



Administrative Approval Action

**Case File / Name: ASR-SR-105-2018
2019 FAIRVIEW**

**City of Raleigh
Development Services Department**
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of Glenwood Avenue, south of Fairview Road at 2019 Fairview Road.

REQUEST: Development of a 0.35 acre/15,457 sf tract zoned OX-3-DE from an existing office building, which will be demolished, into a proposed 4 unit-3 bedroom, 3 stories multifamily apartment building. The overall gross floor area for the structure is 14,930 sf (Unit A being 3,657 sf; Unit B - 3,621 sf; Unit C- 3,621 sf; and Unit D - 4,031 sf). The net site area .34ac/15,006 sf after a right-of-way dedication of 451 sf/.01acres.

BOA-0003-2019 - Build-to

A-44-19 - Variance for Cross Access

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated April 1, 2020 by JOHN A EDWARDS AND CO.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

SITE PERMITTING REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

General

1. The overall building gross floor area shall be noted on the SPR (Site Permit Review) plans for all 4 apartment units as well as the area for each individual unit.
2. A detail of the proposed retaining wall grades, top of wall/bottom of wall is provided with the SPR (Site Permit Review) plans set demonstrating compliance with in accordance to UDO Sec.7.2.8.D.

Stormwater

3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).



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4. These lots are exempt per UDO Section 9.2.2.A.2.b.i as a commercial subdivision of one-half acre or less approved after May 1, 2001, but are subject to impervious limitations of subsection A.4 and subject to further review upon placement of impervious surface areas.

Urban Forestry

5. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Slope Easement Required
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<input checked="" type="checkbox"/>	Utility Placement Easement Required
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RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

General

1. Slope easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
2. A demolition permit shall be issued and this building permit number shown on all maps for recording.

Engineering

3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
4. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.



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BUILDING PERMITS - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A demolition permit shall be obtained.
2. Comply with all conditions of A-44-19 & BOA-0003-2019.

Engineering

3. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.
4. A fee-in-lieu for 2' in sidewalk width across the 80' frontage of Fairview Road shall be paid to the City of Raleigh (UDO 8.1.10).
5. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).

Urban Forestry

6. A fee-in-lieu for 1 street tree shall be paid to the City of Raleigh (UDO 8.1.10).

The following are required prior to issuance of building occupancy permit:

General

1. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
2. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
3. The Zoning Enforcement Inspector ensures the required Neighborhood Transition Yard buffer plantings are installed along the rear of the site, as shown on the approved preliminary ASR plans set (Energov- e-electronic version) and in accordance Sec.3.5 & Sec.7.2.4 of the UDO.
4. Zoning Inspector ensures the Type C3 yard shade tree plantings & all proposed landscape tree plantings, as shown on the approved preliminary ASR plan, are planted in the vehicular parking surface areas per Sec.7.1.7.B.



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- 5. The proposed retaining wall along the western property line complies with Sec.7.2.8.D & the Zoning Inspector ensure compliance with height & design material, as applicable.

Stormwater

- 6. As-built impervious survey is accepted by the Engineering Services Department (UDO 9.2).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

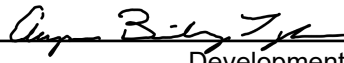
3-Year Expiration Date: June 18, 2023

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:  Date: 06/18/2020
Development Services Dir/Designee

Staff Coordinator: Jermont Purifoy

2019 FAIRVIEW

ADMINISTRATIVE SITE REVIEW

ASR-SR-105-2018

2019 FAIRVIEW ROAD
RALEIGH, NC 27608

NOVEMBER 06, 2018
JANUARY 31, 2020
APRIL 01, 2020



VICINITY MAP
NOT TO SCALE

SITE DATA	
FILE NUMBER:	2019 FAIRVIEW ROAD 1704484003
WAKE COUNTY PNR:	
ZONING:	OX-3-DE
EXISTING AREA:	0.3548 AC. (15,457 SF)
AREA TO BE DEDICATED:	0.0104 AC. (451 SF)
PROPOSED TOTAL ACREAGE:	0.3445 AC. (15,006 SF)
EXISTING USE:	OFFICE
PROPOSED USE:	MULTIFAMILY RESIDENTIAL
PROPOSED BUILDING TYPE:	APARTMENT
REQUIRED PARKING:	
3 BEDROOM + 3 SPACES/UNIT	4" 3 BEDROOM + 12 SPACES
1 VISITOR SPACE/10 UNITS	4 TOTAL UNITS + 1 VISITOR SPACE
	TOTAL = 13 SPACES
PROPOSED PARKING:	
2 SPACES/GARAGE + 4	8 SPACES
TRUNKS: (0 MAX)	0 TRUNKS
	TOTAL = 14 SPACES
REQUIRED	PROVIDED
SHORT-TERM BICYCLE PARKING REQUIRED:	120 UNITS MIN 4 4 SPACES (2 TRACKS)
BUILDING HEIGHT:	50' MAX. (3 STORES) SEE ARCH.
GROUND FLOOR ELEVATION:	2' EX. TO ELEV + 327.07' PROP. FEE = 30.01' A + 2.00' (SEE C-1)
STREET FACING ENTRANCE:	YES YES
AMENITY AREA:	1,501 SF 2,219 SF
BUILDING SETBACKS:	STREET - 0' (PER OX-3-DE ZONE) STREET - 12.50' STREET - 69'40" FROM L (PER-DE FRONTAGE) STREET - 49' TO L SIDE - 0 OR 6' SIDE - 4.00' REAR - 0 OR 6' REAR - 90.47'
BUILD-TO:	10' MIN./55' MAX. - 70% 50.70' (SEE C-2)
PARKING SETBACKS:	STREET - 10' SIDE REAR - 0 OR 3' STREET - 10.00' SIDE REAR - 3.00' REAR - 20.35'
NEIGHBORHOOD TRANSITION:	ZONE A (PROTECTIVE HARDSHIP) ZONE B (USE RESTRICTED) ZONE C (HEIGHT AND FORM) 50' 100'
EXISTING IMPERVIOUS:	0.27 AC. (11,814 SF) MIN EFFECTIVE AREA
PROPOSED IMPERVIOUS:	0.26 AC. (11,243 SF) MIN EFFECTIVE AREA
VARIANCE APPROVED BY BOARD OF ADJUSTMENT:	20A032018 ON 10/10/19
COMPLETE RELIEF FROM CROSS ACCESS REQUIREMENTS (UDO 5.1.5.2) GRANTED BY:	A44-19 (2/13/19)

NOTES:

PER THE CODE OF THE CITY OF RALEIGH PART 10A UNIFIED DEVELOPMENT ORDINANCE (UDO) SECTION 9.2.2.2(B), THE SUBJECT SITE IS EXEMPT FROM THE ACTIVE STORMWATER CONTROL MEASURES REQUIRED BY UDO SECTION 9.2.2.2. AS THE SITE MEETS THE EXEMPTION CRITERIA IN UDO SECTION 9.2.2.2.

1. THE AMOUNT AND EXTENT OF IMPERVIOUS SURFACES IS NOT INCREASED.
2. THE SITE CONTAINS 0.27 AC. OF IMPERVIOUS AREA IN THE PRE-DEVELOPED CONDITION, AND 0.26 AC. OF IMPERVIOUS AREA IN THE DEVELOPED CONDITION FOR A REDUCTION OF 0.01 AC. OF IMPERVIOUS AREA.
3. THE PLACEMENT OF THOSE NEW IMPERVIOUS SURFACES CONFORMS TO THE REQUIREMENTS OF THIS UDO.
4. AS SHOWN ON ASR-SR-105-2018, AND BY THE CITY OF RALEIGH'S APPROVAL THEREOF, THE LOCATION OF ALL PROPOSED IMPERVIOUS SURFACES IS IN CONFORMANCE WITH THE UDO.
5. THE IMPERVIOUS SURFACE IS FOR A LAWFUL ACTIVITY.
6. AS SHOWN ON ASR-SR-105-2018, AND BY THE CITY OF RALEIGH'S APPROVAL THEREOF, THE LOCATION OF ALL PROPOSED IMPERVIOUS SURFACES IS FOR A LAWFUL ACTIVITY.

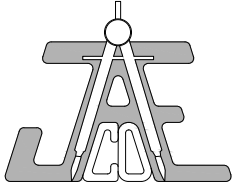
SOLID WASTE INSPECTION STATEMENT: SOLID WASTE TO BE COLLECTED BY ROLL-ON CONTAINERS BY INDIVIDUAL UNITS AND ROLLED TO FAIRVIEW ROAD FOR CITY PROVIDED PICKUP ON DESIGNATED DATES.

PERMITS TO BE PROVIDED FOR FINISHING IMPROVEMENTS REQUIRED TO MEET AVENUE STANDARDS: ONE (1) STREET TREE AND TWO (2) FEET OF SIDEWALK WIDTH.

