



Administrative Approval Action

Case File / Name: ASR-SR-19-2018

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: The existing .8 acre site is located on the northwest corner of the intersection of Johnson Street and St. Mary's Street, at 601 St. Mary's Street and zoned OX-3-GR and Neighborhood Conservation Overlay District (Cameron Park, transition).

REQUEST: 601 St Mary's Street / SR-19-18.
Proposed is a 6,974 square foot expansion to an exiting 8,755 square foot office building, with associated parking. After completion the total building size will be 12,815 square feet.

One Administrative Alternate has been approved by the Planning Director for this project in regards to the required "Build To" positioning of an addition to an existing building in conjunction with the primary street. (AAD-11-2019).

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated June 17, 2019 by JOHN A EDWARDS AND CO.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Stormwater

2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
3. A nitrogen offset payment must be made to a qualifying mitigation bank (UDO 9.2.2.B).

Urban Forestry

4. Tree protection fence around existing street trees must be installed by the developer and inspected by Urban Forestry staff prior to the issuance of a grading permit.



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☒ **LEGAL DOCUMENTS** - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input checked="" type="checkbox"/>	Utility Placement Easement Required
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☒ **RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Site Permitting Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Engineering

1. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.
2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.

Stormwater

3. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A demolition permit shall be obtained.

Engineering

2. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).



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3. A fee-in-lieu for 1' of sidewalk width across the entire frontage shall be paid to the City of Raleigh (UDO 8.1.10).

Stormwater

4. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
5. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

Urban Forestry

6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes ten street trees along both Johnson and St. Mary's Streets.

The following are required prior to issuance of building occupancy permit:

General

1. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

Stormwater

2. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: August 27, 2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



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I hereby certify this administrative decision.

Signed:  Date: 08/28/2019
Development Services Dir/Designee
Staff Coordinator: Michael Walters



JOHN A. EDWARDS & COMPANY
Consulting Engineers
and Land Surveyors

NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

www.jaeco.com



601 ST MARY'S STREET
ADMINISTRATIVE SITE REVIEW

NEW CITY DESIGN GROUP
1304 HILLSBOROUGH STREET
RALEIGH, NC 27605

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH CITY OF RALEIGH
STANDARDS AND SPECIFICATIONS.

SOLID WASTE INSPECTIONS STATEMENT
DEVELOPER TO CONTRACT WITH PRIVATE
COLLECTION SERVICE FOR RECYCLING
AND SOLID WASTE REMOVAL

HORIZONTAL DATUM: NAD83
VERTICAL DATUM: NAVD88

EXISTING CONDITIONS PLAN

Revisions

Date	Description	By
6/5/18	PER CITY OF RALEIGH COMMENTS	LEH
6/17/19	PER CITY OF RALEIGH COMMENTS	ID

JAECO #: 751-07

Drawn By: LEH

Checked By: JRC

Date Issued: 03/07/2018

CE-1

NOTES:

1. ALL DISTANCES ARE HORIZONTAL GROUND.
2. ALL DIMENSIONS ARE IN FEET.
3. AREA COMPUTED USING COORDINATE METHOD FROM MEASURED FIELD DATA.
4. BASIS OF BEARINGS IS NORTH CAROLINA GRID NORTH, NAD83(2011). THE SITE WAS LOCALIZED UTILIZING REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) SOLUTIONS REFERENCING THE CONTINUOUSLY OPERATING REFERENCE STATION (CORS) NETWORK BASE STATION NCRD, RALEIGH, NC.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD DISCLOSE.
6. ALL REFERENCE ARE MADE TO THE WAKE COUNTY REGISTRY.
7. HORIZONTAL DATUM IS NAD 83(2011) AND VERTICAL DATUM IS NAVD 88.
8. CONTRACTOR TO FIELD VERIFY LOCATION, MATERIAL TYPE & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	152.77'	365.89'	23°55'20"	151.66'	S79°46'22"E
C2	33.67'	538.97'	03°34'47"	33.67'	N69°36'06"W

