (-PK ZONING)
DESIGNER CONTACT:	ZAK PIERCE, ASLA 400 REGENCY FOREST DRIVE, SUITE 120 CARY, NC 27518 PHONE: 919-319-6716 FAX: 919-319-7516	FROM SIDE STREET (MIN):	0' OR 6'
		FROM SIDE LOT LINE (MIN):	0' OR 6'
		FROM REAR LOT LINE (MIN):	5'
		WATERSHED:	NEUSE-RICHLAND CREEK
		STREAM BUFFERS:	NONE
PROJECT ADDRESS:	10050 DURANT ROAD RALEIGH, NC 27614	PARKING DATA:	
PLANNING JURISD:	RALEIGH	STANDARD:	1 SP./400 SF GFA
PIN:	1728338865	SPACES REQ'D:	25 (BASED ON GFA WITHOUT APPARATUS BAYS)
ZONING:	IX-3-PK	SPACES PROVIDED:	19 (ADMINISTRATIVE ALTERNATE APPROVED)
ZONING OVERLAY:	URBAN WATERSHED PROTECTION OVERLAY DISTRICT (UIMPOD)	HDOP REQ'D:	1
SITE ACREAGE:	1.97 ACRES (TO BE COMBINED)	HDOP PROVIDED:	1
OUTDOOR AMENITY:	10% (IX-3-PK)	BIKE STANDARD:	1/5000 SF GFA (MIN 4)
REQUIRED:	8,581 SF	SPACES REQ'D:	3 (BELOW MIN)
PROVIDED:	6,566 SF (WITHIN PK BUFFER) +2,217 SF (OUTSIDE OF PK BUFFER) 8,783 SF (TOTAL AREA PROVIDED)	SPACES PROVIDED:	4 (TWO RACKS)
EXISTING USE:	VACANT (WOODED)	PERMITTING JURISDICTIONS:	CITY OF RALEIGH
PROPOSED USE:	CIVIC (FIRE STATION)	ZONING:	NCDOT
		DRIVEWAY:	CITY OF RALEIGH
		WATER/SEWER:	NCDEQ
		EROSION CONTROL:	

GENERAL NOTES

- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB AND FACE OF BUILDING WALL, UNLESS OTHERWISE INDICATED.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS INDICATED AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- CONSTRUCTION STAKE OUT IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST MANUAL OF "UNIFORM TRAFFIC CONTROL DEVICES."
- ANY AND ALL LANDSCAPING, EXISTING TREES OR SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL SUBMIT SCALED PLANS OF ALL SCORING/JOINTS FOR APPROVAL BY ARCHITECT 30 DAYS MINIMUM PRIOR TO INSTALLATION.
- ALL FACE OF CURB RADI ARE 4 FT UNLESS OTHERWISE SHOWN.
- ALL STANDARD PARKING SPACES SHALL BE 9' WIDE X 18' DEEP MIN.
- VAC - VAN ACCESSIBLE PARKING SPACE SHALL BE 11' WIDE X 18' DEEP
- AC - ACCESSIBLE PARKING SPACE SHALL BE 9' WIDE X 18' DEEP
- ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT CITY OF RALEIGH STANDARD SPECIFICATIONS.
- STOPPING SIGHT DISTANCE TRIANGLE SHOWN PER CITY OF RALEIGH STREET DESIGN MANUAL BASED ON A 35 MPH ROAD, LEFT TURN 470 LF, RIGHT TURN 340 LF.
- WITHIN THE AREA OF ABOVE DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OF OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
- GENERAL CONTRACTOR SHALL COORDINATE THE RETAINING WALL FENCE, VEHICLE BARRIER, PARKING BOLLARD AND SPECIAL CURB AT DESIGNATED PARKING SPACES AS REQUIRED TO ENSURE PROPER INSTALLATION. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR DETAILS.
- GENERAL CONTRACTOR SHALL PERFORM ALL CONSTRUCTION WITHIN THE PROJECT SITE OR WITHIN THE RIGHT OF WAY AS NOTED ON THE PLANS. NO DISTURBANCE SHALL BE MADE TO SURROUNDING PRIVATE PROPERTY. ADDITIONAL EASEMENTS ON ADJACENT PROPERTIES WILL NOT BE ISSUED.