SHEET INDEX	
C-0	COVER SHEET
A-0	APPROVALS
G-1	EX CONDITIONS/DEMOLITION PLAN
G-2	SITE PLAN
C-3	GRADING PLAN
C-4	STORMWATER & UTILITY PLAN
L-1	LANDSCAPE PLAN
A100	UNIT FLOOR PLANS
A101	UNIT FLOOR PLANS
A102	UNIT FLOOR PLANS
A103	UNIT FLOOR PLANS
A200	EXTERIOR ELEVATIONS
A301	EXTERIOR ELEVATIONS

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

HORIZONTAL DATUM: NADS
VERTICAL DATUM: NAVD83



OWNER:
2019 ASSOCIATES, LLC
2019 FAIRVIEW ROAD
RALEIGH, NC 27608

ARCHITECT:
WILKINSON DESIGN, PLLC
1848 Wake Forest Road
Raleigh, NC 27608
Contact: Erich Wilkinson
Phone: (919) 605-1181
E-mail: erich@wdesignus.com

CIVIL ENGINEER:
JAECO
Consulting Engineers
NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com



Digitally signed by
Jermont Purify
Reason: I am approving this document
Date: 2020.06.11 16:36:34-04'00'

DEVELOPMENT SERVICES
Administrative Site Review Application
Development Services Customer Service Center - One Exchange Place, Suite 400 | Raleigh, NC 27601 | 919-996-2495

This form is required when submitting site plans as referenced in Unified Development Ordinance (UDO) Section 10.2.8. Please check the appropriate building types and include the plan checklist document when submitting.

Office Use Only: Transaction #	Planning Coordinator:	
	Building Type	Site Transaction History
<input type="checkbox"/> Detached	<input type="checkbox"/> General	Subdivision transaction # _____
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Sketch transaction # _____
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open lot	Certificate of Appropriateness # _____
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Civic	Board of Adjustment # _____
		Zoning Case # _____
		A-1.1.2.1.1.1 Alternative Alternative # _____

GENERAL INFORMATION

Development name: 2019 Fairview
Inside City limits? Yes No
Property address(es): 2019 Fairview Road; Raleigh, NC 27608
Site P.I.N.(s): 1704484003

Please describe the scope of work, include any additions, expansions, and change of use. Demolition of existing building and site features to allow for construction of four (4) proposed apartment units including associated site improvements.

Current Property Owner/Developer Contact Name:
NOTE: please attach purchase agreement when submitting this form.
Company: 2019 Fairview Associates, LLC Title: Mr. Michael Lewis Manager
Address: 2019 Fairview Road; Raleigh, NC 27608
Phone # (919) 828-8800 Email: mlewis@group.biz
Applicant Name: same
Company: Address:
Phone #: Email:

DEVELOPMENT TYPE + SITE DATA TABLE
(Applicable to all developments)

SITE DATA	BUILDING DATA
Zoning district (if more than one, please provide the acreage of each): OX-3-DE	Existing gross floor area (not to be demolished): 2,124 Existing gross floor area to be demolished: 2,124
Gross site acreage: 0.3548	New gross floor area: Total if gross (to remain and new):
# of parking spaces required: 13	Proposed # of buildings: 1
# of parking spaces proposed: 14	Proposed # of stories for each: 3
Overlay District (if applicable): N/A	
Existing use (UDO 5.1.4): Office	
Proposed use (UDO 5.1.4): Residential	

STORMWATER INFORMATION

Existing Impervious Surface	Proposed Impervious Surface
Acre: 0.27 Square Feet: 11,814	Acre: 0.26 Square Feet: 11,243

Is this a flood hazard area? Yes No
If yes, please provide:
Alluvial soils:
Flood elev:
FEMA Map Panel #:
Neuse River Buffer: Yes No Wetlands: Yes No

RESIDENTIAL DEVELOPMENTS

Total # of dwelling units:	Total # of hotel units:
4	
# of bedroom units: 1br: 2br: 3br: 4br or more:	
# of lots: 1	Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

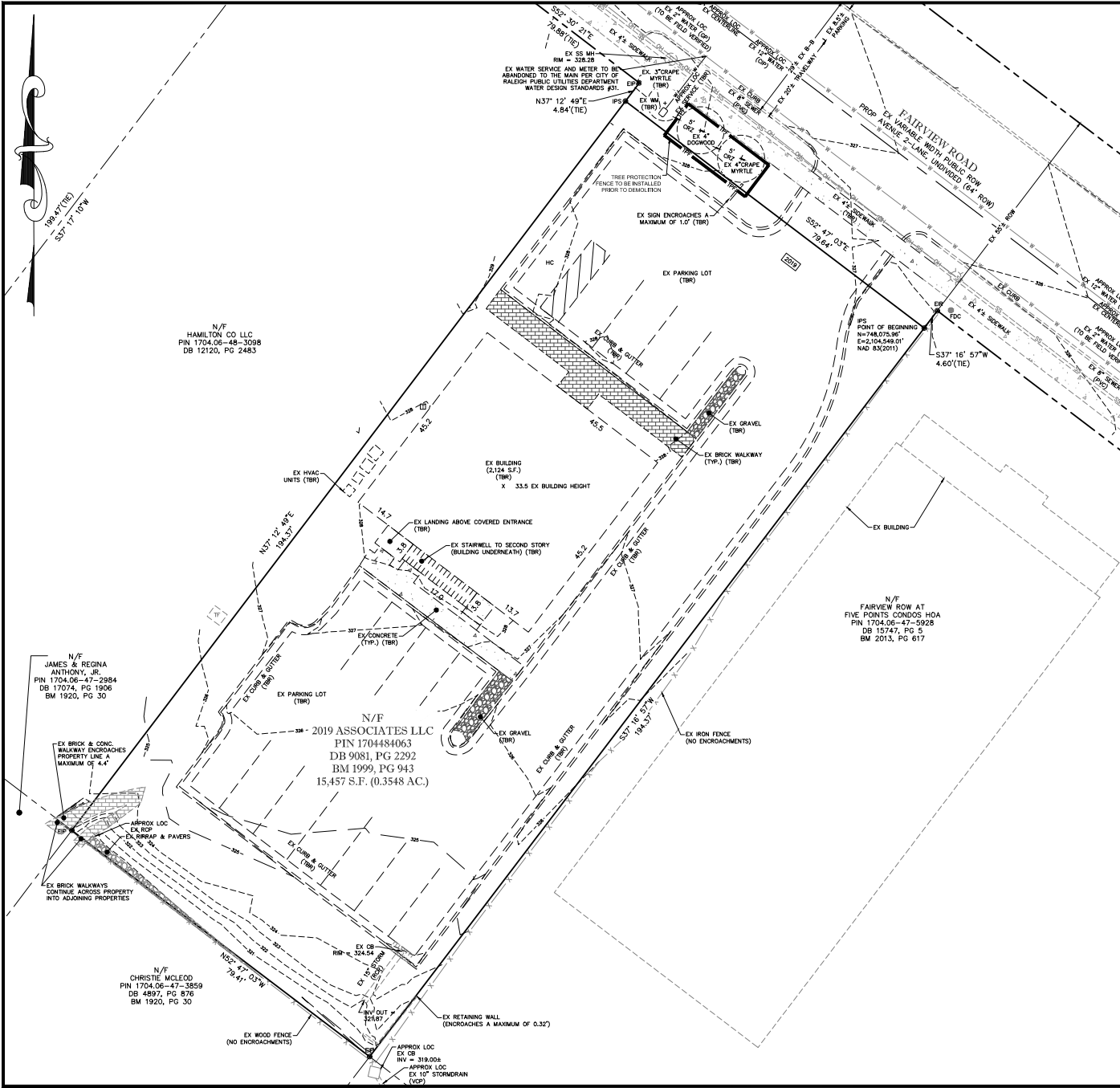
SIGNATURE BLOCK

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors, and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City of Raleigh.

I hereby designate Mr. Michael Lewis, P.E., P.L.S. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf, and to represent me in any public meeting regarding this application.

I/we have read, acknowledge, and affirm that this project is conforming to all application requirements applicable with the proposed development use. I acknowledge that this application is a subject to the filing calendar and submission policy, which states applications will expire after 180 days of inactivity.

Signature: W. Wilkinson, Erich Wilkinson Date: 11 June 11, 2020
Printed Name: Mr. Michael Lewis, Manager



SURVEYOR'S NOTES

1. ALL DISTANCES ARE HORIZONTAL GROUND.
2. ALL DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
3. ALL AREAS COMPUTED USING COORDINATES FROM MEASURED FIELD DATA.
4. THE ALTAIRPS LAND TITLE SURVEY SHOWN HEREIN IS NOT FOR RECORDATION.
5. THIS SURVEY SATISFIES ALL STATE-REQUIRED MINIMUM STANDARDS.
6. THE HORIZONTAL DATUM IS NAD 83(2011).
7. IMPROVEMENTS WITHIN ANY OFFSITE EASEMENT OR SERVICUES BENEFITING THE SUBJECT PROPERTY ARE AS SHOWN ON SURVEY.
8. THE SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION 'X' BY FEMA PANELS 1701770040 WITH AN EFFECTIVE DATE OF MAY 2, 2006. SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA.
9. MONUMENTS HAVE BEEN PLACED AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE SUBJECT PROPERTY. LINES ALREADY MARKED BY EXISTING MONUMENTS OR JUMBS TO SET OUT TO CONCRETE OR INSIDE BUILDING MONUMENTS INCLUDE IRON PIPES, IRON PINS WITH A CAP AND TACK, IRON NAILS, HOLLOW SPIRES, CONCRETE NAILS AND CONCRETE MONUMENTS.
10. NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
11. THE SITE WAS LOCALIZED UTILIZING REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) SOLUTIONS REFERENCING THE CONTINUOUSLY OPERATING REFERENCE STATION (CORS) NETWORK, BASE STATION NC00, RALEIGH, NC.
12. THE SUBJECT PROPERTY IS ZONED OX40-40 PER WAKE COUNTY GIS. NO ZONING REPORT WAS PROVIDED.
13. ALL REFERENCES ARE MADE TO THE WAKE COUNTY REGISTRY.
14. NO PARKING SPACES EXIST ON THE SUBJECT PROPERTY.

