



Administrative Approval Action

Case File / Name: ASR-SR-19-2019
HOME 2 SUITES RALEIGH

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2492
currentplanning@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located between Chapel Hill Road and Corporate Ridge Road at 6110 and 6114 Corporate Ridge Road. The PIN numbers identifying these lots are 0774622792 and 0774624675.

REQUEST: The applicant is proposing 65,445 square feet of gross floor area for a hotel with 4 stories on two lots to be recombined. The site is zoned Commercial Mixed Use (CX-4-PL) with a Parking Limited Frontage and is located in the Special Highway Overlay District-1 (SHOD-1).

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated August 2, 2019 by Pabst Design Group.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

☒ **SITE PERMITTING REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Site Permitting Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Site Permitting Review plans:

Engineering

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.

Stormwater

2. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

☒ **BUILDING PERMITS** - For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Site Permitting Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded, recombining the existing two lots into a single tract.



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2. Verification shall be provided that a private drainage easement exists between existing lots 3 and 4 of BM2009 PG 1170 to accommodate the drainage pipe crossing the shared property line between the two lots on the north side of those lots (shown on sheet C-4.0 of the preliminary plan as EX 24" RCP). If no private drainage easement exists in that location then one shall be recorded and a copy of the approved and recorded plat shall be provided to the City.

Engineering

3. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
4. A fee-in-lieu for 3.5-ft sidewalk width along Chapel Hill Rd where no sidewalk is being proposed shall be paid to the City of Raleigh (UDO 8.1.10). A fee-in-lieu was already paid for 2.5-ft of sidewalk width.
5. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
6. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
7. A cross access agreement between the lots identified as PINs 0774624675 and 0774626661 (shown as lots 5 and 6 on BM2009 PG1170) for the proposed driveway between these lots shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

Urban Forestry

8. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 6 street trees along Corporate Ridge Road and 17 street trees along Chapel Hill Road for a total of 23 street trees.

The following are required prior to issuance of building occupancy permit:

General

1. Final inspection of all right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review



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approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: September 19, 2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: 
Development Services Dir/Designee

Date: 09/19/2019

Staff Coordinator: **Daniel Stegall**

ADMINISTRATIVE SITE REVIEW PLAN FOR:
HOME 2 SUITES RALEIGH
RALEIGH, NORTH CAROLINA

T#589293 SR-19-19

- NOTE(s):
1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
 2. A TREE CONSERVATION AREA PER UDO SECTION 9.1.2 IS NOT REQUIRED FOR THIS SITE BECAUSE IT WAS PROVIDED ELSEWHERE WITHIN THE PARENT TRACK OF THE SUBDIVISION WHEN THE TWO SUBJECT LOTS WERE ORIGINALLY CREATED.

Administrative Site Review Application
(for UDO Districts only)

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2405 | ext 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot
Transaction Number Assigned Project Coordinator Assigned Title/Label	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: Home2Suites Raleigh

Zoning District: CX-4-PL Overlay District (if applicable): SHOD-1 Inside City Limits? ☒ Yes ☐ No

Proposed Use: Hotel

Property Address(es): 6110 and 6114 Corporate Ridge Road Major Street Location: Chapel Hill Road (54)

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 0774622792	P.I.N. 0774624675	P.I.N.	P.I.N.
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What is your project type?

<input type="checkbox"/> Mixed Residential <input type="checkbox"/> Duplex <input type="checkbox"/> Other: if other, please describe:	<input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> Telecommunication Tower	<input type="checkbox"/> Elderly Facilities <input type="checkbox"/> School <input type="checkbox"/> Religious Institutions	<input type="checkbox"/> Hospitals <input type="checkbox"/> Shopping Center <input type="checkbox"/> Residential Condo	<input type="checkbox"/> Hotels/Hotels <input type="checkbox"/> Banks <input type="checkbox"/> Retail	<input type="checkbox"/> Office <input type="checkbox"/> Industrial Building <input type="checkbox"/> Cottage Court
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WORK SCOPE Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
New hotel: 4 story w/ w-110 rooms. Associated parking and utilities. Tie to existing regional storm pond for stormwater.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE
Design adjustment - block perimeter

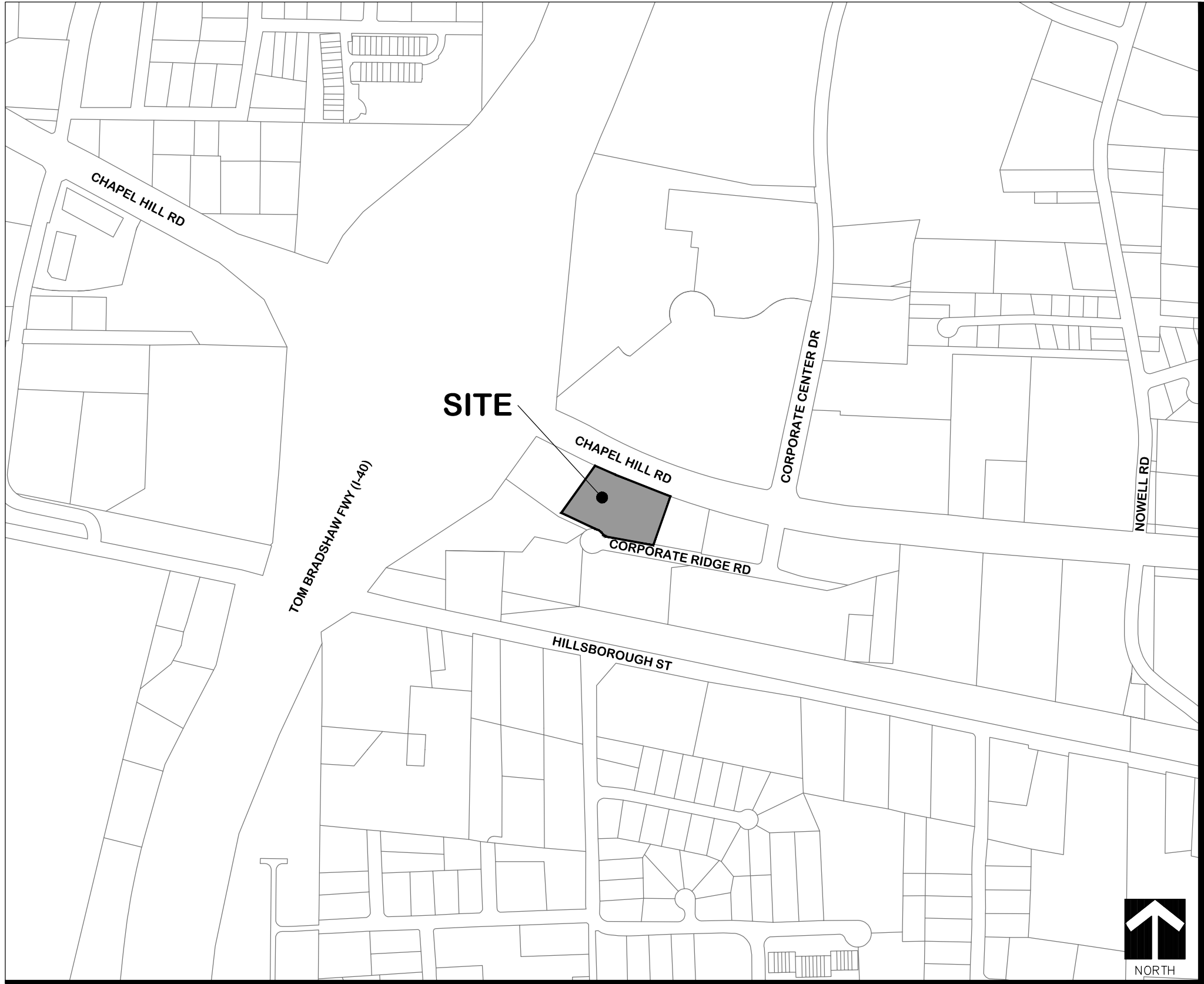
CLIENT/DEVELOPER/OWNER

Company: Oaks Hospitality, LLC	Name (s): Ajay Mulchandani
Address: 840 Handsworth Lane Unit 01-306, Raleigh, NC 27607	
Phone: 919.802.1370	Email: ajaycenterpointe@yahoo.com
	Fax: n/a

CONSULTANT (Contact Person for Plans)

Company: Pabst Design Group, PA	Name (s): Jim Clark, PE
Address: 404B Glenwood Avenue, Raleigh, NC 27603	
Phone: 919.848.4399	Email: jclark@pabstdesign.com
	Fax: n/a

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VICINITY MAP
1" = 500'

INDEX TO PLANS	
C-0.0	COVER SHEET
	BM 2009 PG 1170-71 (CURRENT PLAT)
C-1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C-2.0	SITE LAYOUT PLAN
C-2.1	TRASH TRUCK TEMPLATE INGRESS/EGRESS
C-2.2	FIRE TRUCK TEMPLATE INGRESS/EGRESS
C-2.3	ADA ACCESSIBILITY PLAN
C-3.0	UTILITY PLAN
C-4.0	GRADING & STORM DRAINAGE PLAN
C-4.1	BUILDING HEIGHT COMPLIANCE
D-1.0	SITE DETAIL SHEET
D-1.1	SITE DETAIL SHEET
D-2.0	UTILITY DETAIL SHEET
D-2.1	UTILITY DETAIL SHEET
D-3.0	STORM DRAINAGE DETAIL SHEET
L-1.0	LANDSCAPE PLAN
L-1.1	LANDSCAPE DETAIL SHEET
19-0137A	LED 205 SHOEBOX
A100a	STORAGE & TRASH ENCLOSURE - PLAN, SECTIONS & DETAILS
A101b-A105	PRELIMINARY FIRST FLOOR PLAN
A200-A201	PRELIMINARY EXTERIOR ELEVATIONS
A901	WINDOW ELEVATIONS

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information		Building Information	
Zoning District(s): CX-4-PL		Proposed building use(s): Hotel	
If more than one district, provide the acreage of each: n/a		Existing Building(s) sq. ft. gross: n/a	
Overlay District: SHOD-1		Proposed Building(s) sq. ft. gross: 65,445	
Total Site Acres: Inside City Limits: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 2.29 acres		Total sq. ft. gross (existing & proposed): 65,445	
Off street parking: Required 110 Provided 110		Proposed height of building(s): +/- 60'	
COA (Certificate of Appropriateness) case #: n/a		# of stories: 4	
BOA (Board of Adjustment) case #: A- n/a		Ceiling height of 3rd Floor: 8'10" (9'6" in areas)	
CUD (Conditional Use District) case #: Z- n/a			
Stormwater Information			
Existing Impervious Surface: 0.049/2135 acres/square feet		Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Proposed Impervious Surface: 1.69/73766 acres/square feet		If Yes, please provide:	
Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Alluvial Soils: n/a Flood Study: n/a	
		FEMA Map Panel #: 3720077400J	
FOR RESIDENTIAL DEVELOPMENTS			
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more		
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2-2-7		
3. Total Number of Hotel Units	7. Open Space (only) or Amenity		
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No		
SIGNATURE BLOCK (Applicable to all developments)			
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.			
I hereby designate, Pabst Design Group, PA, to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.			
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.			
Signed: <u>Ajay Mulchandani</u>		Date: <u>3/7/19</u>	
Printed Name: <u>Ajay Mulchandani</u>			
Signed: _____		Date: _____	
Printed Name: _____			