TRAFFIC CONTROL NOTES

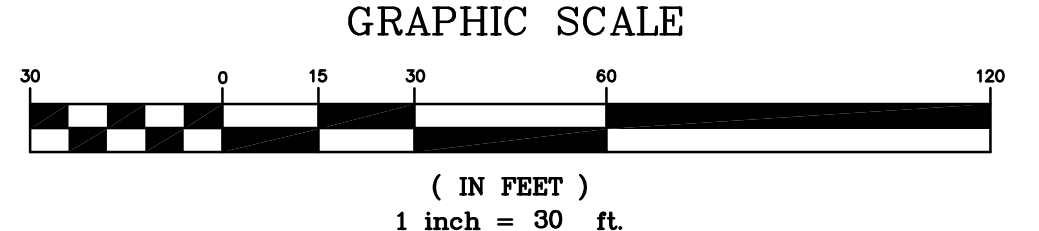
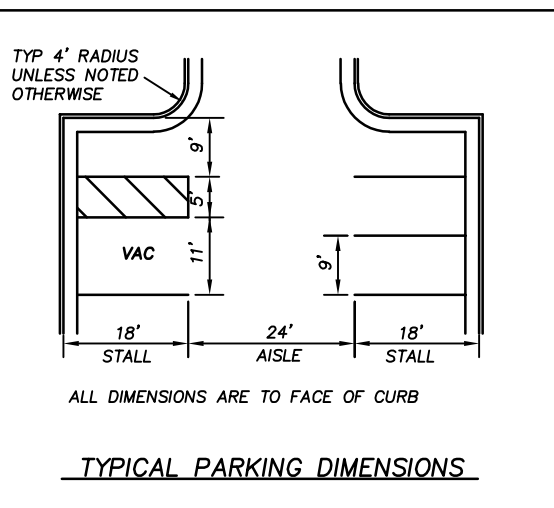
- ALL SITE SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT STANDARDS.
- ALL SIGNS SHALL BE MOUNTED WITH 5-FIT MIN. VERTICAL CLEARANCE TO THE BOTTOM OF THE SIGN ON 2-LB. GALV. STEEL U-CHANNEL POST SET IN 3-FIT DEEP X 12-IN DIA. CONCRETE FOOTING.
- ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE MUTCD STANDARDS AND THE PROJECT SPECIFICATIONS.

MARKING	NCDOT STD.	SIZE	COLOR
PARKING SPACES	1205.07(STANDARD)	4-IN	WHT.
CROSSWALK		8-IN	WHT.
NO. PARKING - FIRE LANE		4-IN	YEL.
SOLID	1205.01	4-IN	WHT.

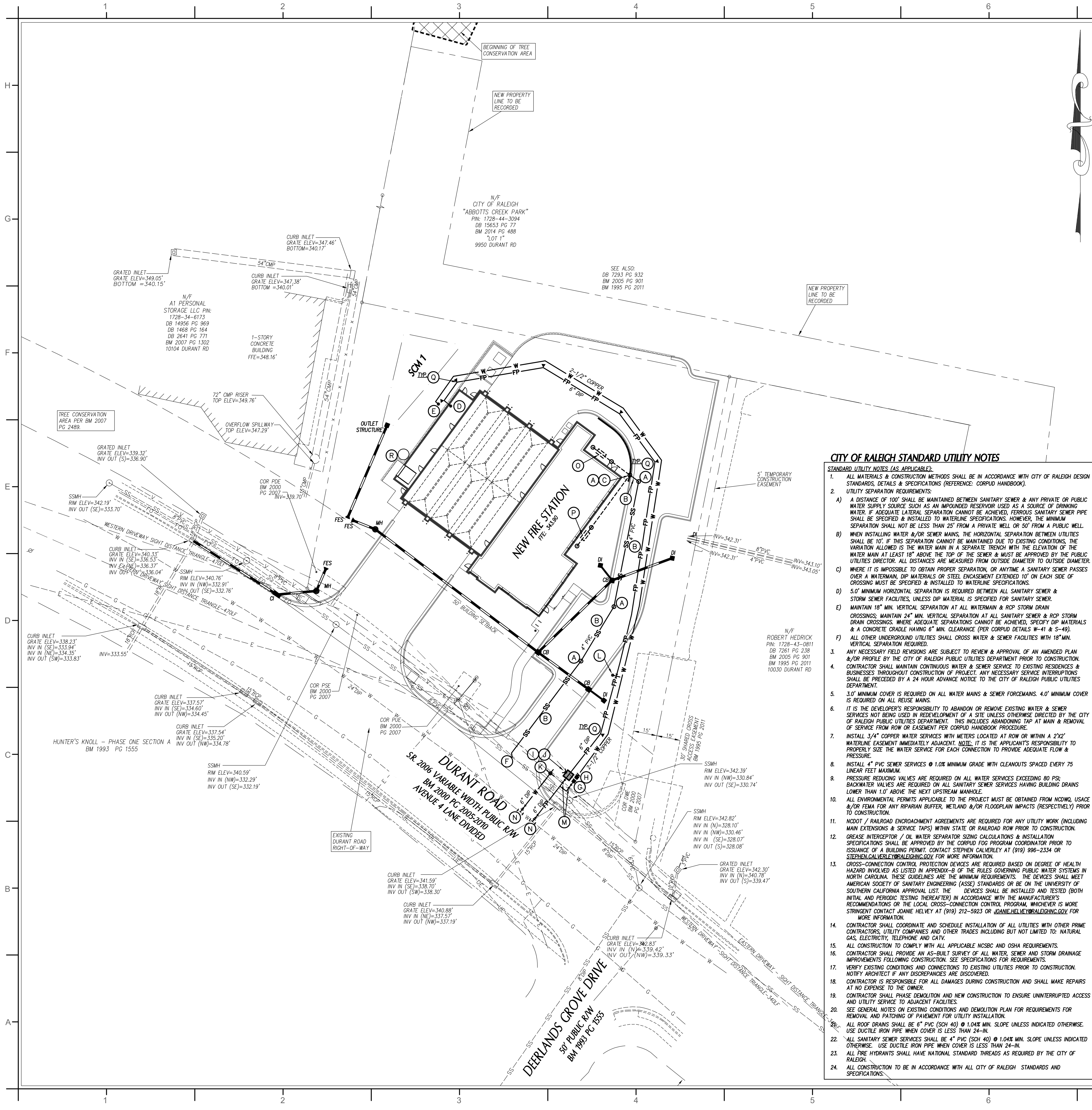
\* NO PARKING - FIRE LANE MARKING SHALL CONSIST OF A 4" SOLID YELLOW STRIPE AND 12" HIGH YELLOW TEXT "NO PARKING - FIRE LANE" AT 40' INTERVALS. BASE BID TO INCLUDE 1,000 LF IN ADDITIONAL LOCATIONS TO BE DETERMINED BY ARCHITECT/FIRE MARSHALL. SEE DETAIL SHEET.
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC TYPE EXCEPT FOR PARKING SPACES WHICH MAY BE ALKYD-RESIN TYPE PAINT.
- DESIGN PRIOR TO SIGN INSTALLATION.
- ALL SIGNAGE SHALL BE FIELD STAKED AND THE LOCATIONS APPROVED BY CLH
- COORDINATE FIRE LANE MARKINGS WITH CITY OF RALEIGH FIRE MARSHAL.