GENERAL NOTES:

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NC007 STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.

EXISTING IMPERVIOUS

TOTAL EFFECTIVE AREA: 16,716 SF
 EXISTING PERVIOUS AREA: 4,602 SF
 EXISTING IMPERVIOUS AREA: 11,814 SF



JAECO
 Consulting Engineers
 and Land Surveyors

NC License F-4289
 333 Wade Ave., Raleigh, N.C. 27605
 Phone: (919) 828-4428
 Fax: (919) 828-4711
 E-mail: info@jaeco.com
 www.jaeco.com

2019 Fairview Road
 Raleigh, NC 27608

2019 Associates, LLC
 2019 Fairview Road
 Raleigh, NC 27608

ABBREVIATIONS

AC	ACRE	MH	MANHOLE
APPROX	APPROXIMATE	NIF	NON-EXISTING
BB	BACK-TO-BACK	NF	FORMERLY
BUILD	BUILDING	PG	PAGE
BM	BOOK OF MAPS	PROP	PROPOSED
BS	BOTTOM OF RIVER	PROV	PROVINCE
BW	BOTTOM OF WALL	CH	CHURCH
CO	CLEARCUT	ROW	RIGHT OF WAY
CB	CATCH BASIN	RSDM	RALEIGH STREET
CP	CURT IRON PIPE	SE	SQUARE FEET
CONC	CONCRETE	SS	SEWER MAIN
DB	DIED BLOCK	SS	SANITARY SEWER
ELEC	ELECTRIC	SWM	STORMWATER
EP	EXPOSED PIPE	MAN	MANHOLE
ELEV	ELEVATION	TBO	TO BE
EMT	EMERGENCY	TBR	TO BE REMOVED
EMAG	EX MAG NAIL	TBR	TO BE RELOCATED
EX	EXISTING	TC	TOP OF CURB
FDC	FIRE DEPARTMENT	TR	TRANSFORMER
FPC	FIRE CONNECTION	TF	TOP OF FENCE
FFE	FINISHED FLOOR	TFP	FREE PROTECTION FENCE
PH	ELEVATION	TR	TOP OF RIVER
G	GRADE	TW	TOP OF WALL
HDP	HIGH DENSITY POLYETHYLENE	UDG	UNDEVELOPED GROUND
LP	LINEAR FEET	UDG	UNDEVELOPED GROUND
LOC	LOCATION	UDG	UNDEVELOPED GROUND

LEGEND

EX PROPERTY LINE: ————
 EX ADJACENT PROPERTY LINE: - - - - -
 EX ROW LINE: - - - - -
 EX CENTERLINE: - - - - -
 EX MAJOR CONTOUR: ————
 EX MINOR CONTOUR: ————
 EX FENCE: ————
 EX WATER LINE: ————
 EX SEWER LINE: ————
 TREE PROTECTION FENCE: ————

EX CONDITIONS/ DEMOLITION PLAN

Revisions

Number	Description	Date
1	PER CITY COMMENTS	09/03/19
2	PER CITY COMMENTS	04/01/20

JAECO # 515-12
 DRAWING SCALE: 1" = 10'
 DRAWN BY: TT
 CHECKED BY: JC
 DATE ISSUED: 11/08/18

C-1

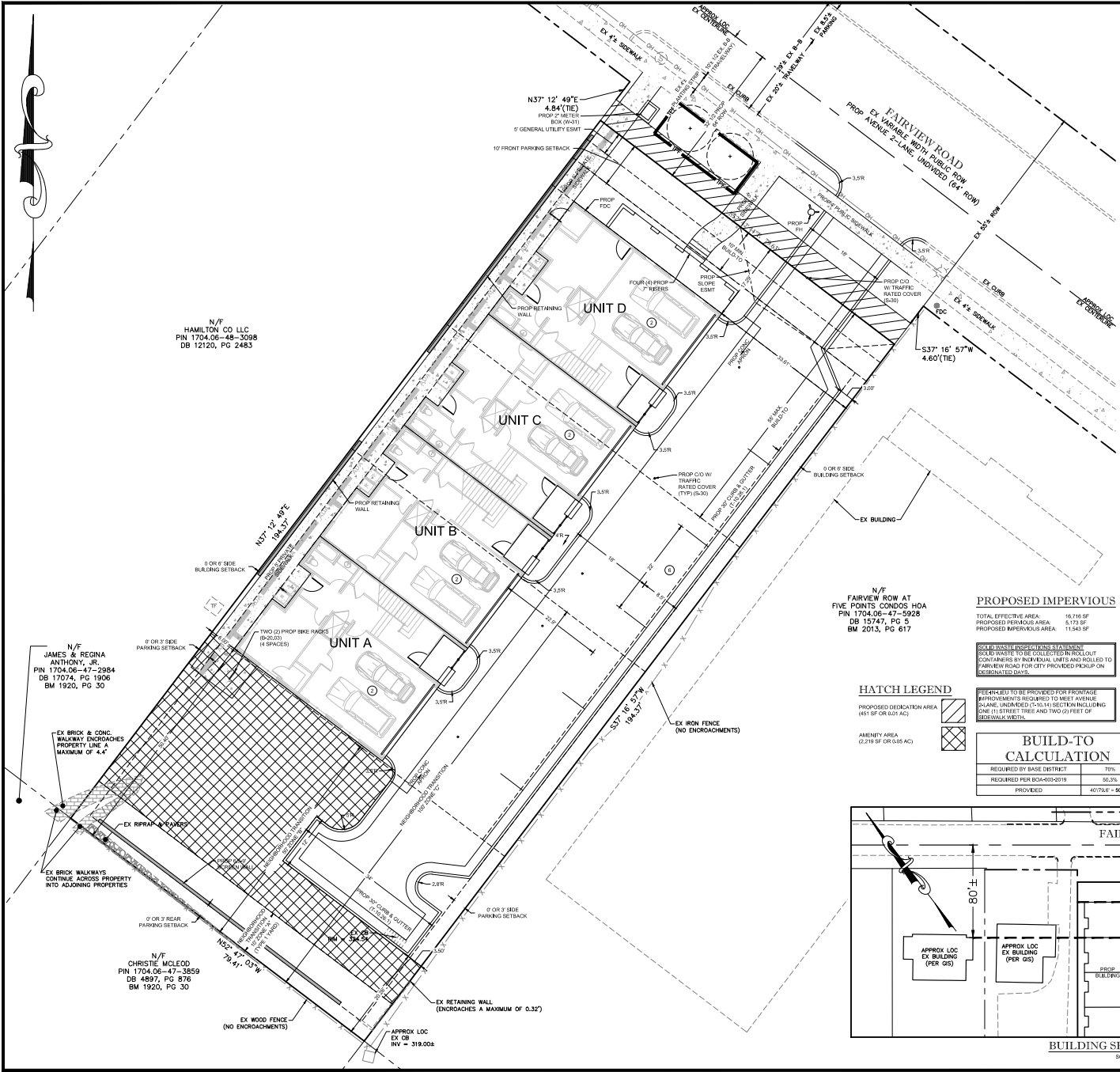


N/F
HAMILTON CO LLC
PIN 1704.06-48-3098
DB 12120, PG 2463

N/F
JAMES & REGINA
ANTHONY, JR.
PIN 1704.06-47-2984
DB 17074, PG 1906
BM 1920, PG 30

N/F
CHRISTIE MCLEOD
PIN 1704.06-47-3859
DB 4897, PG 876
BM 1920, PG 30

N/F
FAIRVIEW ROW AT
FIVE POINTS CONDOS HOA
PIN 1704.06-47-5928
DB 15747, PG 5
BM 2013, PG 617



GENERAL NOTES:

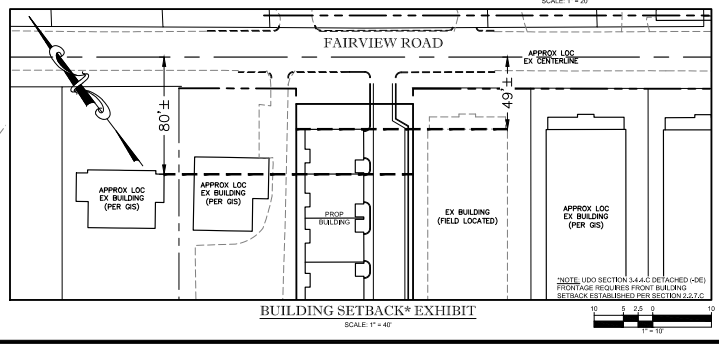
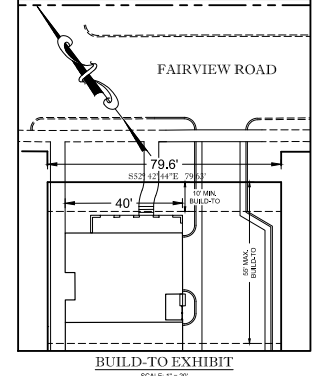
1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. DESIGN ADJUSTMENT REQUIRED FOR RETAINING WALLS LESS THAN THREE (3) FEET FROM PROPERTY LINE.
4. ADMINISTRATIVE ALTERNATE REQUIRED FOR BUILD-TO REQUIREMENT (UDO 3.4.2).