SITE DATA

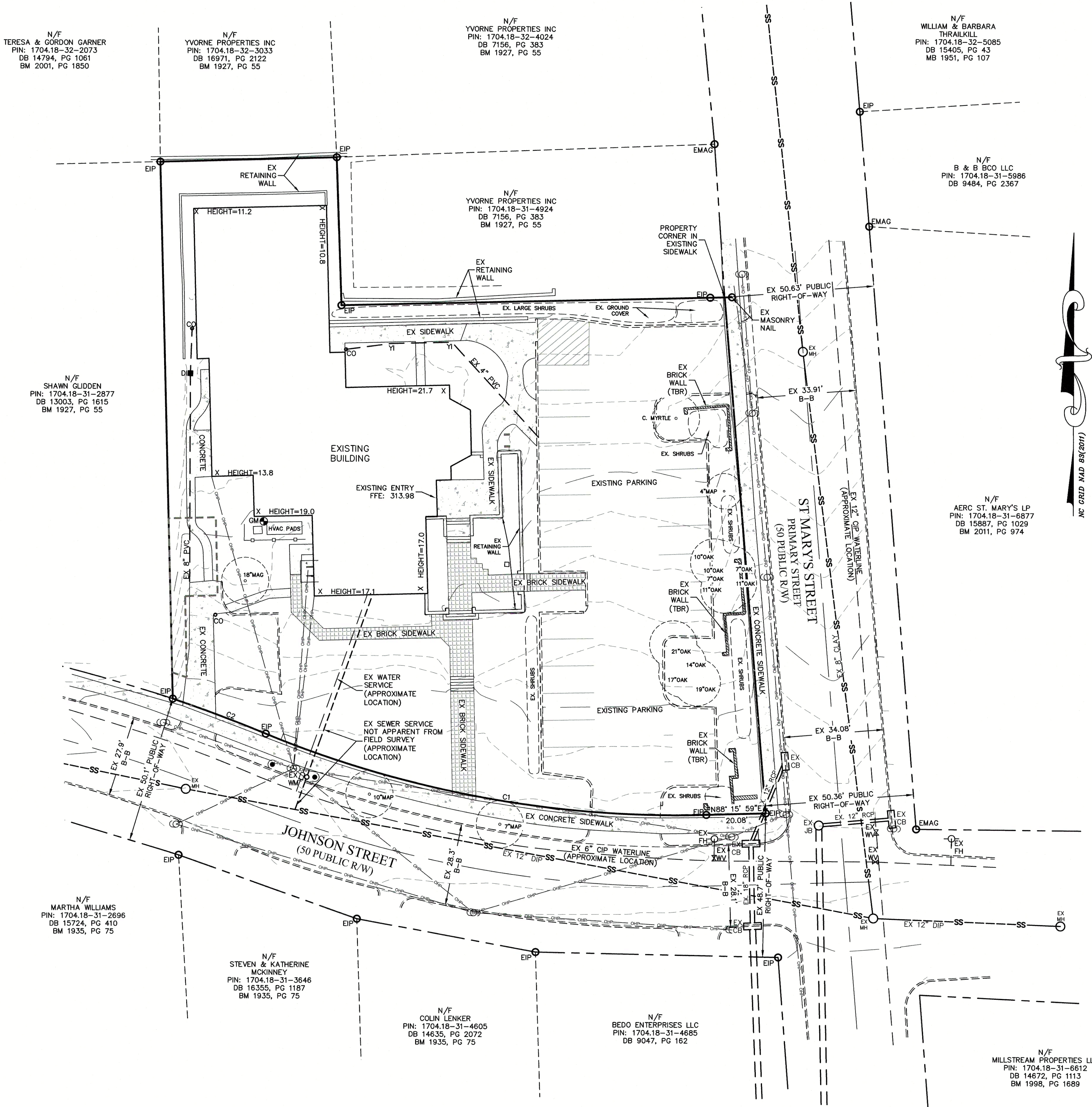
OWNER 601 ST. MARYS LLC
PIN 1704.18-31-3897
AREA 35,520 S.F. (0.7925 AC.)
REFERENCE DB 15671, PG 458
BM 1984, PG 355
BM 1927, PG 53
ZONING OX-3-GR (NCOD)

LEGEND

BM BOOK OF MAPS
DB DEED BOOK
PG PAGE
N/F NOW OR FORMERLY
R/W RIGHT OF WAY
EIP EXISTING IRON PIPE
EMAG EXISTING MAG NAIL
EQM EXISTING CONCRETE MONUMENT
IPM IRON PIPE SET
MAGS MAG NAIL SET
CP COMPUTED POINT
SS SANITARY SEWER
CO SANITARY SEWER CLEAN OUT
MH MANHOLE
ST STORM
GW GUY ANCHOR
TF TRANSFORMER
WV WATER VALVE
RCP REINFORCED CONCRETE STORM PIPE
CONC CONCRETE
SSMH SANITARY SEWER
WM WATER METER
LP LIGHT POLE
CATV CABLE PEDESTAL
TP TELEPHONE PEDESTAL
TBR TO BE REMOVED
FH FIRE HYDRANT
HB HOT BOX
PP POWER POLE
HVAC AIR CONDITIONER
DENOTES CONCRETE
DENOTES PAVERS
XXX DENOTES ADDRESS

PROPERTY LINE
RIGHT OF WAY LINE
PROP. LINE NOT SURVEYED
STORM PIPE
SEWER PIPE
OVERHEAD POWER
GAS LINE
EASEMENT LINE
CATV @ FH
GW
MW
PP
TP
GV
SSMH

20' 10' 0 20' 40'
1"=20'