KEY NOTES

- (A) 24" CURB & GUTTER, SEE DETAIL SHEET C-7.3.
- (B) CONCRETE SIDEWALK, SEE DETAIL SHEET C-7.3.
- (C) ACCESSIBLE CURB RAMP, SEE DETAIL SHEET C-7.4.
- (D) ACCESSIBLE PARKING & SIGNAGE, SEE DETAIL SHEET C-7.3.
- (E) CONCRETE PAVEMENT, SEE DETAIL SHEET C7.3.
- (F) CONCRETE PAVERS, SEE DETAIL SHEET C-7.3.
- (G) ACCESSIBLE PARKING CURB RAMP, SEE DETAIL SHEET C-7.3.
- (H) FLAGSTONE PAVERS, SEE SPECIFICATIONS.
- (I) STANDARD METHOD OF ENDING CURB & GUTTER, SEE DETAIL SHEET C-7.3.
- (J) STANDARD CROSSWALK, SEE TRAFFIC CONTROL NOTES.
- (K) PARKING SPACE MARKING, SEE TRAFFIC CONTROL NOTES.
- (L) BIKE RACKS, SEE DETAIL SHEET C-7.3.
- (M) FIRE LANE STRIPING, SEE TRAFFIC CONTROL NOTES.
- (N) PRECAST CONCRETE WHEELSTOP, SEE DETAIL SHEET C-7.3.
- (O) 30' FLAG POLE, SEAMLESS, TAPERED ALUMINUM TUBING, CLEAR ANODIZED FINISH. PROVIDE COMPLETE WITH CLEATS, HALYARDS, TRUCK AND COLLAR. SEE DETAIL SHEET C-7.10
- (P) SCREEN WALL, SEE ARCHITECTURAL PLANS.
- (Q) SPECIAL PARKING SIGN, SEE DETAIL SHEET C-7.3.
- (R) 1" GRAVEL STRIP, SEE DETAIL SHEET C-7.9.
- (S) MATCH EXISTING CURB AND GUTTER.
- (T) ROLL OUT WASTE CONTAINER TO BE PROVIDED BY OWNER.
- (U) DUKE ENERGY TRANSFORMER PAD, SEE ELECTRICAL PLANS.
- (V) COMMUNICATIONS TOWER, SEE MECHANICAL/ELECTRICAL PLANS.



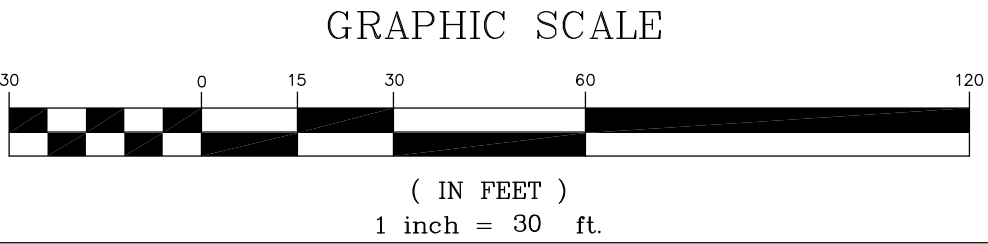




UTILITY LEGEND		
	EXISTING	PROPOSED
CHILLED WATER	----CW----	---CW---
ELECTRICAL (OVERHEAD)	-----E-----	---E---
ELECTRICAL (UNDERGROUND)	-----UE-----	---UE---
FOUNDATION DRAIN	-----FD-----	---FD---
GAS	-----G-----	---G---
SANITARY SEWER	-----SS-----	---SS---
TELEPHONE (OVERHEAD)	-----T-----	---T---
TELEPHONE (UNDERGROUND)	-----UT-----	---UT---
WATER	-----W-----	---W---
ROOF DRAIN	-----RD-----	---RD---
FIRE PROTECTION	-----FP-----	---FP---
SUBDRAIN	=====	=====
STORM DRAIN	=====	=====
LIGHT POLE	☆ LP	★
UTILITY POLE	⚡ PP	⚡
MANHOLE	⊙ MH	●
CLEAN OUT	⊙ CO	⊙
DROP INLET,CATCH BASIN	□ DI, CB	■
FIRE HYDRANT	⊕ FH	⊕
WATER VALVE	⊙ WV	⊕
POST INDICATOR VALVE (PIV)		⊕
FIRE DEPARTMENT CONNECTION (FDC)		⊕
THRUST BLOCKING		⊕
SANITARY SEWER STRUCTURE IDENTIFICATION		1