CONSTRUCTION NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
4. PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF, CONTACT ENGINEERING INSPECTIONS AT (919) 998-2400 TO SET UP THE MEETING.
5. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR. SEE "RIGHT-OF-WAY CLOSURE" ON WWW.RALEIGH.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGH.GOV.
6. PRIOR TO CONSTRUCTION BEGINNING, ALL SEWERAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
7. THE CONTRACTOR SHALL REPAIR ANY DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
8. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
9. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DEVICES. PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROVINCIAL) 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

TRANSPORTATION NOTES:

1. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50 FEET OF ALL EXISTING/NEW RESIDENTIAL COLLECTOR INTERSECTIONS. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL OTHER STREET INTERSECTIONS.
2. HANDICAPPED RAMP TO BE CONSTRUCTED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH ENGINEERING STANDARD DETAIL T-201.2.
3. SIGHT TRIANGLES TO BE LOCATED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. AREAS WHERE SIGHT TRIANGLES ARE LOCATED OUTSIDE THE RIGHT-OF-WAY SHALL BE RECORDED AS SIGHT ENLARGEMENTS. FINAL LAYOUT OF SIGHT TRIANGLES TO BE APPROVED WITH CONSTRUCTION DRAWINGS.
4. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF 2 FEET AND 8 FEET ABOVE THE CURB LINE ELEVATION, OR NEAREST TRAVELED WAY NO CURBING DEVICES, SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
5. ALL STREET SECTIONS SHALL MEET OR EXCEED SPECIFICATIONS DETAIL D IN CITY OF RALEIGH ENGINEERING STANDARDS T-201.2, T-201.3, AND T-201.4 AS NOTED.
6. ALL STREETS AND RIGHT-OF-WAYS WITHIN AND ADJACENT TO THE PROJECT ARE CONSISTENT WITH THE RALEIGH COMPREHENSIVE PLAN WITH REGARD TO PROPOSED ROADWAY LOCATIONS AND RIGHT-OF-WAY REQUIREMENTS.
7. UNLESS OTHERWISE SHOWN, TURNOUT RATIO TO BE MINIMUM OF 30' AT ALL PUBLIC STREET INTERSECTIONS AND ROADWAY TURNOUTS TO BE A MINIMUM OF 20'.



PROPOSED IMPERVIOUS

TOTAL EFFECTIVE AREA: 16,716 SF
PROPOSED IMPERVIOUS AREA: 5,173 SF
PROPOSED PERVIOUS AREA: 11,543 SF

SOIL QUALITY INSPECTIONS & REMEDIATION
SOLID WASTE TO BE COLLECTED IN ENCLOSURE CONTAINERS BY INDIVIDUAL UNITS AND Hauled TO FAIRVIEW ROAD FOR CITY PROVIDED PICKUP ON SCHEDULED DAYS.

PERMITTED TO BE PROVIDED FOR PRORAGE
IMPROVEMENTS REQUIRED TO MEET AVENUE PLANE UNDERMINED (16-16) SECTION INCLUDING ONE (1) STREET TREE AND TWO (2) FEET OF SIDEWALK WIDTH.

BUILD-TO CALCULATION	
REQUIRED BY BASE DISTRICT	70%
REQUIRED PER 02A-020-019	90.7%
PROVIDED	40774% - 90.3%

HATCH LEGEND

[Hatched Pattern]	PROPOSED DEBRICATION AREA (451 SF OR 0.01 AC)
[Hatched Pattern]	AMENITY AREA (2,219 SF OR 0.06 AC)

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Raleigh, NC 27608

2019 Associates, LLC
2019 Fairview Road
Raleigh, NC 27608

ABBREVIATIONS

AC	ACRE	MH	MANHOLE
APPR	APPROXIMATE	MF	FORMERLY
BB	BACKTOBACK	PG	PAGE
BOLD	BUILDING	PROP	PROPOSED
BM	BOOK OF MAPS	PROV	PROVINCIAL
BR	BOTTOM OF BERM	CH	CHANGING
BW	BOTTOM OF WALL	ROW	RIGHT OF WAY
CB	CATCH BASIN	RSDM	RALEIGH STREET
CD	CAST IRON PIPE	SF	SQUARE FEET
CONC	CONCRETE	SS	SEWER MAIN
EX	EXISTING	ST	STORMWATER
ELEV	ELEVATION	SWM	SEWER MANAGEMENT
EP	ELECTRIC	TR	TO BE
EMT	ELEVATION	TBD	TO BE DETERMINED
EMAS	EX AMO WALL	TRK	TO BE REMOVED
EX	EXISTING	TC	TO BE RELOCATED
FDC	FIRE DEPARTMENT	TR	TRANSFORMER
FEE	FINISHED FLOOR	TPP	TRIP PROTECTION
FR	FIRE RISK	TR	TOP OF BERM
FW	FIRE WALKWAY	TR	TOP OF WALL
G	GRADE	TR	TYPICAL
HOPE	HIGH DENSITY POLYETHYLENE	UDG	UNIFIED DEVELOPMENT
LP	LINEAR FEET	UDG	UNIFIED DEVELOPMENT
LOC	LOCATION		ORANGE

LEGEND

---	PROPERTY LINE
---	NEIGHBORHOOD TRANSITION
---	PROP SETBACK
---	PROP EAVES
---	PROP PARKING CURB
---	ADA ROUTE

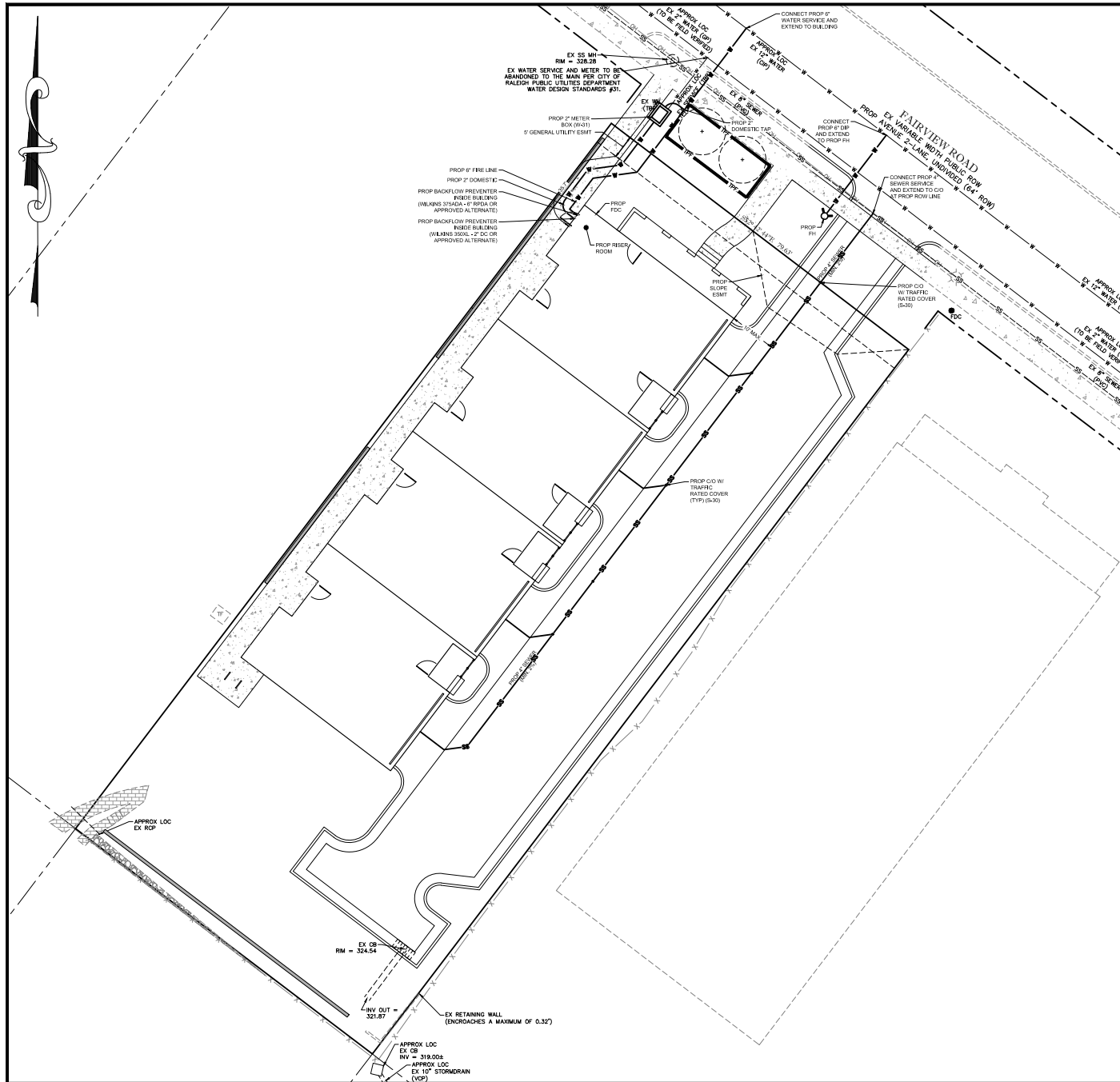
SITE PLAN

Revisions

Number	Description	Date
1	PER CITY COMMENTS	09/03/19
2	PER CITY COMMENTS	04/01/20

JAECO # 515-12
DRAWING SCALE: AS SHOWN
DRAWN BY: TT
CHECKED BY: JC
DATE ISSUED: 11/08/18

C-2

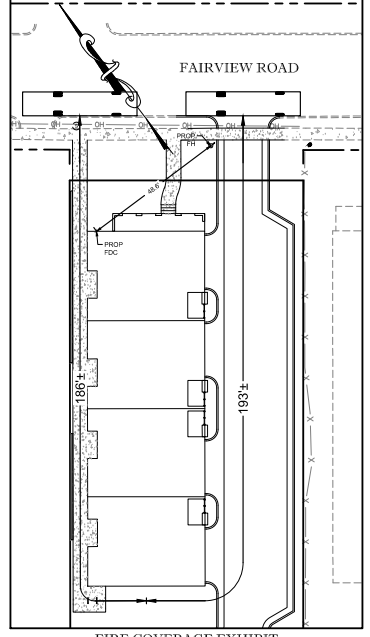


GENERAL NOTES:

1. CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND /OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. PROPOSED UNITS TO BE INDIVIDUALLY SUBMITTED.