N/F
TERESA & GORDON GARNER
PIN: 1704.18-32-2073
DB 14794, PG 1061
BM 2001, PG 1850

N/F
YVORNE PROPERTIES INC
PIN: 1704.18-32-3033
DB 16971, PG 2122
BM 1927, PG 55

N/F
YVORNE PROPERTIES INC
PIN: 1704.18-32-4024
DB 7156, PG 383
BM 1927, PG 55

N/F
WILLIAM & BARBARA
THRAILKILL
PIN: 1704.18-32-5085
DB 15405, PG 43
MB 1951, PG 107

N/F
B & B BCO LLC
PIN: 1704.18-31-5986
DB 9484, PG 2367

N/F
SHAWN GLIDDEN
PIN: 1704.18-31-2877
DB 13003, PG 1615
BM 1927, PG 55

N/F
MARTHA WILLIAMS
PIN: 1704.18-31-2696
DB 15724, PG 410
BM 1935, PG 75

N/F
STEVEN & KATHERINE
MCKINNEY
PIN: 1704.18-31-3646
DB 16355, PG 1187
BM 1935, PG 75

N/F
COLIN LENKER
PIN: 1704.18-31-4605
DB 14635, PG 2072
BM 1935, PG 75

N/F
BEDO ENTERPRISES LLC
PIN: 1704.18-31-4685
DB 9047, PG 162

N/F
MILLSTREAM PROPERTIES LLC
PIN: 1704.18-31-6612
DB 14672, PG 1113
BM 1998, PG 1689

1. All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).

- [illegible]

The diagram illustrates a 64-foot Public Right-of-Way (P.R.W.) with the following specifications:

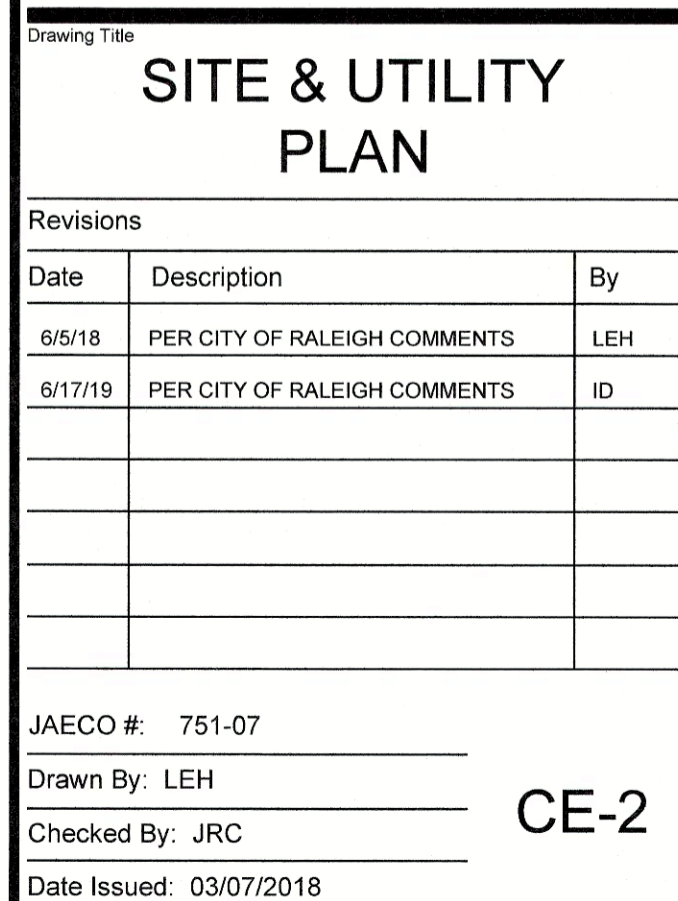
- Overall Width:** 64' P.R.W.
- Centerline:** 38' B.B. (Base of Bridge)
- Side Easements:** 5' CITY SIDE EASEMENT on both ends.
- Internal Dimensions (from left to right):**
 - 2' MAX. (Left Slope)
 - 14' (Left Shoulder)
 - 6' (Left Shoulder)
 - 6' (Left Shoulder)
 - 2.5' (Left Shoulder)
 - 10' (Left Lane)
 - 10' (Right Lane)
 - 2.5' (Right Shoulder)
 - 6' (Right Shoulder)
 - 6' (Right Shoulder)
 - 14' (Right Shoulder)
 - 2' MAX. (Right Slope)
- Other Features:**
 - PARKING areas on both sides of the centerline.
 - GRADE POINT marked at the centerline.
 - 10' W.T. (Width of Traffic) markings on the shoulders.
 - 10' W.T. (Width of Traffic) markings on the shoulders.