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

OWNER:
OAKS HOSPITALITY, LLC
840 HANDSWORTH LANE UNIT 01-306
RALEIGH, NC 27607
TEL: 919.802.1370
E-MAIL: ajaycenterpointe@yahoo.com

CIVIL ENGINEER:
PABST DESIGN GROUP, PA
404-B GLENWOOD AVENUE
RALEIGH, NC 27603
TEL: 919.848.4399
FAX: 919.848.4395
E-MAIL: jclark@pabstdesign.com

ARCHITECT:
R4 ARCHITECTURE
2000 SAM RITTENBERG BOULEVARD
CHARLESTON, SC 29407
TEL: 843.531.6848
E-MAIL: kwoudstra@r4architecture.com

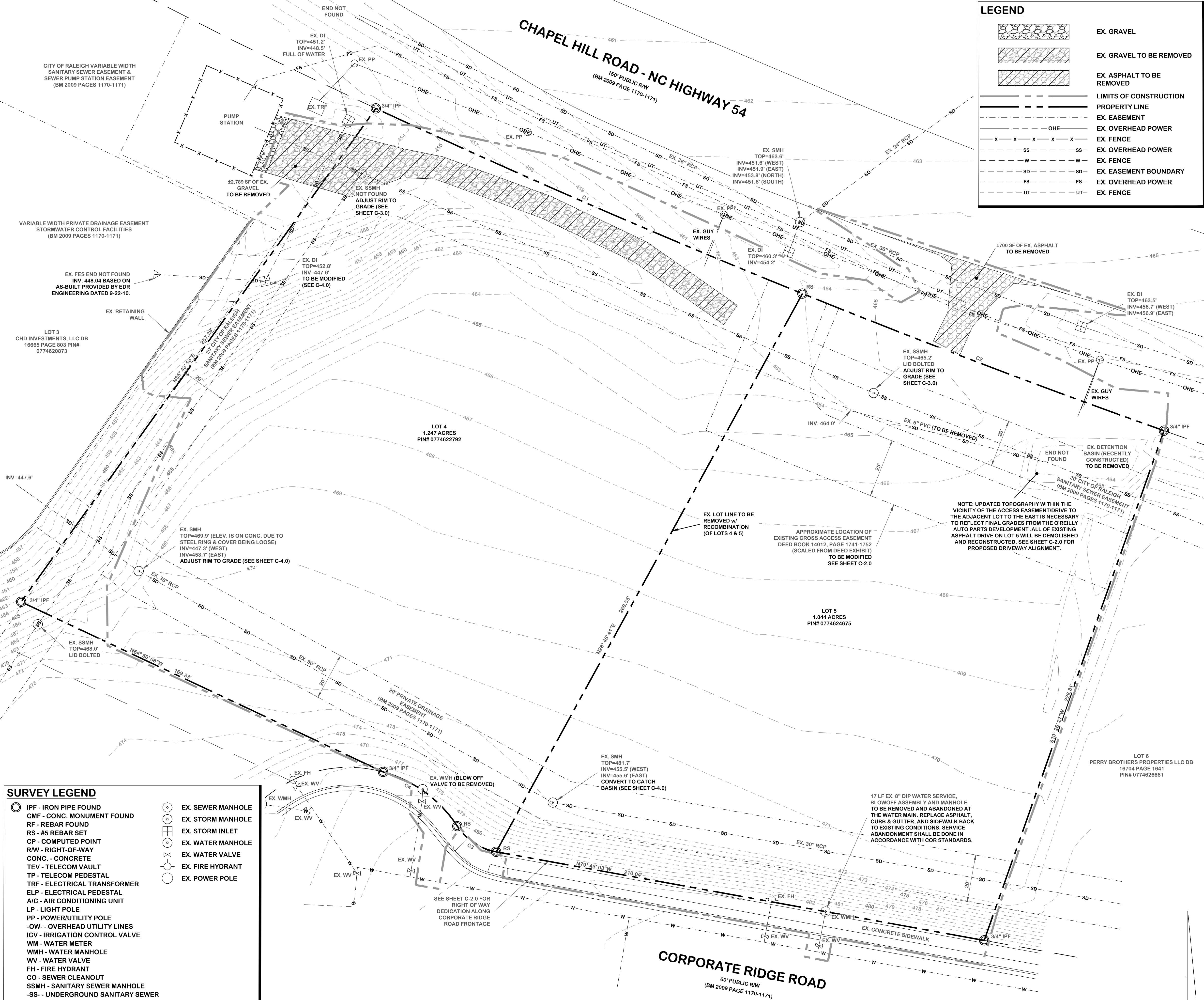
SURVEYOR:
CDK GEOMATICS, PC
1340 SE MAYNARD ROAD
CARY, NC 27511
TEL: 919.535.3225
E-MAIL: kpiver@cdk-geo.com

MUNICIPAL CONTACT LIST

PLANNING AND ZONING CITY OF RALEIGH PLANNING DEPARTMENT JUSTIN RAMETTA, PLANNER II ONE EXCHANGE PLAZA, 3RD FLOOR RALEIGH, NC 27601 919.996.2665	WATER AND SEWER CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT BRIAN CASEY ONE EXCHANGE PLAZA RALEIGH, NC 27601 919.996.2207
STREETS AND HIGHWAYS NCDOT DIVISION 5, DISTRICT 1 M. SCOTT WHEELER, PE 4009 DISTRICT DRIVE RALEIGH, NC 27607 919.733.3213 919.715.5778 FAX	ELECTRIC SERVICE DUKE ENERGY PROGRESS KEITH SANDERS 4890 SIMMS CREEK RD RALEIGH, NC 27616 919.431.4706 ROGER TURNER 9920 FAYETTEVILLE RD RALEIGH, NC 27603 919.557.2626
BUILDING INSPECTIONS CITY OF RALEIGH BUILDING & SAFETY DIVISION CURT WILLIS ONE EXCHANGE PLAZA, STE. 504 RALEIGH, NC 27601 919.516.2723	NATURAL GAS SERVICES PSNC ENERGY MATTHEW KOEHL 3516 SPRING FOREST RD RALEIGH, NC 27616 919.501.7668
EROSION CONTROL CITY OF RALEIGH STORMWATER ADMINISTRATOR BEN BROWN, PE ONE EXCHANGE PLAZA RALEIGH, NC 27601 919.996-3515	

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

F:\Public\10-Projects\300-399\371-17 Corporate Center Lots 4 & 5 (CHD Investments, Inc.)\50-Drawings\54-Design\C-1.0.dwg, May 09, 2019, 2:47pm, BY:robinnert



SURVEY LEGEND

- IPF - IRON PIPE FOUND
- CMF - CONC. MONUMENT FOUND
- RF - REBAR FOUND
- RS - #5 REBAR SET
- CP - COMPUTED POINT
- R/W - RIGHT-OF-WAY
- CONC. - CONCRETE
- TEV - TELECOM VAULT
- TP - TELECOM PEDESTAL
- TRF - ELECTRICAL TRANSFORMER
- ELP - ELECTRICAL PEDESTAL
- A/C - AIR CONDITIONING UNIT
- LP - LIGHT POLE
- PP - POWER/UTILITY POLE
- OW - OVERHEAD UTILITY LINES
- ICV - IRRIGATION CONTROL VALVE
- WM - WATER METER
- WMH - WATER MANHOLE
- WV - WATER VALVE
- FH - FIRE HYDRANT
- CO - SEWER CLEANOUT
- SSMH - SANITARY SEWER MANHOLE
- SS - UNDERGROUND SANITARY SEWER
- PIPE DI - STORM DROP INLET
- CB - STORM CATCH BASIN
- RCP - REINFORCED CONC. PIPE
- CPP - CORRUGATED PLASTIC PIPE
- SD - UNDERGROUND STORM PIPE
- SW - SIDEWALK
- FO - FIBER OPTIC
- FM - SEWER FORCE MAIN
- EX. SEWER MANHOLE
- EX. STORM MANHOLE
- EX. STORM INLET
- EX. WATER MANHOLE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. POWER POLE

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	196.93'	3819.72'	2°57'14"	S66° 32' 31"E	196.91'
C2	163.76'	3819.72'	2°27'23"	S69° 14' 50"E	163.75'
C3	20.24'	25.00'	46°23'11"	N56° 33' 36"W	19.69'
C4	39.85'	55.00'	41°30'32"	N53° 54' 07"W	38.98'

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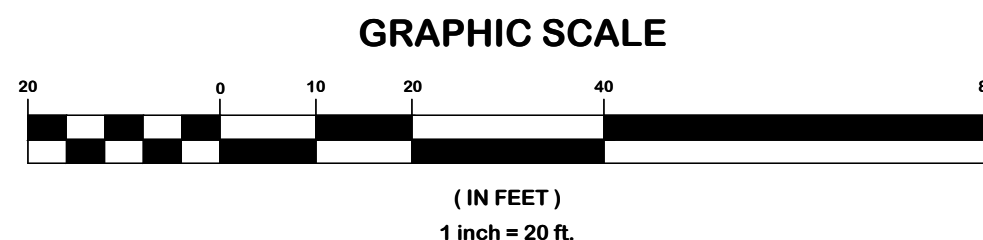
LEGEND	
	EX. GRAVEL
	EX. GRAVEL TO BE REMOVED
	EX. ASPHALT TO BE REMOVED
	LIMITS OF CONSTRUCTION
	EX. EASEMENT
	EX. OVERHEAD POWER
	EX. FENCE
	EX. OVERHEAD POWER
	EX. FENCE
	EX. EASEMENT BOUNDARY
	EX. OVERHEAD POWER
	EX. FENCE