STANDARD UTILITY NOTES (as applicable):

1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
2. Utility separation requirements:
 - a. A clearance of 10' shall be maintained between sanitary sewer & any private or public water supply source such as an unregulated reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, various sanitary sewer pipe shall be specified & installed to satisfy specifications. However, the minimum separation shall be less than 2' from a private well & 5' from a public well.
 - b. When installing water & sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the utility shall be installed in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be supported by the Public Utilities Division. All exposures are measured from outside corner to outside corner.
 - c. Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DCP materials & shield encasement extended 12" on each side of crossing must be specified & installed to satisfy specifications.
 - d. 5:1 minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DCP material is specified for sanitary sewer.
 - e. Maintain 15" min. vertical separation of all watermain & RCP storm drain crossings, maintain 24" min. vertical separation of all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DCP materials & a concrete grade having 2" min. clearance over CORPUD details at 41 & 5-49.
3. All underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
4. Any necessary field revisions are subject to review & approval of an authorized plan & profile by the City of Raleigh Public Utilities Department prior to construction.
5. Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be provided by a 24-hour advance notice to the City of Raleigh Public Utilities Department.
6. 2.0' minimum cover is required on all water mains & sewer force mains & 4.0' minimum cover is required on all storm mains.
7. It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandonment but not mark & removal of service from RDW or replacement per CORPUD Handbook procedure.
8. Install 12" copper water services with meters located at RDW or within 2' of Waterline Element immediately adjacent to the structure. It is the applicant's responsibility to properly size the water service for each connection to provide adequate flow to structure.
9. Install 4" PVC sewer services @ 1.0% minimum grade with cleanouts located at RDW as assessed then & spaced every 10 linear feet maximum.
10. Pressure reducing valves are required on all water services exceeding 80 psi. Backflow valves are required on all sanitary sewer service having building drains lower than 12" above the rear setback maximum.
11. All environmental permits applicable to the project must be obtained from NCDWM, USACE &/or FEMA for any open water bodies & floodplain impacts. Inspectively prior to construction.
12. NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service lines) within state or railroad ROW prior to construction.
13. On-site generator / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FGD Program Coordinator prior to issuance of a Building Permit. Contact Steve Callahan at (919) 996-2334 or steve.callahan@raleighnc.gov for more information.
14. Construction control details are required based on the location of health hazard (indicated as noted in Appendix B of the Rules Governing Public Water Systems in North Carolina). These guidelines are the minimum requirements. The applicant shall meet American Society of Sanitary Engineering (ASSE) standards as set on the University of Southern California approved. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the ASSE health hazard cross-connection control program, whichever is more stringent. Contact Jesse Harley at (919) 996-5523 or jesse.harley@raleighnc.gov for more information.



FIRE COVERAGE EXHIBIT
SCALE: 1" = 20'

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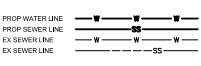
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2019 Associates, LLC
2019 Fairview Road
Raleigh, NC 27608

ABBREVIATIONS

AC	ACRE	MH	MANHOLE
APPROX	APPROXIMATE	NIF	NOTICE OF
B/B	BACK-TO-BACK	FORMERLY	
BUILD	BUILDING	PG	PAGE
BM	BOOK OF MAPS	PROP	PROPOSED
BR	BOTTOM OF REBER	POLY	POLYETHYLENE
BW	BOTTOM OF WALL	CH	CHLORIDE
CO	CLEANOUT	ROW	RIGHT OF WAY
CB	DATE DRAIN	RDW	RALEIGH STREET
CP	CAST IRON PIPE	SD	SEWER MAIN
CONC	CONCRETE	SF	SQUARE FEET
DB	DIED BLOCK	SS	SEWER MAIN
ELEC	ELECTRIC	SWM	STORMWATER
EXP	EXPOSURE	MAN	MANAGEMENT
ELEV	ELEVATION	TBD	TO BE
ENST	ENFORCEMENT	DET	DETENTION
EMAS	EX AMMUNITION	TBR	TO BE REMOVED
EX	EXISTING	TBL	TO BE RELOCATED
FDC	FIRE DEPARTMENT CONNECTION	TC	TOP OF CURB
FFE	FINISHED FLOOR ELEVATION	TR	TRANSFORMER
FH	FIRE HYDRANT	TPF	FREE PROTECTION FENCE
GS	GRID	TR	TOP OF REBER
HPPE	HIGH DENSITY POLYETHYLENE	TW	TOP OF WALL
LF	LINEAR FEET	UNT	UNITED
LOC	LOCATION	URD	UTILITY RIGHT OF WAY DEVELOPMENT OBSTACLE

LEGEND



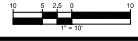
STORMDRAIN & UTILITY PLAN

Revisions

Number	Description	Date
1	PER CITY COMMENTS	09/03/19
2	PER CITY COMMENTS	04/01/20

JAECO # 515-12
DRAWING SCALE AS SHOWN
DRAWN BY TT
CHECKED BY JC
DATE ISSUED 11/08/18

C-4



GENERAL NOTES

1. BB AS LISTED UNDER "ROOT" IN THE PLANT LIST INDICATES BALLED AND BURLAPPED. CONT. INDICATES CONTAINER GROWN PLANT.
2. VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR AND THE TOTAL QUANTITIES SHALL BE AS REQUIRED ON THE PLANTING PLAN.
3. ALL TREES, SHRUBS, AND PLANTS SHALL CONFORM TO ACCEPTED STANDARDS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
4. ALL SAUCERS SHALL BE SOAKED WITH WATER AND MULCHED IMMEDIATELY FOLLOWING INSTALLATION.
5. PRUNING - THIN BRANCHES AND FOLIAGE (NOT ALL END TIPS) RETAINING NORMAL PLANT SHAPE. NEVER CUT EVERGREEN LEADER.
6. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO GRADE IN NURSERY.
7. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
8. VERIFICATION OF LOCATIONS OF UNDERGROUND UTILITIES IS RECOMMENDED PRIOR TO PLANTING.
9. MULCH TO BE 4" DEEP HARDWOOD BARK MULCH.

N/F
HAMILTON CO LLC
PIN 1704.06-45-3098
DB 12126, PG 2463

N/F
JAMES & REGINA
ANTHONY, JR.
PIN 1704.06-47-2984
DB 17074, PG 1908
BM 1920, PG 30

N/F
CHRISTIE MCLEOD
PIN 1704.06-47-3859
DB 4897, PG 876
BM 1920, PG 30

NEIGHBORHOOD TRANSITION
ZONE 4 PROTECTIVE YARD
TYPE A1 - 10' AVG. WIDTH
79.4 LF

N37° 12' 49"E
4.84'(TIE)

FAIRVIEW ROAD
EX VARIABLE WIDTH PUBLIC ROW
PROP AVENUE 2-LANE UNDIVIDED (64' ROW)

53° 16' 57"W
4.60'(TIE)

N/F
FAIRVIEW ROW AT
FIVE POINTS CONDOS HOA
PIN 1704.06-47-5928
DB 15743, PG 3
BM 2013, PG 617

LANDSCAPE CALCULATIONS

PARKING AREA TREE REQUIREMENTS

TOTAL PARKING AREA: 4,868 SF
TREES REQUIRED: 2 (1/2000 SF)
TREES PROVIDED: 2

NEIGHBORHOOD TRANSITION - 79.4 LF

SHADE TREES REQUIRED: 3.18 (4/100 LF)
SHADE TREES PROVIDED: 4
UNDERSTORY TREES REQD: 2.38 (3/100 LF)
UNDERSTORY TREES PROVIDED: 3
SHRUBS REQUIRED: 31.76 (40/100 LF)
SHRUBS PROVIDED: 32

*NOTE: ONE (1) ADDITIONAL SHADE TREE AND ONE (1) ADDITIONAL UNDERSTORY TREE PROVIDED ABOVE REQUIRED PER COORDINATION WITH ADJOINING NEIGHBORS

STREET PROTECTIVE YARD

FAIRVIEW ROAD - C3 YARD REQUIRED (UDO 7.1.7.B.4)
PARKING LOT FRONTAGE: 8.5'

SHRUBS REQUIRED: 2.55 (30/100')
SHRUBS PROVIDED: 3

FAIRVIEW ROAD STREETScape - 79.6 LF

TREES REQUIRED: 3 UNDERSTORY TREES (27 OC - OVERHEAD LINES)
TREES PROVIDED: 2 EX TREES DUE & FEE-IN-LIEU FOR ONE STREET TREE

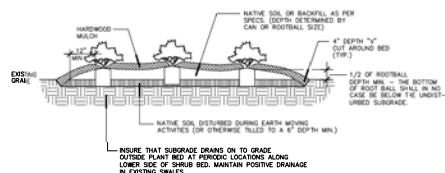
NOTE:
STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.