T-10-12	SACRAMENTO STREET CIVIL SERVICE CENTER	OFF-POLISH CONCRETE DRIVEWAY	FREE SPACING	NO D.C. AVG.
			PARKING TYPE	PARALLEL ON 2 SIDES

1. CONTRACTOR TO FIELD VERIFY LOCATION, MATERIAL TYPE & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
2. LOCATION OF EXISTING WATER SERVICE FROM EXISTING METER TO BUILDING IS NOT APPARENT. CONTRACTOR TO LOCATE AT TIME OF DEMOLITION. CONTRACTOR SHALL COORDINATE RELOCATION OF WATER SERVICE FOR EXISTING BUILDING TO REMAIN AND PROPOSED ADDITION.
3. LOCATION OF EXISTING SEWER SERVICE IS NOT APPARENT. CONTRACTOR TO LOCATE AT TIME OF DEMOLITION. EXISTING SEWER TAP SHALL REMAIN AND NEW CLEAN OUT SET AT THE PROPOSED RIGHT-OF-WAY TO ACCOMMODATE SERVICES FROM THE EXISTING BUILDING TO REMAIN AND PROPOSED ADDITION. CONTRACTOR SHALL VERIFY THAT THE CONDITION OF THE EXISTING SEWER SERVICE MATERIAL IS ACCEPTABLE FOR USE. CONTRACTOR SHALL COORDINATE RELOCATION OF SEWER SERVICE FOR EXISTING BUILDING TO REMAIN AND PROPOSED ADDITION.
4. EXISTING SIDEWALK ADJACENT TO ST. MARY'S STREET AND JOHNSON STREET VARIES IN WIDTH BETWEEN 4.5' AND 6.0'. A FEEDBACK OF CURB FOR THE REQUIRED 6' SIDEWALK AND SHALL BE PROVIDED AT CONCURRENT REVIEW.
5. THE EXISTING PLANTING STRIP BETWEEN THE SIDEWALK AND BACK OF CURB IS A MINIMUM OF 3.5' ALONG ALL PORTIONS OF ST. MARY'S STREET AND JOHNSON STREET FRONTS.

[illegible]

A graphic scale bar with alternating black and white segments. The segments are labeled from left to right: 20', 10', 0, 20', 40'. Below the bar, the text "1"=20'" is centered.





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Consulting Engineers
and Land Surveyors

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Phone: (919) 828-4428
Fax: (919) 828-4711
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Seals



Project

601 ST MARY'S STREET
ADMINISTRATIVE SITE REVIEW

Client

NEW CITY DESIGN GROUP
1304 HILLSBOROUGH STREET
RALEIGH, NC 27605

LEGEND

BM	BOOK OF MAPS
DB	DEED BOOK
PG	PAGE
R/W	RIGHT-OF-WAY
AC	ACREAGE
S.F.	SQUARE FEET
IP	EXISTING IRON PIPE
IPS	IRON PIPE SET
N/F	NOW OR FORMERLY
ELEV.	ELEVATION
EX	EXISTING
RCP	REINFORCED CONCRETE PIPE
EOP	EDGE OF PAVEMENT
CB	CATCH BASIN
DI	DROP INLET
JB	JUNCTION BOX
HW	HEADWALL
FES	FLARED END SECTION
SS	SANITARY SEWER
PVC	POLYVINYL CHLORIDE PIPE
MH	MANHOLE
WL	WATER LINE
WM	WATER METER
WS	WATER SERVICE
FH	FIRE HYDRANT
BO	BLOWOFF
FDC	FIRE DEPARTMENT CONNECTION
TC	TOP OF CURB
BC	BOTTOM OF CURB