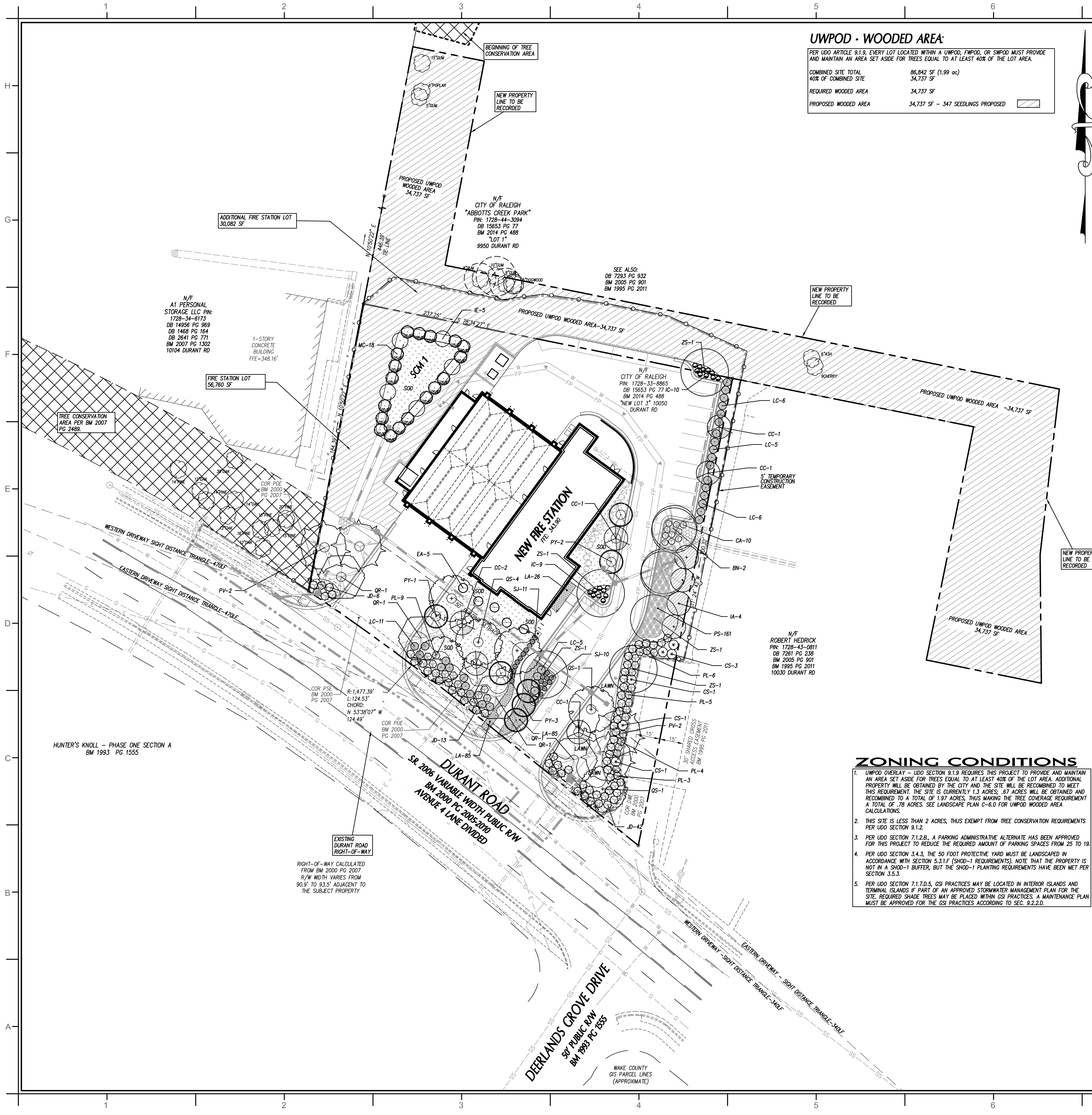
- GENERAL UTILITY NOTES**
- CONTRACTOR SHALL COORDINATE AND SCHEDULE INSTALLATION OF ALL UTILITIES WITH OTHER PRIME CONTRACTORS, UTILITY COMPANIES AND OTHER TRADES INCLUDING BUT NOT LIMITED TO: NATURAL GAS, ELECTRICITY, TELEPHONE AND CATV.
  - ALL CONSTRUCTION TO COMPLY WITH ALL APPLICABLE NCSBC AND OSHA REQUIREMENTS.
  - CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY OF ALL WATER, SEWER AND STORM DRAINAGE IMPROVEMENTS FOLLOWING CONSTRUCTION. SEE SPECIFICATIONS FOR REQUIREMENTS.
  - VERIFY EXISTING CONDITIONS AND CONNECTIONS TO EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED.
  - CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT NO EXPENSE TO THE OWNER.
  - CONTRACTOR SHALL PHASE DEMOLITION AND NEW CONSTRUCTION TO ENSURE UNINTERRUPTED ACCESS AND UTILITY SERVICE TO ADJACENT FACILITIES.
  - SEE GENERAL NOTES ON EXISTING CONDITIONS AND DEMOLITION PLAN FOR REQUIREMENTS FOR REMOVAL AND PATCHING OF PAVEMENT FOR UTILITY INSTALLATION.
  - ALL ROOF DRAINS SHALL BE 6" PVC (SCH 40) @ 1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON PIPE WHEN COVER IS LESS THAN 24-IN.
  - ALL SANITARY SEWER SERVICES SHALL BE 4" PVC (SCH 40) @ 1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON PIPE WHEN COVER IS LESS THAN 24-IN.
  - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