DEMOLITION NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL LOCAL AND STATE PERMITS REQUIRED FOR DEMOLITION WORK.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND/OR ENGINEER FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT, AND/OR EXISTING FACILITIES IN THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE AND DO NOT INCLUDE MECHANICAL, ELECTRICAL AND MISCELLANEOUS STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THE DEMOLITION WORK FOR THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- ALL EXISTING ABOVE AND BELOW GROUND STRUCTURES WITHIN THE LIMITS OF NEW CONSTRUCTION SHALL BE RAZED UNLESS NOTED OTHERWISE WITHIN THIS CONSTRUCTION SET, ARCHITECTURAL PLANS AND/OR PROJECT SPECIFICATIONS. THIS INCLUDES FOUNDATION SLABS, WALLS, AND FOOTINGS.
- ALL DEMOLITION WASTE AND CONSTRUCTION DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF IN A STATE APPROVED WASTE SITE AND IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
- ALL UTILITY REMOVAL, RELOCATION, CUTTING, CAPPING AND/OR ABANDONMENT SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- THE BURNING OF CLEARED MATERIAL AND DEBRIS SHALL NOT BE ALLOWED UNLESS CONTRACTOR GETS WRITTEN AUTHORIZATION FROM THE LOCAL AUTHORITIES.
- MUNICIPAL AND UTILITY CONTACTS ARE LISTED ON COVER SHEET C-0.0.
- EROSION AND SEDIMENTATION CONTROL MEASURES AROUND AREAS OF DEMOLITION SHALL BE INSTALLED PRIOR TO INITIATION OF DEMOLITION ACTIVITIES.
- ASBESTOS OR HAZARDOUS MATERIALS, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIALS CONTRACTOR. CONTRACTOR SHALL NOTIFY OWNER IMMEDIATELY IF HAZARDOUS MATERIALS ARE ENCOUNTERED.
- CONTRACTOR SHALL PROTECT ALL CORNER PINS, MONUMENTS, PROPERTY CORNERS, AND BENCHMARKS DURING DEMOLITION ACTIVITIES. IF DISTURBED, CONTRACTOR SHALL HAVE DISTURBED ITEMS RESET BY A LICENSED SURVEYOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE, FEDERAL, AND OSHA REGULATIONS WHEN OPERATING DEMOLITION EQUIPMENT AROUND UTILITIES.
- CONTRACTOR SHALL PROTECT AT ALL TIMES ADJACENT STRUCTURES AND ITEMS FROM DAMAGE DUE TO DEMOLITION ACTIVITIES.
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE AND DILIGENCE" SO AS TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE ROUTING OF WHICH COULD NOT BE PREDETERMINED UNTIL DEMOLITION WAS STARTED. ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE OWNER, ENGINEER AND ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSITION.
- ALL UTILITIES OR STRUCTURES NOT DESIGNATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
- EXISTING PAVEMENT, CURB AND GUTTER, SIDEWALK, ETC. NOT INDICATED FOR REMOVAL, WHICH IS DAMAGED DURING DEMOLITION/CONSTRUCTION, SHALL BE REPAIRED OR REPLACED TO MATCH ORIGINAL CONDITION.
- SALVAGEABLE FILL MATERIALS FROM SITE DEMOLITION DETERMINED TO BE ACCEPTABLE BY AN INDEPENDENT SOILS TESTING LABORATORY SHALL BE UTILIZED FOR FILL MATERIAL WHERE APPROPRIATE.
- ANY NOTE, OR REFERENCE TO ANY ELEMENT, WHICH DOES NOT SPECIFY ACTION BY THE CONTRACTOR SHALL BE CONSTRUED AS INFORMATION ONLY.
- ALL PIPE INSTALLATION, WHEN REQUIRED BY PIPE DEPTHS AND EXCAVATION, SHALL BE PERFORMED WITH THE USE OF TRENCH BOXES. ALL EXCAVATIONS, UTILITY AND GRADING WORK, SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL SAFETY AND SECURITY FENCING, BARRIERS, PROTECTION MATERIAL AND METHODS AS REQUIRED TO COMPLETE ANY OFF SITE WORK IN A SAFE AND TIMELY MANNER.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- UNLESS OTHERWISE NOTED, ALL EXISTING VEGETATION TO REMAIN AND TO BE UNDISTURBED FOR THE DURATION OF CONSTRUCTION. IF DAMAGES OCCUR TO EXISTING VEGETATION, PLANTS SHALL BE REPLACED IN KIND.
- ANY EXISTING PRIVATE SERVICE NOT TO BE USED (LABELED TO BE REMOVED) SHALL BE ABANDONED PER CORPUD STANDARDS (PU HANDBOOK, PAGE 67 AND 125).
- ANY EXISTING WELLS AND/OR SEPTIC SYSTEMS SHALL BE ABANDONED IN ACCORDANCE WITH WAKE COUNTY HEALTH DEPARTMENT STANDARDS.

SURVEY UTILITY NOTES:

THE UNDERGROUND UTILITIES SHOWN HEREON, HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION (PAINT MARKINGS ON THE GROUND BY OTHERS). THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT EXCAVATED DOWN TO THE UNDERGROUND UTILITIES AND PHYSICALLY LOCATED THEM.



PAST DESIGN GROUP, PA
Engineering | Consulting
404-S Glenwood Avenue, Raleigh, North Carolina 27603
Phone: 919 846 4399 | Fax: 919 846 4395 | NC LICENSE NUMBER: C-3911

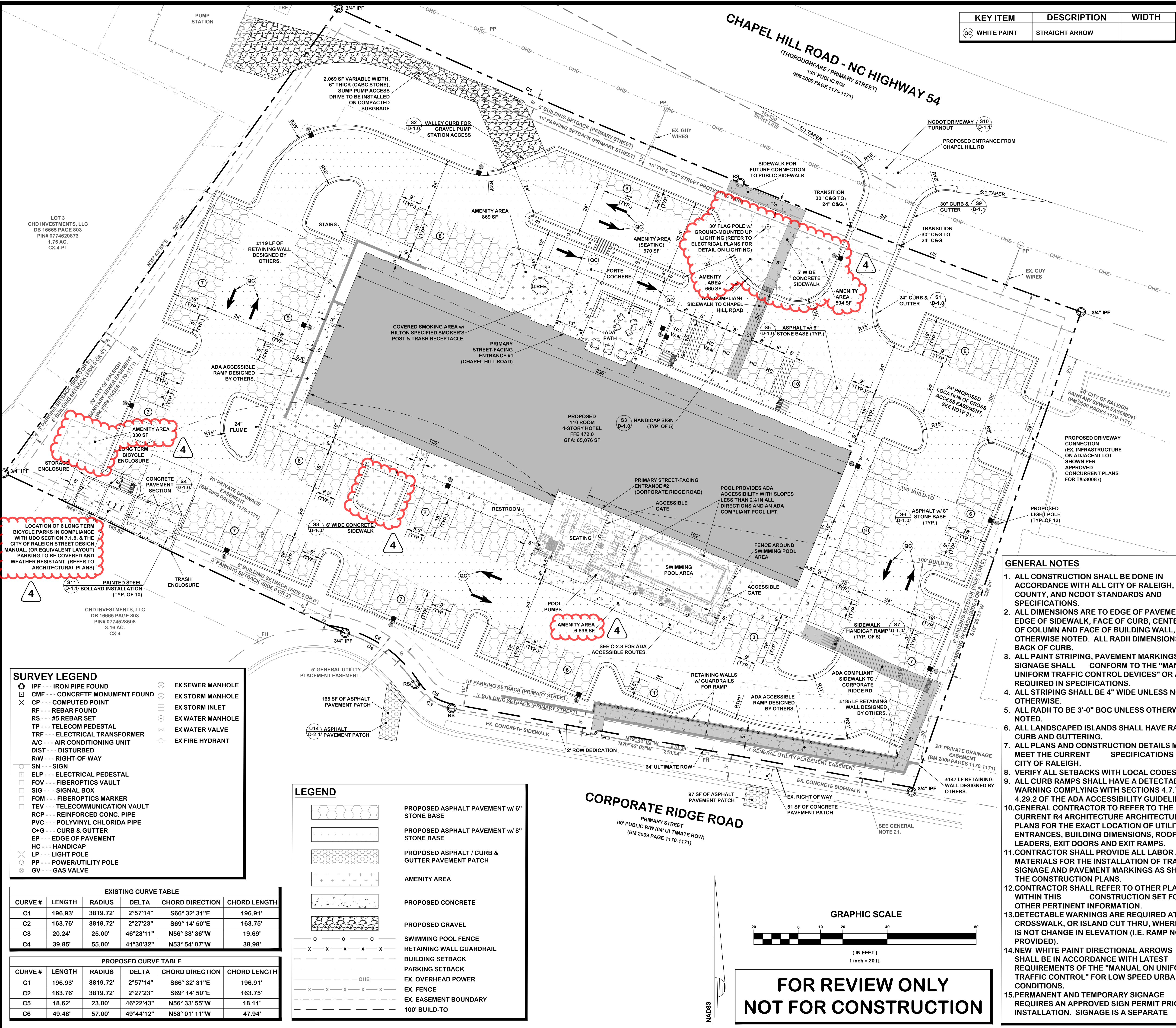
PREPARED FOR:
CHD INVESTMENTS, LLC
840 HANSMORTH LANE, UNIT 01-308
RALEIGH, NORTH CAROLINA 27607
DATE: 3.12.2019
PROJECT ENGINEER:
JRC
PROJECT CAD DESIGNER:
RJM
PROJECT SURVEYOR:
CHD INVESTMENTS, LLC

HOME 2 SUITES RALEIGH
RALEIGH, WAKE COUNTY, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW PLAN
EXISTING CONDITIONS & DEMOLITION PLAN

SCALE:
DATE: 5/10/19
REVISION:
REVISED PER COR COMMENTS

DRAWING SHEET
C-1.0
PROJECT NUMBER
371-17

F:\Public\10-Projects\300-399\371-17 Corporate Center Lots 4 & 5 (CHD Investments, Inc.)\50-Drawings\54-Design-C-2.0.dwg Jul 31, 2019 - 10:37am BY: jacobmiller



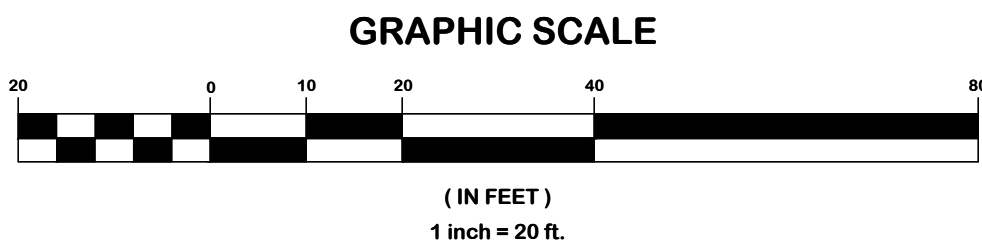
SURVEY LEGEND					
IPF	--- IRON PIPE FOUND	EX	SEWER MANHOLE		
CMF	--- CONCRETE MONUMENT FOUND	EX	STORM MANHOLE		
CP	--- COMPUTED POINT	EX	STORM INLET		
RF	--- REBAR FOUND	EX	WATER MANHOLE		
RS	--- #5 REBAR SET	EX	WATER VALVE		
TP	--- TELECOM PEDESTAL	EX	FIRE HYDRANT		
TRF	--- ELECTRICAL TRANSFORMER				
AIG	--- AIR CONDITIONING UNIT				
DIST	--- DISTURBED				
R/W	--- RIGHT-OF-WAY				
SN	--- SIGN				
ELP	--- ELECTRICAL PEDESTAL				
FOV	--- FIBEROPTICS VAULT				
SIG	--- SIGNAL BOX				
FOM	--- FIBEROPTICS MARKER				
TEV	--- TELECOMMUNICATION VAULT				
RCP	--- REINFORCED CONC. PIPE				
PVC	--- POLYVINYL CHLORIDE PIPE				
C+G	--- CURB & GUTTER				
EP	--- EDGE OF PAVEMENT				
HC	--- HANDICAP				
LP	--- LIGHT POLE				
PP	--- POWER/UTILITY POLE				
GV	--- GAS VALVE				