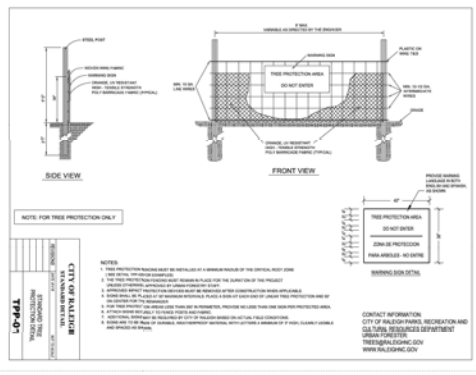
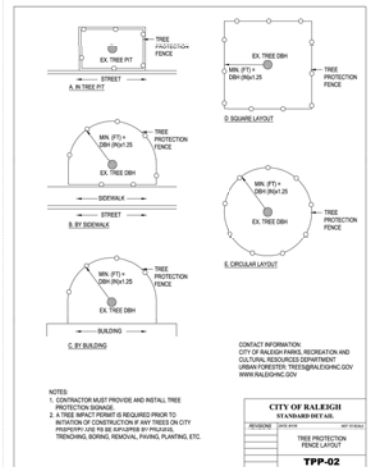
PLANT LIST

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	CAL.	HT.	MATURE CAL.	MATURE HT.	ROOT	REMARKS
TREES									
Ar	4	Acer rubrum 'October Glory'	October Glory Red Maple	3"	10'	40-50'	35-40'	BB	
Py	3	Prunus yedoensis 'Yoshino'	Yoshino Cherry	1.5"	6'	20-30'	20-25'	BB	
Up	2	Ulmus parviflora	Laobark Elm	3"	10'	40-50'	25-30'	BB	
SHRUBS									
Az	16	Azalea encore 'Autumn Sundance'	Encore Azalea		18"			CONT	
Icb	44	Ilex cornuta burfordii nana	Dwarf Burford Holly		18"			CONT	3.5' oc
Lc	3	Loropetalum chinense 'Fire Dance'	Fire Dance Loropetalum		24"			CONT	C3 Yard
Va	16	Viburnum acerifolium 'Chindo'	Chindo Viburnum		18"			CONT	
GROUND COVER									
Lm	100	Liriope muscari 'Big Blue'	Big Blue Liriope						1 GAL.

SHRUB PLANTING DETAIL



NOT TO SCALE



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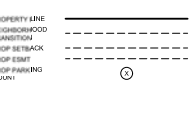
2019 Fairview Road
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2019 Associates, LLC
2019 Fairview Road
Raleigh, NC 27608

ABBREVIATIONS

AC	ACRE	MF	MANHOLE
APPROX	APPROXIMATE	NF	NOVOR OR FORMERLY
BB	BACKTOBACK	PG	GRADE
BUILDING	BOOK OF MAPS	PROP	PROPOSED
BM	BOTTOM OF REBER	PVC	POLYVINYL CHLORIDE
BO	BOTTOM OF WALL	ROW	RIGHT OF WAY
CB	CATCH BASIN	RSDM	RALEIGH STREET
CAF	CURT FROM PIPE	SS	SANITARY SEWER
CONC	CONCRETE	SF	SQUARE FEET
DIED	DIED BLOCK	SS	SANITARY SEWER
ELEV	ELEVATION	SWM	STORMWATER
EMG	EX MAG NAIL	TBD <td>TO BE DETERMINED</td>	TO BE DETERMINED
EMST	EXISTING	TBR	TO BE REMOVED
EX	EXISTING	TCL	TO BE RELOCATED
FDC	FIRE DEPARTMENT CONNECTION	TC	TOP OF CURB TRANSFORMER
FFE	FINISHED FLOOR ELEVATION	TF	TOP OF PROTECTION FENCE
FIN	FIRE HYDRANT	TR	TOP OF REBER GRADE
H	HIGH DENSITY POLYETHYLENE	TY	TYPICAL UNFINISHED DEVELOPMENT
LP	LINEAR FEET	UBO	UNFINISHED DEVELOPMENT
LOC	LOCATION	UC	UNFINISHED DEVELOPMENT

LEGEND

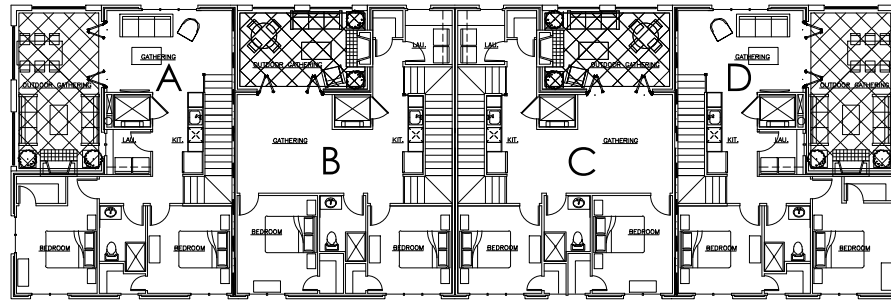


LANDSCAPE PLAN

Number	Description	Date
1	PER CITY COMMENTS	05/03/19
2	PER CITY COMMENTS	04/02/20

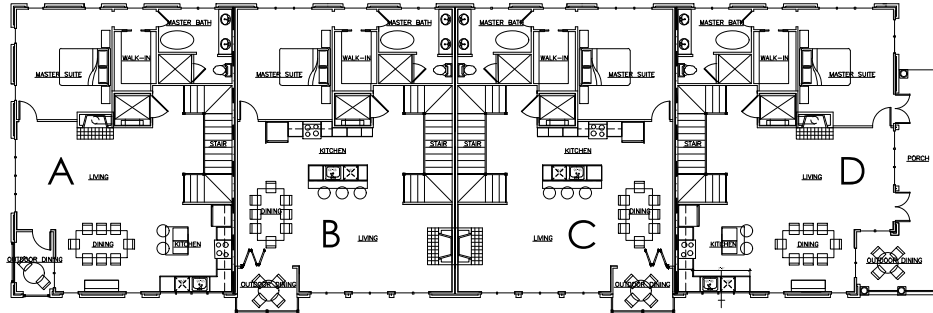
DATE ISSUED: 11/08/18

L-1

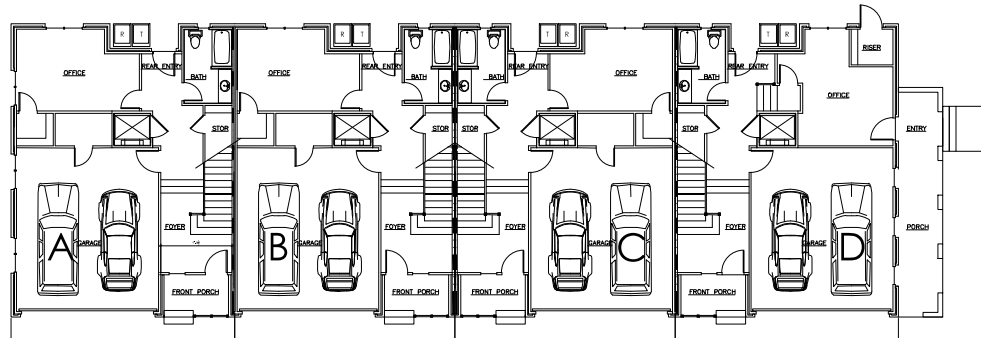


UNIT DESIGNATIONS FOLLOWED THROUGH ALL FLOORS 3

3 FLOOR PLAN LEVEL 3
SCALE: 1/8" = 1'-0"



2 FLOOR PLAN LEVEL 2
SCALE: 1/8" = 1'-0"



1 FLOOR PLAN LEVEL 1
SCALE: 1/8" = 1'-0"

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SCHEMATIC DESIGN for:
FAIRVIEW APARTMENTS
CASE#: ASR-SR-105-2018
2019 FAIRVIEW ROAD
RALEIGH, NC

PROJECT NUMBER
218109
DATE
January 29, 2019
BY/REVISED

3. MARCH 30, 2020 CITY
COMMENTS RESPONSES

UNIT FLOOR PLANS
A100



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SCHEMATIC DESIGN FOR:

**FAIRVIEW
APARTMENTS**

CASE# : ASR-SR-105-2018
2019 FAIRVIEW ROAD
RALEIGH, NC

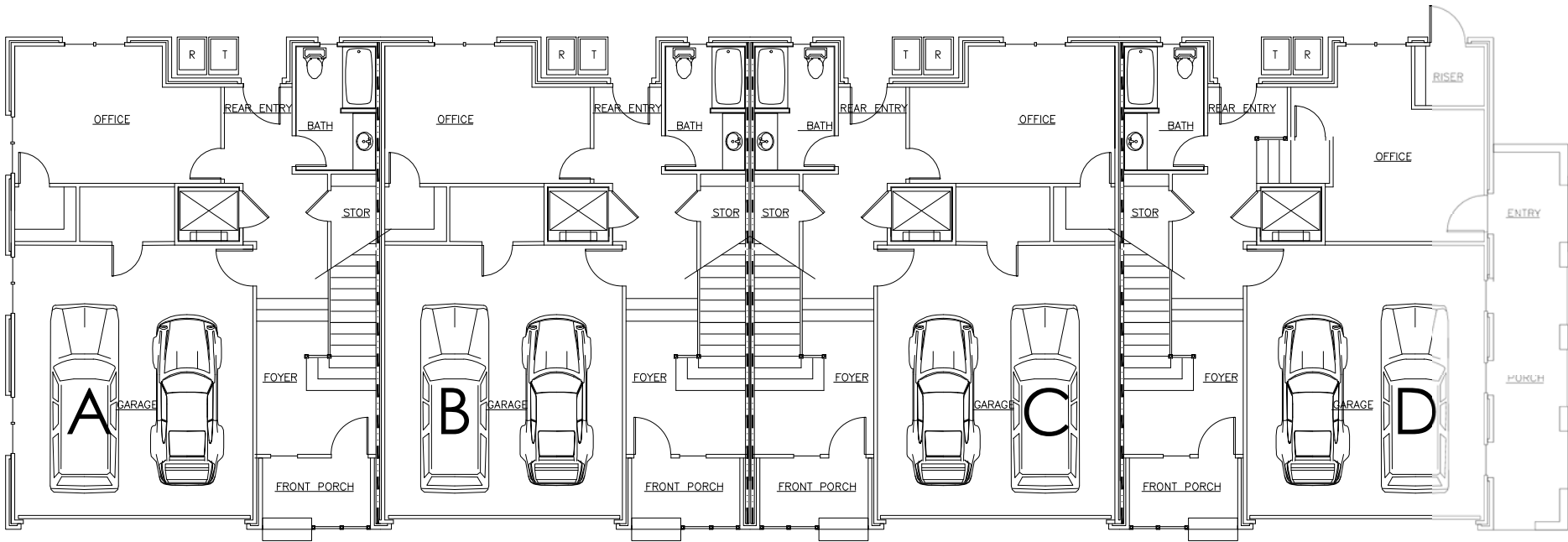
PROJECT NUMBER
218109

DATE
January 29, 2019

BY: WJ/STW

UNIT
FLOOR
PLANS

A101



1 FLOOR PLAN LEVEL 1
SCALE: 1/8" = 1'-0"

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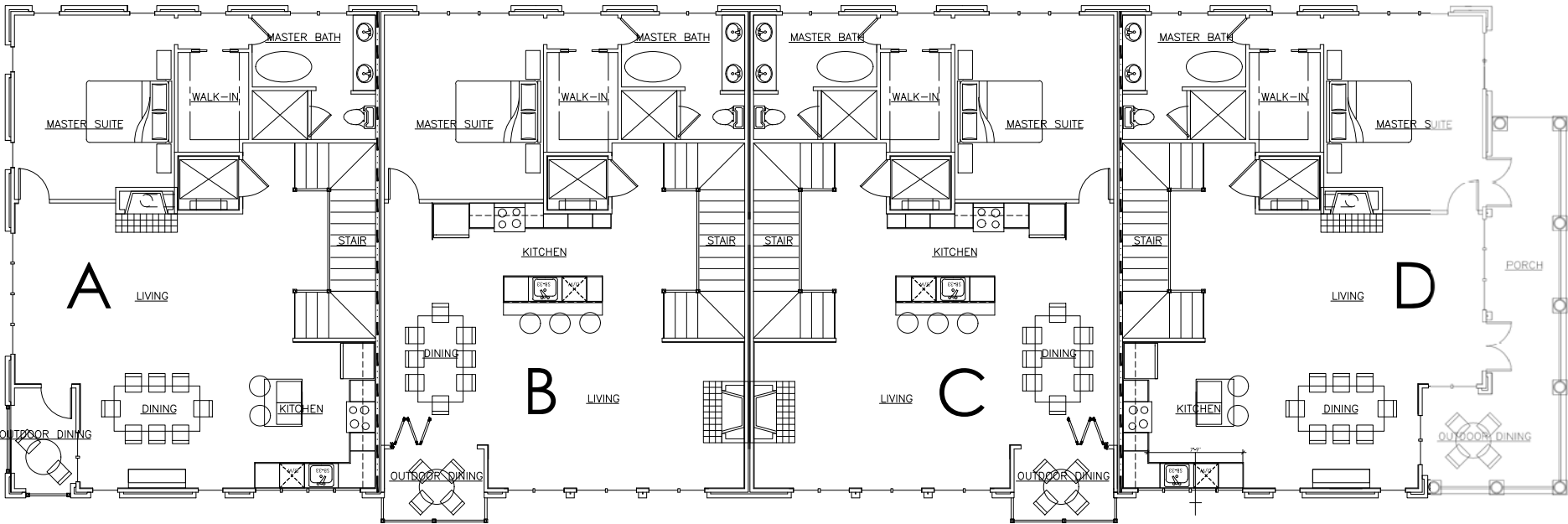
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SCHEMATIC DESIGN for:
**FAIRVIEW
APARTMENTS**
CASE# : ASR-SR-105-2018
2019 FAIRVIEW ROAD
RALEIGH, NC

PROJECT NUMBER
218109
DATE
January 29, 2019
BY/REVISED

UNIT
FLOOR
PLANS

A102



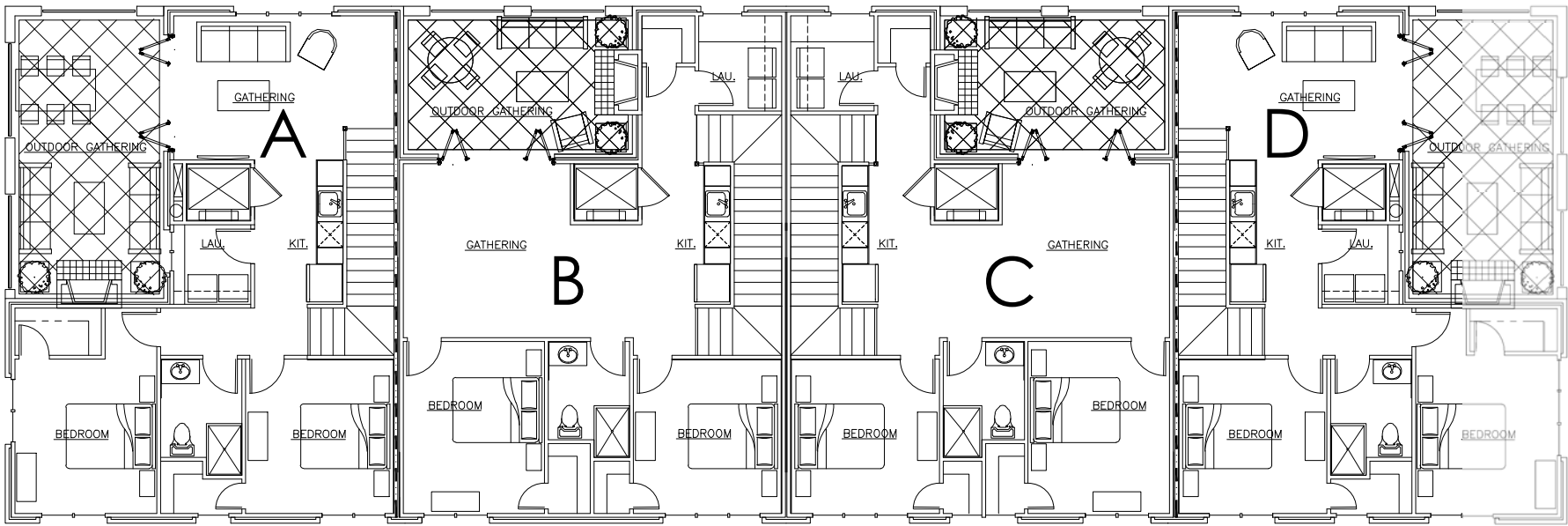
1 FLOOR PLAN LEVEL 2
SCALE: 1/4" = 1'-0"

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1 FLOOR PLAN LEVEL 3
SCALE: 1/4" = 1'-0"

UNIT
DESIGNATIONS
FOLLOWED
THROUGH ALL
FLOORS

SCHEMATIC DESIGN FOR:

**FAIRVIEW
APARTMENTS**
CASE# : ASR-SR-105-2018
2019 FAIRVIEW ROAD
RALEIGH, NC

PROJECT NUMBER
218109

DATE
January 29, 2019

BY: VJW

3. MARCH 30, 2020 CITY
COMMENTS RESPONSES

UNIT
FLOOR
PLANS

A103



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SCHEMATIC DESIGN FOR:
**FAIRVIEW
APARTMENTS**
CASE# : ASR-SR-105-2018
2019 FAIRVIEW ROAD
RALEIGH, NC