--- PROPERTY LINE
--- RIGHT OF WAY LINE
--- PROP. LINE NOT SURVEYED
--- EASEMENT LINE

■ CB ■ DI ▲ FLARED END • JB
☆ CONC. LP

Drawing Title

LANDSCAPE PLAN

Revisions

Date	Description	By
6/17/19	PER CITY OF RALEIGH COMMENTS	ID

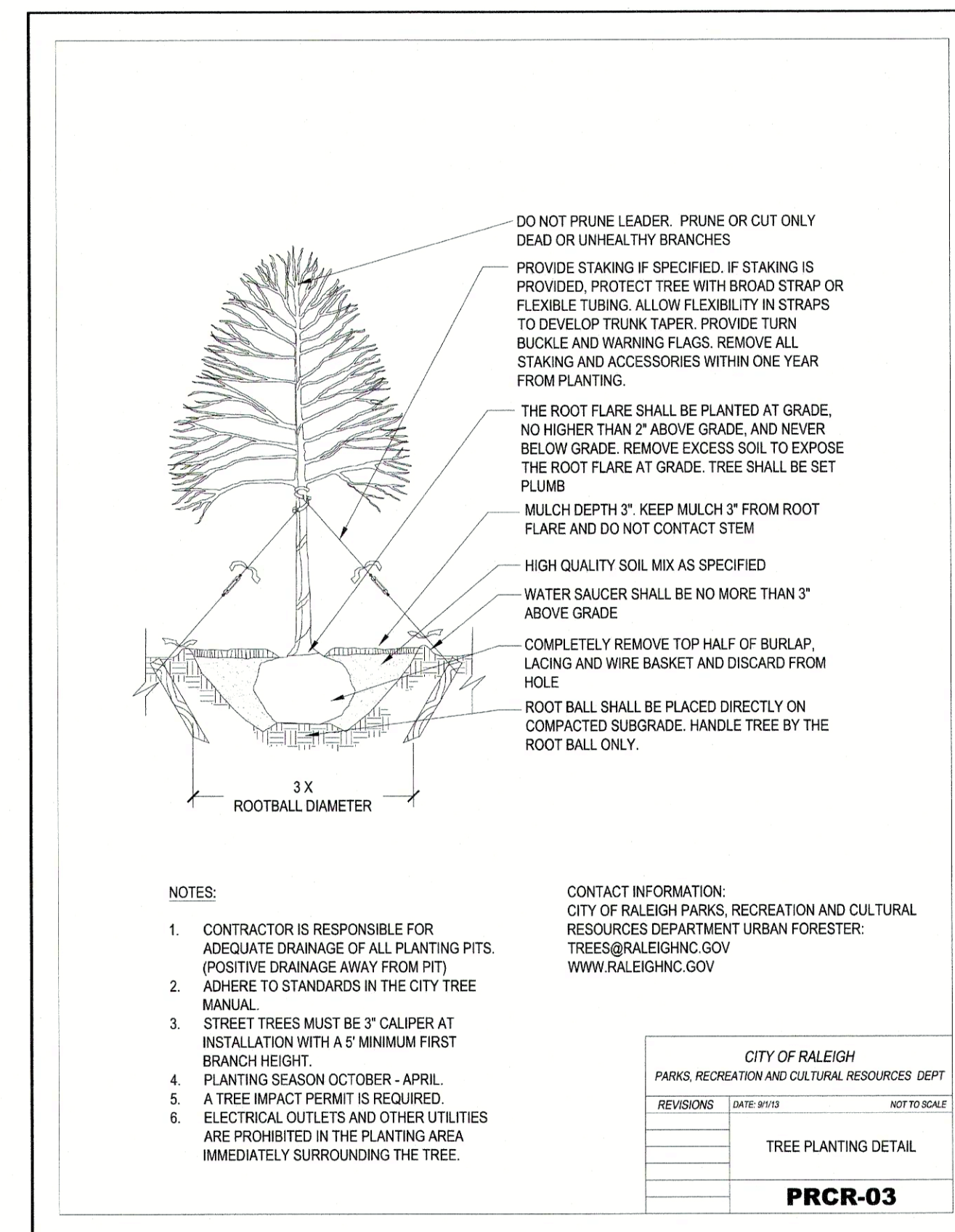
JAECO #: 751-07

Drawn By: RT

Checked By: JRC

Date issued: 03/07/2018

CE-4



PLANT LIST

KEY	QUAN.	BOTANICAL NAME	COMMON NAME	CAL.	HT.	ROOT	REMARKS
TREES							
Aa	10	Amelanchier arborea 'Snowcloud'	Snowcloud Serviceberry	1.5"	6'	BB	
Cf	2	Cornus florida 'Cherokee Princess'	Cherokee Princess Dogwood	1.5"	6'	BB	
Li	3	Lagerstroemia indica 'Catawba'	Catawba Crape Myrtle	6"	6'	BB	Purple, Multi-stem
Up	3	Ulmus parvifolia	Lacebark Elm	3"	10'	BB	
SHRUBS							
Ae	6	Azalea encore 'Autumn Sundance'	Encore Azalea	18"	CONT	3' oc	
Ag	19	Abelia x grandiflora	Glossy Abelia	18"	CONT	3' oc	
Cs	5	Camellia sasanqua 'Alabama Beauty'	Alabama Beauty Camellia	24"	CONT	3' oc	
Lc	8	Loropetalum chinense 'Blush'	Blush Loropetalum	18"	CONT	3' oc	
Rr	16	Rosa 'Double Red Knock Out'	Double Red Knock Out Rose	18"	CONT	3' oc	
PI	31	Prunus laurocerasus 'Zabeliana'	Zabeliana Cherry Laurel	18"	CONT	3' oc	
To	18	Thuja occidentalis 'Emerald'	Emerald Arborvitae	24"	CONT		

NOTES

- PLANTS SHOWN AS EXISTING ARE TO REMAIN.
- THE EXISTING PLANTING STRIP BETWEEN THE SIDEWALK AND BACK OF CURB IS A MINIMUM OF 3.5' LONG ALL PORTIONS OF THE ST. MARY'S STREET AND JOHNSON STREET FRONTAGES.