- KEY NOTES**
- A NEW SANITARY SEWER CLEANOUT. SEE DETAIL SHEET C-7.7.
  - B NEW 4" PVC (SCH 40) SANITARY SEWER SERVICE LINE AT 1.04% MIN. SLOPE WITH CLEANOUTS AT 75-FT MAX. SPACING.
  - C CONNECT UTILITY SERVICE TO BUILDING SEWER WITH NEW CLEANOUT AT 5-FT OUTSIDE BUILDING. COORDINATE EXACT LOCATION AND INVERT WITH PLUMBING CONTRACTOR.
  - D EXTEND NEW FIRE PROTECTION SERVICE LINE TO 12-IN ABOVE FINISH FLOOR. COORDINATE EXACT LOCATION WITH F.P. CONTRACTOR.
  - E EXTEND NEW DOM. WATER SERVICE TO 5-FT OUTSIDE BUILDING AND CONNECT TO BUILDING SERVICE. COORDINATE EXACT LOCATION WITH P.C.
  - F SAN. SEWER SERVICE SADDLE.
  - G 2-IN WATER METER, SEE DETAIL SHEET C-7.6.
  - H 2" WILKINS 975XL (OR APPROVED EQUAL BY AMES OR WAT) REDUCED PRESSURE BACKFLOW ASSEMBLY (RPA) WITHIN HEATED ENCLOSURE, SEE DETAIL SHEET C-7.6. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
  - I 6" WILKINS 4750A (OR APPROVED EQUAL BY AMES OR WAT) REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA) WITHIN HEATED ENCLOSURE, SEE DETAIL SHEET C-7.7 FOR ADDITIONAL INFORMATION. PROVIDE TAMPER SWITCHES ON ABOVE GRADE VALVES. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
  - J FIRE DEPARTMENT CONNECTION, LOCATED AT RPDA. SEE DETAIL SHEET C-7.7.
  - K FIRE HYDRANT, SEE DETAIL SHEET C-7.7.
  - L POST INDICATOR VALVE, SEE DETAIL SHEET C-7.7.
  - M GATE VALVE AND VALVE BOX, SEE DETAIL SHEET C-7.6.
  - N TAPPING SLEEVE AND VALVE, SEE DETAIL SHEET C-7.6.
  - O GREASE TRAP, SEE PLUMBING PLANS.
  - P OIL & WATER SEPARATOR, SEE PLUMBING PLANS.
  - Q THRUST BLOCKING TYP. SEE DETAIL C-7.5.
  - R STORMWATER HARVESTING CISTERN, REFER TO PLUMBING PLANS.



- CITY OF RALEIGH STANDARD UTILITY NOTES**
- STANDARD UTILITY NOTES (AS APPLICABLE):
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK).
  - UTILITY SEPARATION REQUIREMENTS:
    - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
    - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'; IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
    - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASUREMENT EXTENDED 10" ON EACH SIDE OF CROSSINGS MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
    - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
    - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
    - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
  - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
  - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
  - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
  - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
  - INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
  - INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS SPACED EVERY 75 LINEAR FEET MAXIMUM.
  - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
  - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
  - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
  - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 986-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
  - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JONNIE HELVEY AT (919) 212-5923 OR JONNIE.HELVEY@RALEIGHNC.GOV FOR MORE INFORMATION.
  - CONTRACTOR SHALL COORDINATE AND SCHEDULE INSTALLATION OF ALL UTILITIES WITH OTHER PRIME CONTRACTORS, UTILITY COMPANIES AND OTHER TRADES INCLUDING BUT NOT LIMITED TO: NATURAL GAS, ELECTRICITY, TELEPHONE, AND CATV.
  - ALL CONSTRUCTION TO COMPLY WITH ALL APPLICABLE NCSBC AND OSHA REQUIREMENTS.
  - CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY OF ALL WATER, SEWER AND STORM DRAINAGE IMPROVEMENTS FOLLOWING CONSTRUCTION. SEE SPECIFICATIONS FOR REQUIREMENTS.
  - VERIFY EXISTING CONDITIONS AND CONNECTIONS TO EXISTING UTILITIES PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED.
  - CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGES DURING CONSTRUCTION AND SHALL MAKE REPAIRS AT NO EXPENSE TO THE OWNER.
  - CONTRACTOR SHALL PHASE DEMOLITION AND NEW CONSTRUCTION TO ENSURE UNINTERRUPTED ACCESS AND UTILITY SERVICE TO ADJACENT FACILITIES.
  - SEE GENERAL NOTES ON EXISTING CONDITIONS AND DEMOLITION PLAN FOR REQUIREMENTS FOR REMOVAL AND PATCHING OF PAVEMENT FOR UTILITY INSTALLATION.
  - ALL ROOF DRAINS SHALL BE 6" PVC (SCH 40) @ 1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON PIPE WHEN COVER IS LESS THAN 24-IN.
  - ALL SANITARY SEWER SERVICES SHALL BE 4" PVC (SCH 40) @ 1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON PIPE WHEN COVER IS LESS THAN 24-IN.
  - ALL FIRE HYDRANTS SHALL HAVE NATIONAL STANDARD THREADS AS REQUIRED BY THE CITY OF RALEIGH.
  - ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.