EXISTING CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	196.93'	3819.72'	2°57'14"	S66° 32' 31"E	196.91'
C2	163.76'	3819.72'	2°27'23"	S69° 14' 50"E	163.75'
C3	20.24'	25.00'	46°23'11"	N56° 33' 36"W	19.69'
C4	39.85'	55.00'	41°30'32"	N53° 54' 07"W	38.98'

PROPOSED CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	196.93'	3819.72'	2°57'14"	S66° 32' 31"E	196.91'
C2	163.76'	3819.72'	2°27'23"	S69° 14' 50"E	163.75'
C5	18.62'	23.00'	46°22'43"	N56° 33' 55"W	18.11'
C6	49.48'	57.00'	49°44'12"	N58° 01' 11"W	47.94'

LEGEND	
	PROPOSED ASPHALT PAVEMENT w/ 6\"/>
	PROPOSED ASPHALT PAVEMENT w/ 8\"/>
	PROPOSED ASPHALT / CURB & GUTTER PAVEMENT PATCH
	AMENITY AREA
	PROPOSED CONCRETE
	SWIMMING POOL FENCE
	RETAINING WALL GUARDRAIL
	BUILDING SETBACK
	PARKING SETBACK
	EX. OVERHEAD POWER
	EX. FENCE
	EX. EASEMENT BOUNDARY
	100' BUILD-TO

CORPORATE RIDGE ROAD
60' PUBLIC R/W (64' ULTIMATE ROW)
(BM 2009 PAGE 1170-1171)



FOR REVIEW ONLY
NOT FOR CONSTRUCTION

KEY ITEM	DESCRIPTION	WIDTH
QC	WHITE PAINT	STRAIGHT ARROW

SITE DATA TABLE	
SITE ADDRESS:	6114 & 6110 CORPORATE RIDGE ROAD RALEIGH, NC 27607
APPLICANT/OWNER:	OAKS HOSPITALITY, LLC 840 HANDSWORTH LANE UNIT 01-306 RALEIGH, NC 27607 PHONE: 919.802.1370 EMAIL: ajaycenterpointe@yahoo.com
ENGINEER:	PABST DESIGN GROUP, PA 404-B GLENWOOD AVENUE RALEIGH, NC 27603 919-848-4399
PIN(s):	0774-62-2792; -4675
EXISTING ZONING:	COMMERCIAL MIXED USE (CX-4-PL)
EXISTING LAND USE:	VACANT
PROPOSED LAND USE:	HOTEL, MOTEL, INN
EXISTING LOT AREA:	1.25 & 1.04 (DEED) w/OUT ROW DEDICATION
PROPOSED LOT AREA:	2.278 ACRES (AFTER RIGHT OF WAY DEDICATION)
OVERLAY DISTRICT:	SPECIAL HIGHWAY OVERLAY DISTRICT (SHOD-1)
PROPOSED BLDG. TYPE:	GENERAL BUILDING
LOT DIMENSIONS:	AREA (MIN): N/A AREA (MAX): N/A WIDTH (MIN): N/A
OUTDOOR AMENITIES:	REQUIRED: +/- 9,923 SF (10% SITE) PROVIDED: +/- 10,019 SF (10.10% SITE)
BUILDING/STRUCTURE SETBACKS (FEET):	PRIMARY (MIN.): 5 SIDE STREET (MIN.): 5 SIDE LOT LINE (MIN.): 0 OR 6 REAR LOT LINE (MIN.): 0 OR 6 ALLEY (MIN.): 5
PARKING SETBACKS (FEET):	PRIMARY (MIN.): 10 SIDE STREET (MIN.): 10 SIDE LOT LINE (MIN.): 0 OR 3 REAR LOT LINE (MIN.): 0 OR 3
HEIGHT LIMITATIONS:	SHOD-1 OVERLAY: 5 STORY AND 75' MAX CX-4-PL LIMITS TO: 4 STORIES / 62' MAX
OVERALL TOTAL GROSS FLOOR AREA:	65,076 SF
FIRST FLOOR ELEV. (MIN.):	AVE. GRADE ON CHAPEL HILL RD = +4.463' PROPOSED FINISHED FLOOR ELEVATION = 472.0'
BUILD-TO STANDARD:	BOTH STREETS (MIN/MAX): 0/100' (50% REQ'D) HWY 54: 361' FRONTAGE / 181' REQ. HWY 54: BLDG IN BUILD-TO = 236 LF (65.4%) CORP. RIDGE: 278' FRONTAGE / 139' REQ. CORP. RIDGE: BLDG IN BUILD-TO = 222 LF (79.9%)
REQUIRED PARKING:	1 PER ROOM; 110 ROOMS = 110 SPACES
PROVIDED PARKING:	110 SPACES (5 ACCESSIBLE INCLUDING 2 VAN)
REQUIRED BICYCLE PARKING:	1 PER 20 ROOMS; 110 ROOMS = 6 LONG TERM SPACES
PROVIDED BICYCLE PARKING:	6 LONG TERM SPACES TO BE LOCATED INSIDE STORAGE AND TRASH ENCLOSURE, SEE ARCHITECTURAL PLANS.
RIVER BASIN:	NEUSE RIVER
WATERSHED:	CRABBTREE CREEK
WATERSUPPLY WATERSHED:	NONE
IMPERVIOUS AREA:	EXISTING: 36,355 SF (LOT 4) + 34,845 SF (LOT 5) EXISTING TOTAL = 71,200 SF REVISED TOTAL = 74,200 SF (3,000 FROM LOT 2)
ALLOWABLE (REVISED BY THIS APPROVAL):	
IMPERVIOUS AREA PROPOSED:	+74,020 SF

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH, WAKE COUNTY, AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, EDGE OF SIDEWALK, FACE OF CURB, CENTERLINE OF COLUMN AND FACE OF BUILDING WALL, UNLESS OTHERWISE NOTED. ALL RADI DIMENSIONS TO BACK OF CURB.
- ALL PAINT STRIPING, PAVEMENT MARKINGS, AND SIGNAGE SHALL CONFORM TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" OR AS REQUIRED IN SPECIFICATIONS.
- ALL STRIPING SHALL BE 4" WIDE UNLESS NOTED OTHERWISE.
- ALL RADI TO BE 3'-0" BOC UNLESS OTHERWISE NOTED.
- ALL LANDSCAPED ISLANDS SHALL HAVE RAISED CURB AND GUTTERING.
- ALL PLANS AND CONSTRUCTION DETAILS MUST MEET THE CURRENT SPECIFICATIONS OF THE CITY OF RALEIGH.
- VERIFY ALL SETBACKS WITH LOCAL CODES.
- ALL CURB RAMPS SHALL HAVE A DETECTABLE WARNING COMPLYING WITH SECTIONS 4.7.7 AND 4.29.2 OF THE ADA ACCESSIBILITY GUIDELINES.
- GENERAL CONTRACTOR TO REFER TO THE MOST CURRENT R4 ARCHITECTURE ARCHITECTURAL PLANS FOR THE EXACT LOCATION OF UTILITY ENTRANCES, BUILDING DIMENSIONS, ROOF LEADERS, EXIT DOORS AND EXIT RAMPS.
- CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS FOR THE INSTALLATION OF TRAFFIC SIGNAGE AND PAVEMENT MARKINGS AS SHOWN ON THE CONSTRUCTION PLANS.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- DETECTABLE WARNINGS ARE REQUIRED AT ANY CROSSWALK, OR ISLAND CUT THRU, WHERE THERE IS NOT CHANGE IN ELEVATION (I.E. RAMP NOT PROVIDED).
- NEW WHITE PAINT DIRECTIONAL ARROWS SHALL BE IN ACCORDANCE WITH LATEST REQUIREMENTS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL" FOR LOW SPEED URBAN CONDITIONS.
- PERMANENT AND TEMPORARY SIGNAGE REQUIRES AN APPROVED SIGN PERMIT PRIOR TO INSTALLATION. SIGNAGE IS A SEPARATE

- SUBMITTAL, REVIEW, AND APPROVAL PROCESS BY THE PLANNING DEPARTMENT.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING. 1-800-632-4949.
 - ALL ROOF DRAINS SHALL BE DIRECTED TO STORM DRAIN SYSTEM.
 - ALL PROPERTY LINES, TOPOGRAPHY, AND ROW EXTENTS ARE PER SURVEY PERFORMED BY CDK GEOMATICS.
 - COORDINATES ON THIS DRAWING ARE IN STATE PLANE, NORTH CAROLINA, NAD83 FEET.
 - OUTDOOR AMENITY SPACE(S) MUST BE ACCESSIBLE.
 - FEE IN LIEU REQUIRED FOR 1' SIDEWALK ALONG CORPORATE RIDGE ROAD.
 - FEE IN LIEU REQUIRED FOR TRANSPORTATION FACILITIES FOR CHAPEL HILL ROAD.
 - 2' RIGHT OF WAY DEDICATION FOR CORPORATE RIDGE ROAD SHOWN HEREON.
 - EXISTING IMPERVIOUS SURFACE LIMIT OF 71,200 SF FOR LOTS 4&5 COMBINED IS MODIFIED BY THIS SITE PLAN. SEE SHEET C-4.0 FOR REVISED ALLOTMENTS FOR EACH PROPERTY IN THE SUBDIVISION. LOTS 4 & 5 ALLOTMENT INCREASED BY 3,000 SF (74,200 SF ALLOWED).
 - DESIGN ADJUSTMENT REQUIRED FOR BLOCK PERIMETER NOT BEING MET AND FOR ELIMINATION OF THE 5' GENERAL UTILITY EASEMENT ALONG THE HWY 54 FRONTAGE.
 - RETAINING WALLS OVER 4' IN HEIGHT REQUIRE DESIGN BY LICENSED STRUCTURAL ENGINEER AND A CITY OF RALEIGH BUILDING PERMIT.
 - TREE CONSERVATION COVERED BY ORIGINAL SUBDIVISION AND STORMWATER CONTROL PROVIDED BY REGIONAL POND.
 - STREET TREES FOR CHAPEL HILL ROAD FRONTAGE ARE ALLOWED TO BE WITHIN THE NCDOT RIGHT OF WAY, BUT MUST BE PLANTED BEHIND THE ROADSIDE DRAINAGE DITCH. SEE SHEET L-1.0 FOR PLANTINGS.
 - A UDO-COMPLIANT SITE LIGHTING DESIGN WILL BE REQUIRED AT CONCURRENT REVIEW.
 - BOTH CORPORATE RIDGE ROAD AND CHAPEL HILL ROAD ARE CONSIDERED PRIMARY ROADS.
 - CROSS ACCESS MUST BE RECORDED FOR PUMP STATION ACCESS THROUGH THE SITE FROM NC 54. EXISTING CROSS ACCESS FOR THE PARCEL TO THE EAST SHALL BE MODIFIED/RECORDED AS NEEDED FOR FINAL SITE LAYOUT.