PROJECT NUMBER
218109
DATE
January 29, 2019
BY/REVISED

3. MARCH 30, 2020 CITY
COMMENTS RESPONSES

EXTERIOR
ELEVATIONS

A300

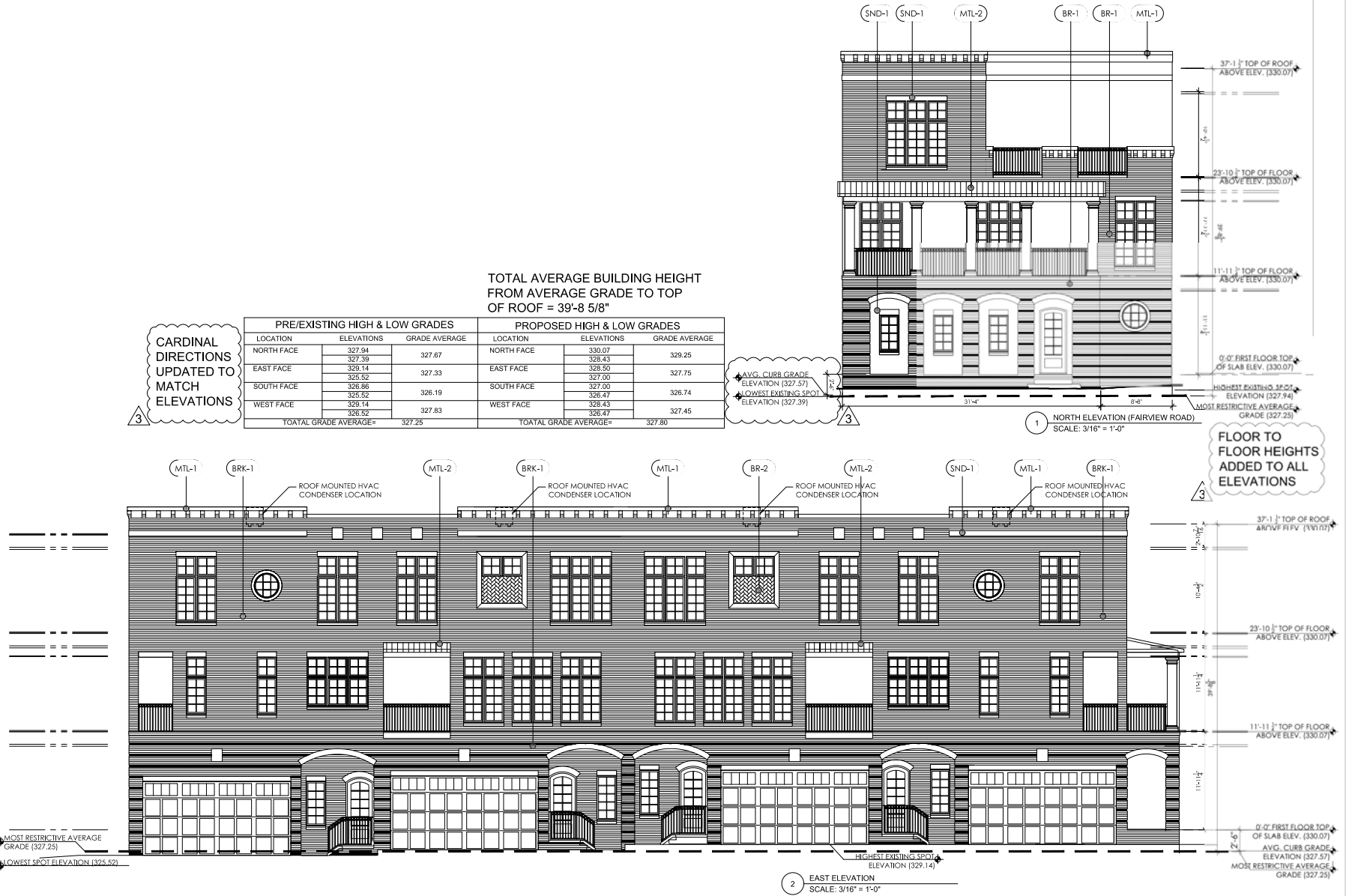
TOTAL AVERAGE BUILDING HEIGHT
FROM AVERAGE GRADE TO TOP
OF ROOF = 39'-8 5/8"

PRE/EXISTING HIGH & LOW GRADES			PROPOSED HIGH & LOW GRADES		
LOCATION	ELEVATIONS	GRADE AVERAGE	LOCATION	ELEVATIONS	GRADE AVERAGE
NORTH FACE	327.94	327.67	NORTH FACE	330.07	329.25
	327.39			328.43	
EAST FACE	329.14	327.33	EAST FACE	328.50	327.75
	325.52			327.00	
SOUTH FACE	328.86	326.19	SOUTH FACE	327.00	326.74
	325.52			326.47	
WEST FACE	329.14	327.83	WEST FACE	328.43	327.45
	326.52			326.47	
TOTAL GRADE AVERAGE=		327.25	TOTAL GRADE AVERAGE=		327.80

CARDINAL
DIRECTIONS
UPDATED TO
MATCH
ELEVATIONS

AVG. CURB GRADE
ELEVATION (327.57)
LOWEST EXISTING SPOT
ELEVATION (327.39)

FLOOR TO FLOOR HEIGHTS
ADDED TO ALL
ELEVATIONS



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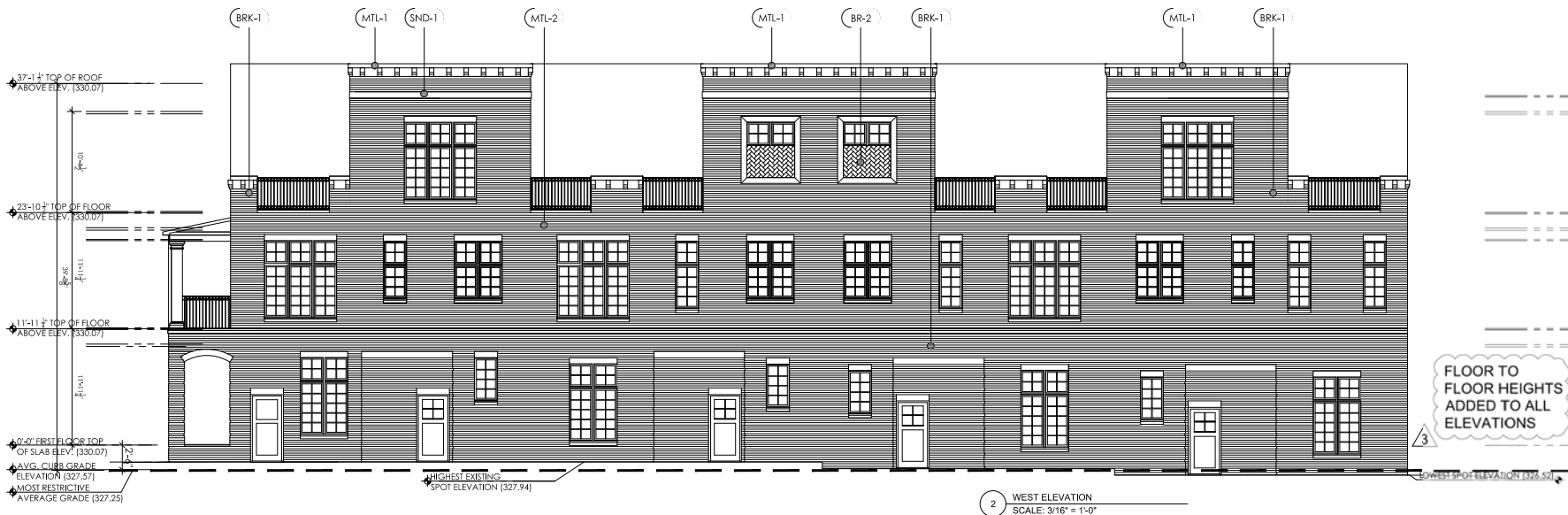
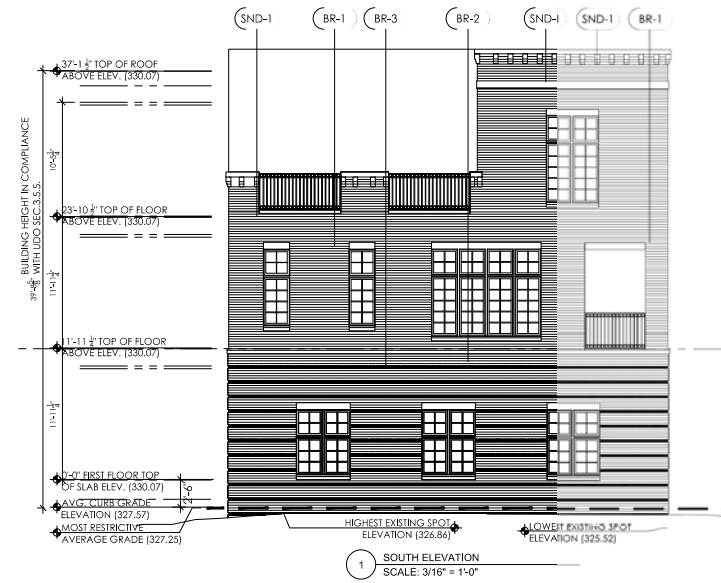
SCHEMATIC DESIGN FOR:
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APARTMENTS**
CASE# : ASR-SR-105-2018
2019 FAIRVIEW ROAD
RALEIGH, NC

PROJECT NUMBER
218109
DATE
January 29, 2019
BY/ISSUED

3. MARCH 30, 2020 CITY
COMMENTS RESPONSES

EXTERIOR
ELEVATIONS

A301



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