UWPOD - WOODED AREA:

PER UDO ARTICLE 9.1.9, EVERY LOT LOCATED WITHIN A UWPOD, FWPOD, OR SWPOD MUST PROVIDE AND MAINTAIN AN AREA SET ASIDE FOR TREES EQUAL TO AT LEAST 40% OF THE LOT AREA.	
COMBINED SITE TOTAL	86,842 SF (1.99 ac)
40% OF COMBINED SITE	34,737 SF
REQUIRED WOODED AREA	34,737 SF
PROPOSED WOODED AREA	34,737 SF - 347 SEEDLINGS PROPOSED

LANDSCAPE NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- LOCATE ALL EXISTING UTILITIES PRIOR TO INSTALLATION OF PLANT MATERIAL. NOTIFY OWNER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THOSE SHOWN ON THE PLAN.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR AND THE TOTAL QUANTITIES SHALL BE AS SHOWN ON THE PLAN.
- LAWN AREAS SHALL BE SEEDDED WITH COMMON BERMAUDA GRASS 95% COVERAGE (BASED ON A PER SQUARE YARD SAMPLE) SHALL BE ATTAINED PRIOR TO FINAL INSPECTION.
- ALL PLANT MATERIAL SHALL CONFORM WITH THE STANDARDS SET FORTH BY THE AMERICAN ASSOCIATION OF NURSERMEN AND THE WRITTEN SPECIFICATIONS.
- ALL PLANTING BEDS TO BE MULCHED WITH A MINIMUM OF 3" (AFTER COMPACTION) OF TRIPLE SHREDDED HARDWOOD MULCH. ALL PLANT GROUPINGS SHALL BE MULCHED AS ONE BED.
- ESTABLISH POSITIVE DRAINAGE IN ALL PLANTING BEDS AND AWAY FROM BUILDINGS.
- APPLY PRE-EMERGENT HERBICIDE TO ALL NEW PLANTING BEDS AT AT MANUFACTURER'S RECOMMENDED RATE PRIOR TO INSTALLATION OF MULCH.
- DO NOT INSTALL PLANT MATERIAL IN IMPERVIOUS SOILS, (i.e. HOLES WHICH, WHEN FILLED WITH WATER, DO NOT COMPLETELY DRAIN WITHIN TWO HOURS.)
- ALL SODDED AREAS SHALL BE TIF TUF BERMUDAGRASS.
- ANY TREE WRAP SHALL BE REMOVED IMMEDIATELY AFTER INSTALLATION.
- SEE SPECIFICATIONS REGARDING WARRANTY/MAINTENANCE REQUIREMENTS FOR ALL PLANTS, SOD, AND LAWN SEEDING.
- DEAD OR DETERIORATING SCREENING SHALL BE REPLACED WITHIN SIX MONTHS OR DURING NEXT PLANTING SEASON.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN TWO (2) FEET AND EIGHT (8) FEET IN HEIGHT ABOVE THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY.

LANDSCAPE CALCULATIONS (IX-3-PK ZONING)

VEHICULAR SURFACE AREA PLANTING REQUIREMENTS	
PARKING LOT:	
SQUARE FT. OF PROPOSED VSA	= 18,961 SQUARE FT.
1 TREE PER 2000 SF VSA	= 10 TREES
PLANTINGS PROVIDED:	
NEW TREES	= 10+ TREES
STREET PROTECTIVE YARD - 136.12 LF (EXCLUDING DRIVEWAYS)	
PER PK ZONING, 50' STREET YARD BUFFER SHALL MEET SHOD-1 REQUIREMENTS:	
DECIDUOUS SHADE TREES: 7 PER 100 LF	
EVERGREEN SHADE TREES: 3 PER 100 LF	
UNDERSTORY TREES: 6 PER 100 LF	
SHRUBS: 32 PER 100 LF	
PLANTINGS REQUIRED:	
DECIDUOUS: 10	EVERGREEN: 4 / UNDERSTORY TREES: 8 SHRUBS: 43
% DECIDUOUS (MAX): 40%	
PLANTINGS PROVIDED:	
DECIDUOUS: 10	EVERGREEN: 4 / UNDERSTORY TREES: 8 SHRUBS: 53
% DECIDUOUS (MAX): 40%	
STREETSCAPE - 136.12 LF (EXCLUDING DRIVEWAYS)	
40' O.C. CANOPY TREES ALONG STREET FRONTAGE WHERE OVERHEAD UTILITIES EXIST, 1 UNDERSTORY TREE SHALL BE PLANTED EVERY 20 FEET ON CENTER, ON AVERAGE.	
PLANTINGS REQUIRED:	
UNDERSTORY TREES: 7	
PLANTINGS PROVIDED:	
UNDERSTORY TREES: 0	