HOME 2 SUITES RALEIGH

RALEIGH, WAKE COUNTY, NORTH CAROLINA

ADMINISTRATIVE SITE REVIEW PLAN

SITE LAYOUT PLAN

REVISION

NO.	REVISION	DATE
1	REVISED PER COR COMMENTS	6/16/19
2	REVISED PER COR COMMENTS	6/24/19
3	REVISED PER COR COMMENTS	6/24/19
4	REVISED PER COR COMMENTS	8/2/19

DRAWING SHEET

C-2.0

PROJECT NUMBER

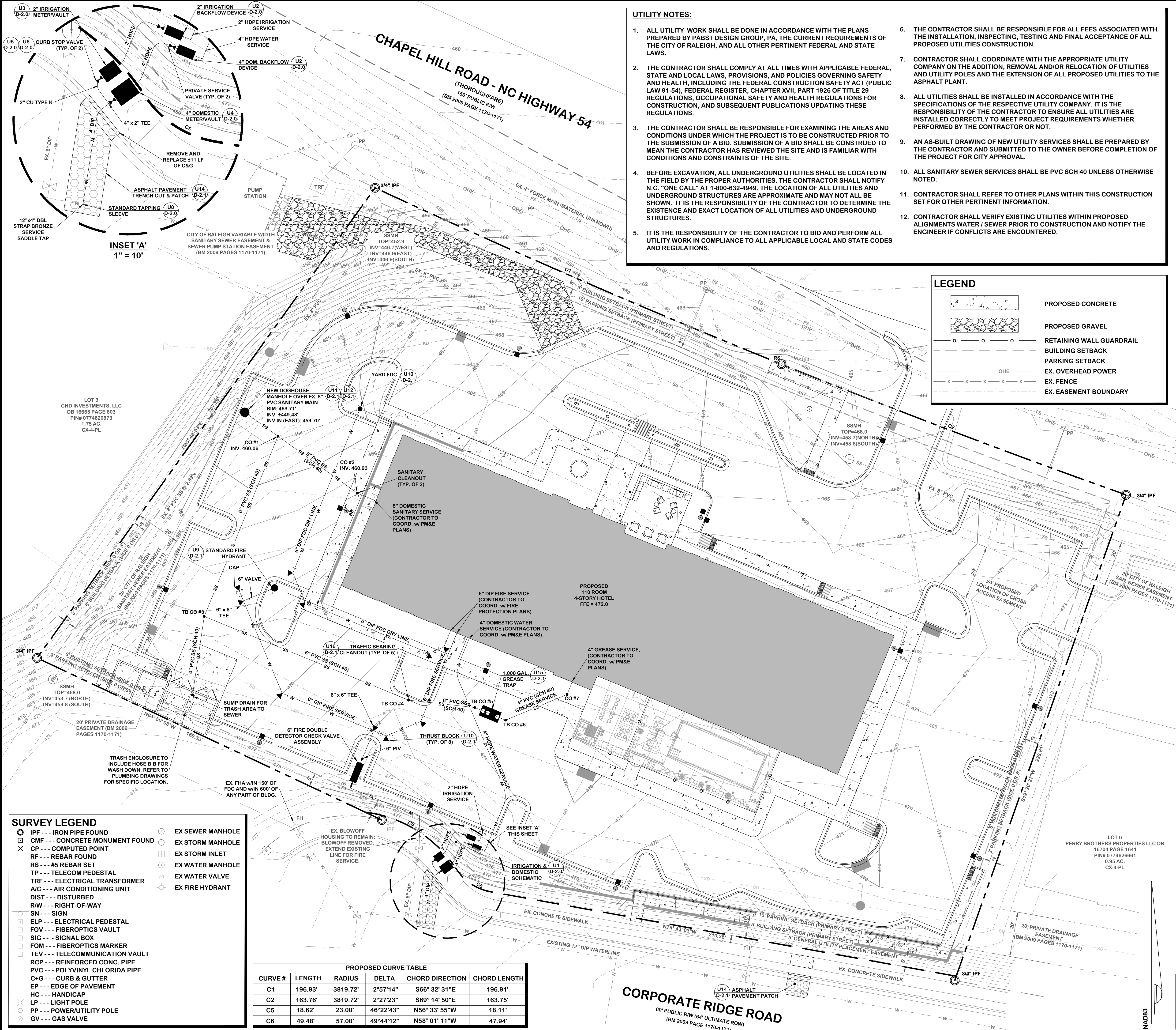
371-17

PABST DESIGN GROUP, PA

Engineering | Consulting

404-B Glenwood Avenue, Raleigh, North Carolina 27603

Phone: 919.848.4399 | Fax: 919.848.4395 | NC LICENSE NUMBER: C-3911



UTILITY NOTES:

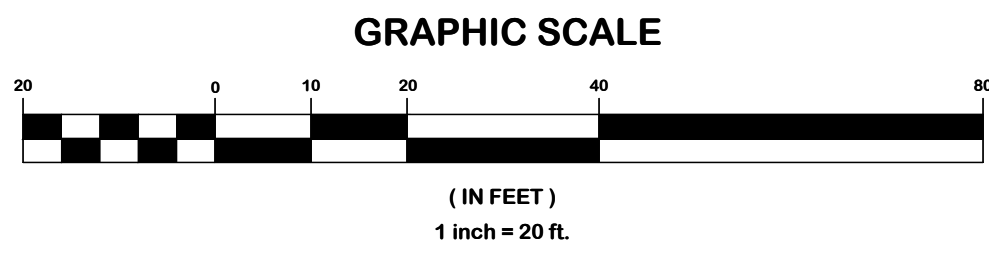
- ALL UTILITY WORK SHALL BE DONE IN ACCORDANCE WITH THE PLANS PREPARED BY PABST DESIGN GROUP, PA, THE CURRENT REQUIREMENTS OF THE CITY OF RALEIGH, AND ALL OTHER PERTINENT FEDERAL AND STATE LAWS.
- THE CONTRACTOR SHALL COMPLY AT ALL TIMES WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, PROVISIONS, AND POLICIES GOVERNING SAFETY AND HEALTH, INCLUDING THE FEDERAL CONSTRUCTION SAFETY ACT (PUBLIC LAW 91-54), FEDERAL REGISTER, CHAPTER XVII, PART 1926 OF TITLE 29 REGULATIONS, OCCUPATIONAL SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION, AND SUBSEQUENT PUBLICATIONS UPDATING THESE REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXAMINING THE AREAS AND CONDITIONS UNDER WHICH THE PROJECT IS TO BE CONSTRUCTED PRIOR TO THE SUBMISSION OF A BID. SUBMISSION OF A BID SHALL BE CONSTRUED TO MEAN THE CONTRACTOR HAS REVIEWED THE SITE AND IS FAMILIAR WITH CONDITIONS AND CONSTRAINTS OF THE SITE.
- BEFORE EXCAVATION, ALL UNDERGROUND UTILITIES SHALL BE LOCATED IN THE FIELD BY THE PROPER AUTHORITIES. THE CONTRACTOR SHALL NOTIFY N.C. "ONE CALL" AT 1-800-632-4949. THE LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES ARE APPROXIMATE AND MAY NOT ALL BE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND EXACT LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BID AND PERFORM ALL UTILITY WORK IN COMPLIANCE TO ALL APPLICABLE LOCAL AND STATE CODES AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES ASSOCIATED WITH THE INSTALLATION, INSPECTING, TESTING AND FINAL ACCEPTANCE OF ALL PROPOSED UTILITIES CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH THE APPROPRIATE UTILITY COMPANY ON THE ADDITION, REMOVAL AND/OR RELOCATION OF UTILITIES AND UTILITY POLES AND THE EXTENSION OF ALL PROPOSED UTILITIES TO THE ASPHALT PLANT.
- ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE RESPECTIVE UTILITY COMPANY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE ALL UTILITIES ARE INSTALLED CORRECTLY TO MEET PROJECT REQUIREMENTS WHETHER PERFORMED BY THE CONTRACTOR OR NOT.
- AN AS-BUILT DRAWING OF NEW UTILITY SERVICES SHALL BE PREPARED BY THE CONTRACTOR AND SUBMITTED TO THE OWNER BEFORE COMPLETION OF THE PROJECT FOR CITY APPROVAL.
- ALL SANITARY SEWER SERVICES SHALL BE PVC SCH 40 UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION.
- CONTRACTOR SHALL VERIFY EXISTING UTILITIES WITHIN PROPOSED ALIGNMENTS WATER / SEWER PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF CONFLICTS ARE ENCOUNTERED.

LEGEND

- PROPOSED CONCRETE
- PROPOSED GRAVEL
- RETAINING WALL GUARDRAIL
- BUILDING SETBACK
- PARKING SETBACK
- EX. OVERHEAD POWER
- EX. FENCE
- EX. EASEMENT BOUNDARY

STANDARD CITY OF RALEIGH UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDMENT PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" - 8" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NC DOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.