LANDSCAPE CALCULATIONS

VEHICULAR SURFACE AREA

VEHICULAR SURFACE AREA:	9,189 SF
TREES REQUIRED:	5 (1 / 2000 SF)
TREES PROVIDED:	14

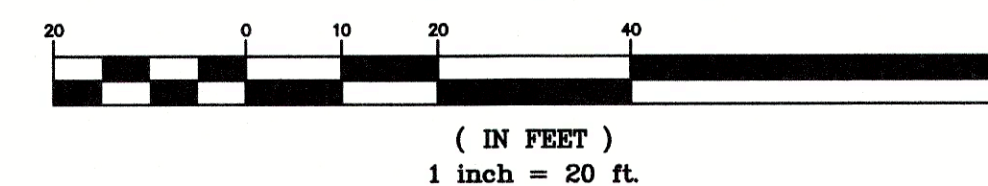
NEIGHBORHOOD TRANSITION - 52.2 LF

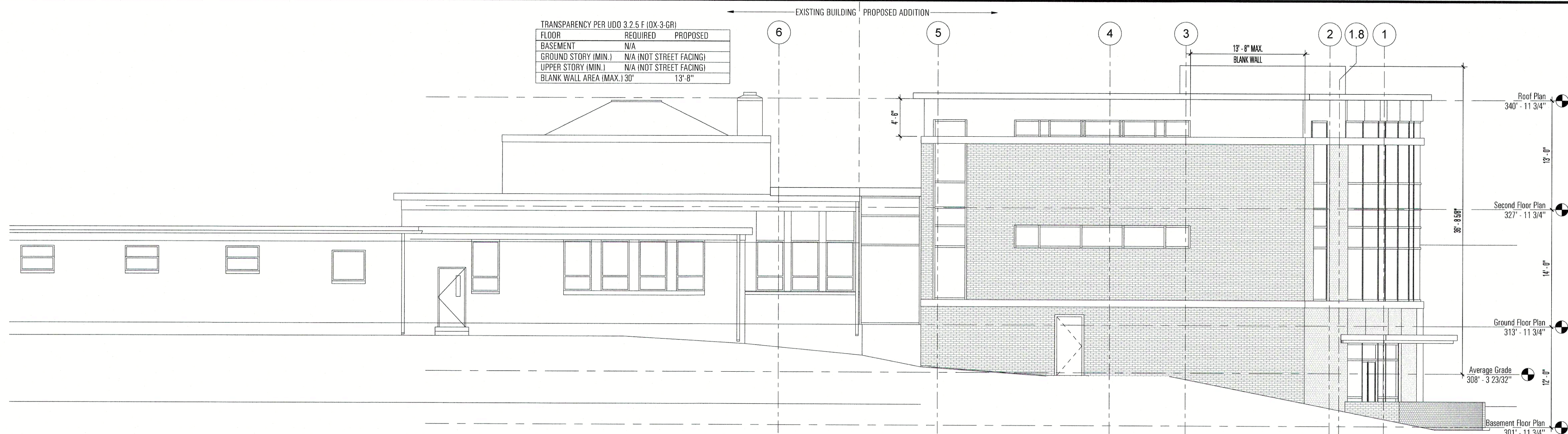
SHADE TREES REQUIRED:	2.09 (4/100 LF)
SHADE TREES PROVIDED:	2
UNDERSTORY TREES REQ'D:	1.57 (3/100 LF)
UNDERSTORY TREES PROVIDED:	2
SHRUBS REQUIRED:	20.88 (40/100 LF)
SHRUBS PROVIDED:	21