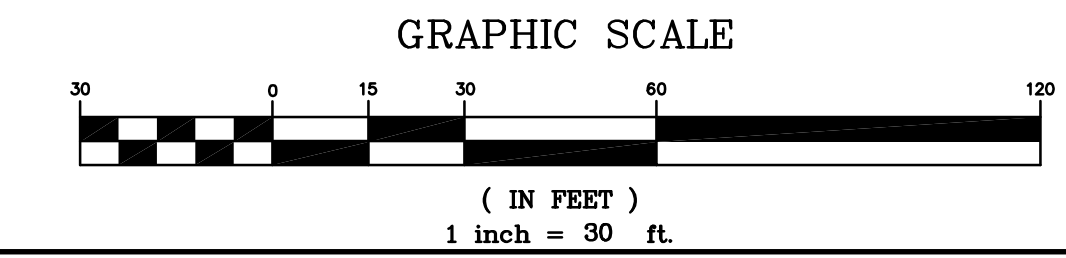
PLANT LIST

KEY	QTY	PLANT NAME	MIN. SIZE	REMARKS
TREES				
BN	2	RIVER BIRCH <i>Betula nigra</i> 'Dura Heat'	3" CAL. 10' MIN. HT.	LOOSELY STAKED, STRAIGHT TRUNK
CC	6	'HEARTS OF GOLD' REDBUD <i>Cercis canadensis</i> 'Hearts of Gold'	1 1/2" CAL. 8' MIN. HT.	B&B, STRAIGHT TRUNK FULL CROWN
IA	4	SAVANNAH HOLLY 'Hearts of Gold' <i>Ilex x attenuata</i> 'Savannah'	1 1/2" CAL. 6' MIN. HT.	STRAIGHT TRUNK MATCHED SPECIMENS
IE	5	EMILY BRUNER HOLLY <i>Ilex Emily Bruner</i>	1 1/2" CAL. 6' MIN. HT.	STRAIGHT TRUNK MATCHED SPECIMENS
PV	4	VIRGINIA PINE <i>Pinus virginiana</i>	3" CAL. MIN. 10' MIN. HT.	STRAIGHT TRUNK MATCHED SPECIMENS
PY	7	YOSHINO CHERRY <i>Prunus x yedoensis</i> 'Yoshino'	6' MIN. HT. 1 1/2" CAL.	STRAIGHT TRUNK FULL CROWN
QR	4	NORTHERN RED OAK <i>Quercus rubra</i>	3" CAL. MIN. 10' MIN. HT.	B&B, STRAIGHT TRUNK FULL CROWN
QS	5	SHUMARD OAK <i>Quercus shumardii</i>	3" CAL. 10' MIN. HT.	B&B, STRAIGHT TRUNK FULL CROWN
ZS	5	VILLAGE GREEN ZELKOVA <i>Zelkova serrata</i> 'Village Green'	3" CAL. MIN. 10' MIN. HT.	B&B, STRAIGHT TRUNK FULL CROWN
SHRUBS & GROUNDCOVERS				
CA	10	'HUMMINGBIRD' CLETHRA <i>Clethra alnifolia</i> 'Hummingbird'	18"-24" HT. 3-GAL. CONT.	FULL PLANTS MATCHING. 4" O.C.
CS	6	SUTSUGUEKKA CAMELLIA <i>Camellia sasanqua</i> 'Sutsugekka'	24"-36" HT. 3-GAL. CONT.	FULL PLANTS MATCHING. 8" O.C.
EA	5	DWARF BURNING BUSH <i>Euonymus alatus</i> 'COMPACTUS'	18"-24" HT. CONT.	FULL PLANTS MATCHING. 6" O.C.
IC	19	SOFT TOUCH HOLLY <i>Ilex crenata</i> 'Soft Touch'	18" HT. 4" O.C.	CONT., FULL
JD	61	PARSON'S JUNIPER <i>Juniperus horizontalis</i> 'Parsoni'	24" SPR./HT.	CONT., FULL
LA	144	ENGLISH LAVENDER <i>Lavandula angustifolia</i> 'Blue Cushion'	1-GAL. CONT.	FULL PLANTS MATCHING. 24" O.C.
LC	33	CHINESE FRODO FLOWER <i>Loropetalum chinense</i> var. Ruby 'Daruma'	18" HT. MIN. 4" O.C.	CONT., FULL
MC	18	WAX MYRTLE <i>Myrica caroliniana</i>	24"-36" HT. 8" O.C.	CONT., FULL
PL	27	DWARF CHERRY LAUREL <i>Prunus laurocerasus</i> 'Otto Luyken'	18" HT./SPR. CONT.	CONT., FULL
PS	161	RED WINGS CREEPING PHLOX <i>Phlox subulata</i> 'Red Wings'	1-GAL. CONT.	FULL PLANTS MATCHING. 24" O.C.
SJ	21	SPIREA <i>Spiraea japonica</i> 'Little Princess'	24" SPR.	5 GAL. CONT., FULL
UWPOD WOODED AREA SHADE TREES				
TREES (LARGE DECIDUOUS)				
LT	115	YELLOW POPLAR <i>Liquidambar styraciflua</i>	14" HT. MIN. SEEDLINGS	10' O.C.
QS	116	SHUMARD OAK <i>Quercus shumardii</i>	14" HT. MIN. SEEDLINGS	10' O.C.
TREES (LARGE EVERGREEN)				
PT	116	LOBLOLLY PINE <i>Pinus taeda</i>	14" HT. MIN. SEEDLINGS	10' O.C.