FOR REVIEW ONLY
NOT FOR CONSTRUCTION

SURVEY LEGEND

- IPF --- IRON PIPE FOUND
- CMF --- CONCRETE MONUMENT FOUND
- CP --- COMPUTED POINT
- RF --- REBAR FOUND
- RS --- #5 REBAR SET
- TP --- TELECOM PEDESTAL
- TRF --- ELECTRICAL TRANSFORMER
- A/C --- AIR CONDITIONING UNIT
- DIST --- DISTURBED
- R/W --- RIGHT-OF-WAY
- SN --- SIGN
- ELP --- ELECTRICAL PEDESTAL
- FOV --- FIBEROPTICS VAULT
- SIG --- SIGNAL BOX
- FOM --- FIBEROPTICS MARKER
- TEV --- TELECOMMUNICATION VAULT
- RCP --- REINFORCED CONC. PIPE
- PVC --- POLYVINYL CHLORIDE PIPE
- C+G --- CURB & GUTTER
- EP --- EDGE OF PAVEMENT
- HC --- HANDICAP
- LP --- LIGHT POLE
- PP --- POWER/UTILITY POLE
- GV --- GAS VALVE
- EX SEWER MANHOLE
- EX STORM MANHOLE
- EX STORM INLET
- EX WATER MANHOLE
- EX WATER VALVE
- EX FIRE HYDRANT

PROPOSED CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
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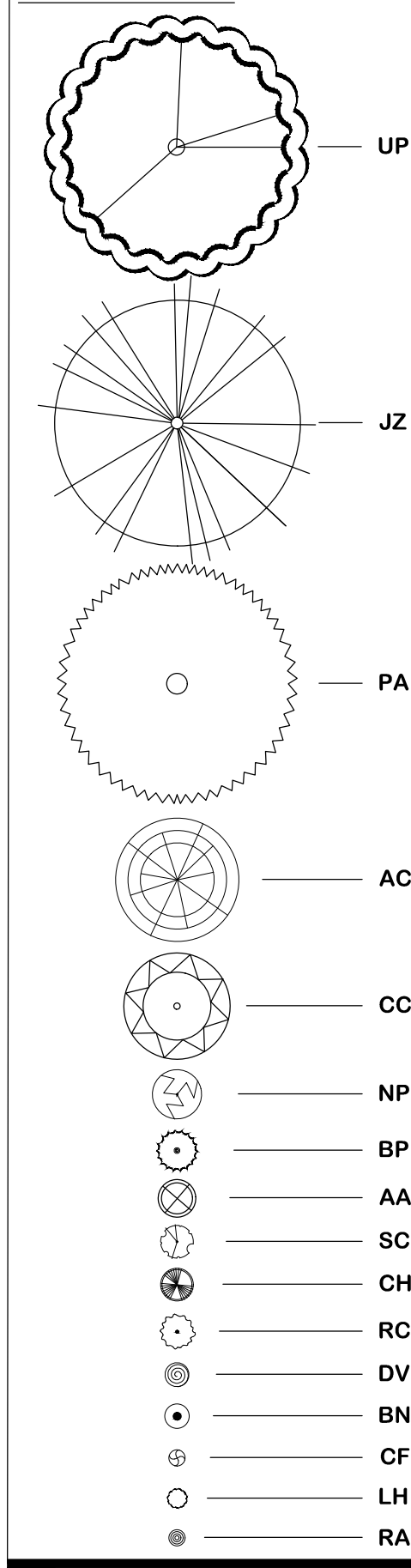
PABST DESIGN GROUP, PA
Engineering | Consulting
404-S Glenwood Avenue, Raleigh, North Carolina 27603
Phone: 919 846 4399 | Fax: 919 846 4395 | NC LICENSE NUMBER: C-3011

HOME 2 SUITES RALEIGH
RALEIGH, WAKE COUNTY, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW PLAN
UTILITY PLAN

DATE: 6/6/19
REVISION: 2
REVISED PER COMMENTS
REVISED PER COMMENTS

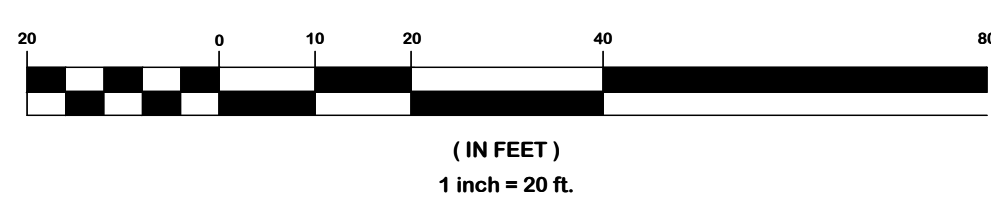
DRAWING SHEET
C-3.0
PROJECT NUMBER
371-17

PLANT KEY:

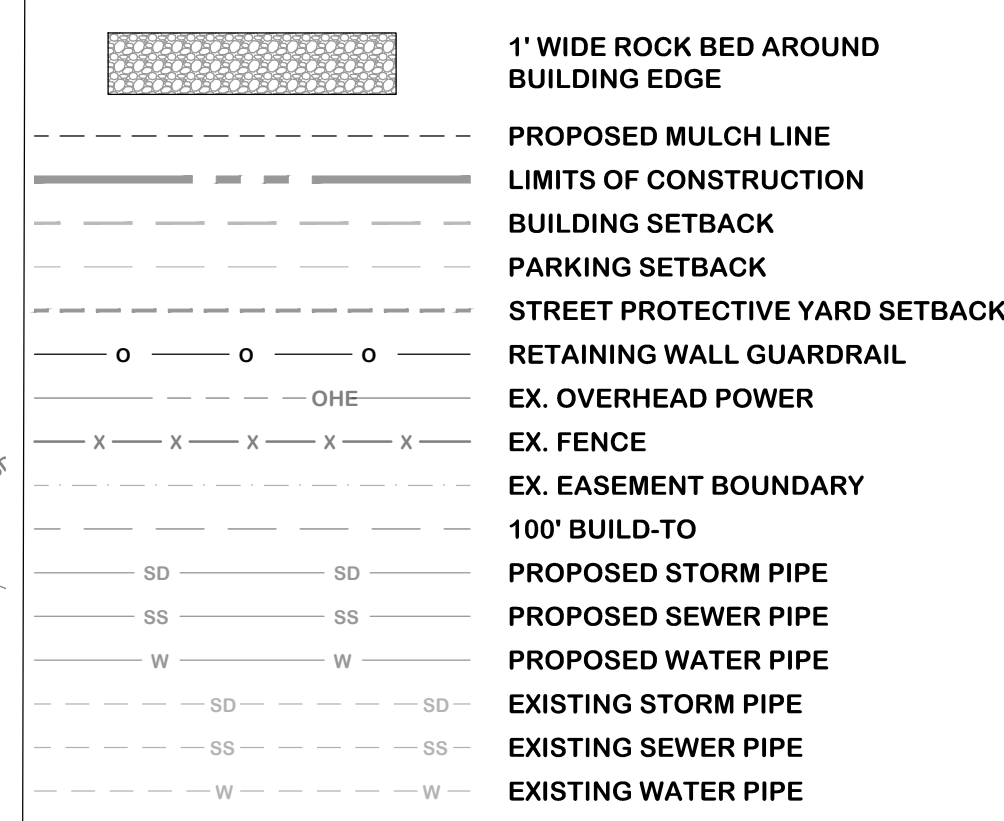


PLANT LIST						
KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL./CONT.	HT.	ROOT
UP	6	<i>Ulmus parvifolia</i> 'Bosque'	Bosque Chinese Elm	3" MIN.	10'	B&B
JZ	6	<i>Zelkova serrata</i>	Japanese Zelkova	3" MIN.	10'	B&B
PA	6	<i>Ulmus americana</i> 'Princeton'	Princeton American Elm	3" MIN.	10'	B&B
UNDERSTORY DECIDUOUS TREES						
AC	4	<i>Prunus yedoensis</i> 'Akebono'	Akebono Cherry	1.5" MIN.	6'	B&B
CC	13	<i>Lagerstroemia indica</i> 'Catawba'	Catawba Grape Myrtle	1.5" MIN.	6'	B&B
EVERGREEN SHRUBS						
NP	1	<i>Ilex cornuta</i> 'Needlepoint'	Needlepoint Holly	N/A	18" min.	Full, Match
BP	2	<i>Juniperus</i> 'Blue Point'	Blue Point Juniper	N/A	18" min.	Full, Match
AA	10	<i>Thuja</i> 'Woodwardii'	American Arborvitae	N/A	18" min.	Full, Match
SC	17	<i>Prunus</i> 'Schipkaensis'	Schipka Cherry Laurel	N/A	18" min.	Full, Match
CH	49	<i>Ilex</i> 'Carissa'	Carissa Holly	N/A	18" min.	Full, Match
DV	227	<i>Viburnum davidii</i>	David Viburnum	N/A	18" min.	Full, Match
BN	153	<i>Ilex cornuta</i> 'Burfordii Nana'	Dwarf Burford Holly	N/A	18" min.	Full, Match
CF	61	<i>Loropetalum chinense</i> 'Crimson Fire'	Crimson Fire Loropetalum	N/A	18" min.	Full, Match
DECIDUOUS SHRUBS						
RC	14	<i>Aronia</i> 'Brilliantissima'	Red Chokeberry	N/A	18" min.	Full, Match
LH	55	<i>Itea virginica</i> 'Little Henry'	Little Henry Virginia Sweetspire	N/A	18" min.	Full, Match
RA	46	<i>Azalea</i> 'The Robe'	The Robe Azalea	N/A	18" min.	Full, Match

GRAPHIC SCALE



LEGEND:



GENERAL PLANTING NOTES:

- ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF 'AMERICAN STANDARD FOR NURSERY STOCK'.
- PLANT LIST QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE EVENT OF QUANTITY DISCREPANCIES, THE DRAWINGS SHALL TAKE PRECEDENCE.
- NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR LANDSCAPE DESIGNER.
- CONTRACTOR SHALL HAVE UTILITY COMPANY LOCATE ALL UTILITIES PRIOR TO DIGGING. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES INCURRED BY HIS/HER WORK.
- METHODS OF TREE STAKING INDICATED ON THE DRAWINGS ARE SUGGESTIONS ONLY. THE LANDSCAPE CONTRACTOR SHALL USE WHATEVER METHOD HE DEEMS FIT, HOWEVER HE WILL BE HELD LIABLE FOR ANY DAMAGES CAUSED TO TREES BY IMPROPER STAKING METHODS (OR ABSENCE OF STAKING) AND IS RESPONSIBLE FOR UPRIGHTING AND REPLANTING TREES WHICH ARE BLOWN OVER.
- ALL AREAS NOT SHOWN AS HARD SURFACES, PLANT BED, MULCHED OR UNDISTURBED AREAS, SHALL BE SEEDED OR SODDED AS LAWN WITH "REBEL IV", CONFEDERATE PLUS OR LESCO TALL TURF TYPE FESCUE FOR IN ALL AREAS IN RIGHT OF WAY UP TO THE ROAD.
- ALL LANDSCAPE BEDS CONTAIN TRIPLE SHREDDED HARDWOOD MULCH AT A THICKNESS OF 3".
- ALL LANDSCAPE BEDS SHALL HAVE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
- ALL PLANT BEDS SHALL BE TREATED WITH PRE-EMERGENT WEED CONTROL (I.E. TREFLON GRANULES).
- ALL PLANTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN ASSOCIATION OF NURSERYMEN AND SHALL BE VIGOROUS, HEALTHY MATERIAL FREE OF PESTS AND DISEASE.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN ON THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE PLANTING CONTRACTOR, AND THE TOTAL QUANTITIES SHALL BE REQUIRED ON THE PLANTING PLAN.
- OWNERS SHALL MAINTAIN ALL PLANT BEDS AND PLANT MATERIAL IN GOOD HEALTH, AND ANY DEAD, UNHEALTHY OR MISSING PLANTS SHALL BE REPLACED WITH THE SAME PLANT MATERIAL ORIGINALLY SPECIFIED ON THIS PLAN.
- PLANT MATERIAL ON THIS SITE MUST BE INSTALLED IN CONFORMANCE WITH THE GENERAL PLANTING NOTES AND DETAILS ON THIS PLAN OR TO THE STANDARDS OF THE CITY OF RALEIGH.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND LICENSES TO PERFORM THE REQUIRED WORK.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE CITY TREE MANUAL.
- STREET TREES ALONG CHAPEL HILL ROAD ARE CONDITIONALLY APPROVED WITH NCDOT. THE USE OF UNDERSTORY, SINGLE STEM TREES SHALL BE PROPOSED 20 FEET ON CENTER IN SUBSTITUTE FOR OVERSTORY TREES DUE TO OVERHEAD UTILITY LINES AND SHALL HAVE FINAL APPROVAL FROM NCDOT BEFORE PLANTING, CONTACT CORY SUDDETH (919.816.9290 / CSUDDETH@NCDOT.GOV) WITH NCDOT.