ST. MARY'S STREET STREETScape - 149 LF

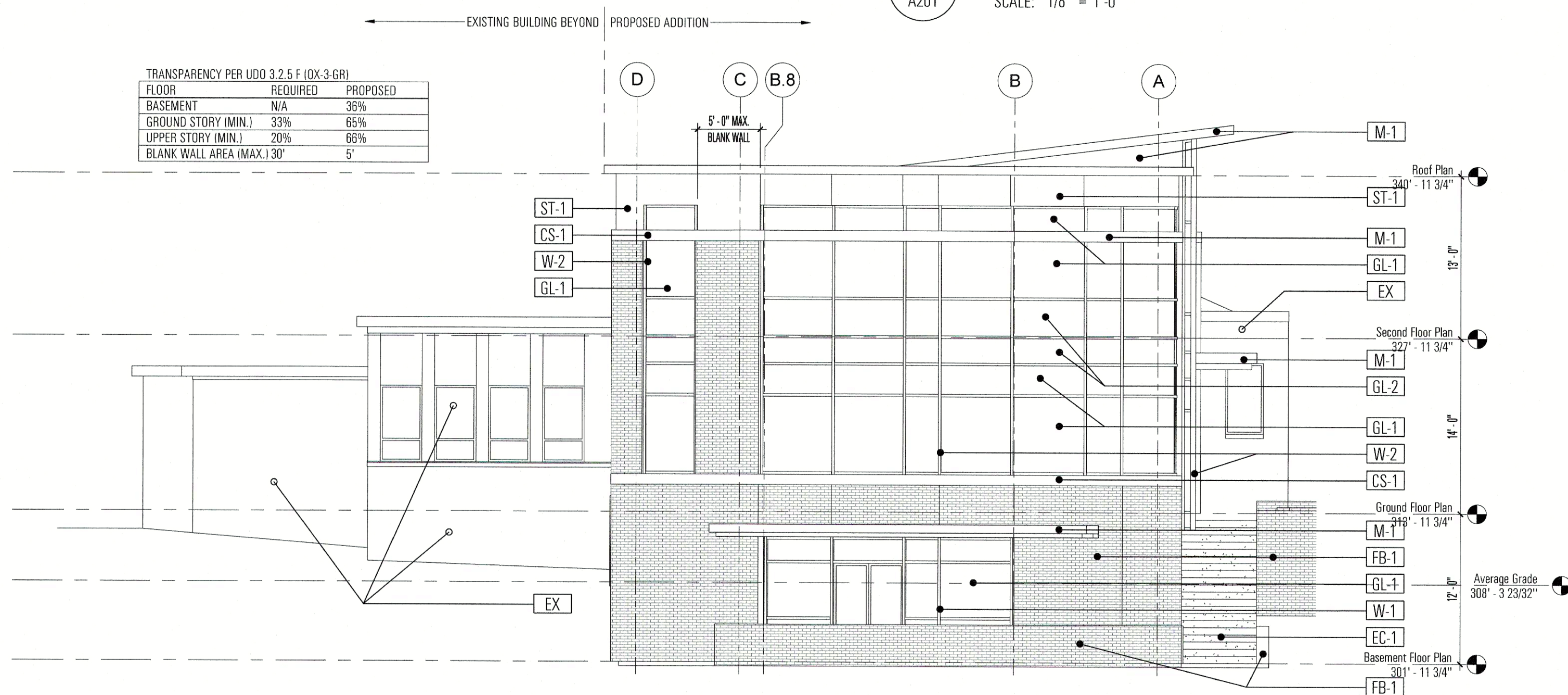
TREES REQUIRED:	3.73 SHADE TREES (40' OC)
TREES PROVIDED:	7 UNDERSTORY TREES (20' OC) (DUE TO OVERHEAD LINES)

GRAPHIC SCALE

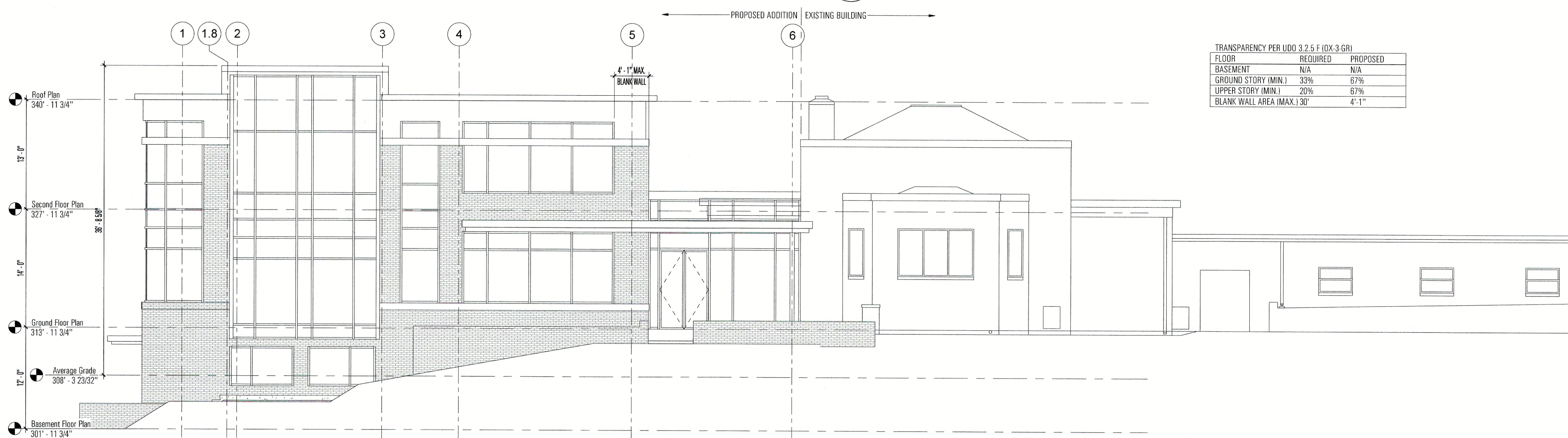




3 West Elevation
A201 SCALE: 1/8" = 1'-0"



2 South Elevation
A201 SCALE: 1/8" = 1'-0"



1 East Elevation
A201 SCALE: 1/8" = 1'-0"

Exterior Materials:

Exterior Finish

CS-1	TYPE:	CAST STONE
	MANUF:	T.B.D.
	COLOR:	COLOR AND TEXTURE TO MATCH INDIANA LIMESTONE
	LOCATION:	HORIZONTAL TRIM ELEMENTS
EC-1	TYPE:	EXPPOSED CAST-IN-PLACE CONCRETE
	MANUF:	N/A
	COLOR:	NATURAL
	LOCATION:	SITE PAVING AND STAIRS
EX	TYPE:	EXISTING BUILDING
	MANUF:	
	COLOR:	
	LOCATION:	
FB-1	TYPE:	FACE BRICK VENEER
	MANUF:	T.B.D.
	COLOR:	T.B.D.
	LOCATION:	EXTERIOR WALLS TO BELOW GRADE
GL-1	TYPE:	1" CLEAR INSULATED GLAZING
	MANUF:	VIRACON, GUARDIAN, OR PPG
	COLOR:	CLEAR W/ COATINGS TO ACHIEVE SHGC; SEE 6002 FOR REQUIREMENTS
	LOCATION:	STOREFRONT AND CURTAIN WALL WINDOWS
GL-2	TYPE:	1" CLEAR INSULATED GLAZING W/ CERAMIC SPANDREL COATING
	MANUF:	VIRACON, GUARDIAN, OR PPG
	COLOR:	MATCH GL-1 IN ALL RESPECTS WITH ADDITIONAL SPANDREL COATING
	LOCATION:	STOREFRONT AND CURTAIN WALL WINDOWS AT FLOOR TRANSITIONS
M-1	TYPE:	BRASS METAL
	MANUF:	T.B.D.
	COLOR:	T.B.D.
	LOCATION:	WALL COPING CAPS, ROOF AND CANOPY TRANSITIONS
ST-1	TYPE:	HARDCOAT STUCCO
	MANUF:	N/A
	COLOR:	T.B.D.
	LOCATION:	TOP OF BUILDING EXTERIOR WALLS
W-1	TYPE:	4-1/2" THERMALLY BROKEN STOREFRONT FRAME
	MANUF:	KAWNEER OR EQUAL
	COLOR:	KYNAR SILVER METALLIC FINISH
	LOCATION:	SINGLE STORY AND PUNCHED WINDOW OPENINGS
W-2	TYPE:	7-1/4" CURTAIN WALL FRAME
	MANUF:	KAWNEER OR EQUAL
	COLOR:	KYNAR SILVER METALLIC FINISH
	LOCATION:	MULTI-STORY WINDOW OPENINGS

Notes:

- ALL EXTERIOR GLAZING TO COMPLY WITH REQUIREMENTS OF THE CURRENT EDITION OF THE ENERGY CONSERVATION CODE. SEE BUILDING CODE SUMMARY ON G SERIES SHEETS FOR ADDITIONAL INFORMATION.
- ALL EXTERIOR WINDOW FRAMES TO BE THERMALLY BROKEN. FINISH AS INDICATED.
- WHERE APPLICABLE, A SEPARATE PERMIT SHALL BE REQUIRED FOR SIGNAGE AND AWNINGS.
- GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWING SUBMITTALS AND PHYSICAL SAMPLES FOR ALL EXTERIOR MATERIALS TO NEW CITY DESIGN GROUP FOR REVIEW AND COMMENT/APPROVAL PRIOR TO ORDERING MATERIALS.
- PROVIDE SEALANTS BETWEEN DISSIMILAR MATERIALS. MATCH COLOR TO ADJACENT WALL MATERIAL, TYP.
- PATCH/REPAIR ALL DAMAGED MATERIALS AND TRIM AS REQUIRED FOR A UNIFORM, LIKE-NEW APPEARANCE.

new
city
design group

1304 HILLSBOROUGH ST.
RALEIGH, NC 27605
919.831.1308
www.newcitydesign.com

1 June 2018

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REVISION SCHEDULE

REVISION	REVISION	REVISION
DATE	NUMBER	DESCRIPTION

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT, IN THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS SHALL NOT BE USED FOR OTHER PROJECTS OR ADDITIONS TO THIS PROJECT EXCEPT BY AGREEMENT IN WRITING BY THE ARCHITECT.

601 St. Mary's Street Addition

601 St Mary's Street
Raleigh, NC 27605

Site Plan Submittal

PROJECT NUMBER 7801

SHEET TITLE

Exterior Elevations

SHEET NUMBER

A201