ZONING CONDITIONS

- UWPOD OVERLAY - UDO SECTION 9.1.9 REQUIRES THIS PROJECT TO PROVIDE AND MAINTAIN AN AREA SET ASIDE FOR TREES EQUAL TO AT LEAST 40% OF THE LOT AREA. ADDITIONAL PROPERTY WILL BE OBTAINED BY THE CITY AND THE SITE WILL BE RECOMBINED TO MEET THIS REQUIREMENT. THE SITE IS CURRENTLY 1.3 ACRES; 67 ACRES WILL BE OBTAINED AND RECOMBINED TO A TOTAL OF 1.97 ACRES, THIS MAKING THE TREE COVERAGE REQUIREMENT A TOTAL OF .78 ACRES. SEE LANDSCAPE PLAN C-6.0 FOR UWPOD WOODED AREA CALCULATIONS.
- THIS SITE IS LESS THAN 2 ACRES, THIS EXEMPT FROM TREE CONSERVATION REQUIREMENTS PER UDO SECTION 9.1.2.
- PER UDO SECTION 7.1.2.B, A PARKING ADMINISTRATIVE ALTERNATE HAS BEEN APPROVED FOR THIS PROJECT TO REDUCE THE REQUIRED AMOUNT OF PARKING SPACES FROM 25 TO 19.
- PER UDO SECTION 3.4.3, THE 50 FOOT PROTECTIVE YARD MUST BE LANDSCAPED IN ACCORDANCE WITH SECTION 5.1.1.F (SHOD-1 REQUIREMENTS). NOTE THAT THE PROPERTY IS NOT IN A SHOD-1 BUFFER, BUT THE SHOD-1 PLANTING REQUIREMENTS HAVE BEEN MET PER SECTION 3.5.3.
- PER UDO SECTION 7.1.7.D.5, GSI PRACTICES MAY BE LOCATED IN INTERIOR ISLANDS AND TERMINAL ISLANDS IF PART OF AN APPROVED STORMWATER MANAGEMENT PLAN FOR THE SITE. REQUIRED SHADE TREES MAY BE PLACED WITHIN GSI PRACTICES. A MAINTENANCE PLAN MUST BE APPROVED FOR THE GSI PRACTICES ACCORDING TO SEC. 9.2.2.D.

TIFWAY 419 SOD, SEE DETAIL SHEET C-7.10.





Project Average Grade Information

The restrictive average grades are 343.8 for post development and 340.7 for predevelopment with a 343.9 Finish Floor for the first floor of the facility.

G1 SOUTH ELEVATION  
1/8" = 1'-0"

E1 EAST ELEVATION  
1/8" = 1'-0"

C1 NORTH ELEVATION  
1/8" = 1'-0"

A1 WEST ELEVATION  
1/8" = 1'-0"



BUILDING ELEVATION NOTES:

- FOR SYMBOL LEGEND SEE A-0.0.
- METAL PANEL JOINT LOCATIONS SHALL MATCH BRICK VENEER CONTROL JOINT LOCATIONS AS SHOWN ON THE ELEVATIONS.
- PROVIDE CONTROL JOINTS (CJ) IN MASONRY CONSTRUCTION AS INDICATED
- PROVIDE CONTROL JOINTS (CJ) AT ALL INTERIOR CORNERS.
- ALL DOWNSPOUT LOCATIONS SHALL BE COORDINATED WITH STORMWATER SYSTEM CONNECTIONS. SEE CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR TO COORDINATE LIGHT LOCATIONS WITH OPENINGS AND VERIFY WITH ARCHITECT PRIOR TO INSTALLATION.
- AIR BARRIER AND ASSOCIATED FLASHING SHALL BE CONTINUOUS AND UNBROKEN AT ALL SURFACES OF WALL. MEMBRANE TO BE FLASHED TO ALL OTHER COMPONENTS AND ASSEMBLIES TO PROVIDE AIR-TIGHT CONDITION.

BUILDING ELEVATION KEY NOTES:

NOTE: SEE ELEVATIONS FOR KEYED ITEM LOCATIONS. KEY NOTES SUPPLEMENT INFORMATION FOUND IN THE DRAWINGS.

- 01) BRICK VENEER, COLOR 1
- 02) METAL PANEL
- 03) BRICK VENEER, COLOR 2
- 04) CAST CONCRETE COPING
- 05) PREFINISHED EXTRUDED ALUMINUM CANOPY
- 06) ALUMINUM GUTTER
- 07) METAL COPING
- 08) BOLLARD, TYP.
- 09) ALUMINUM SUNSHADE
- 10) CAST CONCRETE HEAD/SILL
- 11) COILING ROLL-UP DOOR
- 12) 4 PANEL FOLDING DOOR
- 13) STOREFRONT WINDOW/DOOR SYSTEM
- 14) CURTAIN WALL WINDOW/DOOR SYSTEM
- 15) HM DOOR
- 16) DOWNSPOUT
- 17) DOWNSPOUT BOOT, TYP.
- 18) OVERHEAD ROLLING DOOR
- 19) PRE-FABRICATED ALUMINUM WINDOW

PROJECT INFORMATION

CITY OF RALEIGH  
FIRE STATION NO. 22  
REPLACEMENT  
CITY OF RALEIGH CM84-17  
10050 Durant Road, Raleigh, NC 27614

SEALS

DKA JOB NUMBER  
1730

REVISIONS

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PA: KEVIN KANE  
PM: JE  
Drawn By: MS  
Plot Date: 7/12/2019 5:48:40 PM

DATE ISSUED  
60% CONSTRUCTION DOCUMENTS  
7/12/2019

SHEET TITLE  
OVERALL ELEVATIONS

A-2.0