LANDSCAPE CALCULATIONS

STREETSCAPE REQUIREMENT (UDO SEC. 8.5.2.2):
1 MEDIUM MATURING SHADE TREE REQUIRED PER 40 LINEAR FEET
CORPORATE RIDGE ROAD - 210 LF
TOTAL LF STREETSCAPE DIVIDED BY 40' = 5.25
OF TREES PROVIDED = 6 TREES

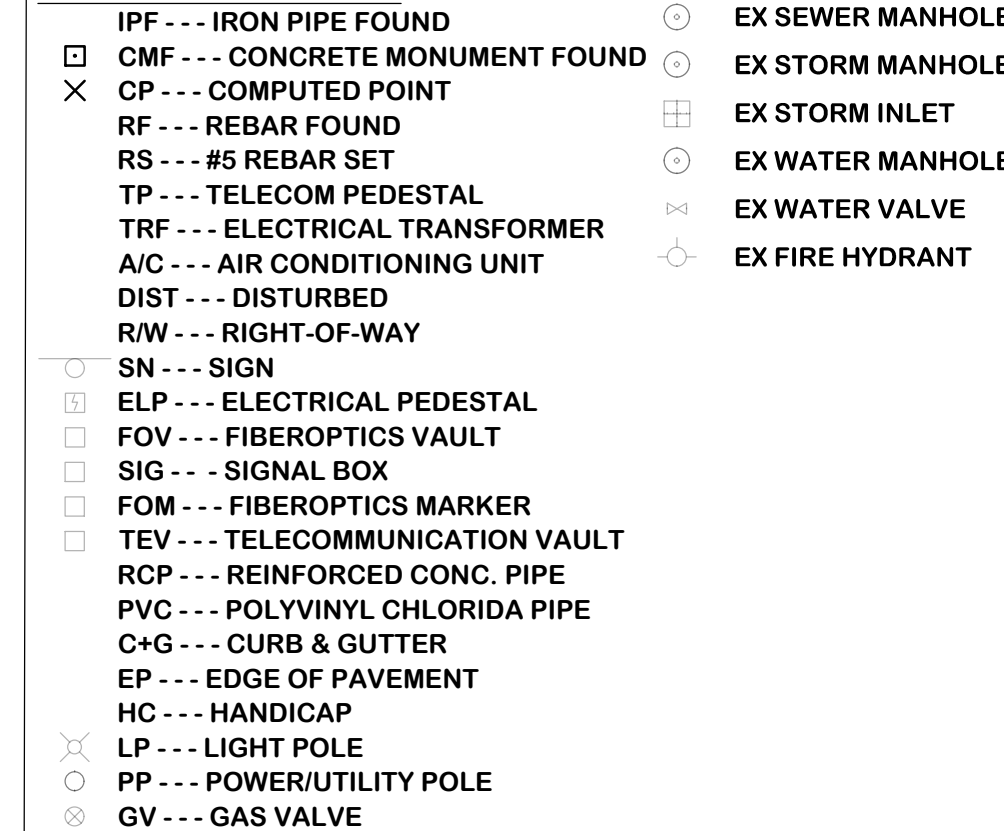
1 UNDERSTORY DECIDUOUS TREE REQUIRED PER 20 LINEAR FEET
CHAPEL HILL ROAD (NC 54) - 336 LF
TOTAL LF STREETSCAPE DIVIDED BY 20' = 16.8
OF TREES PROVIDED = 17 TREES

TYPE "C3" STREET PROTECTIVE YARD
10' WIDE PROTECTIVE YARD: 336 LF
REQUIRED: 30 SHRUBS PER 100 LF
336 / 100 = 3.36 x 30 SHRUBS = 100.8 SHRUBS
PROVIDED: 105 EVERGREEN SHRUBS

VEHICLE SURFACE AREA
REQUIRED: 1 TREE PER EVERY 2,000 SF OF PARKING AREA
18,459.84 / 2,000 = 9.23 TREES
PROVIDED: 11 CANOPY TREES

PERIMETER ISLAND LF: 1,215 LF
REQUIRED: 30 SHRUBS PER 100 LF OF PERIMETER ISLAND THAT IS ALONG PRIMARY INTERNAL ACCESS DRIVES.
1215 / 100 = 12.15 x 30 SHRUBS = 364.5 SHRUBS
PROVIDED: 365 SHRUBS

SURVEY LEGEND



FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PAST DESIGN GROUP, PA
Engineering | Consulting
404-S Glenwood Avenue, Raleigh, North Carolina 27603
Phone: 919.846.4399 | Fax: 919.846.4395 | NC LICENSE NUMBER: C-3911

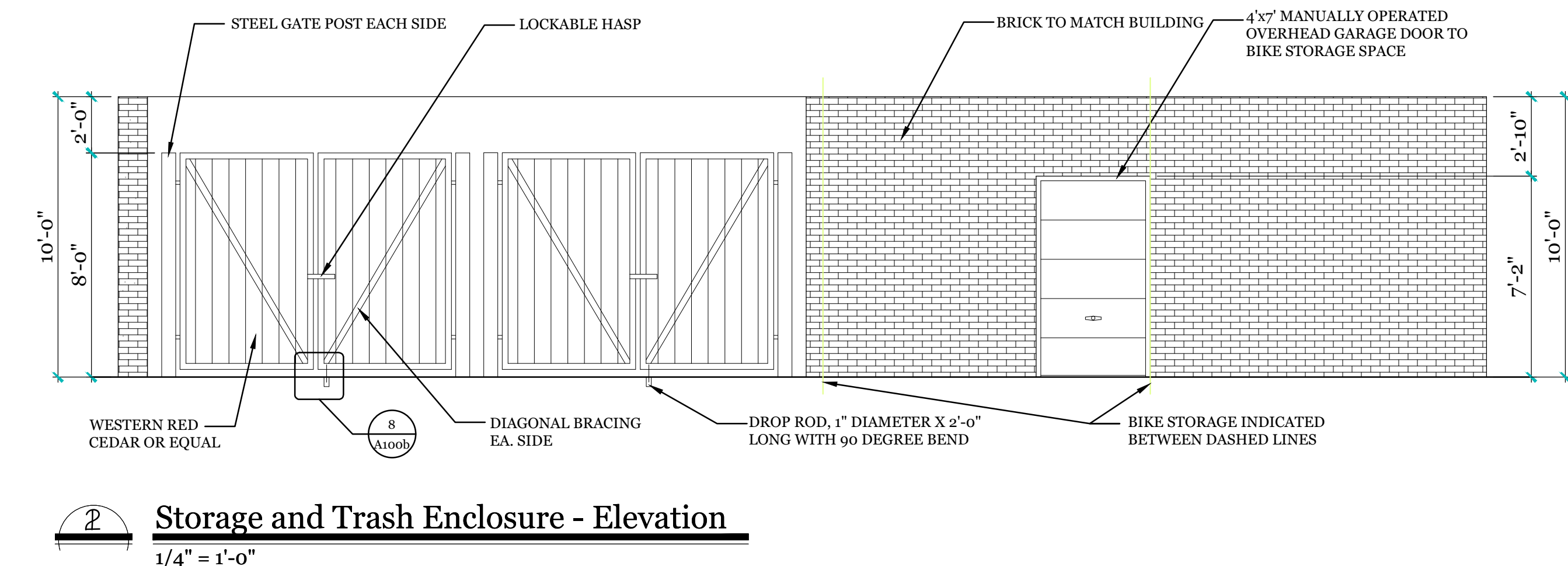
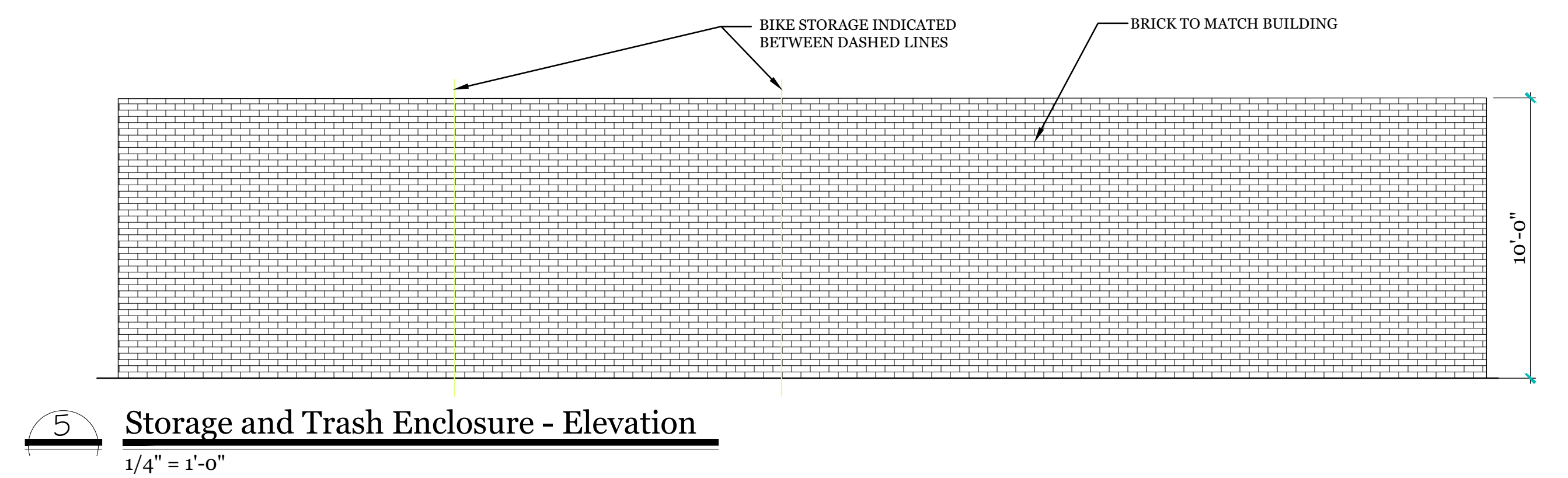
HOME 2 SUITES RALEIGH
RALEIGH, WAKE COUNTY, NORTH CAROLINA
ADMINISTRATIVE SITE REVIEW PLAN
LANDSCAPE PLAN

DATE: 6/6/19
REVISION: 1
REVISED PER COR COMMENTS: 6/24/19
REVISED PER COR COMMENTS: 6/24/19
REVISED PER COR COMMENTS: 6/24/19
REVISED PER COR COMMENTS: 6/24/19

DRAWING SHEET
L-1.0
PROJECT NUMBER
371-17

Home 2 Suites
Raleigh, NC

Oaks Hospitality LLC
840 Handsworth Lane#30
Raleigh, NC 27607



124 Floyd Smith Drive
Suite 375
Charlotte, NC 28262
Tel - 704-688-7500

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Sheet Title

**Storage & Trash
Enclosure - Plan,
Sections, & Details**

A100a

Home 2 Suites
Raleigh, NC

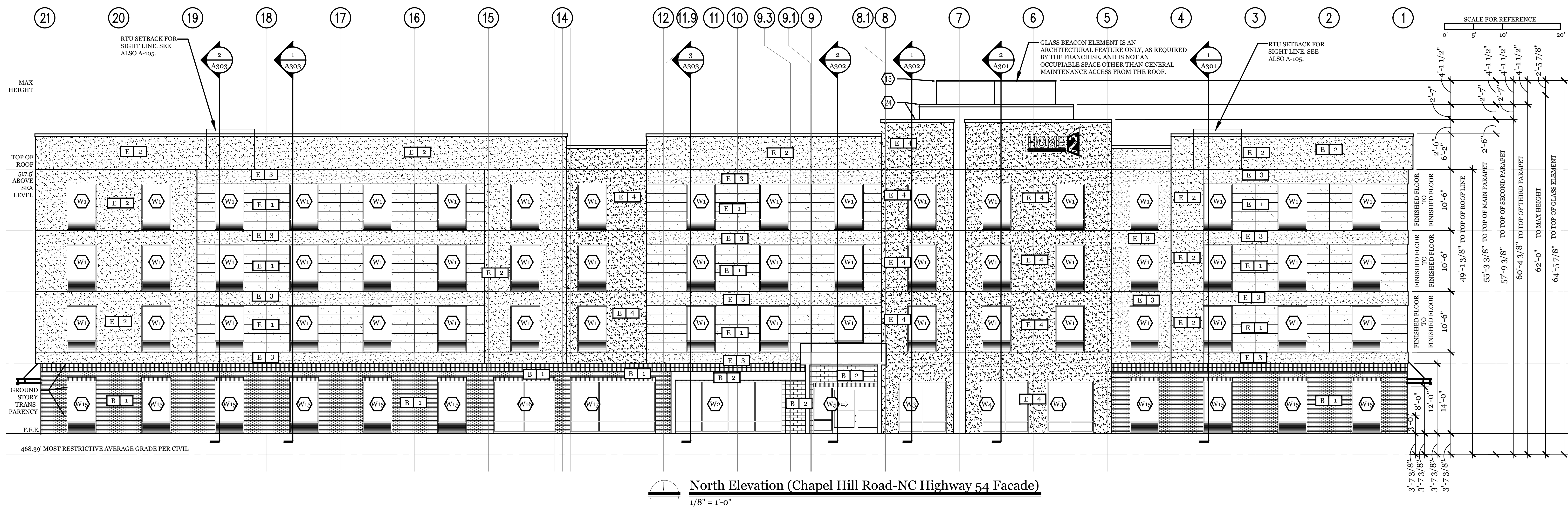
Oaks Hospitality LLC
840 Handsworth Lane#300
Raleigh, NC 27607









MASONRY GENERAL NOTES:

1. WEEP HOLES MUST BE CLEAR AND LOCATED ONE COURSE ABOVE FINISH GRADE AROUND PERIMETER OF BUILDING. WEEP HOLES AT LOCATIONS AS REQUIRED BASED UPON SITE AND LOCAL CLIMATE CONDITIONS. NO WEEP HOLES ARE TO BE BELOW GRADE.
2. ALL THRU WALL FLASHING TO BE PER DWGS. AND TO BE LOCATED ONE COURSE ABOVE FINISH GRADE. FLASHING TO BE LOCATED AT BUILDING, ADJUST LOCATIONS AS REQUIRED BASED UPON SITE AND LOCAL CLIMATE CONDITIONS. NO FLASHING ARE TO BE LOCATED BELOW FINISH GRADE. FLASHING TO BE STEPPED AND ADJUSTED TO MAINTAIN A CONTINUOUS THRU- WALL FLASHING- TYP.
3. ABOVE ALL APERTURES, FLASHING TO EXTEND ONE COURSE ABOVE FINISH TYP.
4. ALL AIR CLEARANCES BETWEEN MASONRY AND BASE WALL MUST BE MAINTAINED AS PER THE DWGS. AS CLEAR SPACE FREE OF DEBRIS.
5. ALL MASONRY REINFORCING BOTH VERTICAL AND HORIZONTAL TO BE PER ARCHITECTURAL AND STRUCTURAL DWGS. TYP.
6. G.C. IS TO COORDINATE ANY ADDITIONAL REQUIREMENTS FOR FLASHING WITH THE M.S. CONTRACTOR.

GENERAL E.I.F.S. NOTES:	
1.	ALL EIFS MUST BE OF THE FULLY DRAINABLE KIND, AND PROPERLY INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS. PHYSICAL SAMPLE MOCK UP TO BE PROVIDED IN THE FIELD WITH CORRECT COLORS AND REVEALS USED, FOR OWNER AND ARCHITECT REVIEW AND APPROVAL PRIOR TO FULL INSTALLATION PROJECT. TYP.
2.	WHEN LAYING OUT EIFS SCORE JOINT REVEALS, ALWAYS LOCATE THEM BASED ON THEIR DISTANCE FROM THE FINISH FLOOR NO THE TOP OF WALL- TYP.



- | | | |
|---|-----|------------------|
|  | B 1 | BRICK #1 |
|  | B 2 | UTILITY BRICK #2 |
|  | E 1 | EIFS COLOR #1 |
|  | E 2 | EIFS COLOR #2 |
|  | E 3 | EIFS COLOR #3 |
|  | E 4 | EIFS COLOR #3 |

Project
Home 2 Suites
Raleigh, NC

Owner
Oaks Hospitality LLC
840 Handsworth Lane#301
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Exterior Elevations

Sheet Number
A-200













MASONRY GENERAL NOTES:

1. WEEP HOLES MUST BE CLEAR AND LOCATED ONE COURSE ABOVE FINISH GRADE AROUND ALL EXTERIOR WALLS. WEEP HOLES AT ROOF LOCATIONS AS REQUIRED BASED UPON SITE SPECIFIC DRAINAGE REQUIREMENTS FOR WEAP HOLES ARE TO BE BELOW GRADE.
2. ALL THIRI WALL FLASHING TO BE PER DWGS. AND TO BE LOCATED ONE COURSE ABOVE FINISH GRADE. ADJUSTMENT OF THE LOCATION OF BUILDING ADJUST LOCATIONS AS REQUIRED TO MAINTAIN CONTINUOUS FLASHING UNDER ALL CONDITIONS. NO FLASHING ARE TO BE PLACED OVER OTHER FLASHINGS. FLASHING IS STEPPED AND ADJUSTED TO MAINTAIN A CONTINUOUS THIRI- WALL FLASHING-TYP.
3. ABOVE ALL APERTURES, FLASHING TO BE INSTALLED PER STRUCTURAL TYP.
4. AIR CLEARANCES BETWEEN MASONRY AND BASF WALL MUST BE MAINTAINED AS SHOWN IN DWGS. AS CLEAR SPACE FREE OF DEBRIS.
5. ALL MASONRY REINFORCING BOTH VERTICAL AND HORIZONTAL TO BE PER ARCHITECTURAL AND STRUCTURAL DWGS.-TYP.
6. G.C.'S TO COORDINATE ANY ADDITIONAL REQUIREMENTS FOR FLASHING AND WEAP HOLES WITH ARCHITECT.

KEY NOTES	
1	APPROXIMATE LINE OF GRADE
2	Above GRADE EXPOSED FOUNDATION WALL
3	MASONRY OR TILE - BASE
4	MASONRY OR TILE - FIELD - ASHLAR PATTERN
5	CONCRETE FOOTING AND FOUNDATION WITH REQUIRED PER LOCAL FROST DEPTHS
6	OCULUS
7	NOT USED
8	ALUMINUM FIXED WINDOW W/ THERMAL BROKEN FRAME, INSULATED GLAZING WITH INTEGRAL ALUMINUM COVER AT PTAC UNITS
9	ALUMINUM STOREFRONT SYSTEM W/ THERMAL BROKEN FRAME AND INSULATED GLAZING
10	ALUMINUM FIXED WINDOW W/ THERMAL BROKEN FRAME AND INSULATED GLAZING
11	EXHAUST, REFER TO MECHANICAL



- | GENERAL NOTES: | |
|----------------|--|
| 1. | REFER TO HOME 2 SUITES BY HILTON STANDARD GUIDE FOR ADDITIONAL INFORMATION REGARDING MATERIALS, CONSTRUCTION REQUIREMENTS AND REQUIREMENTS. |
| 2. | GROUT COLOR TO MATCH EXTERIOR TILE COLOR. |
| 3. | BUILDING HEIGHT DIMENSIONS ARE BASED ON CONSTRUCTION. THESE DIMENSIONS WILL VARY DURING FINAL BUILDING CONSTRUCTION. INTERIOR DIMENSIONS ARE CRITICAL TO MAINTAIN AS MINIMUMS. |

- | COLOR & FINISH LEGEND | | |
|---|---|------------------|
|  |  B 1 | BRICK #1 |
|  |  B 2 | UTILITY BRICK #2 |
|  |  E 1 | EIFS COLOR #1 |
|  |  E 2 | EIFS COLOR #2 |
|  |  E 3 | EIFS COLOR #3 |
|  |  E 4 | EIFS COLOR #3 |

A-201

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Drawn By

Checked By: _____

Checked By _____ Mark _____

Issue Date 03/30/19

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Sheet Title

Sheet 1100

Elevation =

Elevations

Sheet Number

Appendix

A-901
